



VIVERE ELEGANS APARTMENTS

28902 AGOURA ROAD, AGOURA HILLS, CA 91301



1000 BRANNAN STREET
SUITE 404
SAN FRANCISCO, CA 94103
T 415.371.1400
F 415.371.1401
www.axisgfa.com

PROJECT NAME

VIVERE ELEGANS APARTMENTS

APN 2061-029-006

28902 AGOURA ROAD
AGOURA HILLS, CA 91301

OWNER NAME

AN INVESTMENTS INC.
22530 VENTURA BLVD.
WOODLAND HILLS
CA 91364

NO. DATE ISSUES AND REVISIONS BY

1. 11/09/23 AHO APPLICATION

DATE NOV. 3 2023

SCALE

PROJECT NUMBER 23.031

PROJECT TEAM

OWNER:

AN INVESTMENTS INC.
22530 VENTURA BLVD.
WOODLAND HILLS, CA 91364

CONTACT: AVI EDRY
EMAIL: sales@valleydoorsgroup.com

ARCHITECT:

AXIS/GFA ARCHITECTURE + DESIGN
1000 BRANNAN ST. SUITE 404
SAN FRANCISCO, CA 94103

CONTACT: CORY CREATH
EMAIL: ccreath@axisgfa.com
PHONE: (415) 371-1400

CIVIL ENGINEER:

LABIB FUNK + ASSOCIATES
319 MAIN ST
EL SEGUNDO, CA 90245

CONTACT: FRANK LAROCCA
EMAIL: frank.larocca@labibfunk.com

LANDSCAPE ARCHITECT:

SEVEN ELK RANCH DESIGN INC.
100 BRADY LANE
HAMILTON, MT 59840

CONTACT: KAY J. GREELEY
EMAIL: kaygreeley@earthlink.net

DESCRIPTION

COVER SHEET

SHEET NUMBER

G0.00

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PROJECT SCOPE

THE PROPOSED PROJECT IS A MIXED USE MULTIFAMILY PROJECT COMPRISED OF 33 RESIDENTIAL UNITS AND A SMALL AMOUNT OF COMMERCIAL-RETAIL AT THE FIRST FLOOR. THE SITE IS A CURRENTLY UNDEVELOPED HILLSIDE LOT ADJACENT TO AGOURA ROAD. THE PROPOSED DEVELOPMENT STEPS INTO THE HILLSIDE TO MINIMIZE EXCAVATION AND TO MIMIC THE EXISTING SLOPE OF THE SITE.

THE PROPOSED BUILDING CONSISTS OF TWO LEVELS OF TYPE-V CONSTRUCTION OVER A TWO-LEVEL CONCRETE PODIUM. PARKING IS PROVIDED AT TWO LEVELS AT GRADE, PARTIALLY COVERED BY THE RESIDENTIAL UNITS ABOVE.

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PROJECT INFORMATION

Site Location

Address 28902 AGOURA RD, AGOURA HILLS CA, 91301-2418
AIN 2061029005 & 2061029006

Building Size & Program

Floor	Unit Count			Area	
	Studio	1Bd	2Bd		
	4	2	9	2	11,900 Sq Ft
	3	2	9	3	12,700 Sq Ft
	2	2	4		7,100 Sq Ft
Street Level					4,000 Sq Ft
Subtotal	6	22	5		
Mix	18%	67%	15%		
Total Units			33		35,700 Sq Ft

Parking Calculation

Pkg Req by Unit Type	1	1	1.5	Spaces
Resi. Parking Required	6	22	7.5	Subtotal
Subtotal Residential Parking Required				36 spaces
Commercial Pkg Req	1 per 250 sq ft of area per Municode Section 9654.6			
Subtotal Commercial Pkg Req				5 spaces
Total Parking Req				41 spaces
Total Parking Provided				41 spaces

Site Coverage Calculation

Site Area	38,004
Max Coverage %	60%
Max Coverage	22,802
Proposed Coverage	19,800
Proposed Coverage %	52%
Nonresidential Area	1,200
FAR (Excludes Residential Use Area)	0.03

Open Space Calculation

On-Site Group Recreation Space Required	8,250	Sq Ft
On-Site Group Recreation Space Proposed	735	Sq Ft
Delta	7,515	Sq Ft
Public Open Space Required	3,800	Sq Ft
Public Open Space Proposed	500	Sq Ft
Delta	3,300	Sq Ft

Retail / Commercial Calculation

Building Area	35,700
Min Commercial %	20%
Min Commercial	7,140
Proposed Commercial	1,200
Proposed Commercial %	3%

Density Calculation

Base Density	25	Units per Acre
Site Area	0.87	Acres
Base Density	22	Units
Affordable Housing Overlay	1.5	x Base Density
	33	Units

Affordability Calculation

Base Density	22 Units		
Very Low Income Req.	15%	4 Units	
Low Income Req.	5%	2 Units	
Units Allocated	Unit Type Count		
	Studio	1Bd	2Bd
Low Income	1	1	0
Very Low Income	1	2	1
Total	6 Units		



