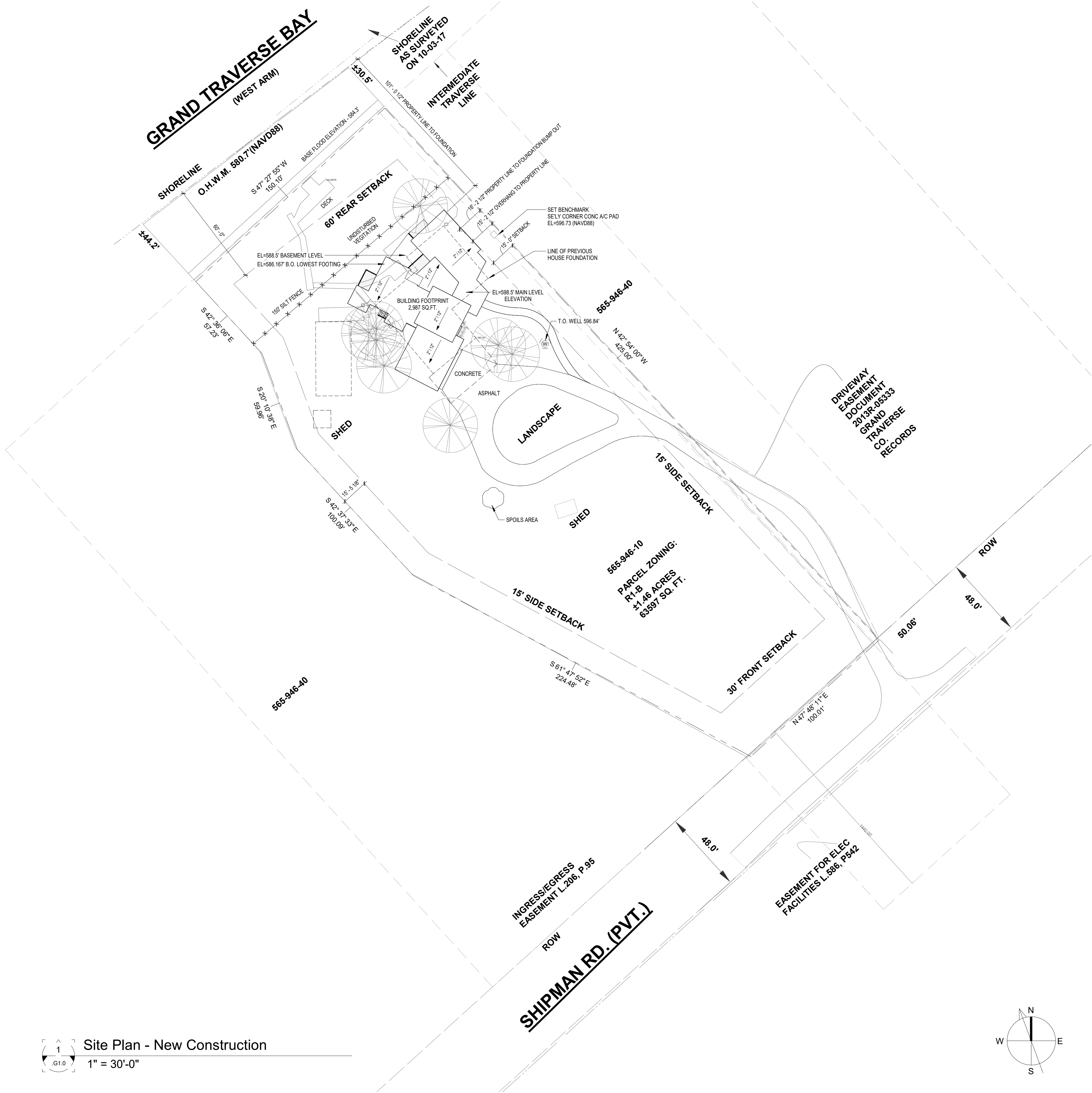




TAX LOT#	28-11-565-946-10
ZONED:	R1-B
FRONTYARD:	30'
SIDEYARD:	15'
REARYARD:	60'
MAX HEIGHT:	35'
BASEMENT:	1,889 sq.ft.
MAIN LEVEL:	1,906 sq.ft.
SECOND LEVEL:	213 sq.ft.
GARAGE:	662 sq.ft.
TOTAL HOUSE:	4,670 sq.ft.
BUILDING FOOTPRINT:	2,987 sq.ft.
TOTAL LOT AREA:	63,597 sq.ft.
PERCENT OF COVERAGE:	4.7 %
BLDG USE TYPE:	Single Family Residential
CONST TYPE:	V-B
BLDG HEIGHT:	27'- 2"
ROOF LIVELOAD:	60 psf
ROOF DEADLOAD:	15 psf
FLOOR LIVELOAD:	20 psf



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REVISIONS		
No.	Description	Date
0	FOR PERMITS	06/05/18

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DRAWING INDEX:

SHEET #	SHEET NAME
G1.0	SITE PLAN
G2.0	NOTES
A1.0	FOUNDATION PLAN
A1.1	BASEMENT PLAN
A1.2	MAIN LEVEL PLAN
A1.3	SECOND LEVEL PLAN
A1.4	ROOF PLAN & 3D DETAILS
A1.5	MAIN LEVEL - FRAMING PLAN
A1.6	SECOND LEVEL - FRAMING PLAN
A2.0	ELEVATIONS - NORTH & EAST
A2.1	ELEVATIONS - SOUTH & WEST
A4.0	BUILDING SECTIONS & DETAILS
A4.1	BUILDING SECTIONS & DETAILS
A4.2	SECTIONS & DETAILS - ENTRY
A5.0	WALL SECTIONS & DETAILS
A5.1	ICF BLOCK DETAILS
A6.0	Quantities & Schedules
A6.1	Quantities & Schedules
A10.0	3D VIEWS

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

.G1.0

DRAWN BY:	JAG	REVIEWED BY:	CWS
DATE:	6-05-2018	PROJECT NUMBER:	1714.00

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GENERAL NOTES

1.

USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
2.

CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND CONFLICTS. ANY DISCREPANCIES IN PLANS DETAILS AND OTHER DOCUMENTS SUPPLIED BY ARCHITECT MUST BE REPORTED TO ARCHITECT AT ONCE.
3.

'PER OWNER' MEANS SUPPLIED AND INSTALLED BY CONTRACTOR PER OWNERS' SPECIFICATIONS.
4.

'BY OWNER' MEANS SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
5.

'NIC' MEANS NOT IN CONTRACT.
6.

'VIF' MEANS VERIFY IN FIELD.
7.

WINDOWS AND DOORS ARE DIMENSIONED TO CENTER OF ROUGH OPENING. REFER TO MANUFACTURERS' LITERATURE FOR ROUGH OPENING SIZES.

INSULATED CONCRETE FORMS:

GENERAL

SUPPLY AND INSTALL STAY-IN-PLACE INSULATING CONCRETE FORMS FOR STRUCTURAL CAST-IN-PLACE WALLS, WHICH INCLUDES INSTALLATION OF STEEL REINFORCEMENT AND PLACEMENT OF THE CONCRETE WITHIN THE INSULATING CONCRETE FORMS. SUBMIT MANUFACTURER'S PRODUCT DATA AND INSTALLATION INSTRUCTIONS. SUBMIT TEST DATA FOR MATERIAL USED. SHOP DRAWINGS, DETAILS OF CONSTRUCTION AND STRUCTURAL CALCULATIONS AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT. PROVIDE ALL LABOR MATERIALS TOOLS AND EQUIPMENT AS REQUIRED FOR INSTALLATION OF INSULATING CONCRETE FORMS. PROVIDE LABOR TO INSTALL STEEL REINFORCEMENT AND PLACE CONCRETE INTO INSULATING CONCRETE FORMS.

MATERIALS

- INSULATING CONCRETE FORMS:
1.

SHALL CONSIST OF TWO PANELS OF EXPANDED POLYSTYRENE OF NORMAL DENSITY (1.5 PCF) CONNECTED BY PLASTIC TIES.
2.

TO BE RECESSED 1/2 INCH BEHIND EACH FACE OF EXPANDED POLYSTYRENE
3.

TO BE LOCATED 8" O.C. TO PROVIDE A 1 1/4" WIDE FULL HEIGHT VERTICAL FURRING STRIP TO SECURE EXTERIOR AND INTERIOR FINISHES SHALL BE THE FLAT WALL TYPE WITH A UNIFORM 6" OR 8" CONCRETE WALL THICKNESS SHALL PROVIDE A CALCULATED R-22 INSULATION VALUE CHARACTERISTICS.
4.

MANUFACTURERS:

QUADLOCK
5.

INSTALL. BUILD AND PLACE WINDOW AND DOOR OPENINGS AS WELL AS THROUGH WALL PENETRATIONS, SLEEVES AND BRACKETS INTO INSULATION CONCRETE FORMS.

CONCRETE

1.

CONCRETE SUPPLIED UNDER THIS SECTION SHALL MEET 4000 PSI COMPRESSIVE STRENGTH AS SPECIFIED BY THE DESIGN ENGINEER. CONCRETE MIX SHALL INCLUDE A CONCRETE SLUMP OF 5.5" TO 6.5" AND A LARGE AGGREGATE SIZE OF 3/8" TO 1/2" DIAMETER. SUBMIT QUALITY CONTROL DATA FOR CONCRETE MIXTURE DESIGN PER SECTION 03300 IN COMPLIANCE WITH LOCAL BUILDING CODE.
2.

CAST-IN-PLACE WALLS SHALL INCLUDE THE CONSTRUCTION OF EXTERIOR LOAD BEARING WALLS. PROVIDE ALL BRACING AND SCAFFOLDING TO SHORE WALLS AND OPENINGS FOR CONCRETE POUR AND SET BEARING PLATES, ANCHOR BOLTS OR PLATE ANCHORS AS REQUIRED.
3.

STANDARDS:

ACI 301 STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE

ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

WRITTEN COPY OF MANUFACTURER'S PRODUCT WARENTY TO BE PROVIDED

STEEL REINFORCEMENT

1.

STEEL REINFORCEMENT SHALL BE SUPPLIED AND PLACED IN THE FORMWORK AS SPECIFIED BY THE DESIGN ENGINEER
2.

VERTICAL DOWELS TO BE PLACED AS SPECIFIED PER THE DESIGN
3.

SUBMIT REINFORCEMENT SCHEDULE

AUXILIARY MATERIALS

1.

SUFFICIENT BRACING, WALL ALIGNMENT AND SCAFFODING
2.

WATERPROOFING MATERIALS FOR BELOW GRADE APPLICATIONS
3.

EXTERIOR FINISHES
4.

INTERIOR FINISHES TO MEET CODE REQUIREMENT FOR 15 MIN. THERMAL BARRIER
5.

DOOR AND WINDOW OPENING "BUCKS"
6.

PENETRATION AND SLEEVE MATERIAL
7.

ANCHORS AND ANCHOR BOLTS
8.

CAST IRON SLEEVE FOR SUMP PUMP DISCHARGE PIPING. REFER TO LANDSCAPE DRAWINGS.

INSTALLATION

1.

INSTALLATION OF FORMS AND CONTRACTOR'S WORK MUST BE IN ACCORDANCE TO MANUFACTURER'S MANUAL AND TRAINING PROCURES INCLUDING:

- PLACEMENT OF FORMS AND CHECKING WALL ALIGNMENT

- PLACEMENT OF STEEL REINFORCEMENT

- PLACEMENT OF CONCRETE

- INSTALLATION OF DOOR AND WINDOW CONSTRUCTION

- PROVISION OF BRACING AND SCAFFOLDING

- INSTALLATION OF ANCHORS, ANCHOR BOLTS AND PENETRATIONS

- REVIEW OF PRE-POUR CHECKLIST
2.

CAST-IN-PLACE CONCRETE WALLS ARE TO BE LEVEL, PLUMB, SQUARE, STRAIGHT AND CONFORM TO ALL DIMENSIONS PER CONSTRUCTION DOCUMENTS.
3.

PREPARATION:

- CLEAN TOP OF FOOTINGS PRIOR TO ERECTION OF FORMS

- VERIFY FOOTINGS ARE INSTALLED WITHIN ± 1/4" OF LEVEL AND HEIGHTS OF STEP FOOTINGS

- VERIFY STEEL REINFORCEMENT (VERTICAL DOWELS) ARE IN PLACE AS SPECIFIED

- DURING INSTALLATION BRACING AND SHORING ARE TO BE IN PLACE TO PROTECT WALLS FROM WIND AND WEATHER CONDITIONS.
5.

MATERIAL HANDLING:

- COORDINATE ALL MATERIAL DELIVERIES TO MEET CONSTRUCTION SCHEDULES.

- DELIVER FORMS IN ORIGINAL FACTORY PACKAGING WITH PRODUCT LISTING LABEL AND MANUFACTURING LABEL.

-HANDLE AND STORE THE FORMS TO PREVENT DAMAGE AND DETERIORATION. PROVIDE

- PROVIDE TEMPORARY COVERAGE OF INSTALLED INSULATION FORMS TO REDUCE EXPOSURE TO ULTRA VIOLET LIGHT SHOULD FINAL FINISH APPLICATION BE DELAYED LONGER THAN 60 DAYS.
6.

PROTECT CONCRETE AFTER PLACEMENT DURING PERIODS WHEN THE WEATHER IS BELOW MINIMUMS SPECIFIED BY THE BUILDING CODE, INCLUDING:

- SUPPLEMENTARY HEATING WHEN REQUIRED

- APPROPRIATE MEASURES FOR PROTECTION
7.

SERVICE PENETRATIONS:

- ELECTRICAL SERVICE CONDUITS, WATER SERVICE PIPING, AIR SUPPLY, AND EXHAUST DUCTS, ETC. SHALL BE COORDINATED AND INSTALLED AT THE REQUIRED LOCATIONS BY THE APPROPRIATE TRADE.

- BOX-OUTS EXCEEDING 16" IN AREA ARE TO BE REINFORCED SLEEVES FOR SERVICES TO BE INSTALLED AT A LATER DATE.

FOOTINGS

1.

CONTRACTOR SHALL VERIFY ALL CONDITIONS, INCLUDING UNDERGROUND UTILITIES AND FILED MEASUREMENTS AT JOB SITE AND REPORT ANY DISCREPANCIES TO OWNER BEFORE PROCEEDING WITH THE WORK.
2.

PROVIDE NECESSARY SHEETING, SHORING, BRACING, ETC. AS REQUIRED DURING EXCAVATION TO PROJECT SIDES OF EXCAVATION.
3.

COMPLY FULLY WITH REQUIREMENTS OF OSHA AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.
4.

IN ALL CASES FOOTINGS ARE TO BEAR ON UNDISTURBED NATURAL SOILS HAVING A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 3000 P.S.F. VERIFICATION IS THE RESPONSIBILITY OF THE CONTRACTOR, AND WHERE NECESSARY INVESTIGATED BY A QUALIFIED SOILS ENGINEER.

STEEL

1.

ALL STEEL MEMBERS TO BE A-36 GRADE OR BETTER.

