



VIVERE ELEGANS APARTMENTS

28902 AGOURA ROAD, AGOURA HILLS, CA 91301

PROJECT TEAM

OWNER:

AN INVESTMENTS INC.
22530 VENTURA BLVD.
WOODLAND HILLS, CA 91364

CONTACT: AVI EDRY
EMAIL: sales@valleydoorsgroup.com

ARCHITECT:

AXIS/GFA ARCHITECTURE + DESIGN
1000 BRANNAN ST. SUITE 404
SAN FRANCISCO, CA 94103

CONTACT: CORY CREATH
EMAIL: ccreath@axisgfa.com
PHONE: (415) 371-1400

CIVIL ENGINEER:

LABIB FUNK + ASSOCIATES
319 MAIN ST
EL SEGUNDO, CA 90245

CONTACT: FRANK LAROCCA
EMAIL: frank.larocca@labibfunk.com

LANDSCAPE ARCHITECT:

SEVEN ELK RANCH DESIGN INC.
100 BRADY LANE
HAMILTON, MT 59840

CONTACT: KAY J. GREELEY
EMAIL: kaygreeley@earthlink.net



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PROJECT NAME

VIVERE ELEGANS
APARTMENTS

APN 2061-029-006

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NO. DATE ISSUES AND REVISIONS BY

1. 11/09/23 AHO APPLICATION

DATE NOV. 3 2023

SCALE

PROJECT NUMBER 23.031

DESCRIPTION

COVER SHEET

SHEET NUMBER

G0.00

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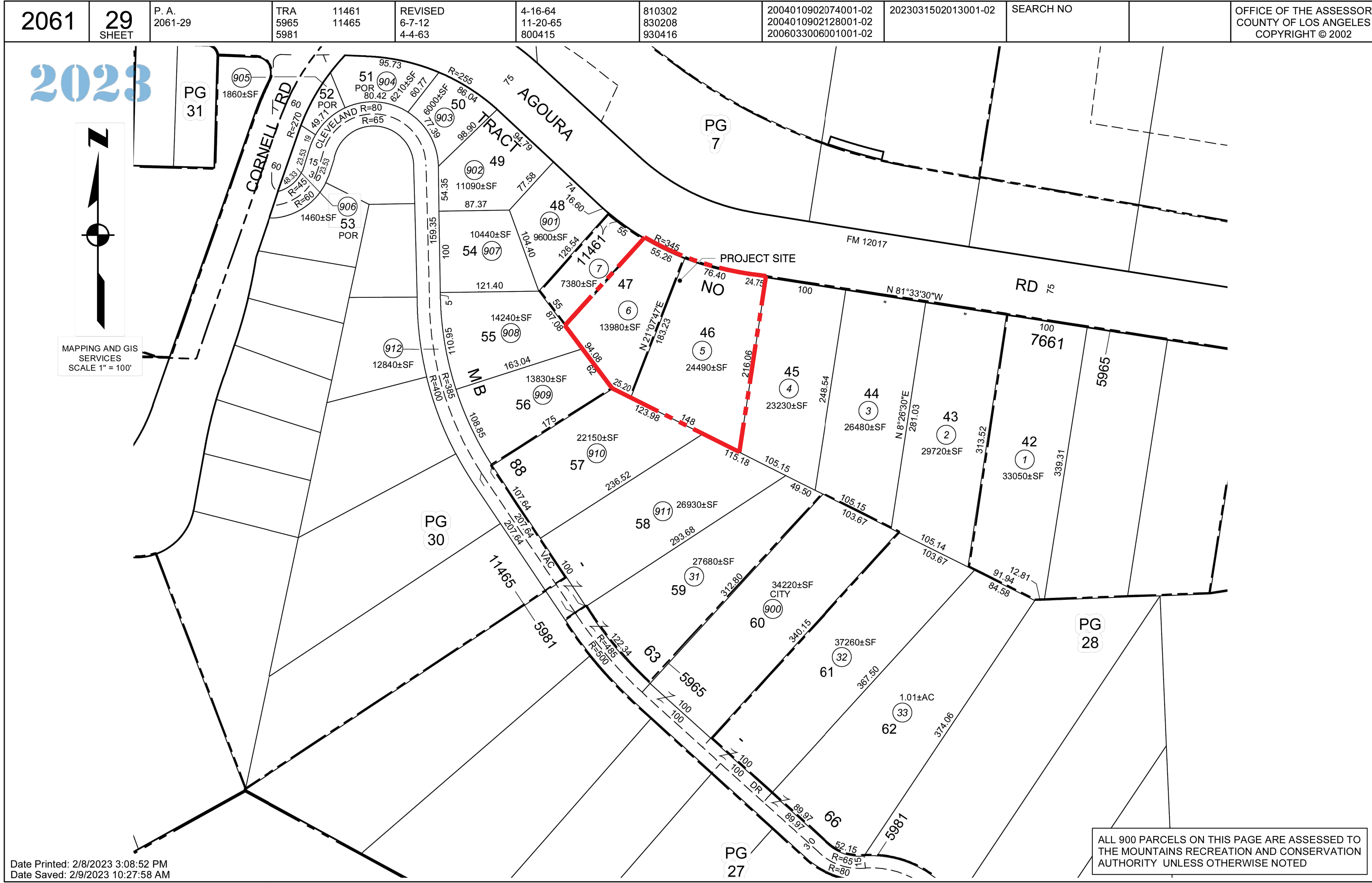
DESCRIPTION