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DESCRIPTION

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Title	Description	Resolution / Potential Solution
1 Height	Staff appreciates that you measured height based on natural grade and that the development steps into the hillside, however, under the AHO you are required to provide height calculations based on finished grade. Please modify your waiver request to accurately reflect the height requirements for the buildings.	Drawings have been revised accordingly.
2 Retail – Minimum 20% Commercial Requirement.	The waiver summary page does not specify which requests are waivers and which ones are concessions. When a development application is submitted, this request must be classified as one of your concessions.	The Design Team requests a <i>Concession</i> for this requirement.
3 On-Site Group Recreation Space.	This waiver request states that 140 sq. ft. of outdoor amenity space is provided per unit through a mix of private patios or balconies and shared outdoor space on the second floor. Private balconies are not included in "recreational group open space", as defined in the AHO standards. Please provide updated square footage for recreational group open space given that balconies are not included.	The Design Team requests a Waiver for this requirement. The method of calculation has been revised accordingly.
4 Commercial Parking Reduction.	Public parking spaces located in the right-of-way do not count toward on-site parking requirements. As proposed, the development is not in compliance with the commercial parking standard.	The Project proposes to satisfy this requirement and is rescinding this Waiver request.
5 Side Setbacks.	For projects developing under the AHO, pursuant to AHMC section 9526.2.D.1., buildings fronting a right-of-way shall have no minimum or maximum side yard setback. This waiver request is not necessary because the project meets side setback requirements as proposed.	The Project is rescinding this Waiver request.
6 Architectural Style.	[Excerpt] Please modify the colors used throughout the development to comply with AHMC section 9663.7.G. When developing a color/material palette please refer to the permitted materials table in AHMC section 9663.7.F.4.	The Design Team has adjusted the proposed color palette accordingly.
7 Height of Retaining Walls.	While staff understands the physical constraints of the site and the need for retaining walls, we do not believe that the 6-foot height limit for retaining walls limits the development of the site in any capacity. There are several examples of retaining walls within the City that are staggered with at least 5 feet of depth between each retaining wall in order to avoid large unbroken retaining walls. The depth between retaining walls would also provide a perfect opportunity for native plantings and would help to blend the development with the hillside. To help visualize this concept, staff will follow up with you and provide examples of where this approach was used.	The Design Team has modified the site layout to reduce the amount of excavation necessary, and therefore also reduce the height of proposed retaining walls. The Project proposes to provide a step where possible without undue cost implications, and to design color and finish of retaining walls to harmonize with hillside landscape.
8 Affordability Calculation	Page 2 of the application package states that 15% of the units would be reserved for low-income units (three units), and 5% would be reserved for very low-income units (one unit). To qualify for a 50% density bonus, those numbers would need to be swapped (e.g., 15% of units would need to be reserved for very low-income units). Additionally, per state density bonus law, all density bonus calculations are to be rounded up to the next whole number. This would mean that you need to provide at least four very low-income units and two low-income units to qualify for a 50 percent density bonus.	The number of affordable units proposed has been revised accordingly.
9 Surface Parking Lot Landscaping (9526.2.G)	Surface parking lots are required to have shade trees covering 35% of the parking area, and an 8-foot wide landscaped finger planter shall be located every 10 parking spaces. Additionally, there shall be at least 1 tree for every four surface parking spaces. The 12 spaces in the rear of the development do not meet these standards.	The Project is requesting a Waiver for this requirement. The Design Team has revised the proposed parking layout such that the surface parking will be shaded by the building itself, by retaining walls at the south edge of the parking area, and by overhanging patios and balconies.
10 Hillside Lots and Slopes (9525.7)	No development shall occur on slopes greater than 35%. The development may be in conflict with this standard. Please provide a topographic survey showing the areas of the property that are 10% slope and 35% slope.	The Project is requesting a Waiver for this requirement.
11 Oak Trees (9529.5)	You have indicated that you will be submitting a waiver request to remove more than the maximum number of oak trees. Please be advised that if this waiver request is approved, you will still need to provide replacement oak trees on site in compliance with the code.	The Project is requesting a Waiver for this requirement.
12 Scenic Views (9663.4)	The project shall not obstruct the view of a scenic vista from passersby on rights-of-way adjacent to the site by more than 25% of the length of the project site. The elevations do not demonstrate compliance with this provision.	The Project is requesting a Waiver for this requirement.
13 Open Space Resources (9663.4)	All projects adjacent to open space resources as shown in General Plan Figure NR-1 shall maintain a 100-foot setback between any proposed dwellings and the designated open space area. The project is adjacent to an open space resource identified in Figure NR-1, and a 100-foot buffer is not shown on the plans.	The Project is requesting a Waiver for this requirement.
14 Connectivity and Pedestrian Accommodation (9663.5)	Pedestrian pathways shall be provided between the public sidewalk and primary building entries. The plans do not clearly show pedestrian pathways connecting the residences to the right-of-way.	Drawings have been revised accordingly.
15 Step Backs (9663.7.B)	Starting with the second floor, each building floor on the sides and front of a building shall be stepped back from the previous floor a minimum of 6 feet. The proposed plans do not meet this standard.	The Project is requesting a Waiver for this requirement. The Design Team notes that the building steps back substantially at the second floor, and in so doing is intended to comply with the spirit of the zoning code.
16 Roof Treatments (9663.7.C)	At least two different roof forms (orientation, pitch, height) shall be used along each building façade. Flat roof areas shall not be used on more than 25% of the overall roof area (green roofs are exempt). The proposed design does not meet these roof treatment standards.	The Project is requesting a Waiver for this requirement. The Design Team has revised the proposed elevations to include more sloping roof elements and is intended to comply with the spirit of the zoning code.
17 Weather Protection (9663.7.E)	Weather protection is required at primary entrances to commercial uses and is not shown on the plans.	Drawings have been revised accordingly.
18 Service and Refuse Areas (9663.9.C)	It is unclear how the trash enclosure accommodates the collection of trash and recyclable materials as required by the collection contractor.	The Project will coordinate with waste management contractor to ensure pickup arrangement proposed is serviceable.
19 Parking Stall Dimensions	Design team is proposing 18.5' x 8.5' parking stalls instead of 20' x 10' stalls mandated by City zoning code.	The Project is requesting a Waiver for this requirement.
20 Commercial Ceiling Height	Design Team is proposing an 11' ceiling height so as to ensure continuity of the second floor slab without excessive (and costly) grading to lower the floor below existing grade.	The Project is requesting a Waiver for this requirement.



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SCALE

PROJECT NUMBER 23.031

DESCRIPTION

**CONCESSIONS
& WAIVERS**

SHEET NUMBER

G0.03

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NE CORNER VIEW
SCALE: N.T.S.

1



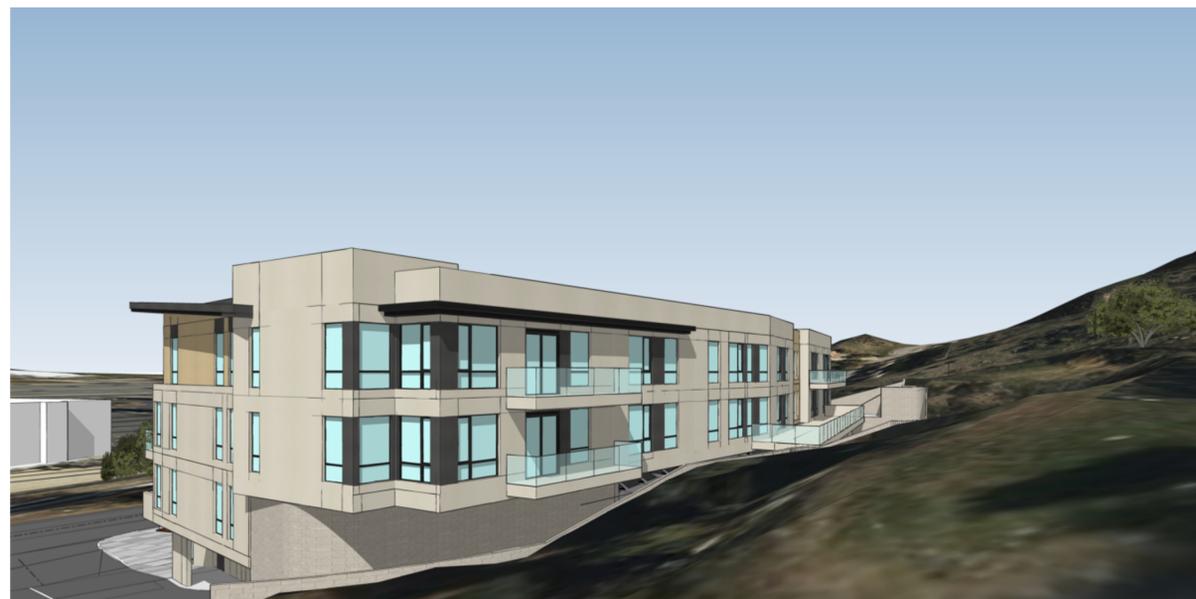
NW CORNER VIEW
SCALE: N.T.S.