FIRE STOPPING

1.

PROVIDE FLOOR CAVITY DRAFT STOPPING PER MICHIGAN BUILDING CODE.

WOOD CONSTRUCTION

1.

ROUGH CARPENTRY CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO START OF FABRICATION OR CONSTRUCTION AND NOTIFY OWNER OF ANY DISCREPANCY.
2.

ALL LUMBER FRAMING AND TRUSSES SHALL CONFORM TO APPLICABLE SECTIONS OF LATEST SPECIFICATIONS OF NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS, TRUSS PLATE INSTITUTE, AMERICAN PLYWOOD ASSOCIATION, TRUSS JOIST CORPORATION, NATIONAL FOREST PRODUCTS ASSOCIATION AND AMERICAN WOOD PRESERVERS ASSOCIATION.

A.

ALL FLUSH BEAM - JOIST CONNECTION SHALL BE FASTENED WITH AN APPROPRIATE CAPACITY METAL HANGER.

B.

ALL POST - BEAM CONNECTIONS SHALL BE FASTENED WITH AN APPROPRIATE CAPACITY METAL STRAP OR EQUIVALENT METAL PRODUCT AS APPROVED BY ENGINEER AND (1) TOE NAIL (16D) FOR EACH 1000 *AXIAL LOAD OR EACH SUPPORT STUD. POST BASE AND SUPPORT SHALL PROVIDE SUFFICIENT BEARING WITH ENGINEER APPROVED METAL CONNECTOR AND / OR TWO (2) TOE NAIL FOR EACH 1000*AXIAL LOAD OR EACH SUPPORT STUD.

C.

ALL LUMBER BEARING SHALL PROVIDE SUFFICIENT AREAS SO AS TO EXCEED 400 P.S.I.

D.

ALL SHEATHED STUDS SHALL BE LIMITED TO 2000*AXIAL LOAD.

E.

ALL BUILT-UP POSTS, BEAMS AND GIRDERS SHALL BE NAILED AND / OR BOLTED PER NDS.
3.

FASTEN ALL MICRO - LAM BEAMS WITH 3-16D NAILS 12" O.C. EACH SIDE, STAGGERED, GLUE AND NAIL, UNLESS NOTED ON DRAWINGS OTHERWISE.
4.

LUMBER FOR RAFTER, STUDS AND BLOCKING SHALL BE DOUGLAS FIR#2 DENSE OR SOUTHERN PINE#2, OR SOUTHERN PINE#2 OR BETTER WITH AS ALLOWABLE BENDING STRESS OF 1450 P.S.I. MICRO-LAW BEAM'S SHALL HAVE AN ALLOWABLE BENDING STRESS OF 2500 P.S.I. AND SHALL BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATION.
5.

NAILING SCHEDULE FOR PLYWOOD DECK AND SHEATHING.

A.

10D NAILS 6" O.C. AT DIAPHRAGM BOUNDARY ALONG END SUPPORTING MEMBER UNLESS NOTED OTHERWISE.

B.

10D NAILS 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS.

C.

PROVIDE BLOCKING AT UNSUPPORTED EDGES OF PLYWOOD WHERE NOTED ON DRAWINGS NAILED WITH 10D NAILS 4"O.C. AT DIAPHRAGM BOUNDARIES AND CONTINUOUS PANEL EDGES 6"O.C. AT PANEL EDGES.
6.

FOR ALL ROOFS AND FLOOR FRAMING MEMBERS AND WALL STUDS, PROVIDE ONE LINE OF BRIDGING FOR EACH EIGHT FOOT OF SPAN. PROVIDE METAL DIAGONAL CORNER BRACING AND WIND BRACING PER CURRENT CODE.
7.

CONTRACTOR TO PROVIDE TEMPORARY SHORING FOR WOOD TRUSS DURING CONSTRUCTION.
8.

ROOF TRUSS MANUFACTURING (IF APPLICABLE TO JOB) TO SUPPLY CONTRACTOR WITH SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. TRUSS MANUFACTURER SHALL INDICATE A CHANGE TO DRAWINGS THAT WOULD REQUIRE CHANGES TO SUPPORTING STRUCTURE.
9.

ALL STAIRWAYS, STAIR GUARDS, HANDRAILS, BALUSTERS, HEADROOM, RISERS AND TREADS TO COMPLY WITH CURRENT CODE.
10.

ALL WINDOW DOOR HEADERS TO BE (2)2X12 2X4 WALLS, UNLESS OTHERWISE NOTED.

DESCRIPTION: A PARCEL OF LAND SITUATED IN THE TOWNSHIP OF OLD MISSION, COUNTY OF GRAND TRAVERSE. STATE OF MICHIGAN, AND DESCRIBED AS FOLLOWS TO-WIT:

PART GOV LOT 3 SEC 20 T29N R10W. COM 804 FT W OF N 1/4 COR SEC 20 TH S 31 DEG 36' W 1269.3 FT, TH S 47 DEG 06' W 357.84 FT TO POB. TH S 47 DEG 06'W 100 FT, TH N 61 DEG 47'W 224.48 FT, TH N 52 DEG 54'W 100 FT, TH N 20 DEG 35'W 59.83 FT, TH N 42 DEG 54'W 57.27 FT TO TRAV LN ON SHR OF G T BAY, TH ALG SHR N 47 DEG 06'E 150 FT, TH S 42 DEG 54'E 425 FT TO POB. 1.55 ACRES M/L. SUBJ TO RESTRIC AND EASEMENTS OF RECORD

SUBJECT TO ALL AGREEMENTS, COVENANTS, EASEMENTS, RIGHT-OF-WAYS, RESERVATIONS AND RESTRICTIONS OF RECORD, IF ANY.



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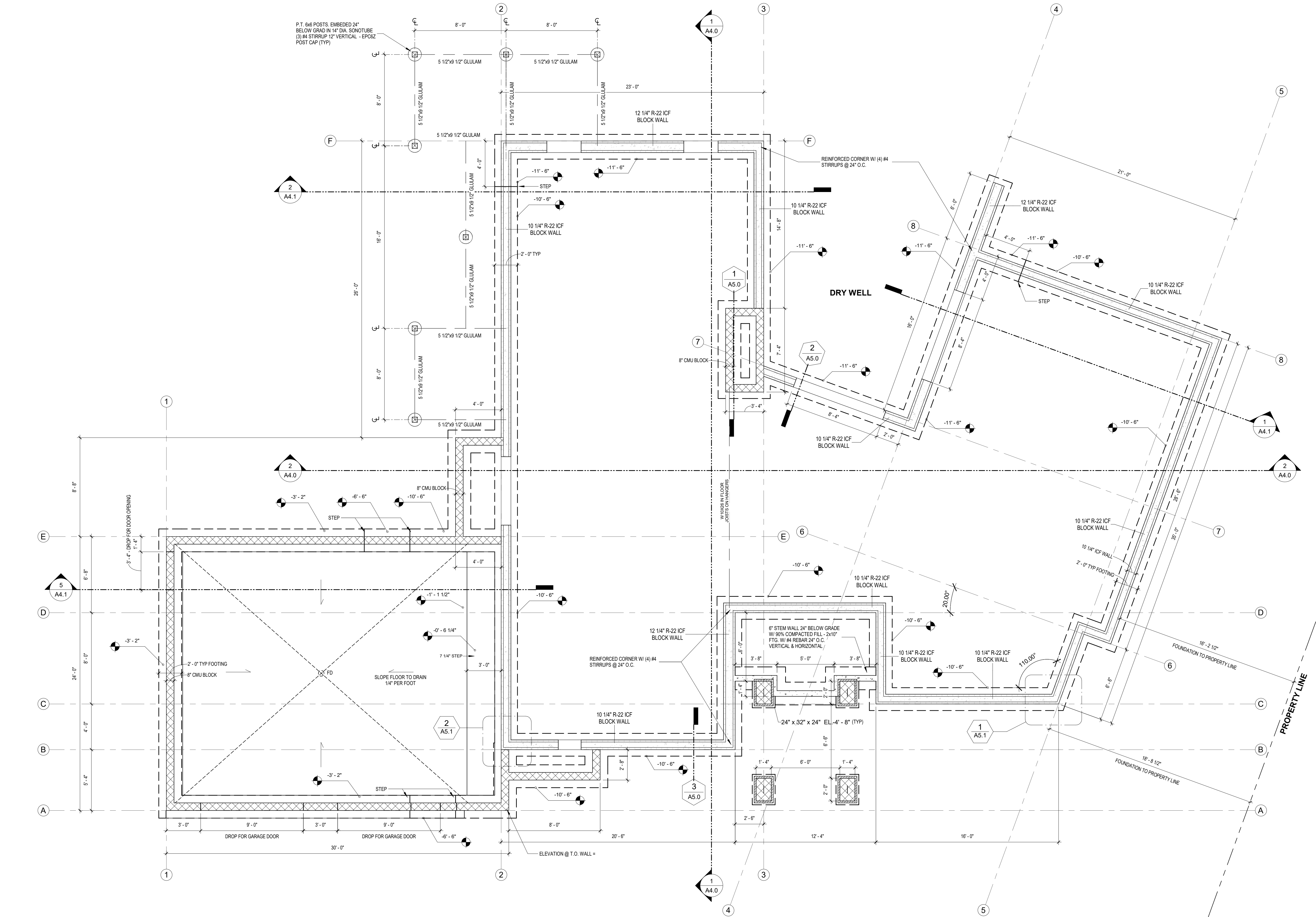
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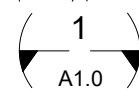
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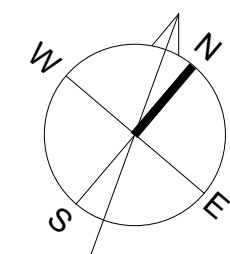
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 Foundation Plan
1/4" = 1'-0"



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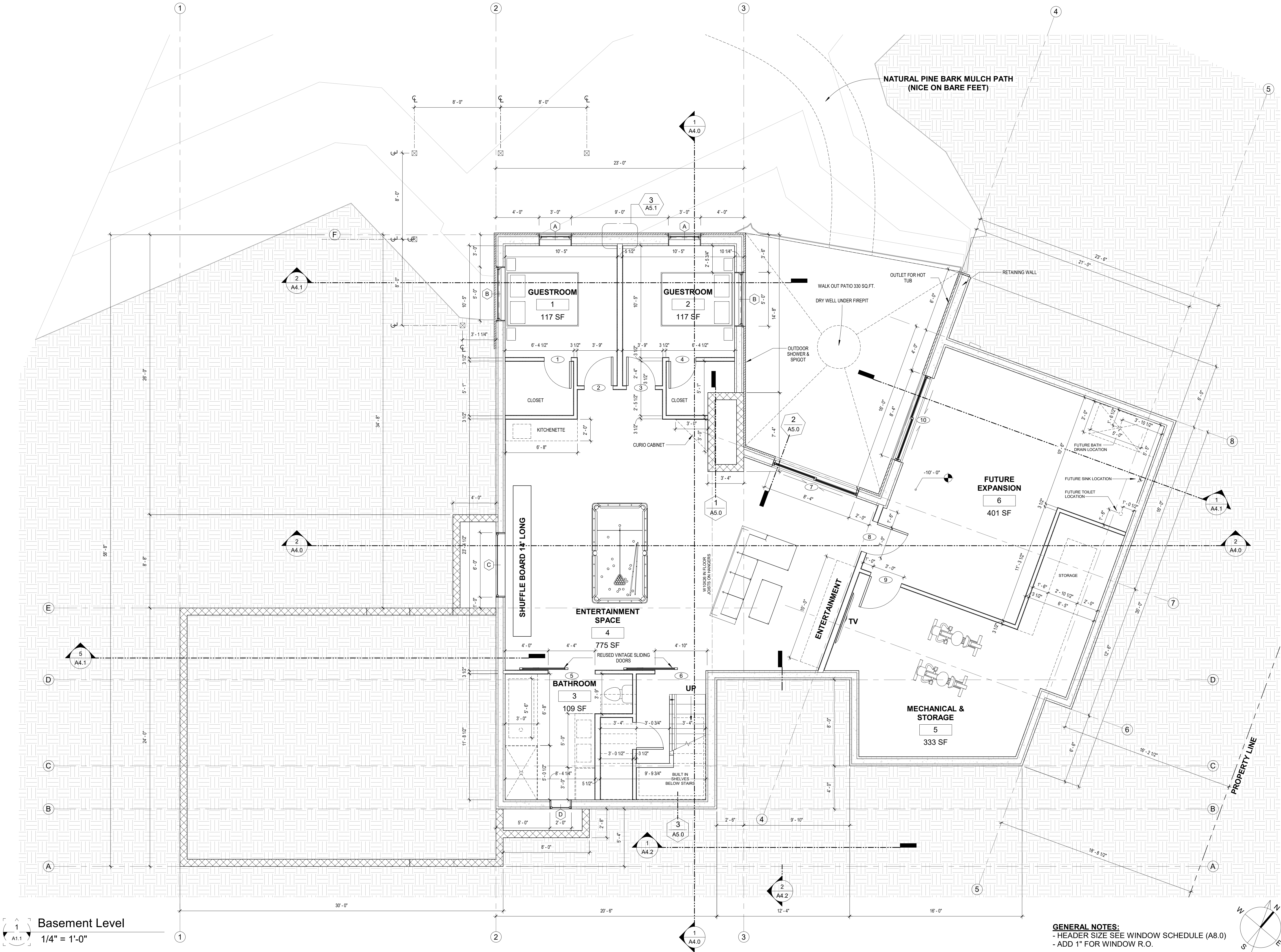
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FOUNDATION PLAN

SHEET NUMBER:

A1.0

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DRAWING INDEX:

SHEET TITLE:
BASEMENT PLAN

SHEET NUMBER: A1.1	
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DATE: 6-05-2018	PROJECT NUMBER: 1714.00