PROJECT
LOCATION

SHEET NUMBER

G0.02

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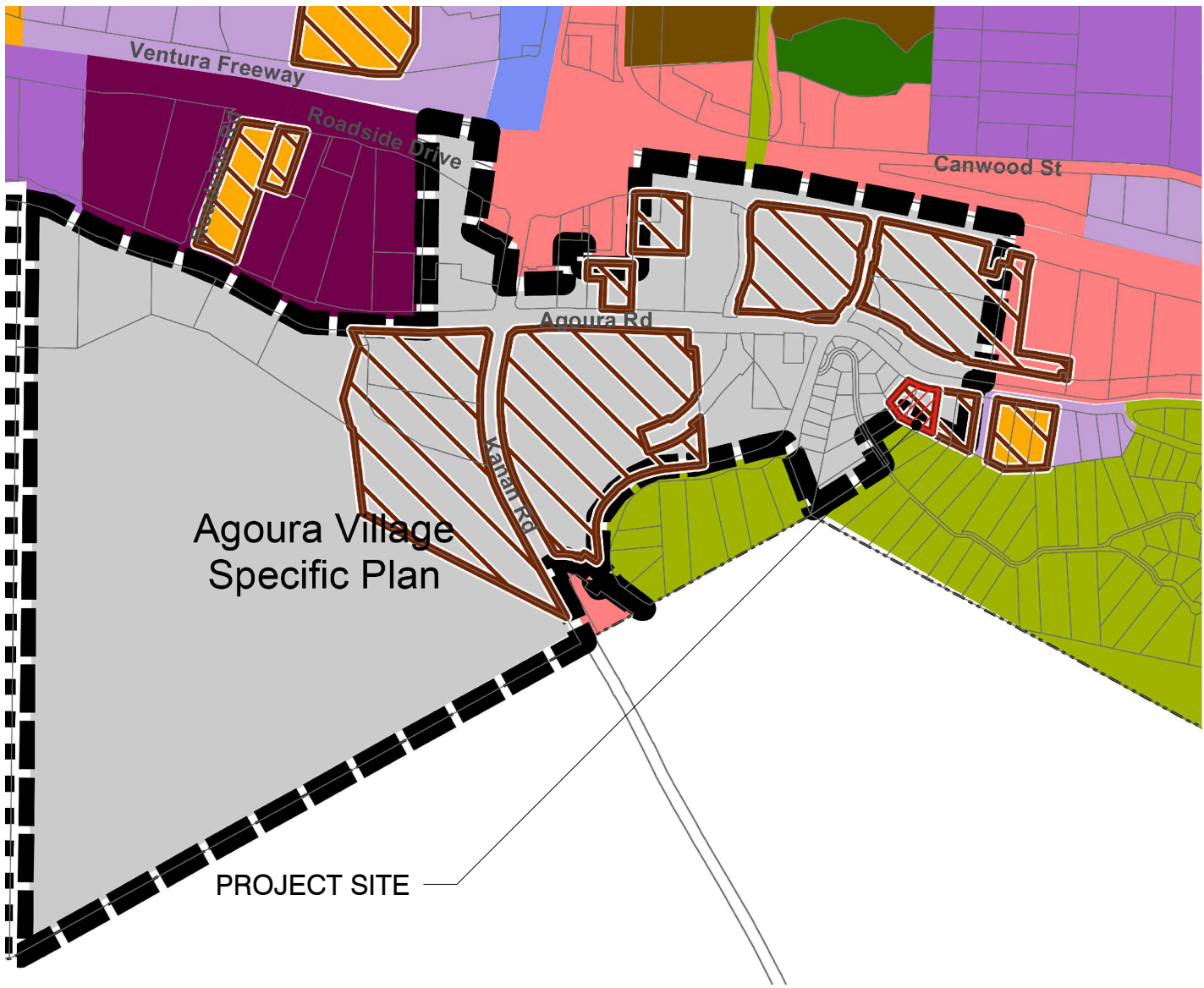


ASSESSOR'S MAP
SCALE: N.T.S.

1

CITY OF AGOURA HILLS
ZONING MAP

- Legend
- City Limits
 - County Boundary
 - Parcels
 - Very Low-Density Residential (<2 du/a) (RV)
 - Low Density Residential (1-2 du/a) (RL)
 - Single Family Residential (2-6 du/a) (RS)
 - Medium Density Residential (6-15 du/a) (RM)
 - High Density Residential (15-25 du/a) (RH)
 - Commercial Shopping Center (CS)
 - Commercial Retail/Service (CRS)
 - Commercial Recreational (CR)
 - Commercial Neighborhood (CN)
 - Commercial Shopping Center - Mixed Use (CS-MU)
 - Business Park Office Retail (BP-OR)
 - Business Park-Manufacturing (BP-M)
 - Planned Office and Manufacturing (POM)
 - School (SH)
 - Open Water (OW)
 - Utility (U)
 - Local Park (P)
 - Restricted Open Space (OS-R)
 - Open Space - Deed Restricted (OS-DR)
 - Specific Plan (SP)
 - PD (Refer to Ladyface Mountain Specific Plan)
 - PD (Refer to Agoura Village Specific Plan)
 - Affordable Housing Overlay (AH)



VICINITY & ZONING MAP
SCALE: N.T.S.

2



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[illegible]

SCALE

DESCRIPTION

CONCESSIONS & WAIVERS

G0.03

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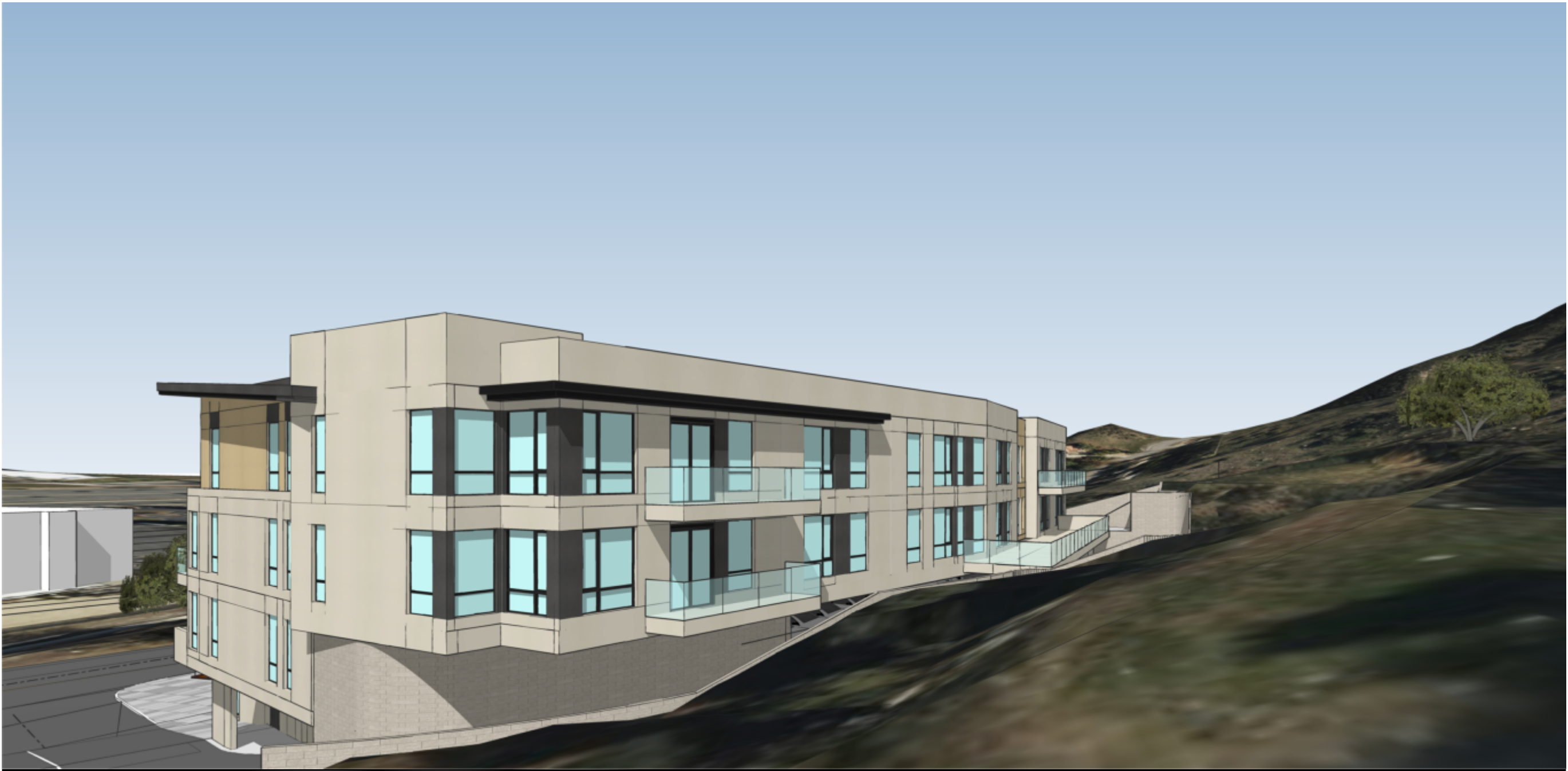
NE CORNER VIEW
SCALE: N.T.S. 1