2



NORTH ENTRY VIEW
SCALE: N.T.S.

3



SW CORNER VIEW
SCALE: N.T.S.

4

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PERSPECTIVE
VIEWS

SHEET NUMBER

G1.00

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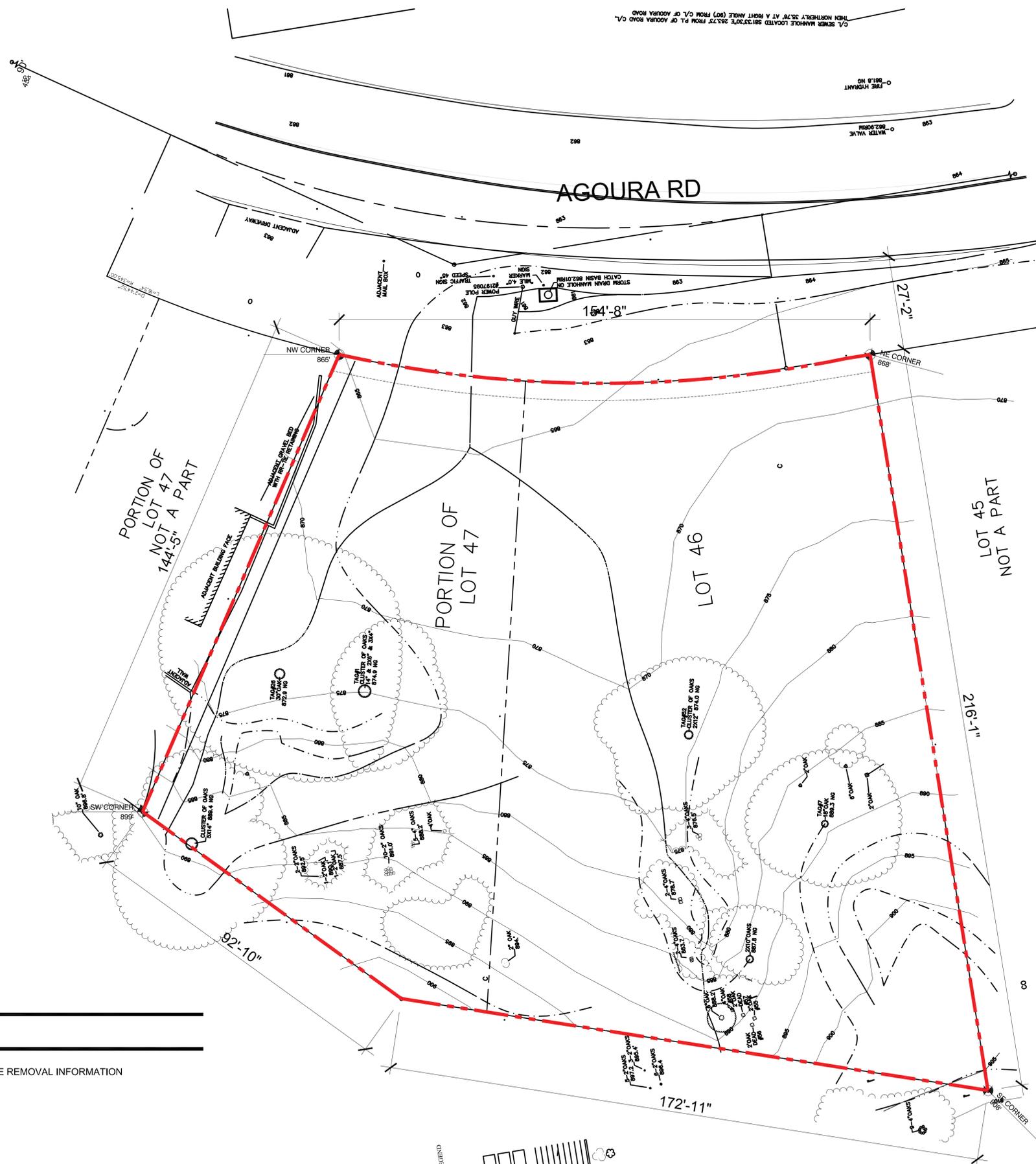
DESCRIPTION

SITE PLAN
(EXISTING)