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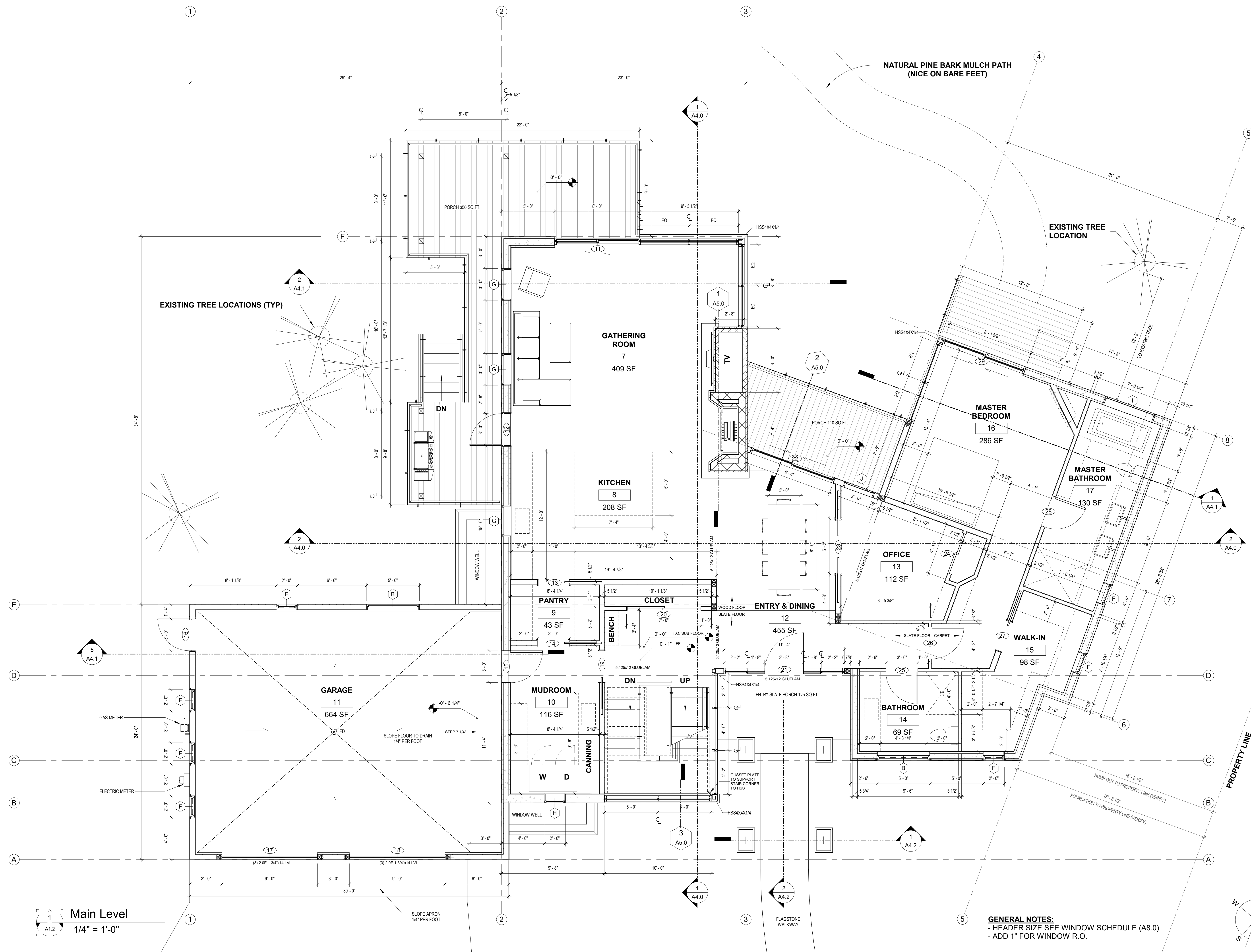
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MAIN LEVEL PLAN

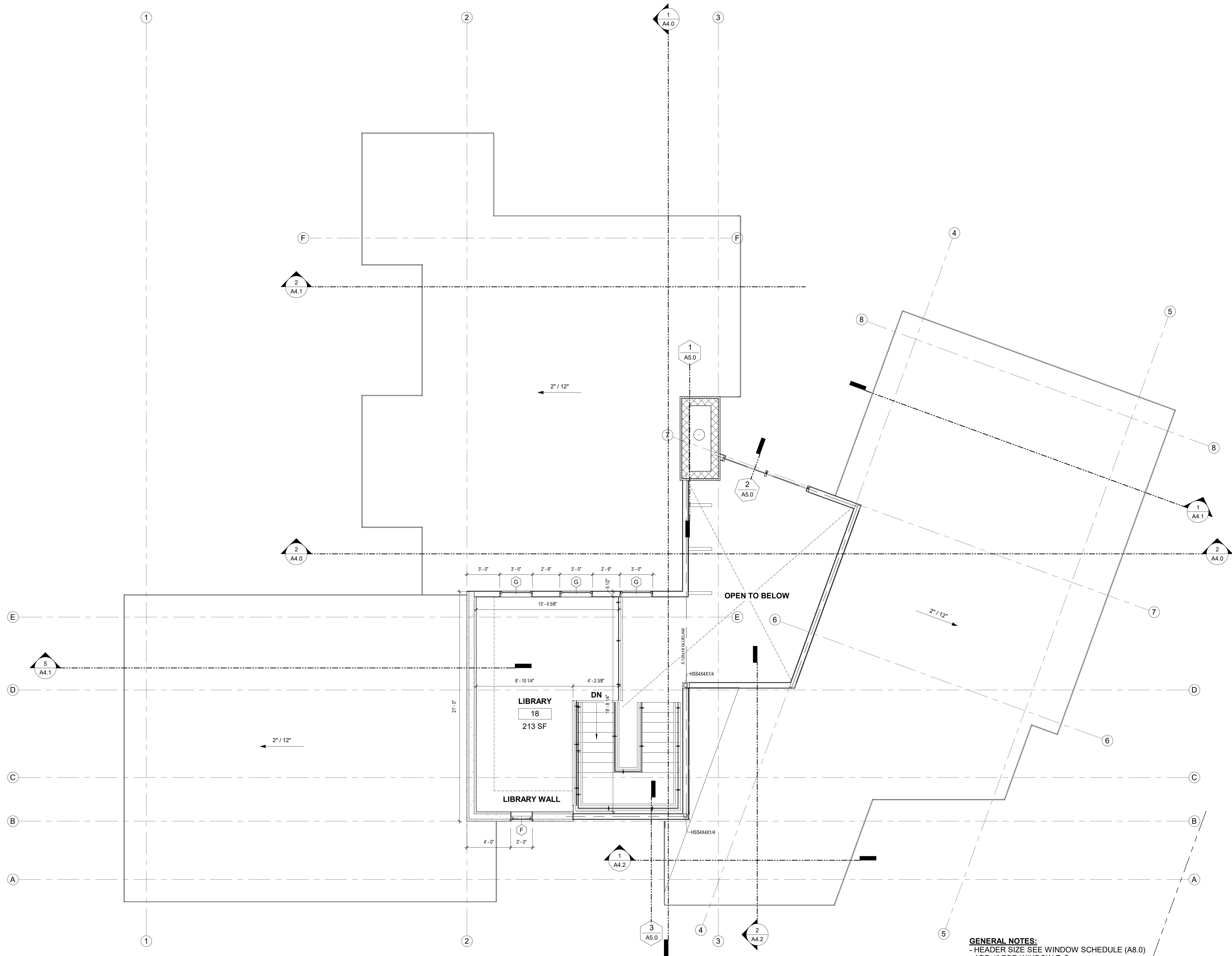
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A1.2

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DRAWING INDEX:

SHEET TITLE:
SECOND LEVEL PLAN

SHEET NUMBER:

A1.3

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GENERAL NOTES:
- HEADER SIZE SEE WINDOW SCHEDULE (A8.0)
- ADD 1" FOR WINDOW R.O.



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SHEET TITLE:
**ROOF PLAN & 3D
DETAILS**

SHEET NUMBER:

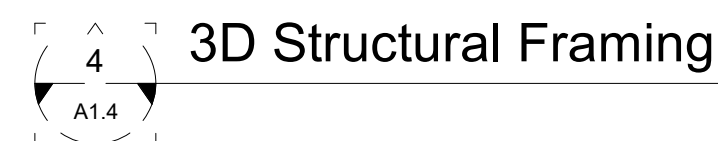
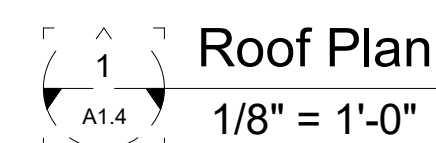
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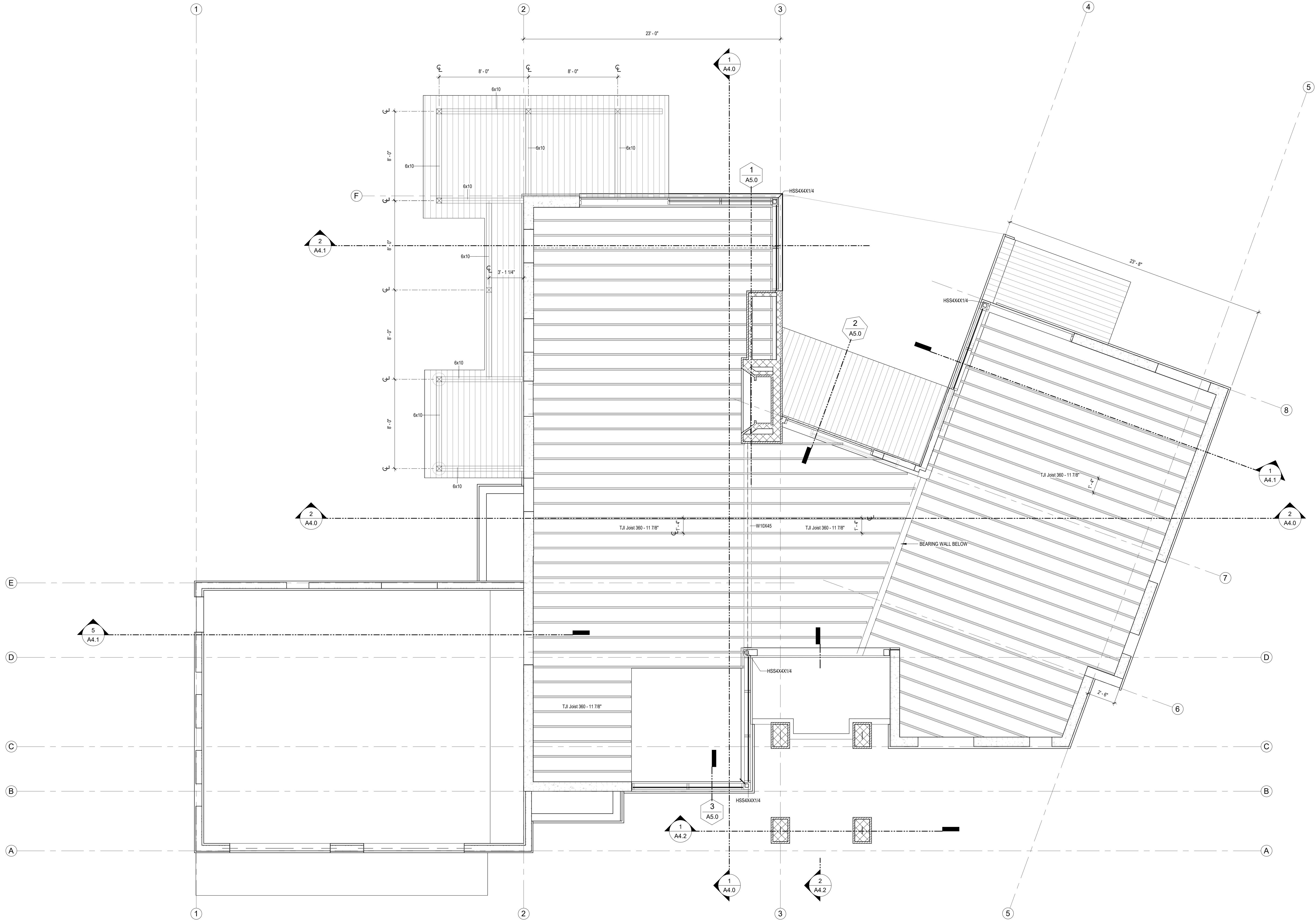
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DATE: 6-05-2018

PROJECT NUMBER:	1714.00
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6/6/2018 12:09:18 AM



1
A1.5
Main Level - Framing Plan
1/4" = 1'-0"



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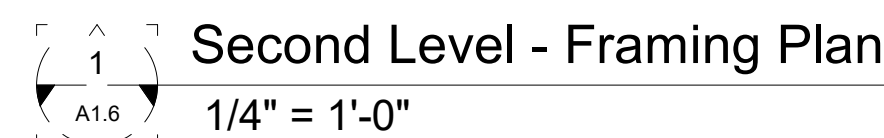
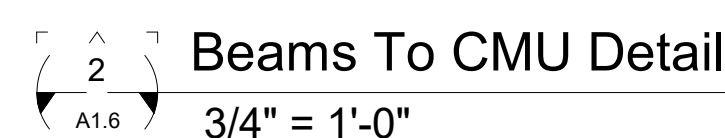
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MAIN LEVEL - FRAMING PLAN