NW CORNER VIEW
SCALE: N.T.S. 2



NORTH ENTRY VIEW
SCALE: N.T.S. 3



SW CORNER VIEW
SCALE: N.T.S. 4

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DATE	NOV. 3 2023
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SCALE

PROJECT NUMBER	23.031
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DESCRIPTION

PERSPECTIVE
VIEWS

SHEET NUMBER

G1.00

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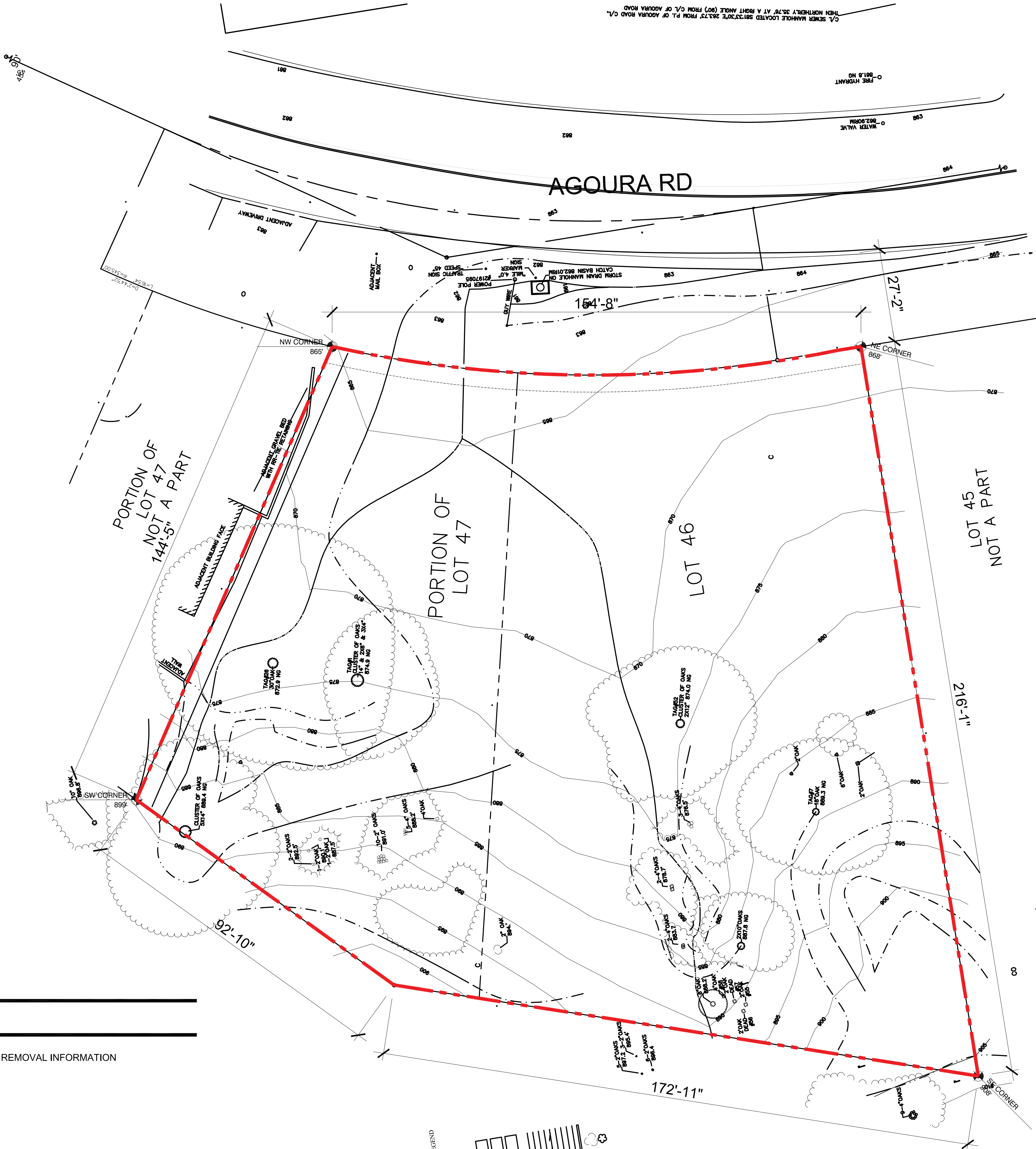
DESCRIPTION

SITE PLAN
(EXISTING)

SHEET NUMBER

A1.00

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NOTES

SEE LANDSCAPE DRAWINGS FOR TREE REMOVAL INFORMATION

SITE PLAN (EXISTING)
SCALE: 1/16" = 1'-0"



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PROJECT NUMBER 23.031

DESCRIPTION
SITE PLAN
(PROPOSED)

SHEET NUMBER

A1.01

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NOTES

THIS IS AN ARCHITECTURAL SITE PLAN ONLY. PLEASE SEE CIVIL DRAWINGS FOR
TOPOGRAPHY, GRADING, AND SITE INFRASTRUCTURE.

SITE PLAN
SCALE: 1/16" = 1'-0"

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SCALE

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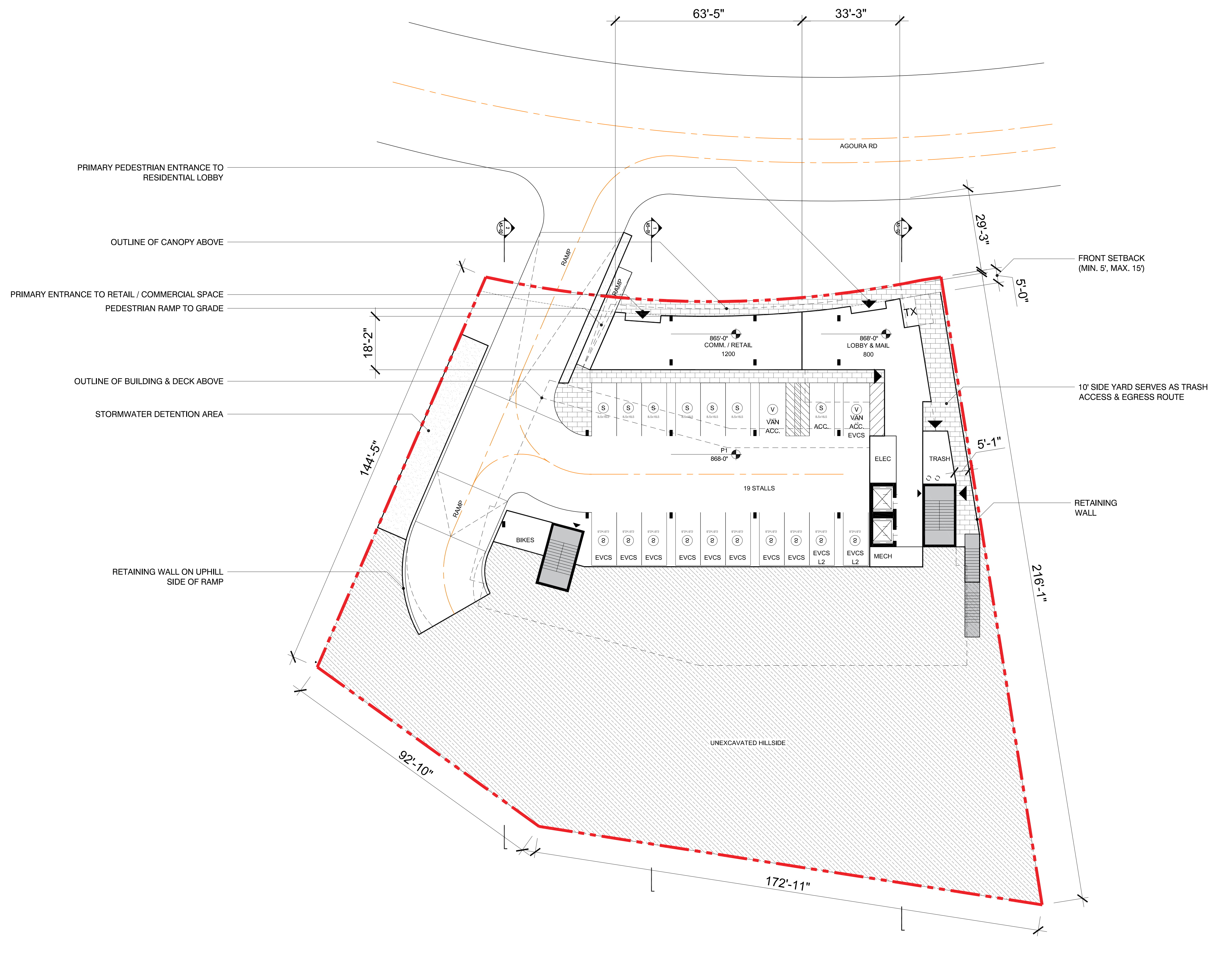
DESCRIPTION