SHEET NUMBER

A1.00

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NOTES

SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL INFORMATION

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**SITE PLAN
(PROPOSED)**

SHEET NUMBER

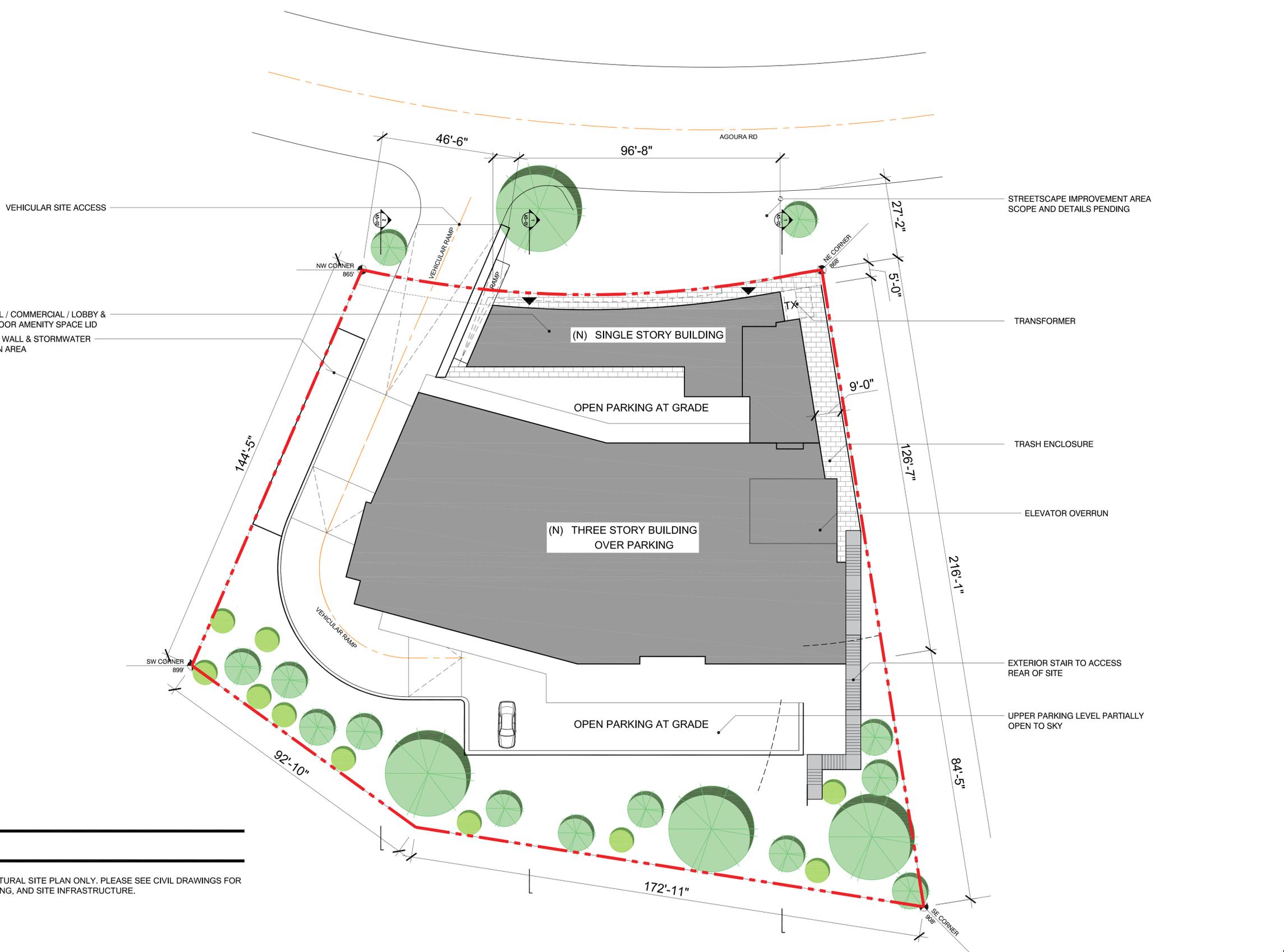
A1.01

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NOTES

THIS IS AN ARCHITECTURAL SITE PLAN ONLY. PLEASE SEE CIVIL DRAWINGS FOR TOPOGRAPHY, GRADING, AND SITE INFRASTRUCTURE.

SITE PLAN
SCALE: 1/16" = 1'-0"



PROJECT NAME

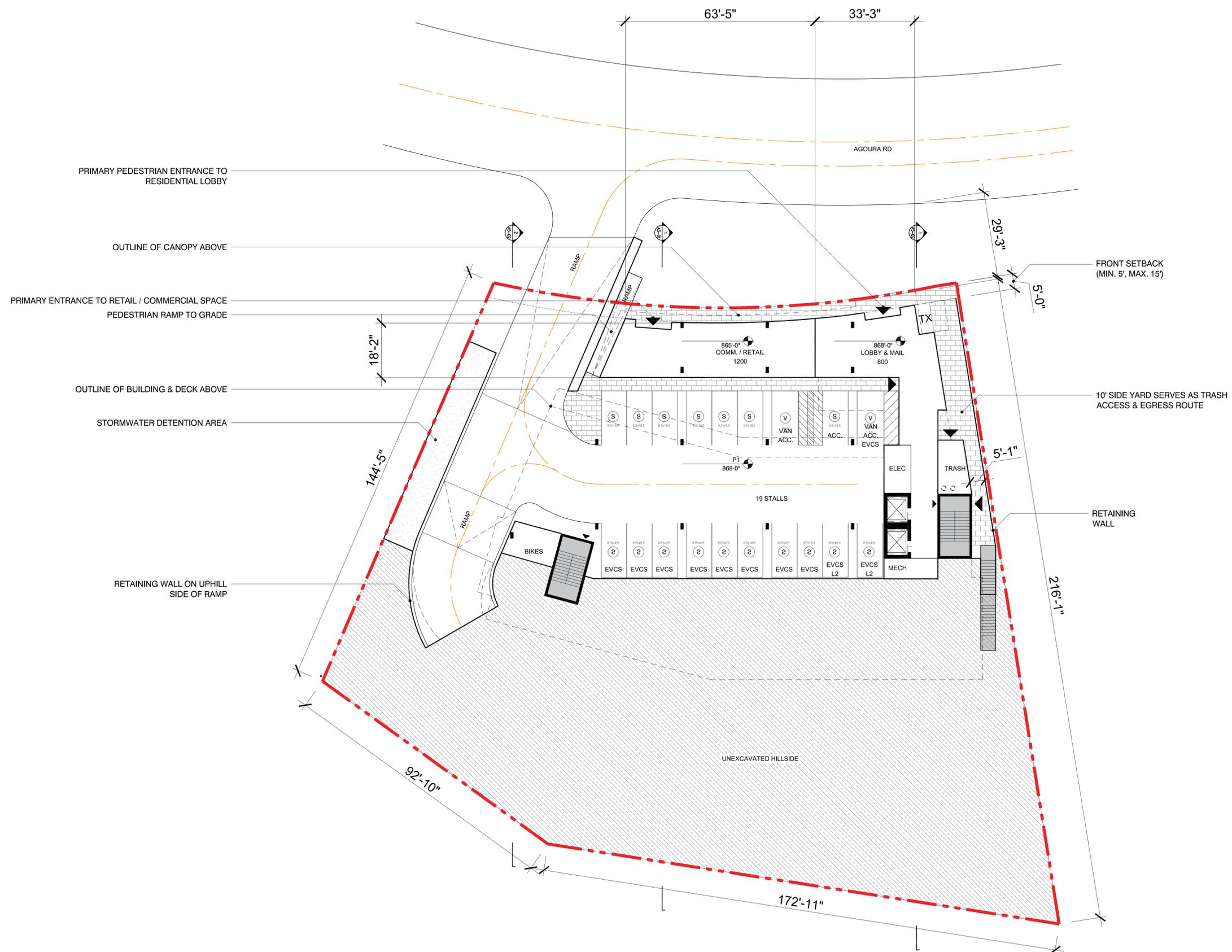
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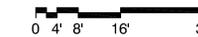
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DESCRIPTION
FIRST FLOOR PLAN