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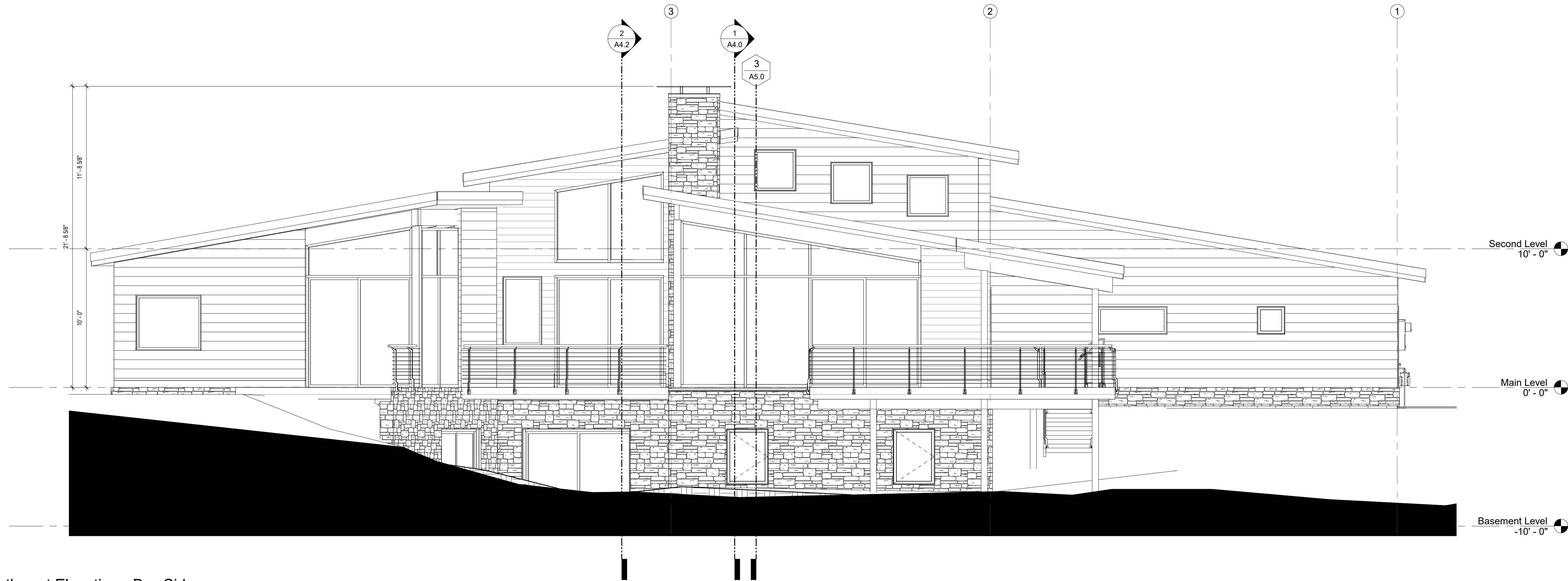
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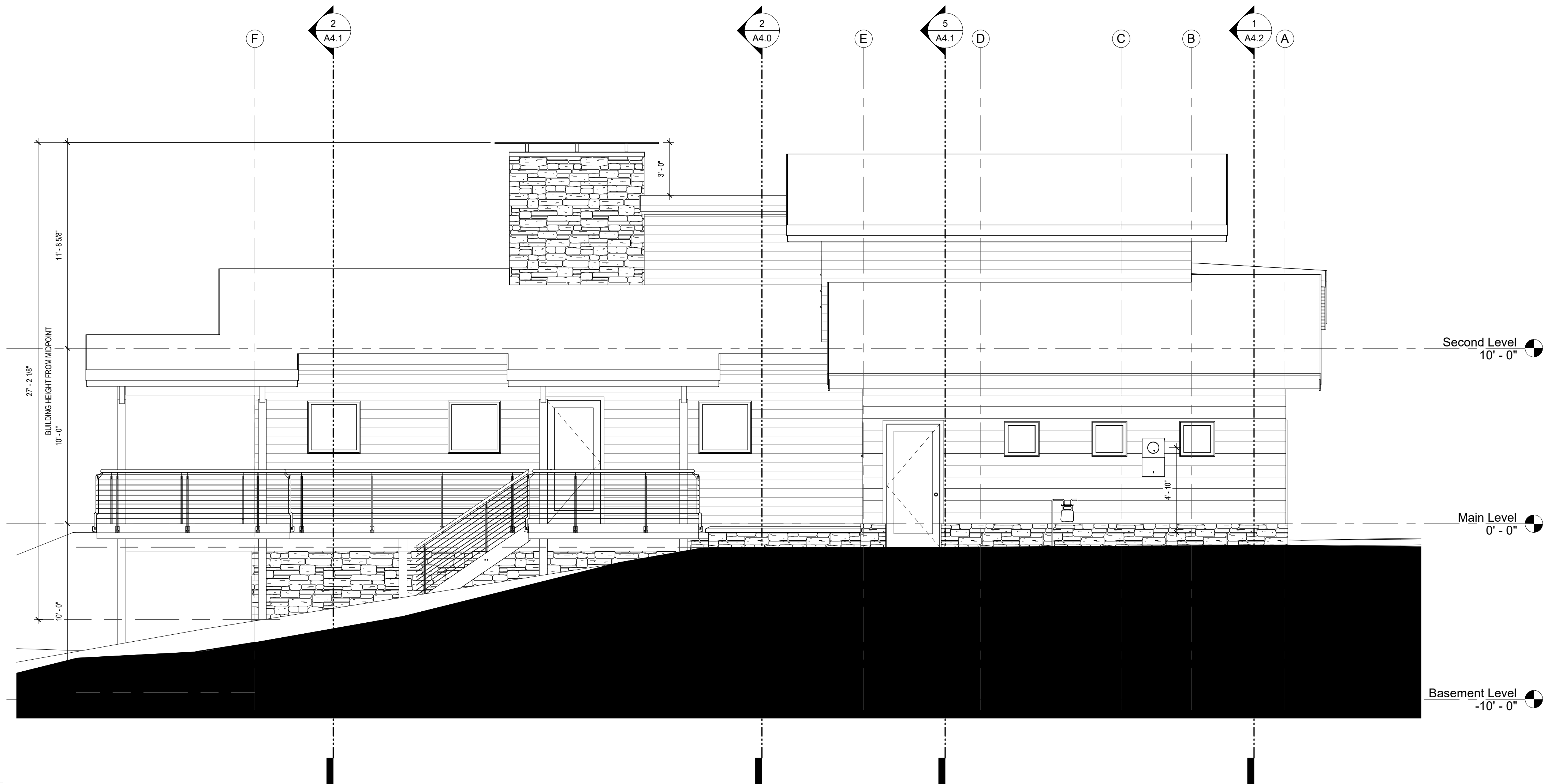


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Northwest Elevation - Bay Side
1/4" = 1'-0"



Northeast Elevation
1/4" = 1'-0"



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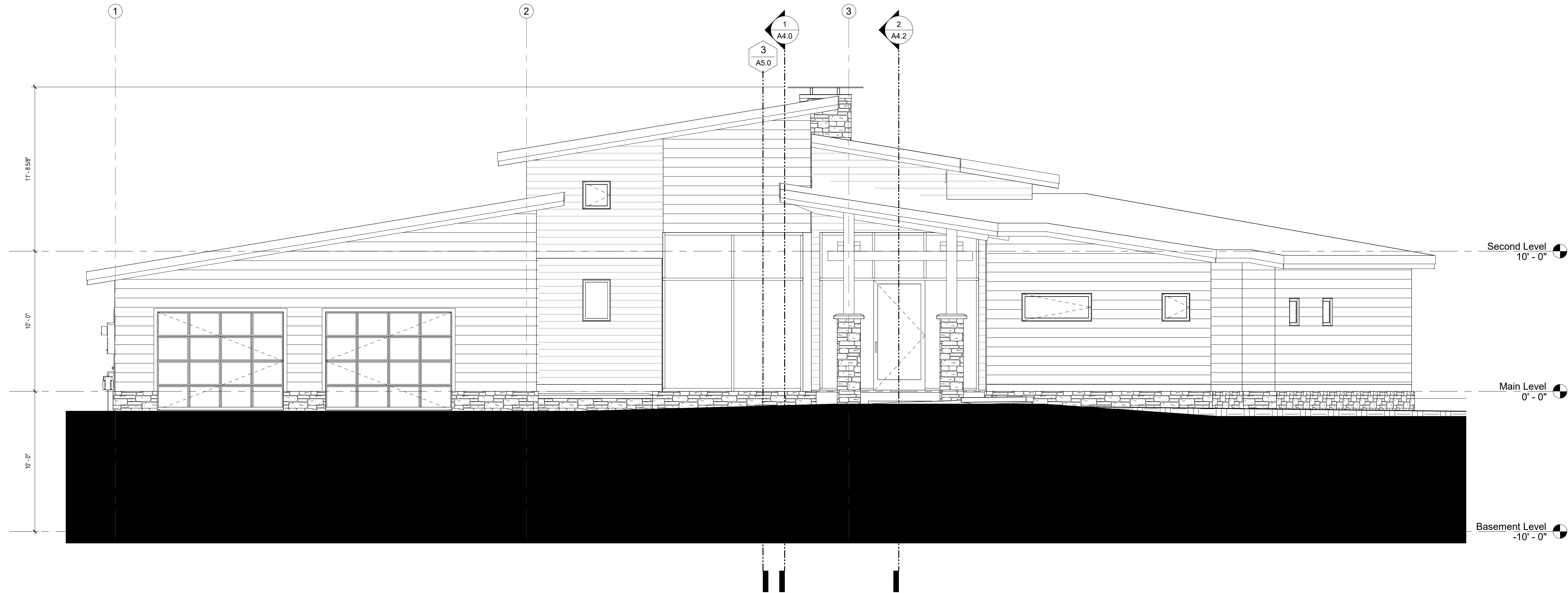
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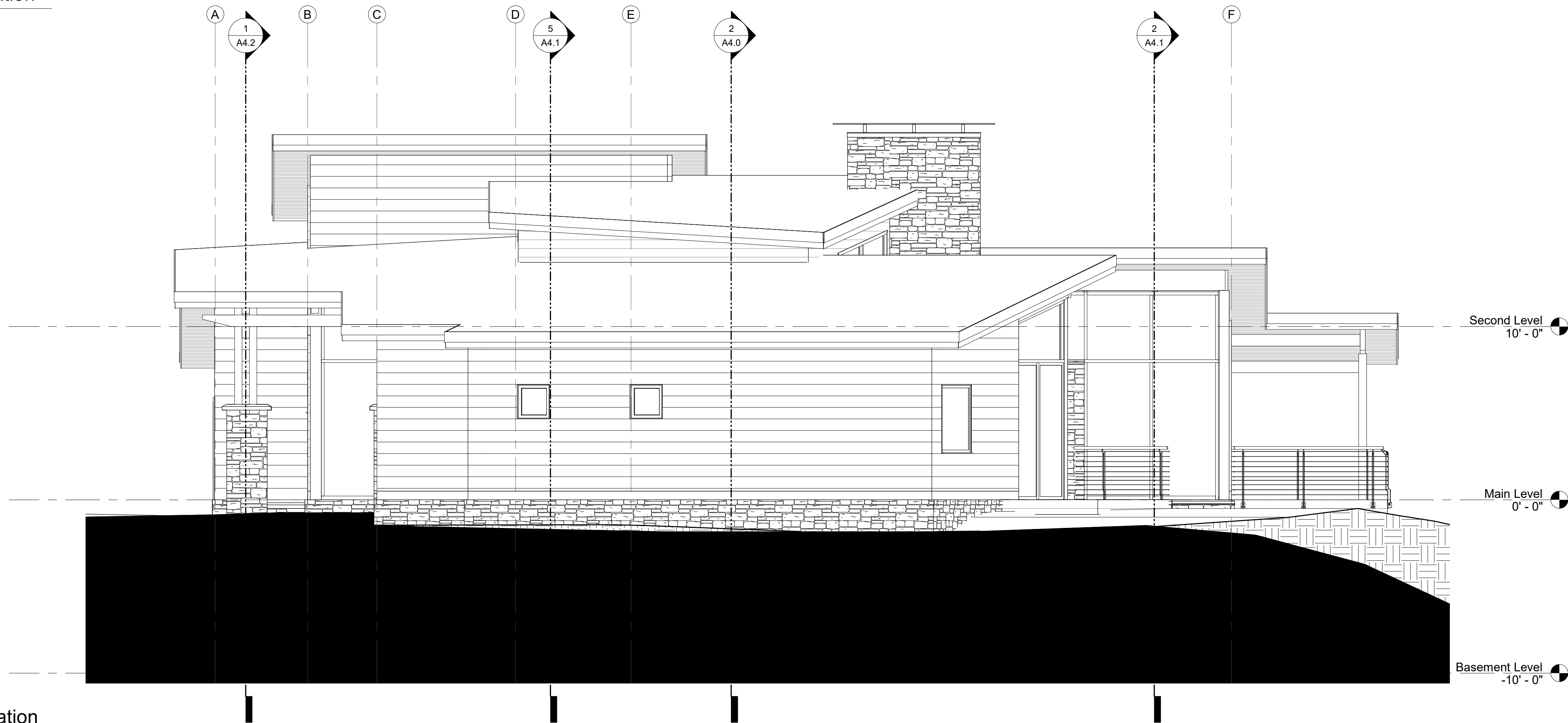
SHEET TITLE:
ELEVATIONS - NORTH & EAST

SHEET NUMBER: A2.0	
DRAWN BY: JAG	REVIEWED BY: CWS
DATE: 6-05-2018	PROJECT NUMBER: 1714.00

6/6/2018 12:09:24 AM



Southeast Elevation
1/4" = 1'-0"



Southwest Elevation
1/4" = 1'-0"



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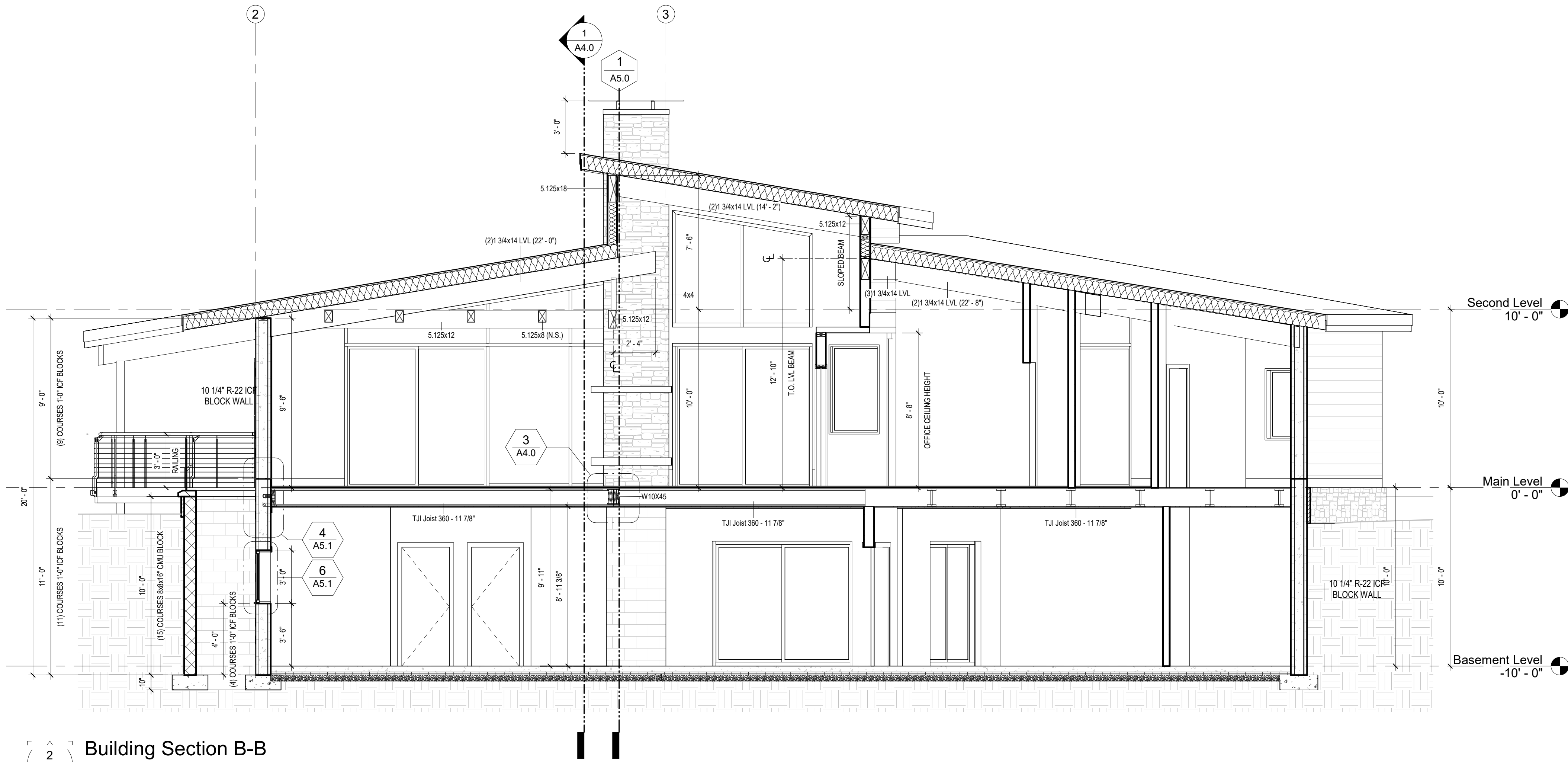
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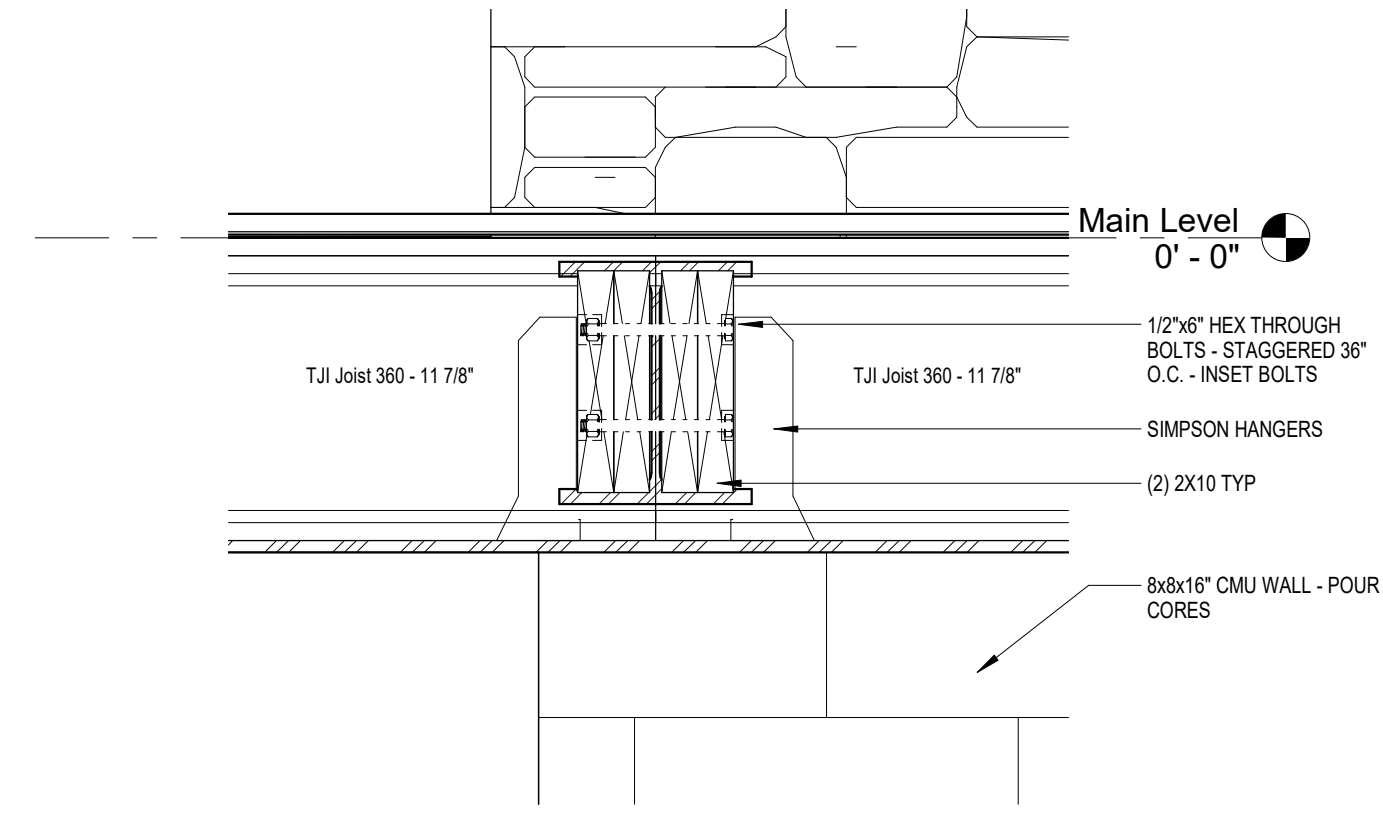
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ELEVATIONS - SOUTH & WEST