FIRST FLOOR PLAN

SHEET NUMBER

A2.01

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FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



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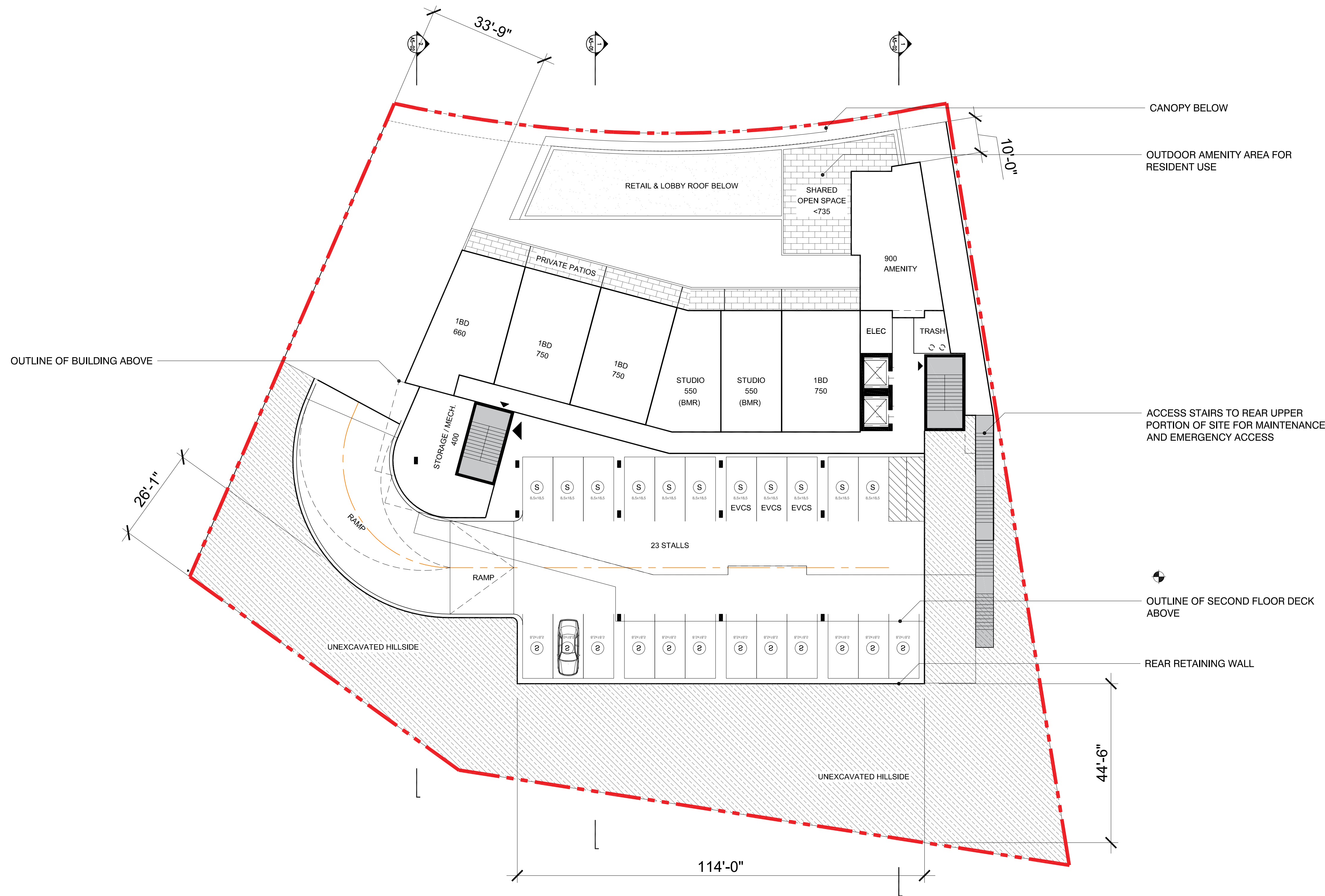
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PROJECT NUMBER