SHEET NUMBER

A2.01

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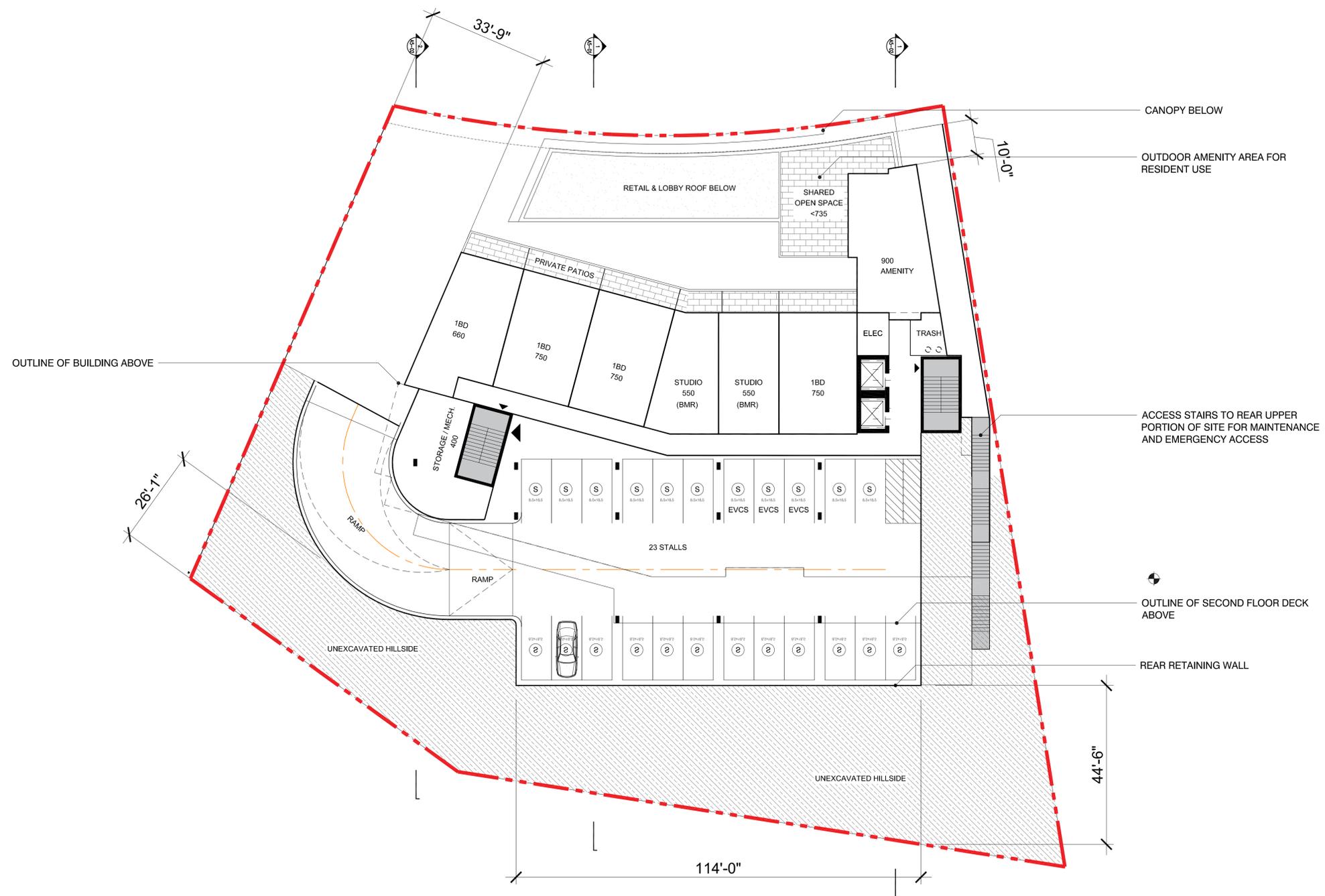
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PROJECT NUMBER 23.031

DESCRIPTION
SECOND FLOOR PLAN

SHEET NUMBER

A2.02

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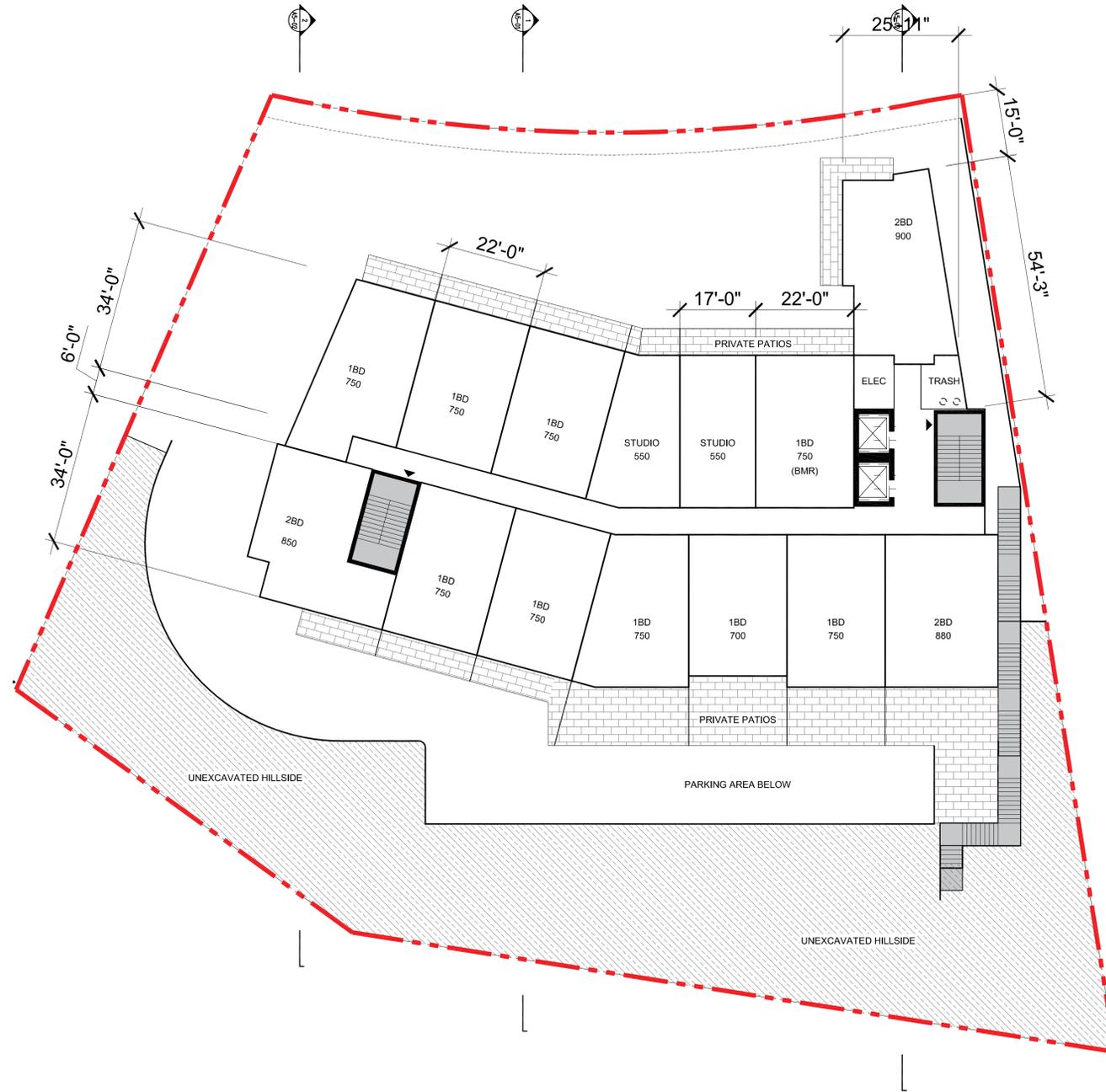
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THIRD FLOOR PLAN