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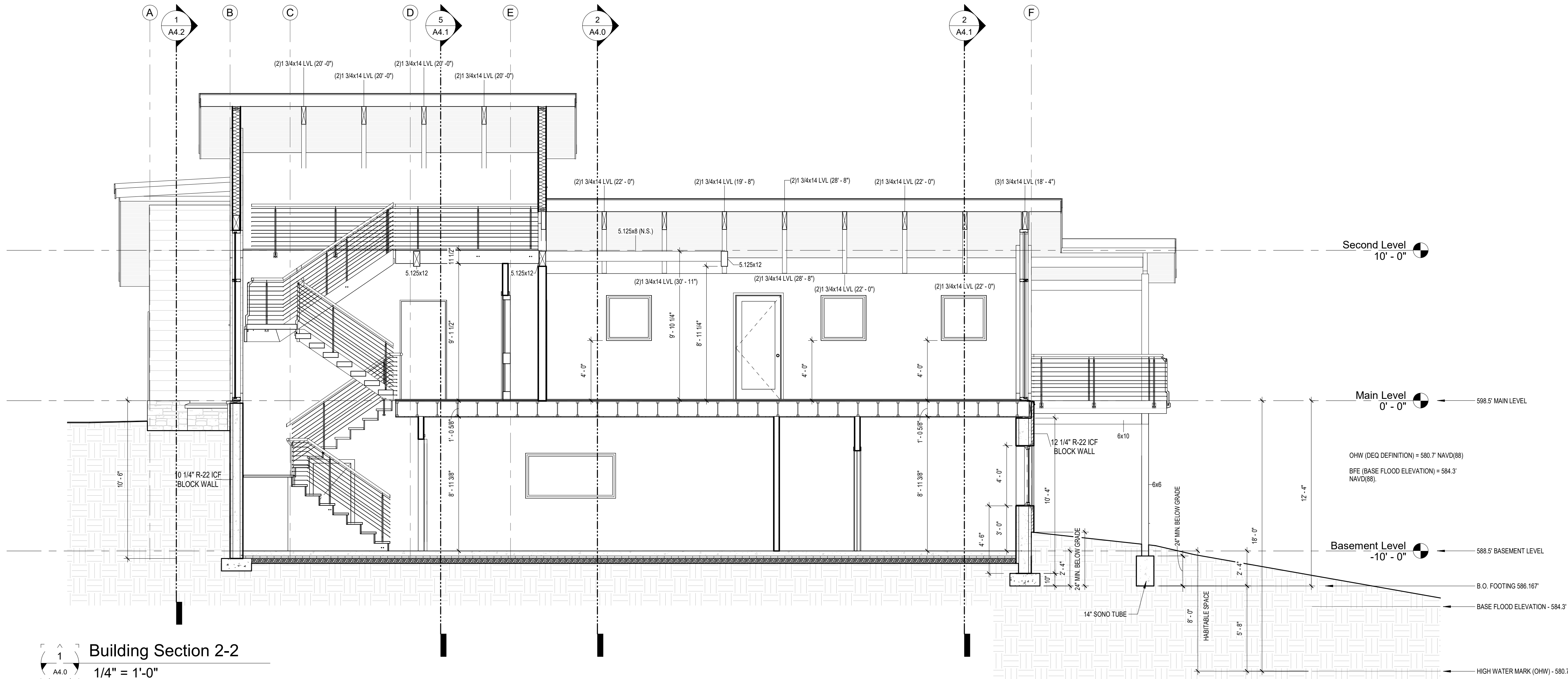
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Building Section B-B
1/4" = 1'-0"



FLOOR JOISTS TO STEEL BEAM DETAIL
1 1/2" = 1'-0"



Building Section 2-2
1/4" = 1'-0"



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TRUE BLUE & ASSOCIATES, LLC

DRAWING INDEX:

SHEET TITLE:
BUILDING SECTIONS & DETAILS

SHEET NUMBER:

A4.0

DRAWN BY: JAG	REVIEWED BY: CWS
DATE: 6-05-2018	PROJECT NUMBER: 1714.00

REVISIONS		
No.	Description	Date
0	FOR PERMITS	06/05/18

Permit Set

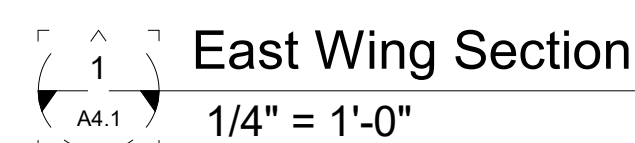
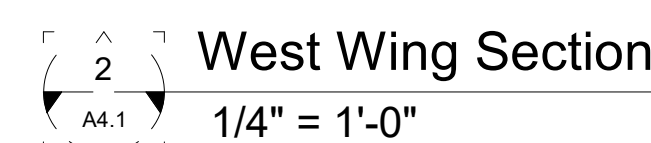
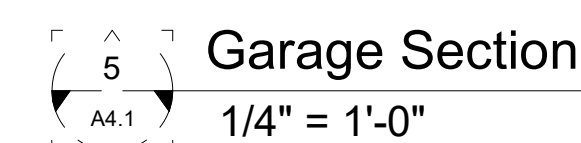
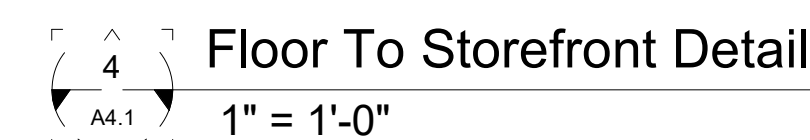
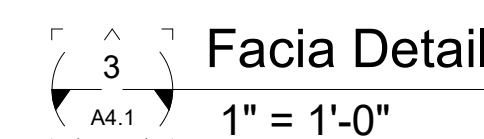
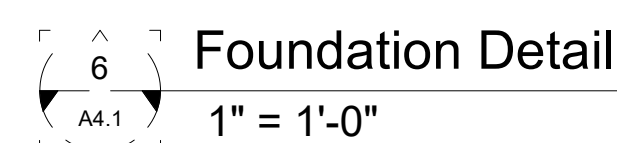
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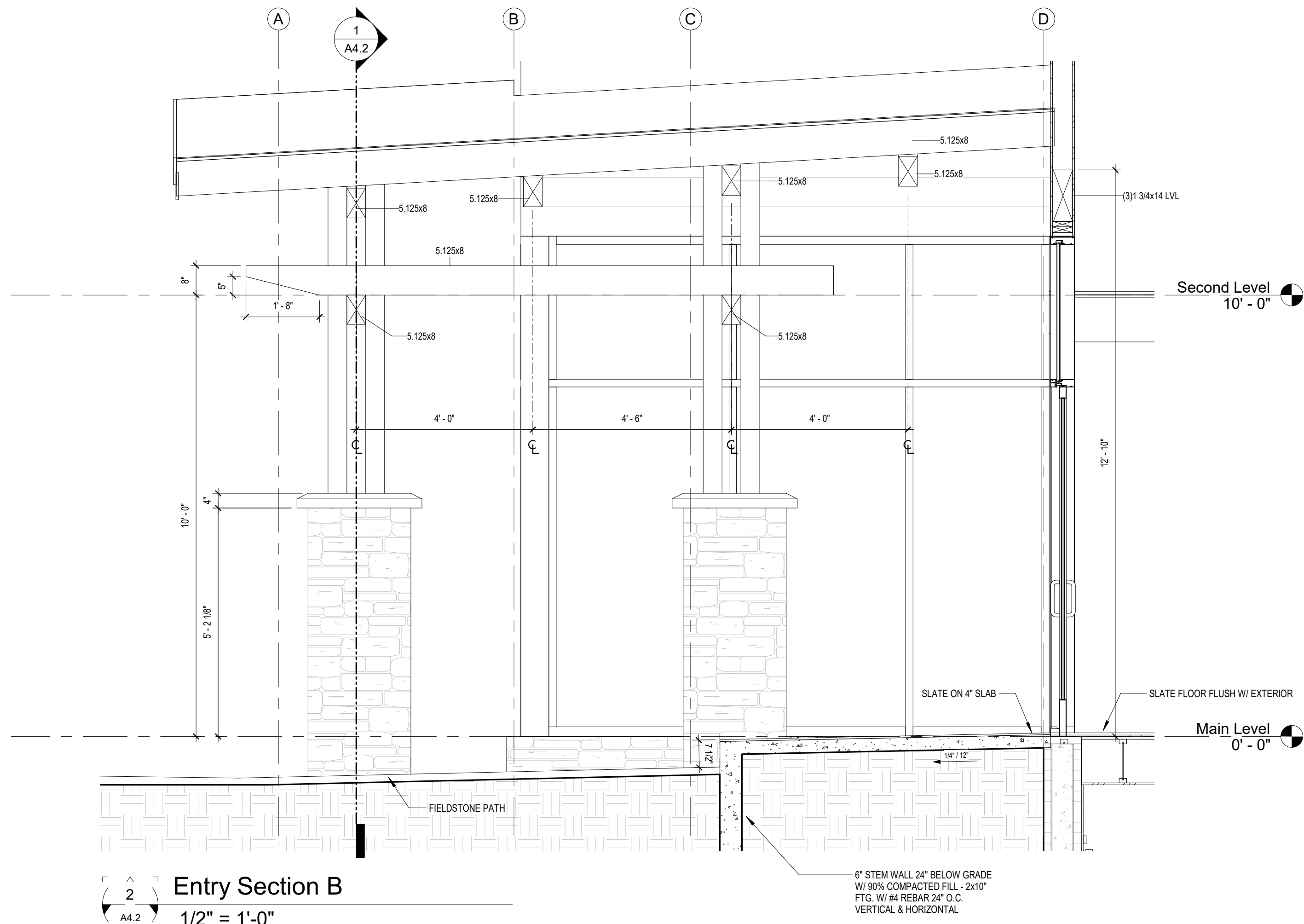
SHEET TITLE:
**BUILDING SECTIONS &
DETAILS**