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DESCRIPTION

SECOND FLOOR PLAN

SHEET NUMBER

A2.02

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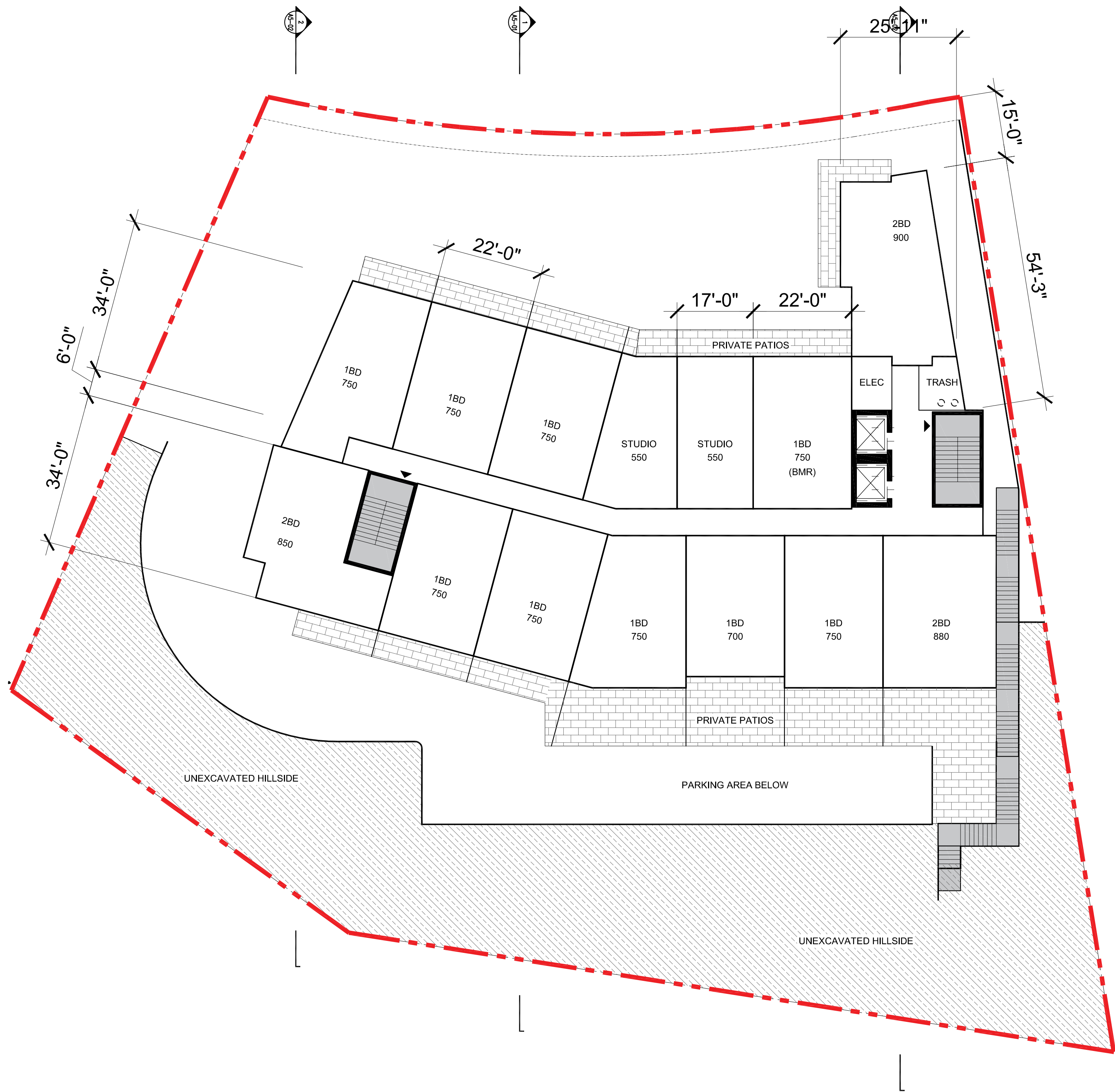
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DESCRIPTION
THIRD FLOOR PLAN

SHEET NUMBER

A2.03

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THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



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FOURTH FLOOR PLAN
SCALE: 1/16" = 1'-0"

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DESCRIPTION
FOURTH FLOOR PLAN

SHEET NUMBER

A2.04

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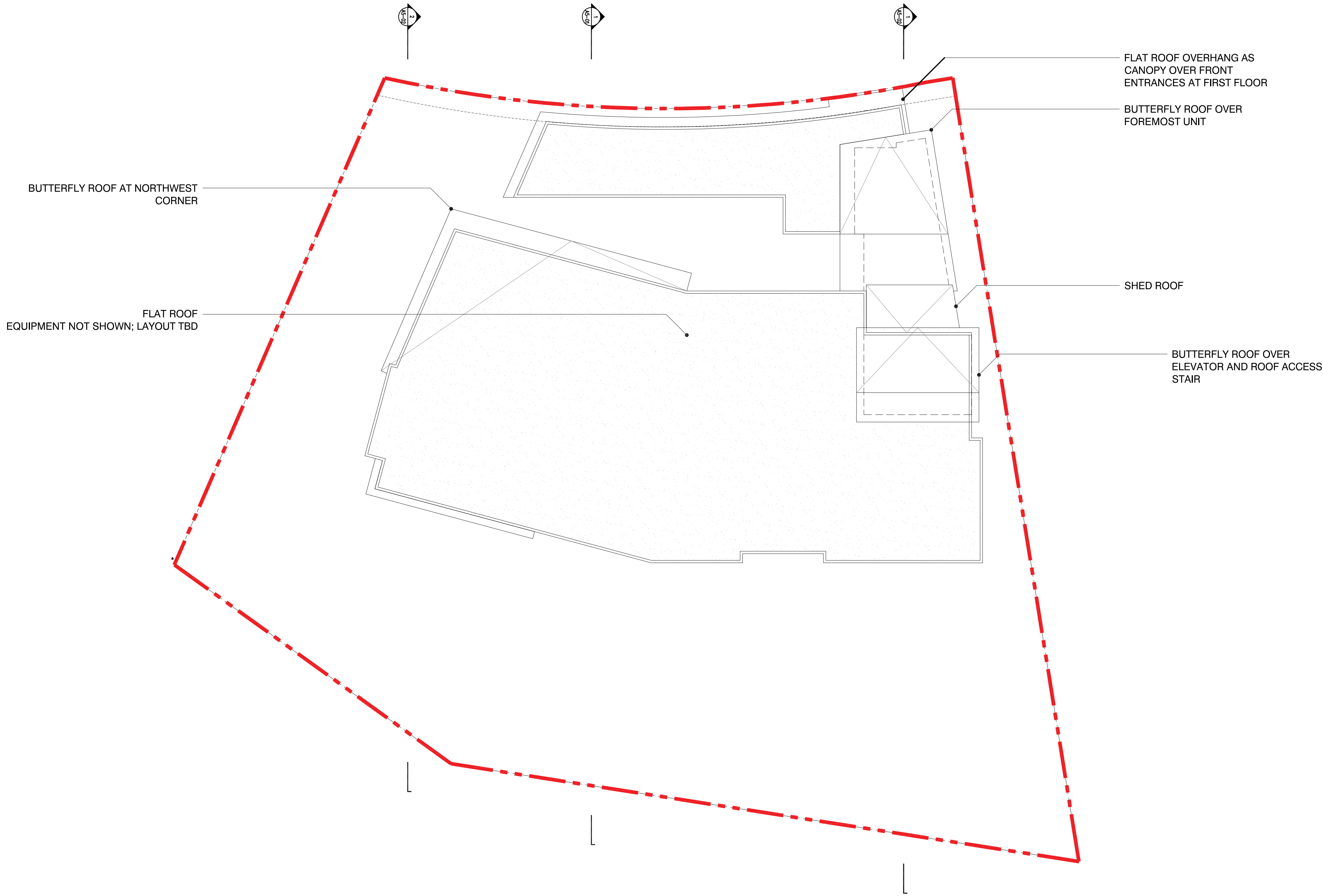
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0 4' 8' 16' 32'



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DESCRIPTION

ROOF PLAN

SHEET NUMBER

A2.05

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KEYNOTES

ST	STUCCO (COLOR VARIES)
MF	CHARCOAL METAL FASCIA OR FRAME
GLA1	PUNCHED WINDOW OR PATIO DOOR
GLA2	STOREFRONT GLAZING
BLOK	MASONRY
SCRN	TIMBER OR FIBER CEMENT SCREEN
TILE	TILE OR TEXTURED STUCCO

ST STUCCO
SCALE: N.T.S.

1

ST STUCCO
SCALE: N.T.S.

1



ST STUCCO
SCALE: N.T.S.

3



BLOK MASONRY
SCALE: N.T.S.