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A2.03

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FOURTH FLOOR PLAN

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A2.04

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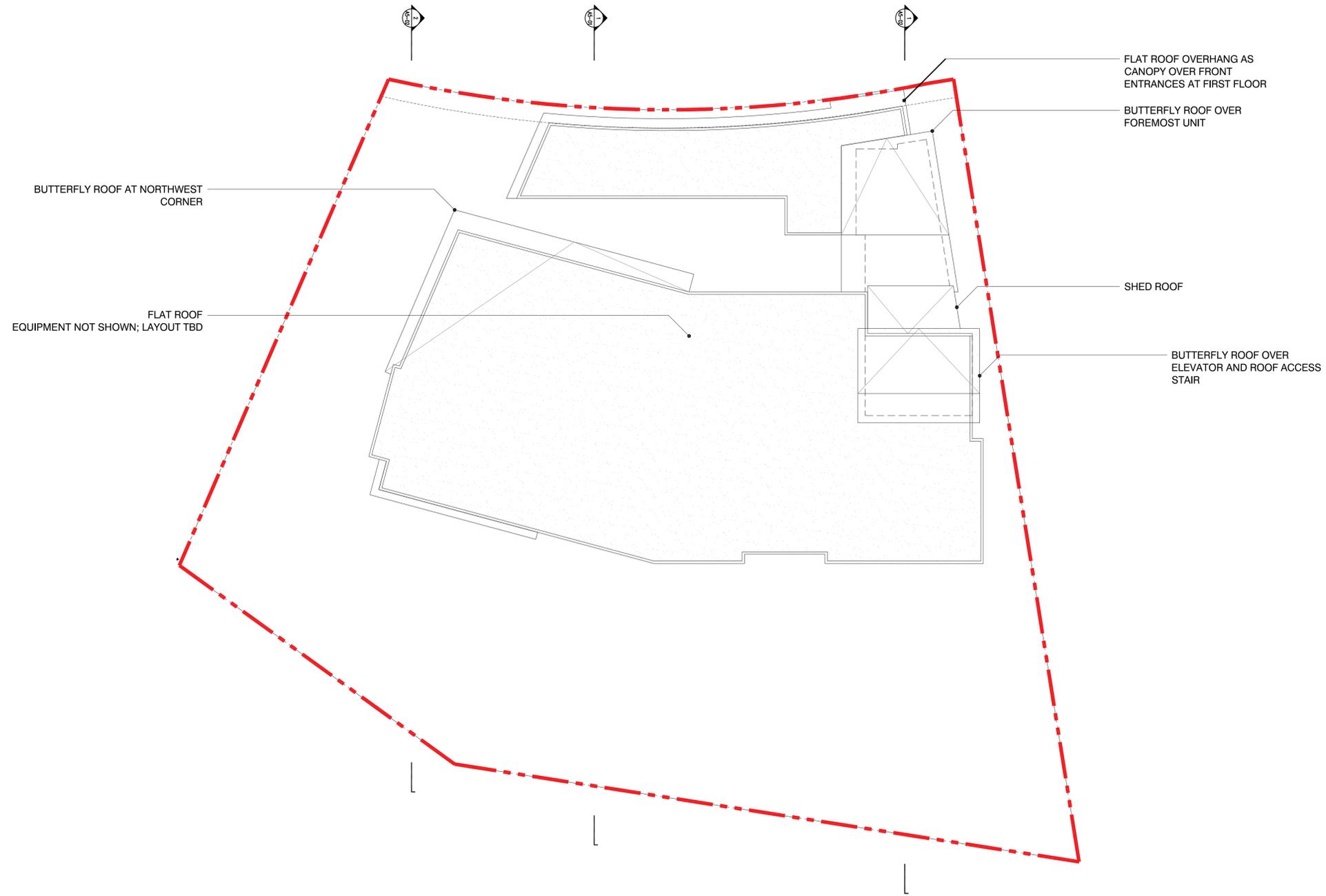
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0 4' 8' 16' 32'



KEYNOTES

- ST STUCCO (COLOR VARIES)
- MF CHARCOAL METAL FASCIA OR FRAME
- GLA1 PUNCHED WINDOW OR PATIO DOOR
- GLA2 STOREFRONT GLAZING
- BLOK MASONRY
- SCRN TIMBER OR FIBER CEMENT SCREEN
- TILE TILE OR TEXTURED STUCCO



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ST STUCCO 1
SCALE: N.T.S.



ST STUCCO 1
SCALE: N.T.S.



ST STUCCO 3
SCALE: N.T.S.



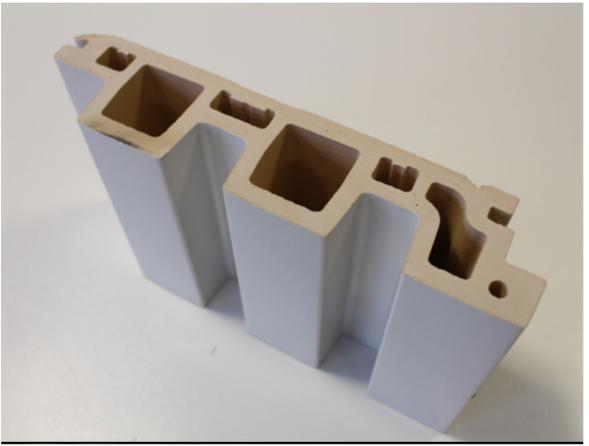
BLOK MASONRY 4
SCALE: N.T.S.



GLA1 PUNCHED WINDOW 5
SCALE: N.T.S.



GLA2 STOREFRONT GLAZING 6
SCALE: N.T.S.



TILE 7
SCALE: N.T.S.



SCRN PRIVACY SCREEN 8
SCALE: N.T.S.

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DESCRIPTION
MATERIAL LEGEND

SHEET NUMBER

A4.01

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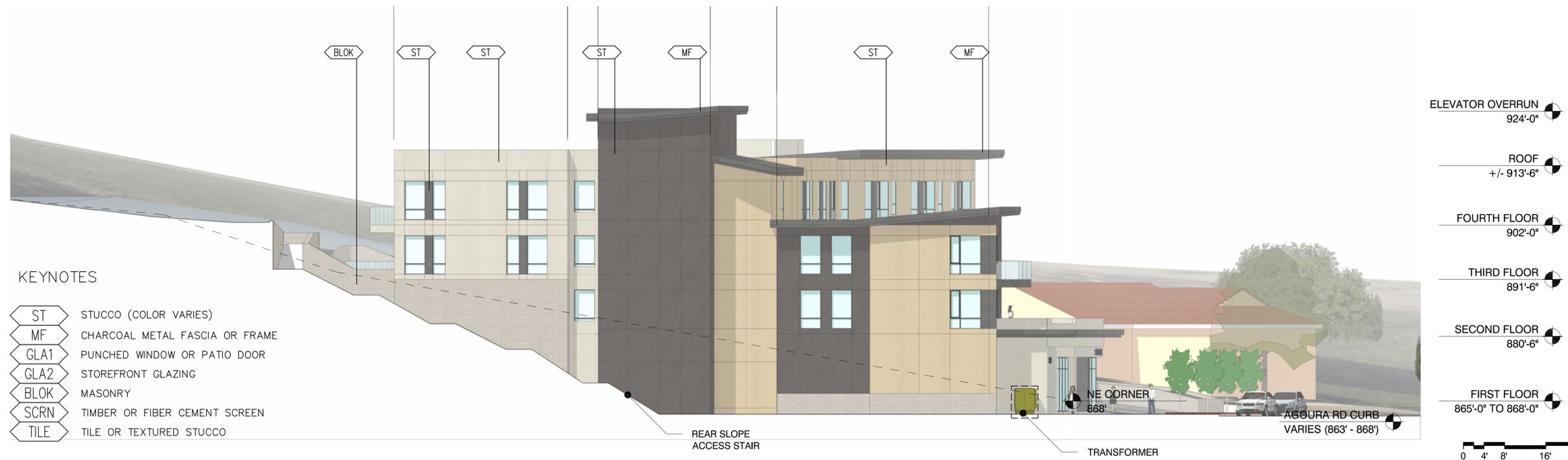
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NORTH (FRONT) ELEVATION
SCALE: 3/32" = 1'-0"