SHEET NUMBER

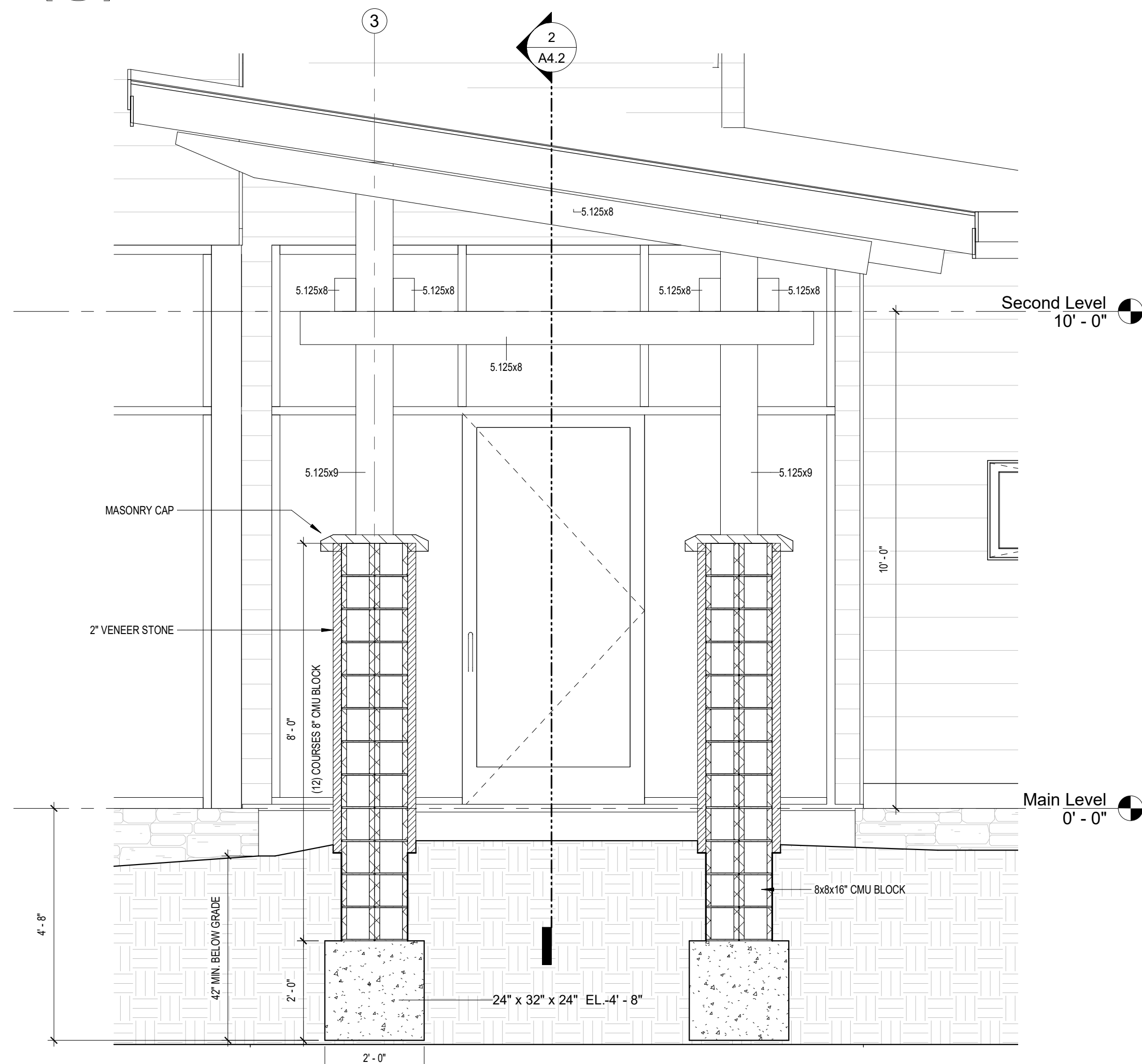
A4.1

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DATE: 6-05-2018	PROJECT NUMBER: 1714.00

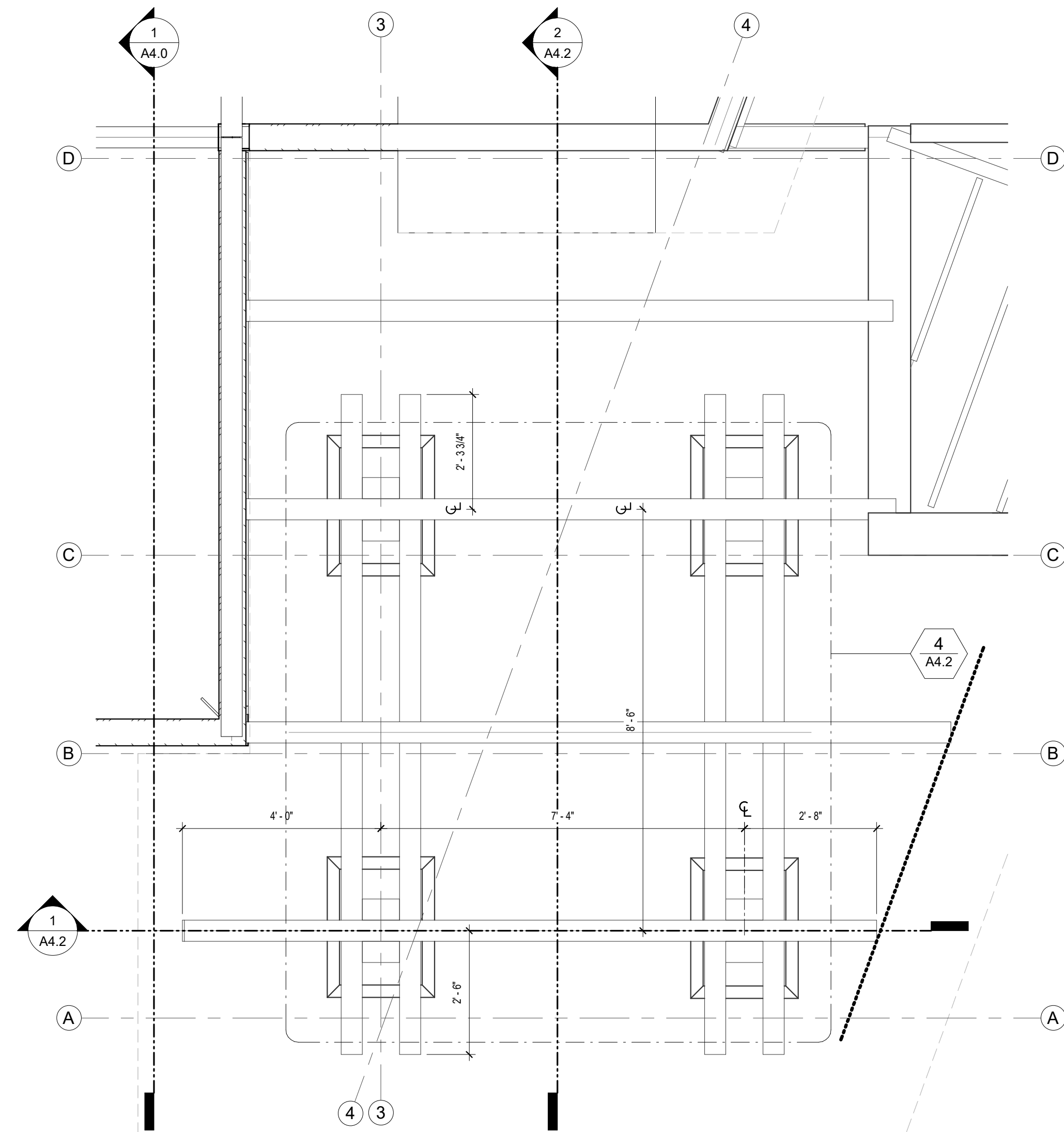




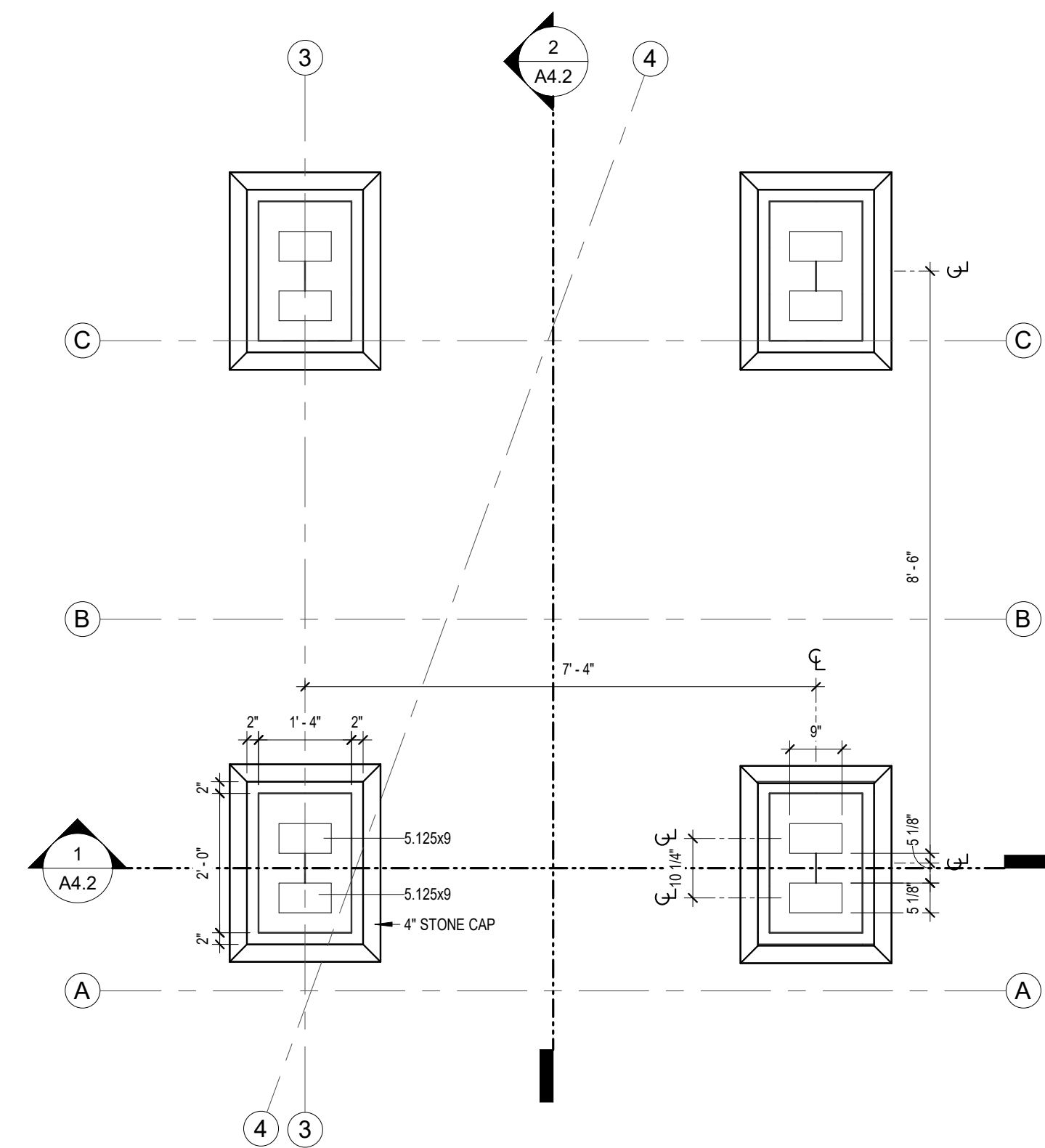
Entry Section B
1/2" = 1'-0"



Entry Section A
1/2" = 1'-0"



Entry Plan - Beam Layout
1/2" = 1'-0"



Entry Plan - Column Layout
1/2" = 1'-0"



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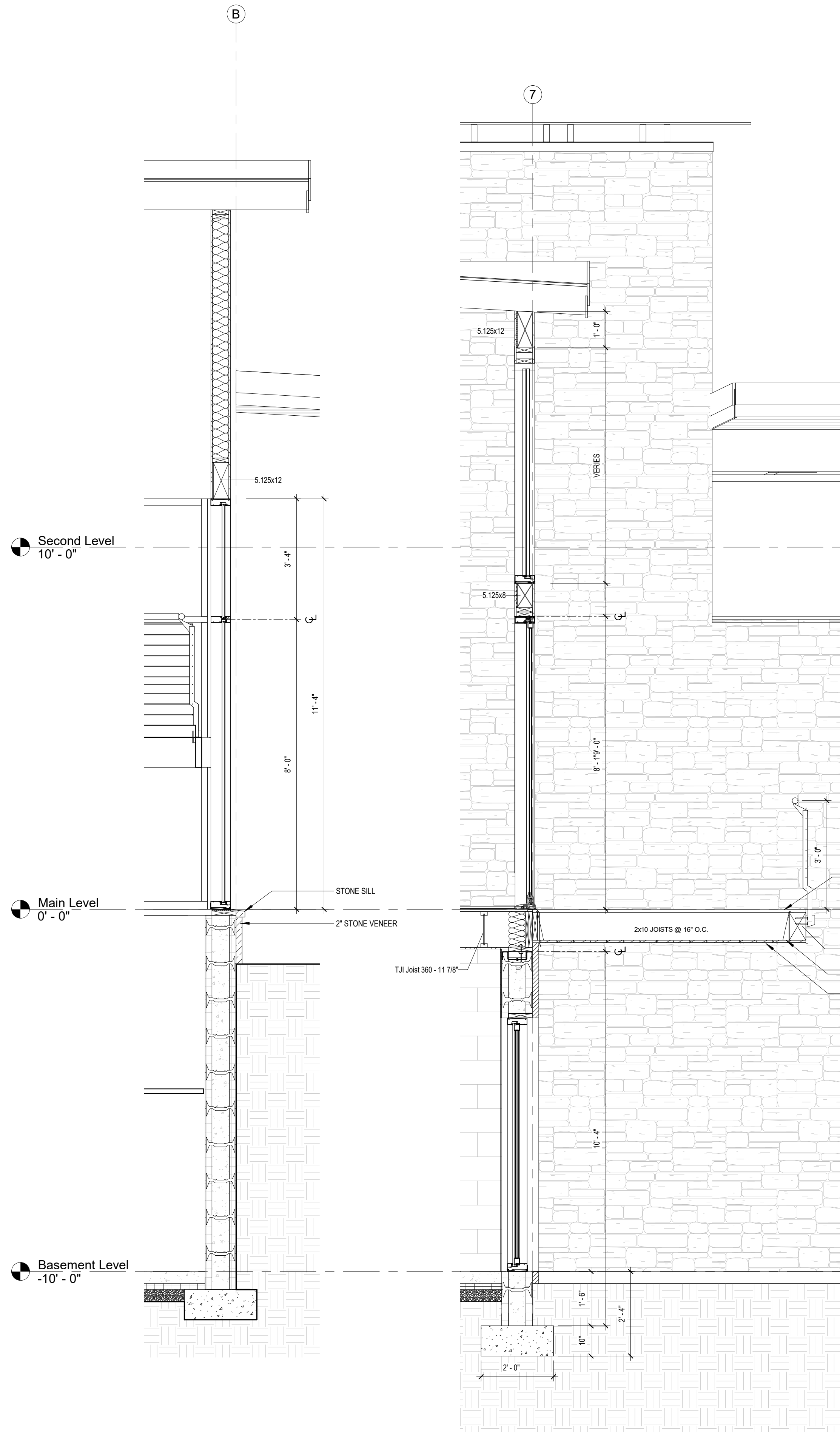
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SHEET TITLE:
SECTIONS & DETAILS - ENTRY

SHEET NUMBER:

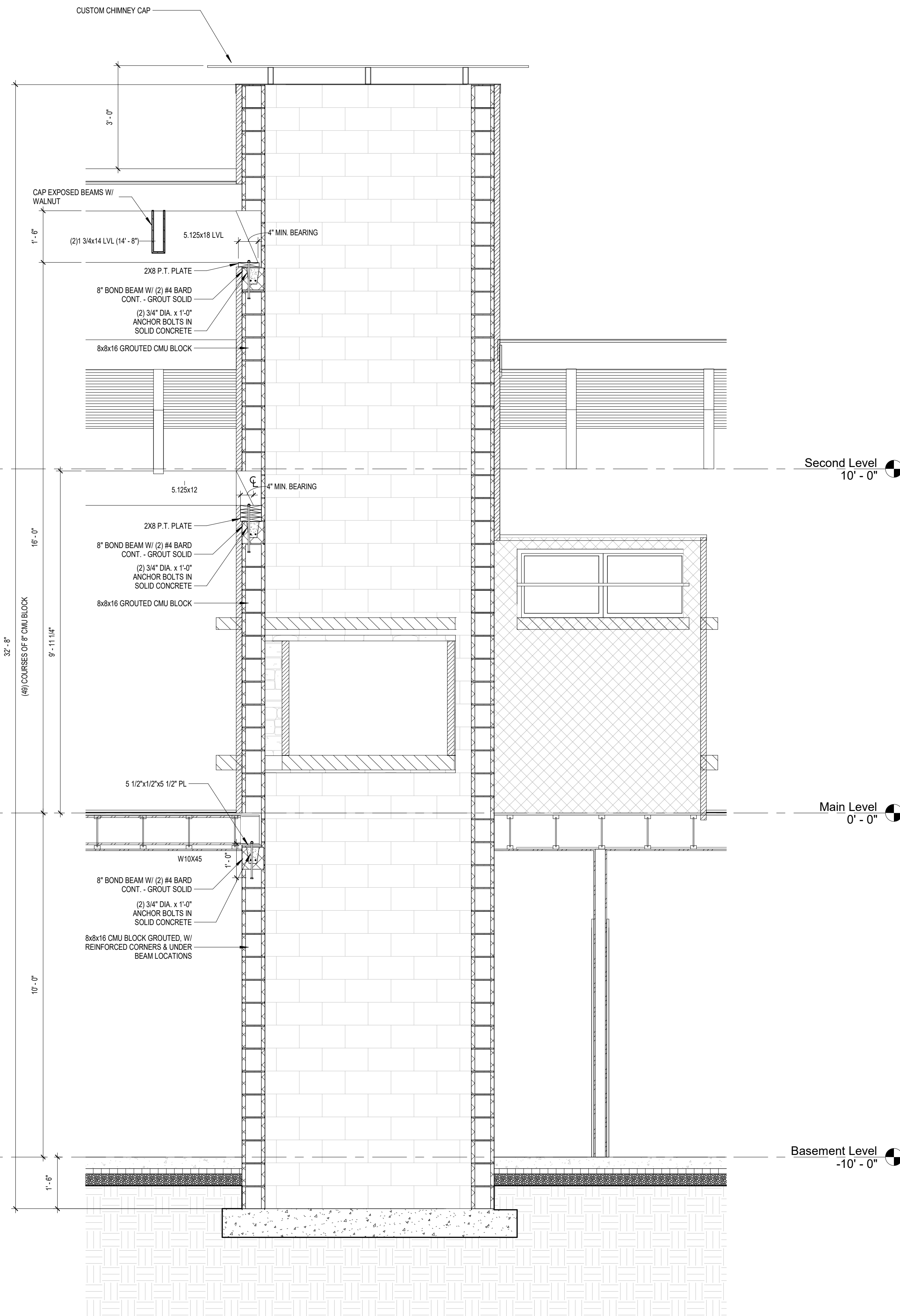
A4.2

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DATE: 6-05-2018	PROJECT NUMBER: 1714.00



3 Wall Section B
A5.0 1/2" = 1'-0"

2 Wall Section A
A5.0 1/2" = 1'-0"



1 Fireplace Section
A5.0 1/2" = 1'-0"



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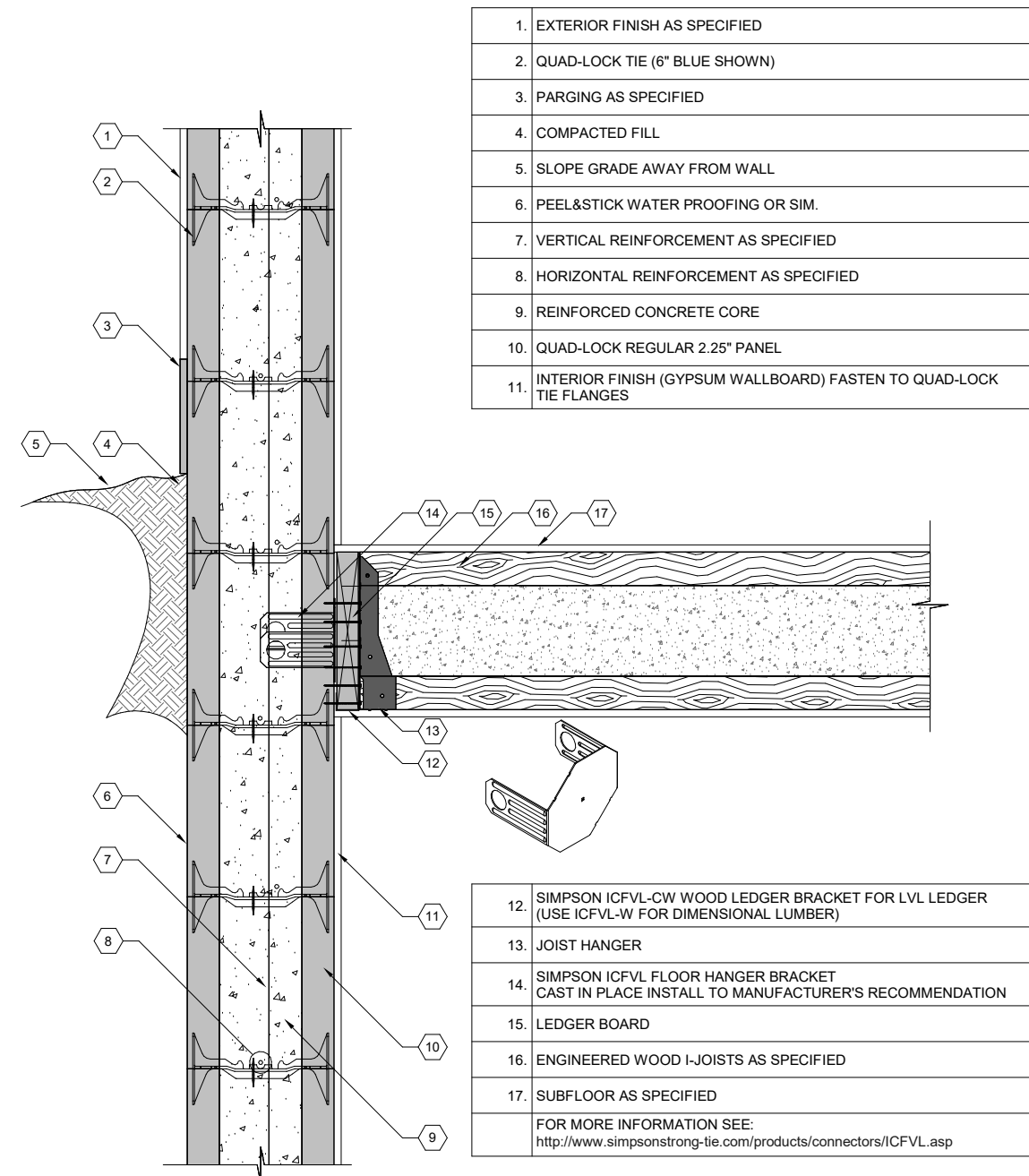
DRAWING INDEX:

SHEET TITLE:
WALL SECTIONS & DETAILS

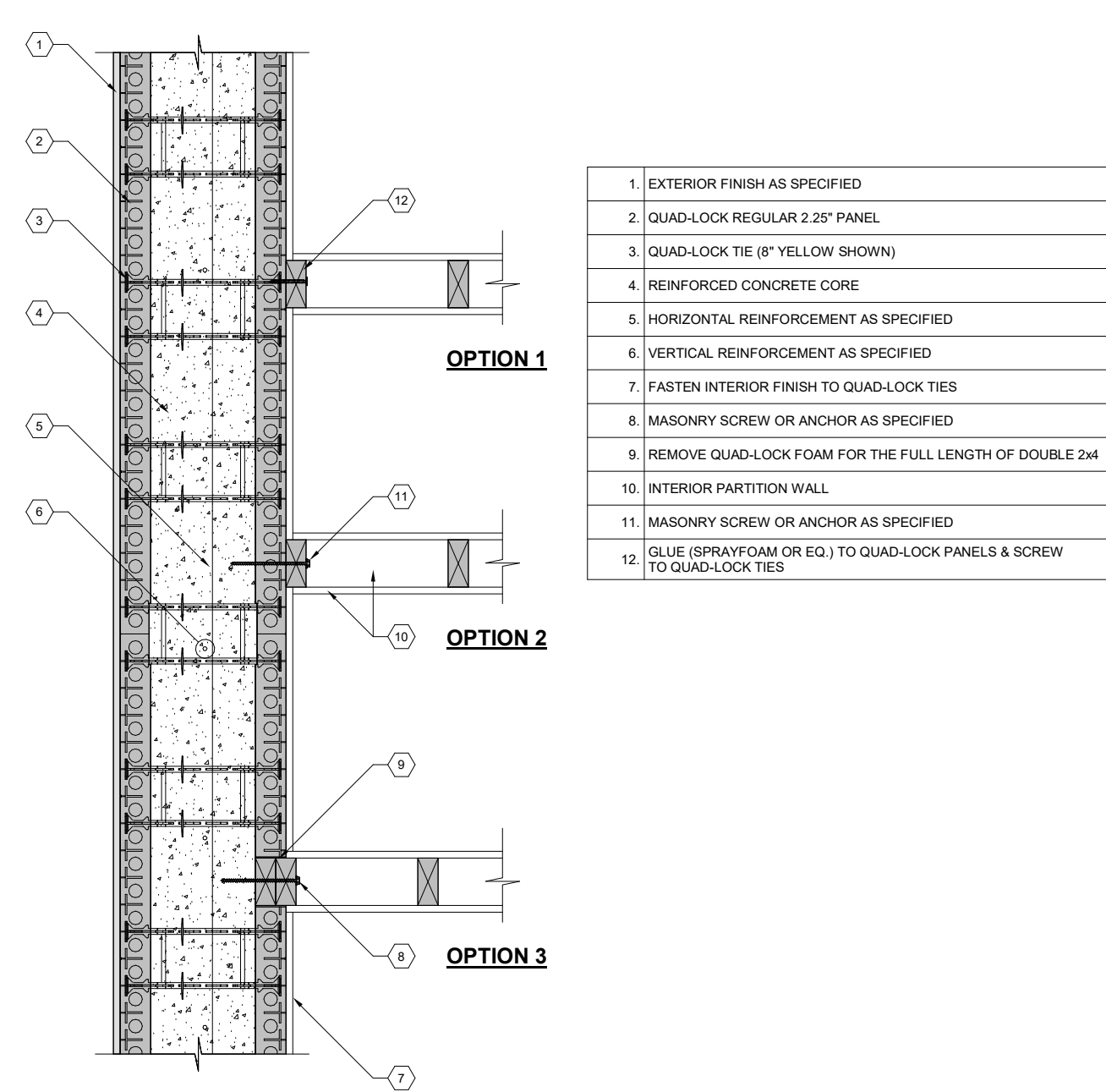
SHEET NUMBER:

A5.0

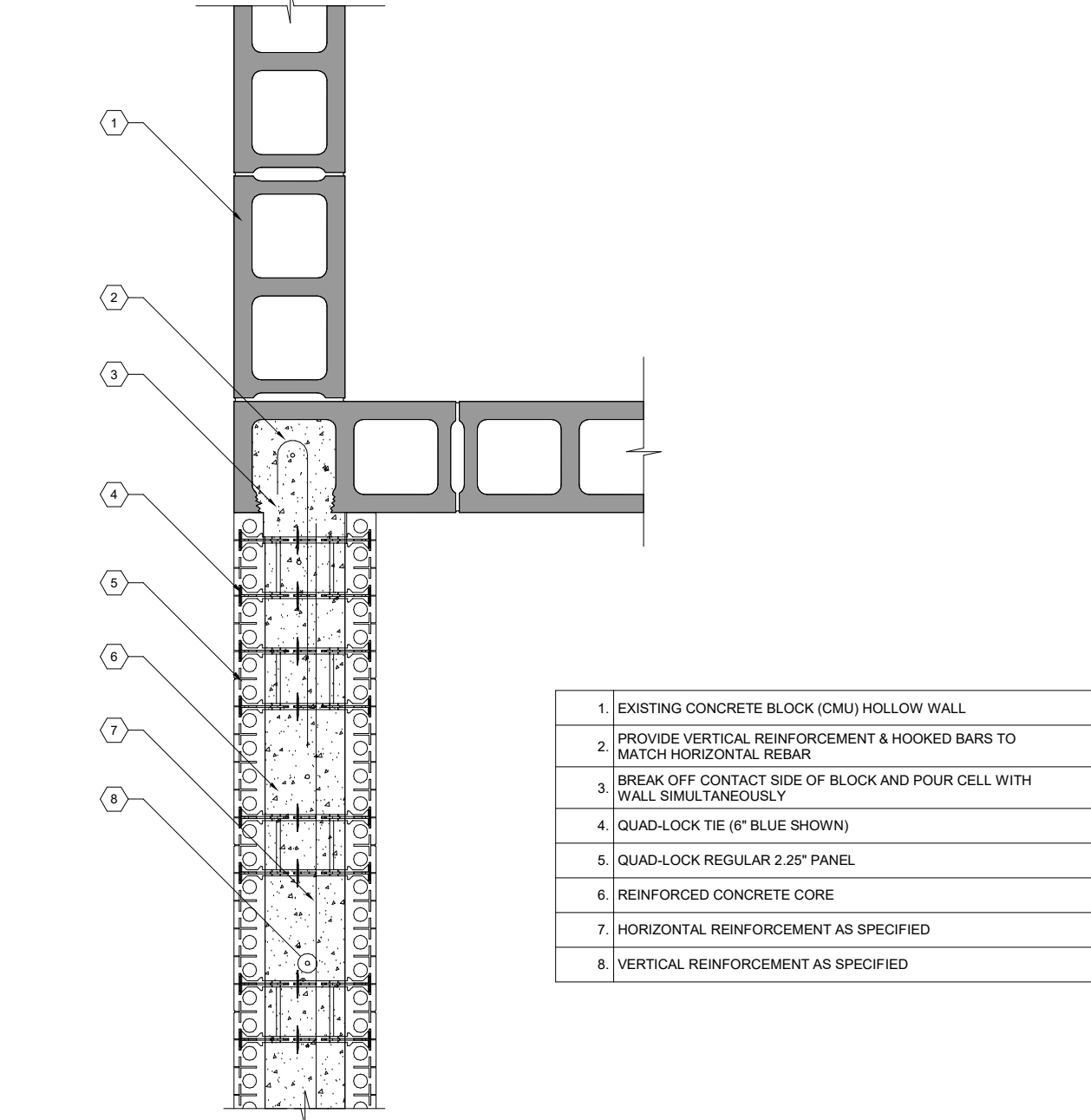
DRAWN BY: JAG	REVIEWED BY: CWS
DATE: 6-05-2018	PROJECT NUMBER: 1714.00