4



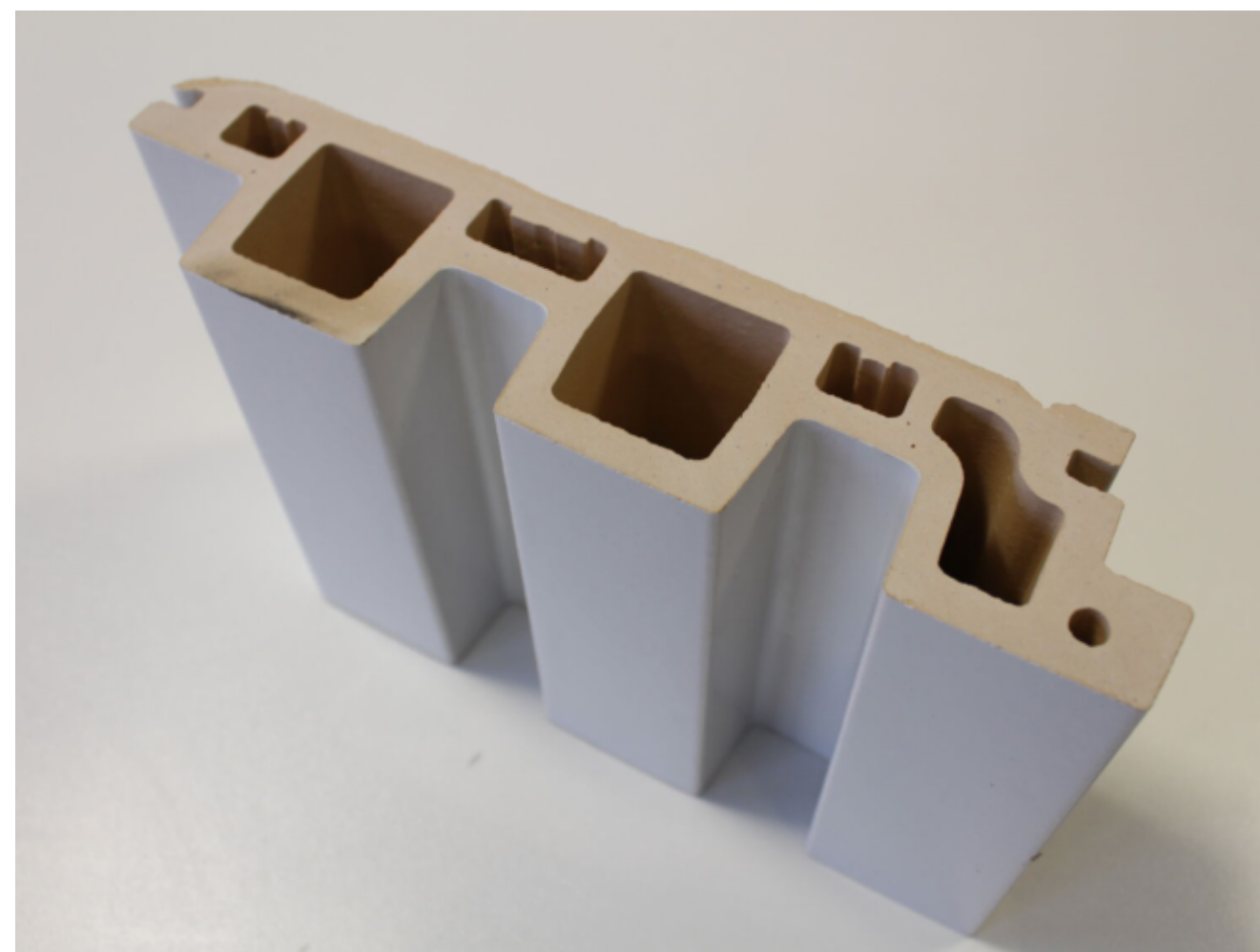
GLA1 PUNCHED WINDOW
SCALE: N.T.S.

5



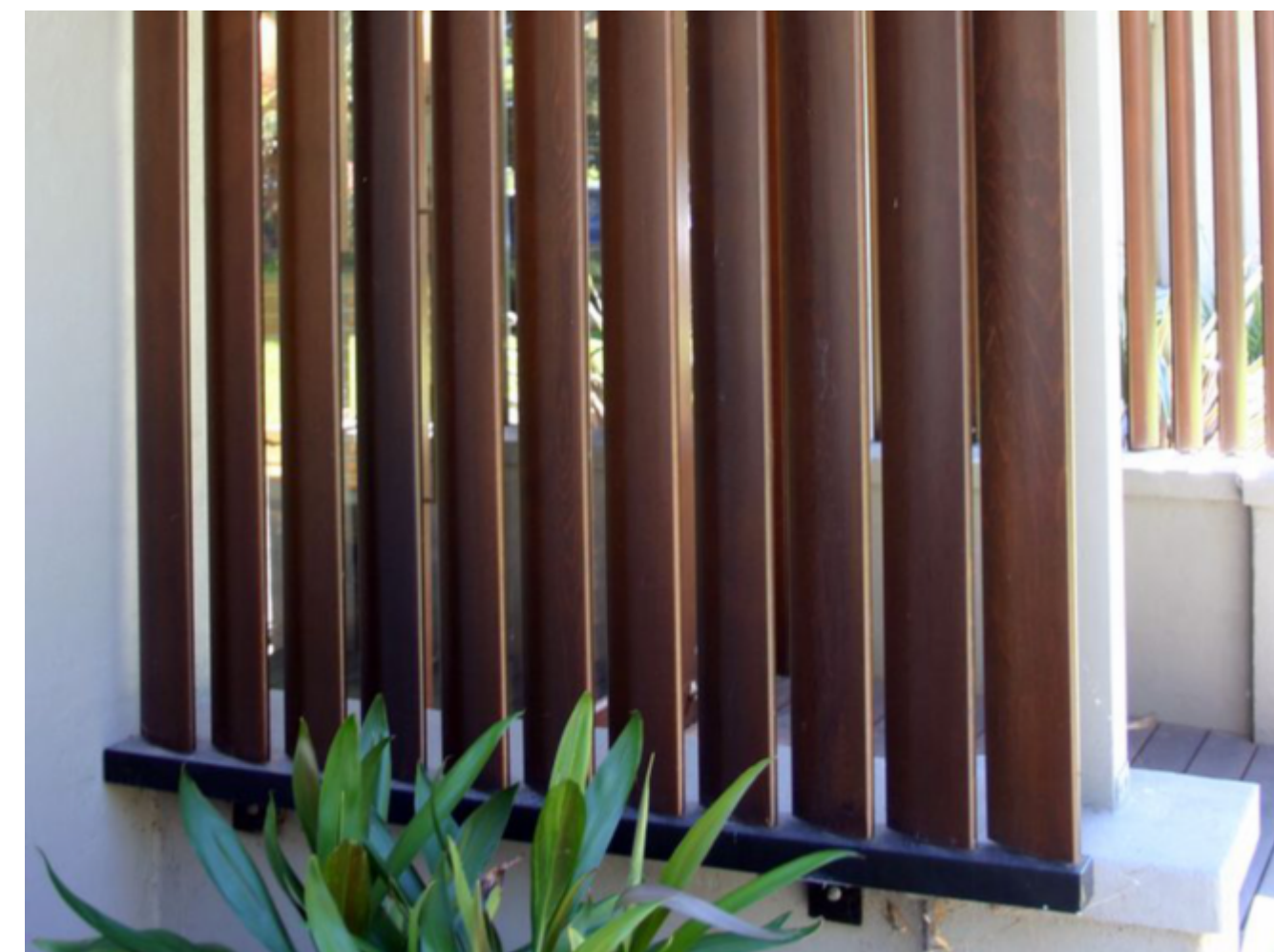
GLA2 STOREFRONT GLAZING
SCALE: N.T.S.