1



KEYNOTES

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- GLA1 PUNCHED WINDOW OR PATIO DOOR
- GLA2 STOREFRONT GLAZING
- BLOK MASONRY
- SCRN TIMBER OR FIBER CEMENT SCREEN
- TILE TILE OR TEXTURED STUCCO

- ELEVATOR OVERRUN 924'-0"
- ROOF +/- 913'-6"
- FOURTH FLOOR 902'-0"
- THIRD FLOOR 891'-6"
- SECOND FLOOR 880'-6"
- FIRST FLOOR 865'-0" TO 868'-0"

0 4' 8' 16' 32'

EAST (SIDE) ELEVATION
SCALE: 3/32" = 1'-0"

2

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BUILDING ELEVATIONS

SHEET NUMBER

A4.02

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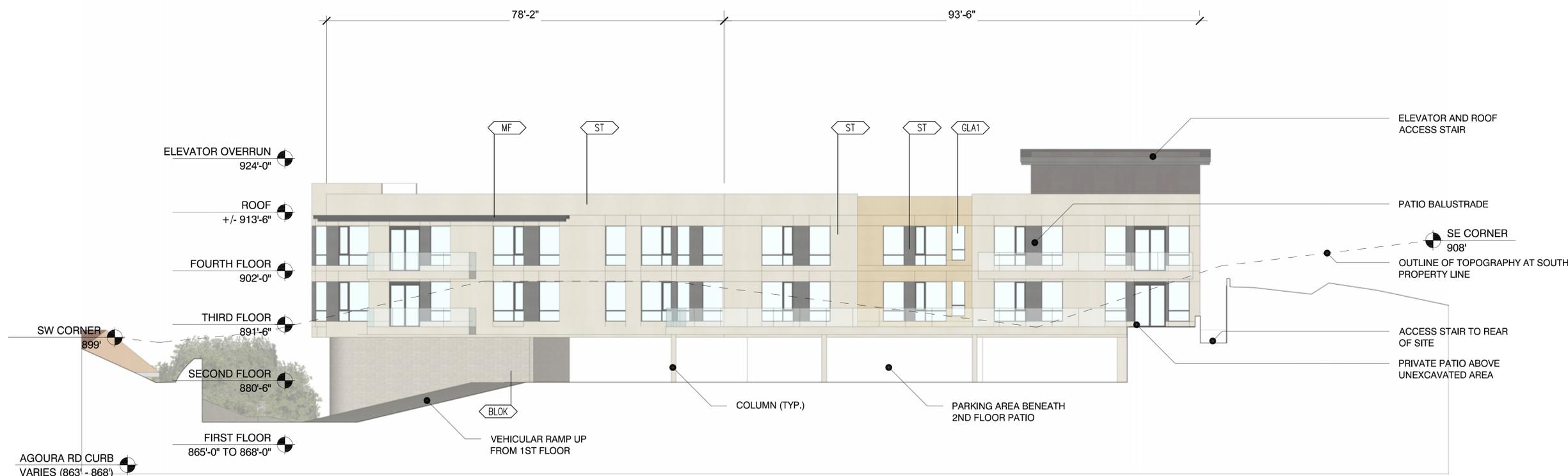
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OWNER NAME

AN INVESTMENTS INC.
22530 VENTURA BLVD.
WOODLAND HILLS
CA 91364



SOUTH (REAR) ELEVATION
SCALE: 3/32" = 1'-0"

1



KEYNOTES

- ST** STUCCO (COLOR VARIES)
- MF** CHARCOAL METAL FASCIA OR FRAME
- GLA1** PUNCHED WINDOW OR PATIO DOOR
- GLA2** STOREFRONT GLAZING
- BLOK** MASONRY
- SCRN** TIMBER OR FIBER CEMENT SCREEN
- TILE** TILE OR TEXTURED STUCCO

WEST (SIDE) ELEVATION
SCALE: 1/16" = 1'-0"

2

NO. DATE ISSUES AND REVISIONS BY

1. 11/09/23 AHO APPLICATION

DATE NOV. 3 2023

SCALE

PROJECT NUMBER 23.031

DESCRIPTION
BUILDING ELEVATIONS

SHEET NUMBER

A4.03

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PROJECT NAME

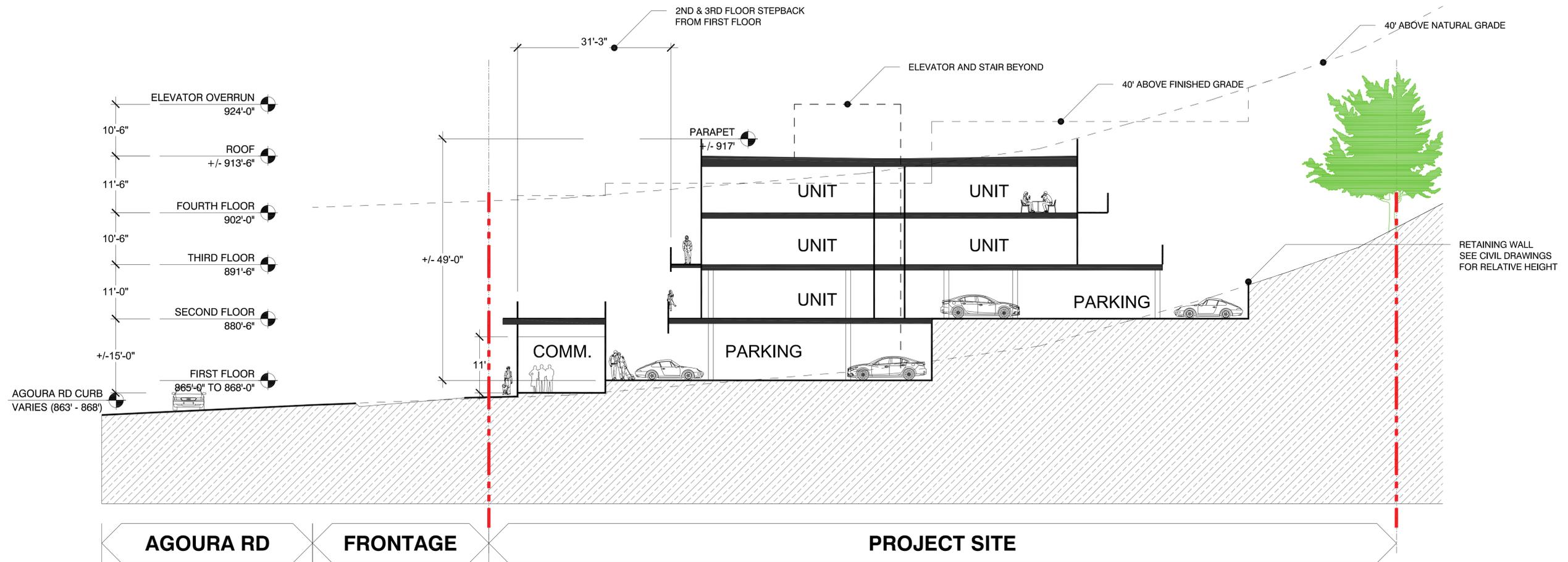
**VIVERE ELEGANS
APARTMENTS**

APN 2061-029-006

28902 AGOURA ROAD
AGOURA HILLS, CA 91301

OWNER NAME

AN INVESTMENTS INC.
22530 VENTURA BLVD.
WOODLAND HILLS
CA 91364



BUILDING SECTION
SCALE: 3/32" = 1'-0"

1

NO. DATE ISSUES AND REVISIONS BY

1. 11/09/23 AHO APPLICATION

DATE NOV. 3 2023

SCALE

PROJECT NUMBER 23.031

DESCRIPTION
BUILDING SECTION

SHEET NUMBER
A5.01

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PROJECT NAME

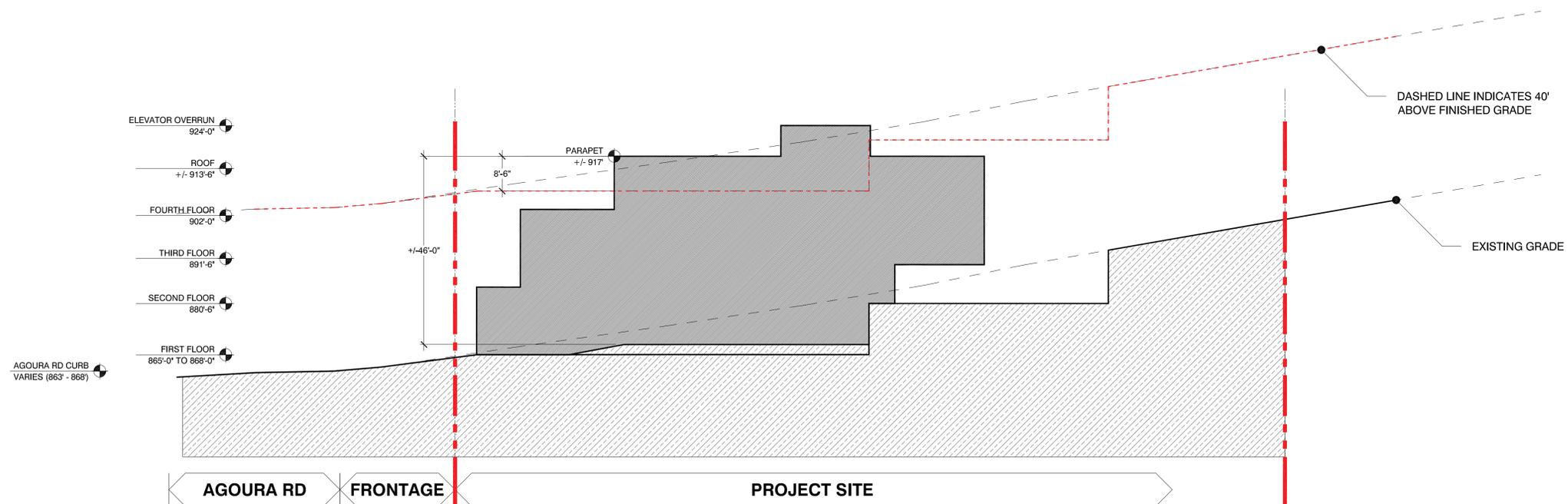
VIVERE ELEGANS APARTMENTS

APN 2061-029-006

28902 AGOURA ROAD
AGOURA HILLS, CA 91301

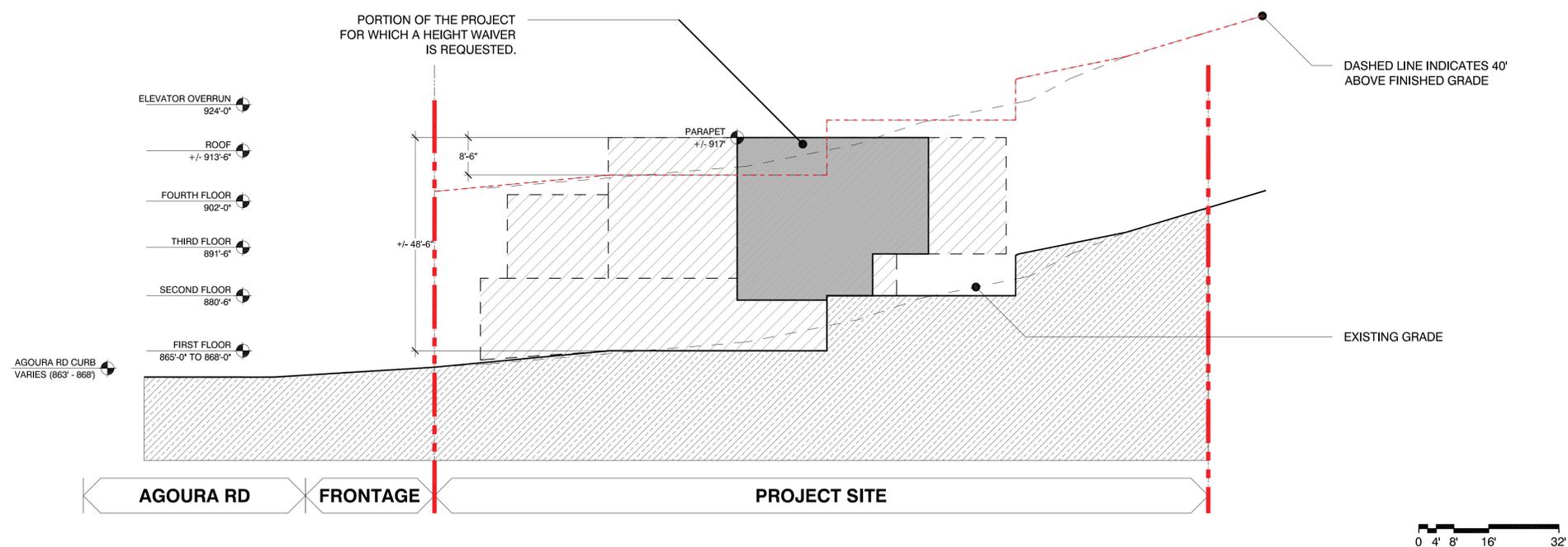
OWNER NAME

AN INVESTMENTS INC.
22530 VENTURA BLVD.
WOODLAND HILLS
CA 91364



SITE SECTION
SCALE: 1/16" = 1'-0"

1



SITE SECTION
SCALE: 1/16" = 1'-0"

2

NO. DATE ISSUES AND REVISIONS BY

1. 11/09/23 AHO APPLICATION

DATE NOV. 3 2023

SCALE

PROJECT NUMBER 23.031

DESCRIPTION

SITE
SECTIONS

SHEET NUMBER

A5.02

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