6



TILE
SCALE: N.T.S.

7



SCRN PRIVACY SCREEN
SCALE: N.T.S.

8

[illegible]

DATE NOV. 3 2023

SCALE

PROJECT NUMBER 23.031

MATERIAL LEGEND

SHEET NUMBER

A4.01

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NORTH (FRONT) ELEVATION
SCALE: 3/32" = 1'-0"

1



KEYNOTES

- ST STUCCO (COLOR VARIES)
- MF CHARCOAL METAL FASCIA OR FRAME
- GLA1 PUNCHED WINDOW OR PATIO DOOR
- GLA2 STOREFRONT GLAZING
- BLOK MASONRY
- SCRN TIMBER OR FIBER CEMENT SCREEN
- TILE TILE OR TEXTURED STUCCO

EAST (SIDE) ELEVATION
SCALE: 3/32" = 1'-0"

2

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DESCRIPTION
BUILDING ELEVATIONS

SHEET NUMBER

A4.02

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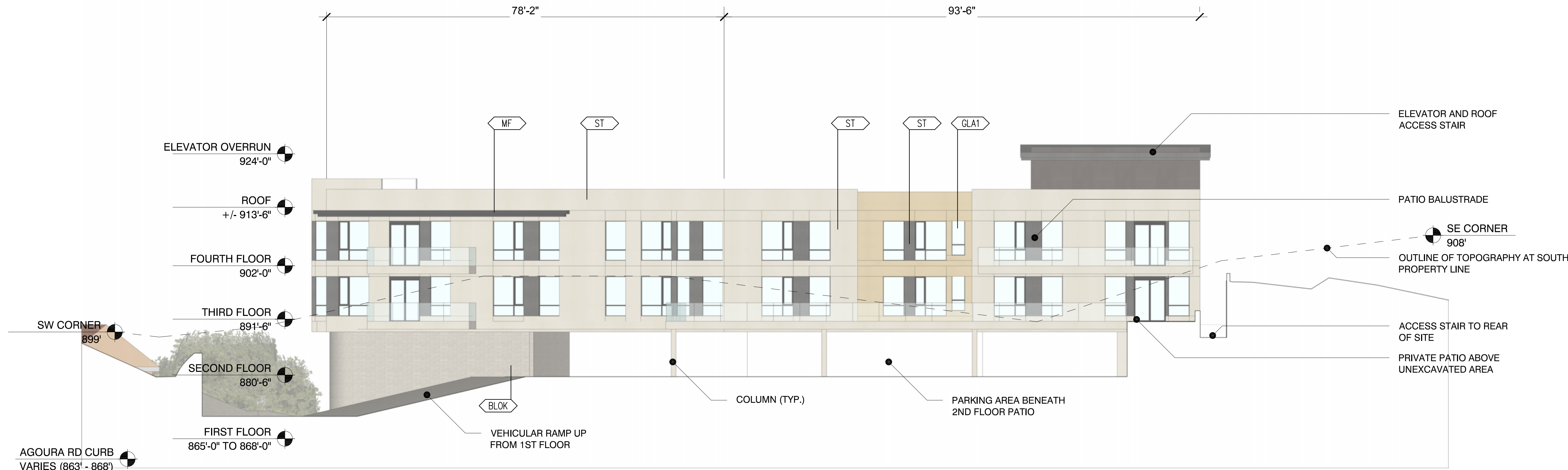
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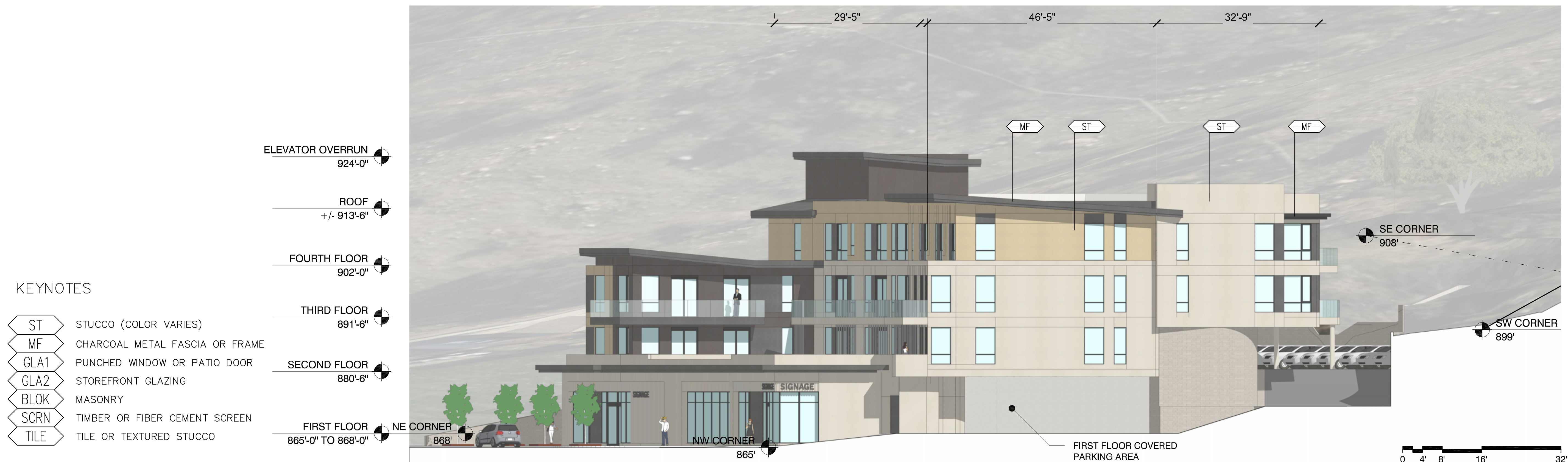
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SOUTH (REAR) ELEVATION
SCALE: 3/32" = 1'-0"

1



WEST (SIDE) ELEVATION
SCALE: 1/16" = 1'-0"

2

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DESCRIPTION
BUILDING ELEVATIONS

SHEET NUMBER

A4.03

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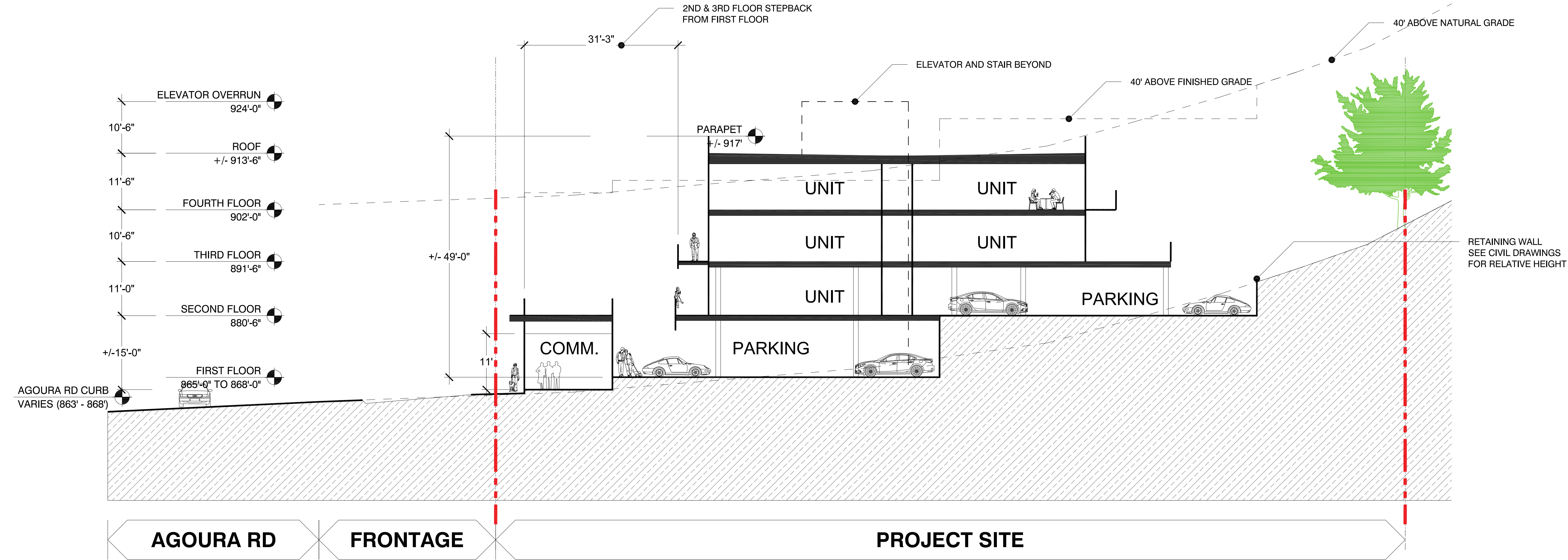
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BUILDING SECTION
SCALE: 3/32" = 1'-0"

1

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DESCRIPTION
BUILDING SECTION

SHEET NUMBER

A5.01

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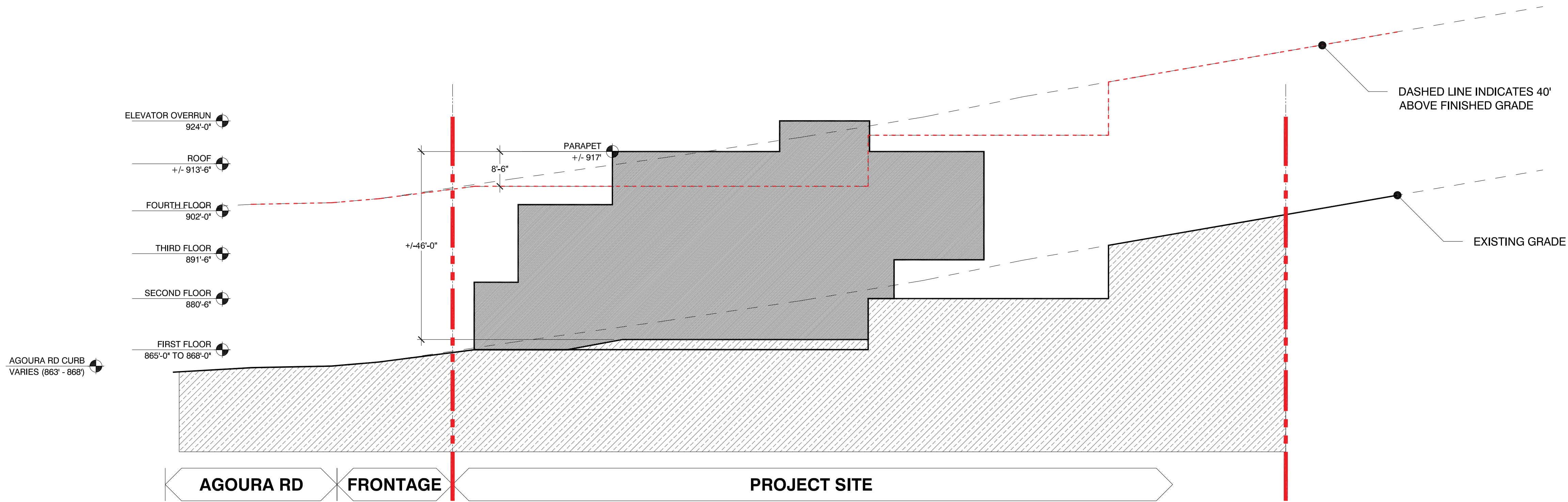
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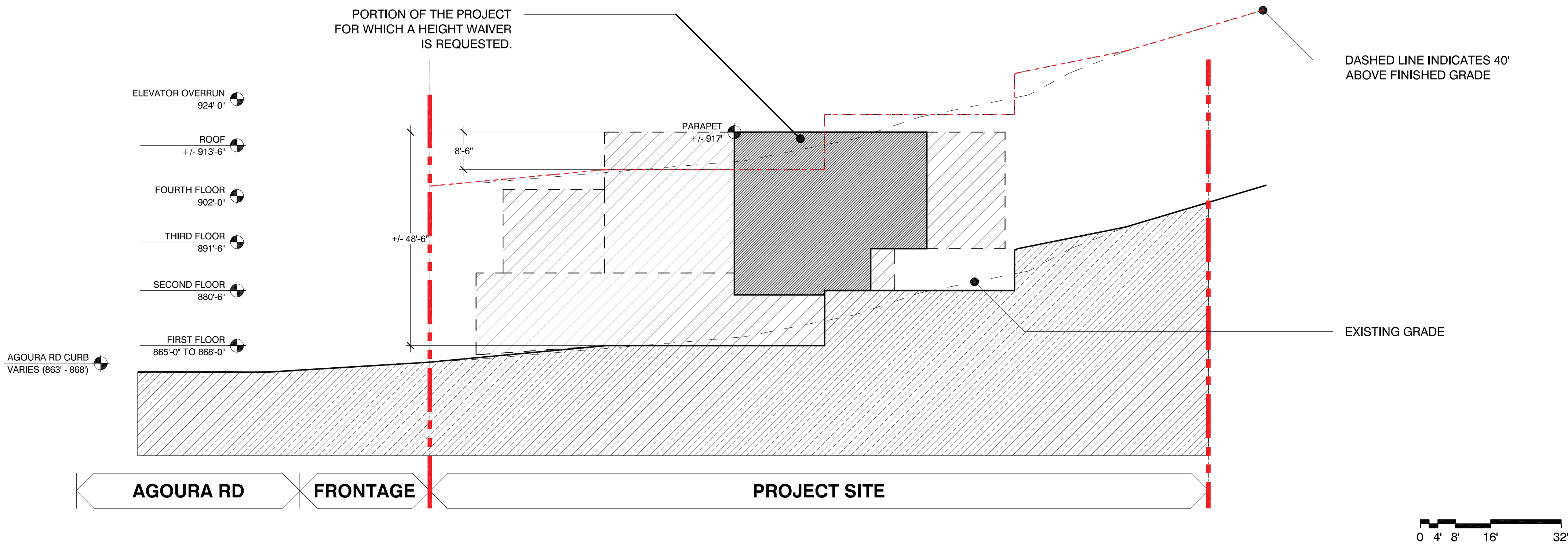
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SITE SECTION
SCALE: 1/16" = 1'-0"

1



SITE SECTION
SCALE: 1/16" = 1'-0"

2

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DESCRIPTION

SITE
SECTIONS

SHEET NUMBER

A5.02

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