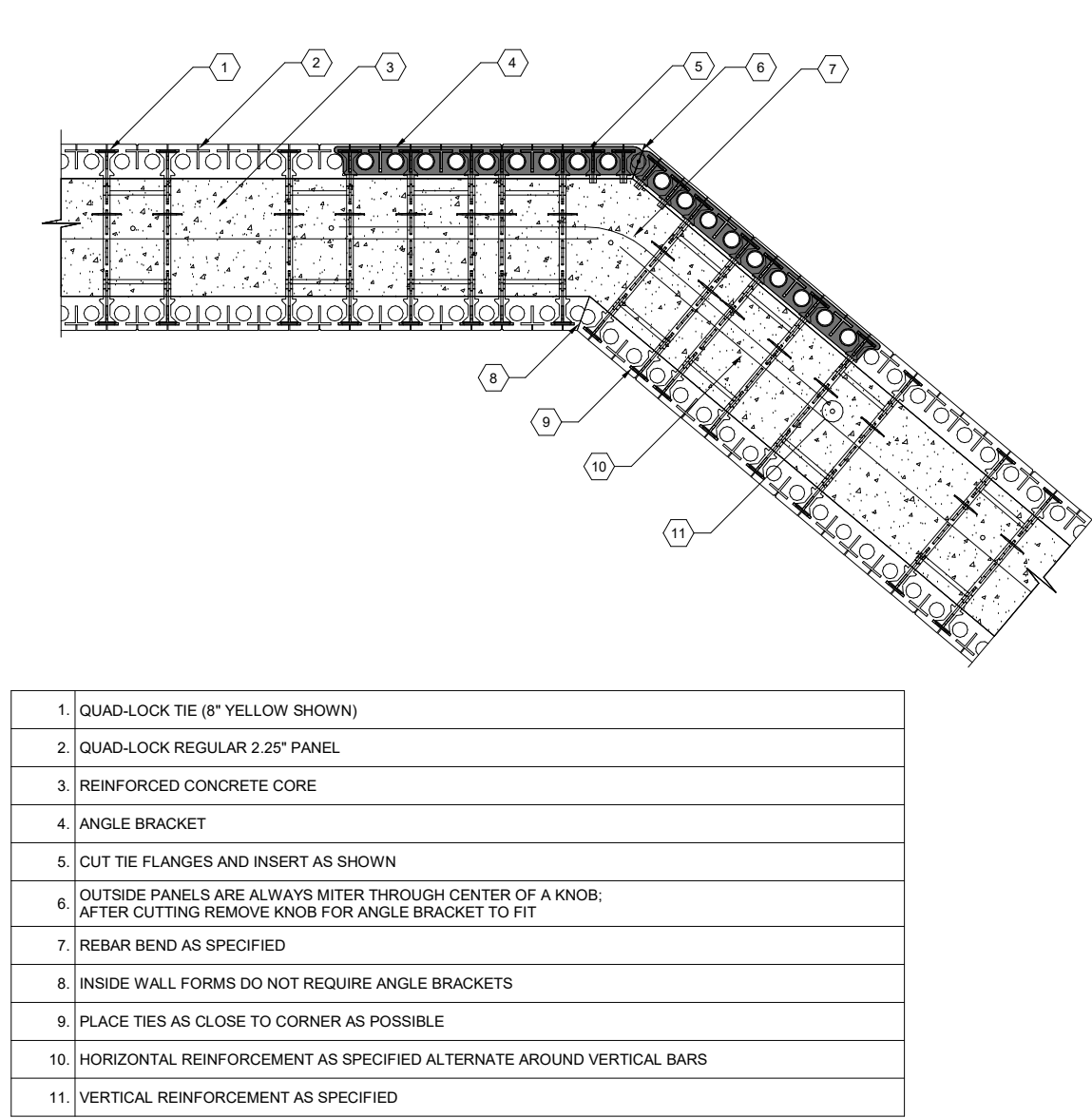
QL-303 I-JOISTS TO SIMPSON ICFVL DETAIL
1" = 1'-0"



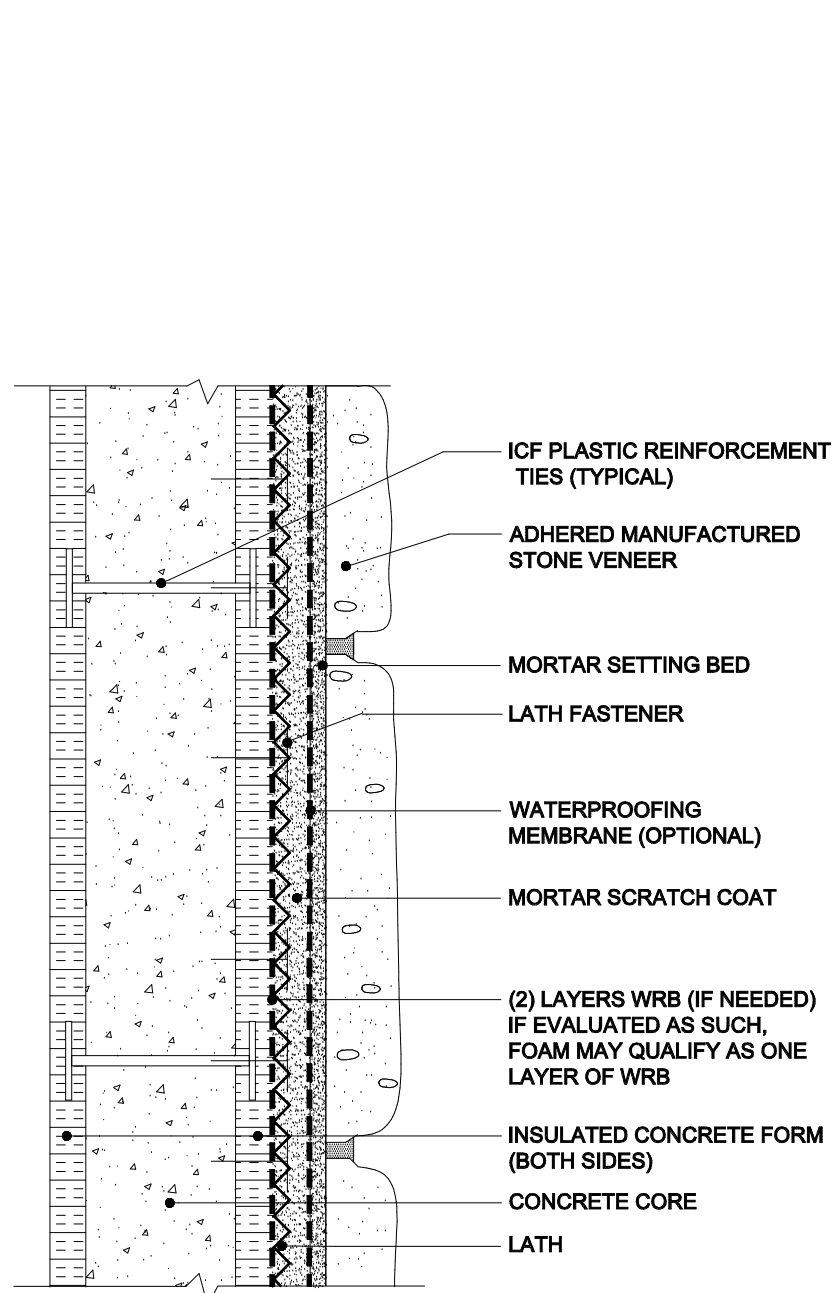
QL-703 STUD WALL TO ICF
1" = 1'-0"



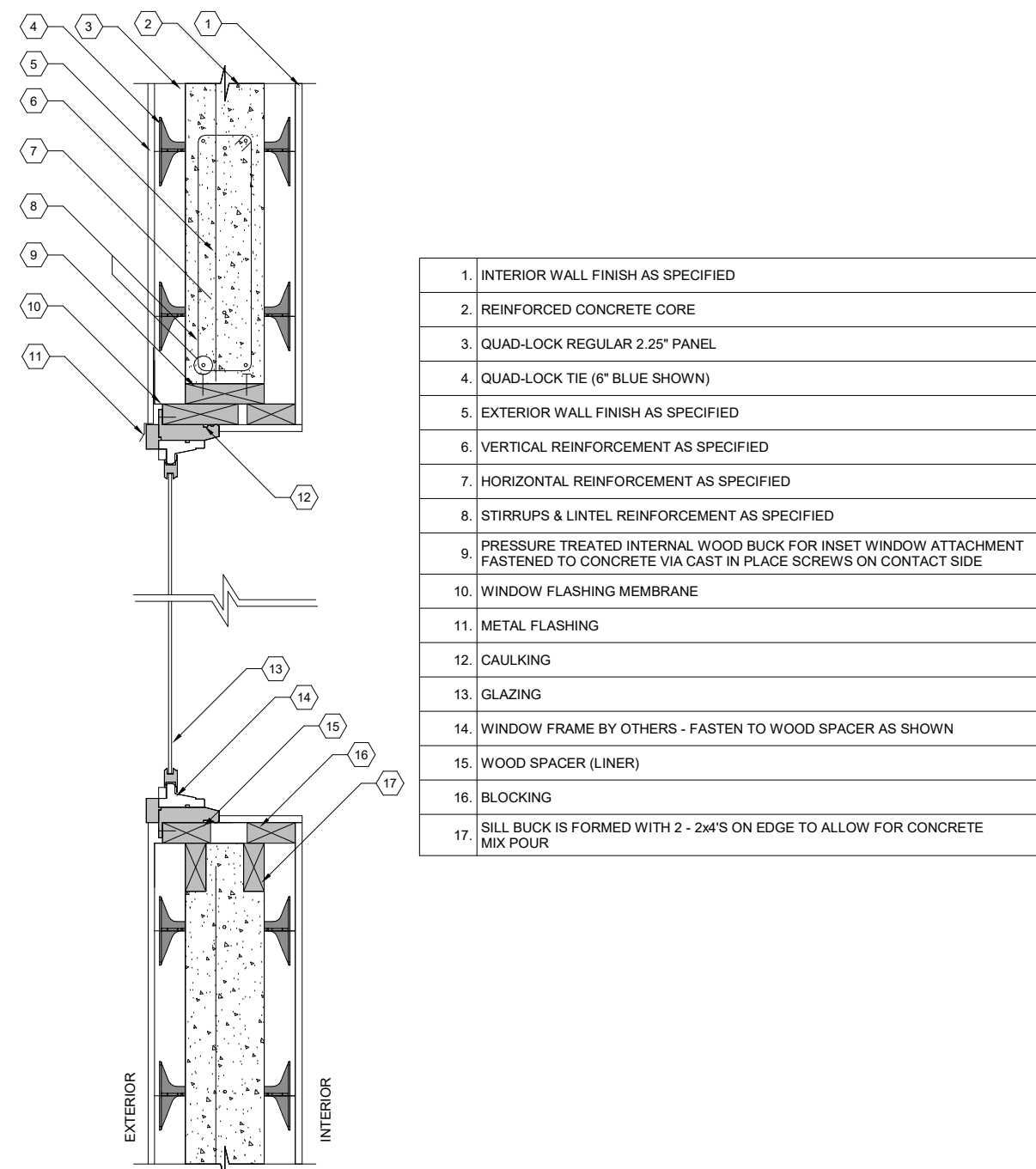
QL-718 ICF TO CMU HOLLOW WALL DETAIL
1" = 1'-0"



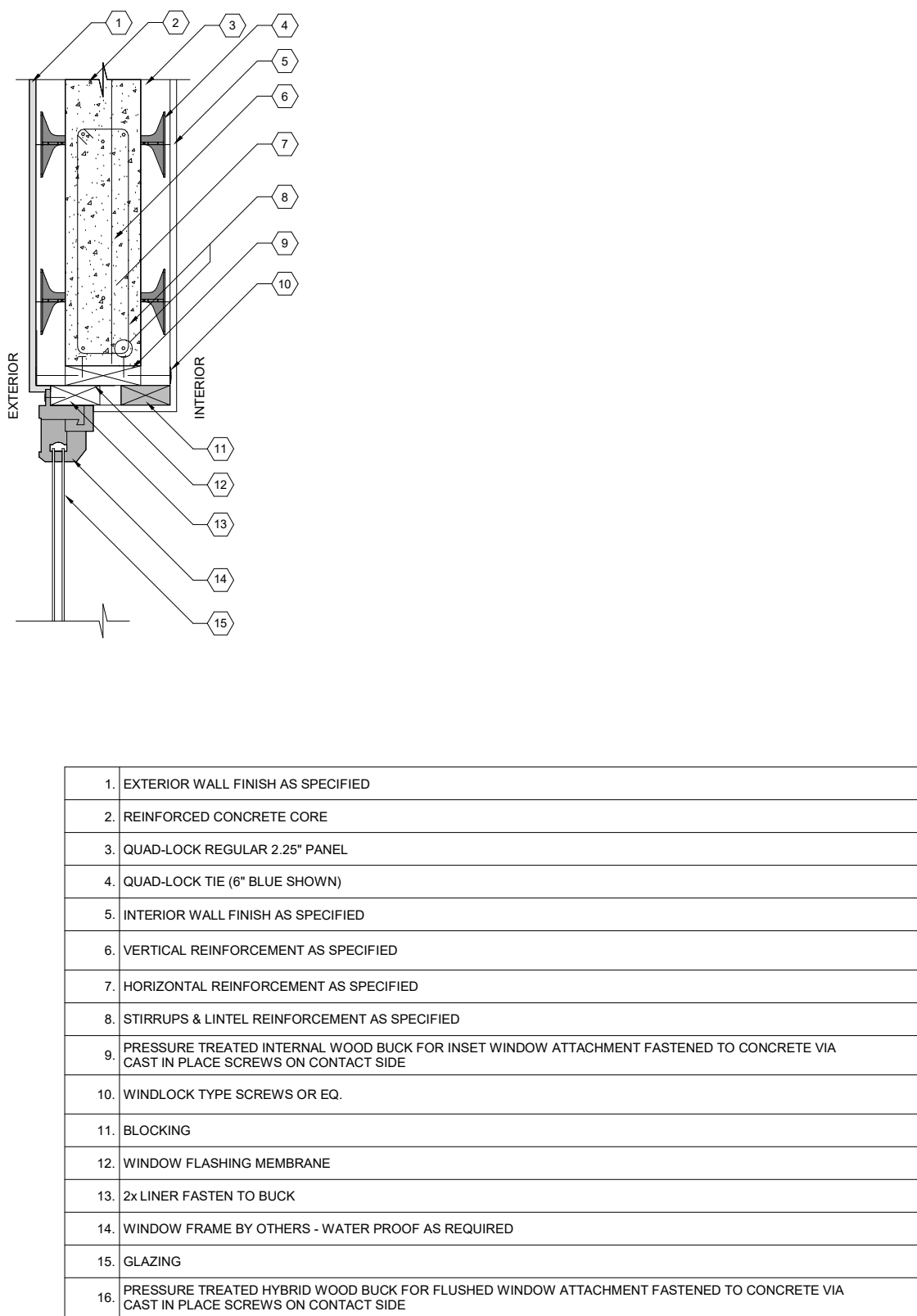
QL-702 NON 90° ANGLE
1" = 1'-0"



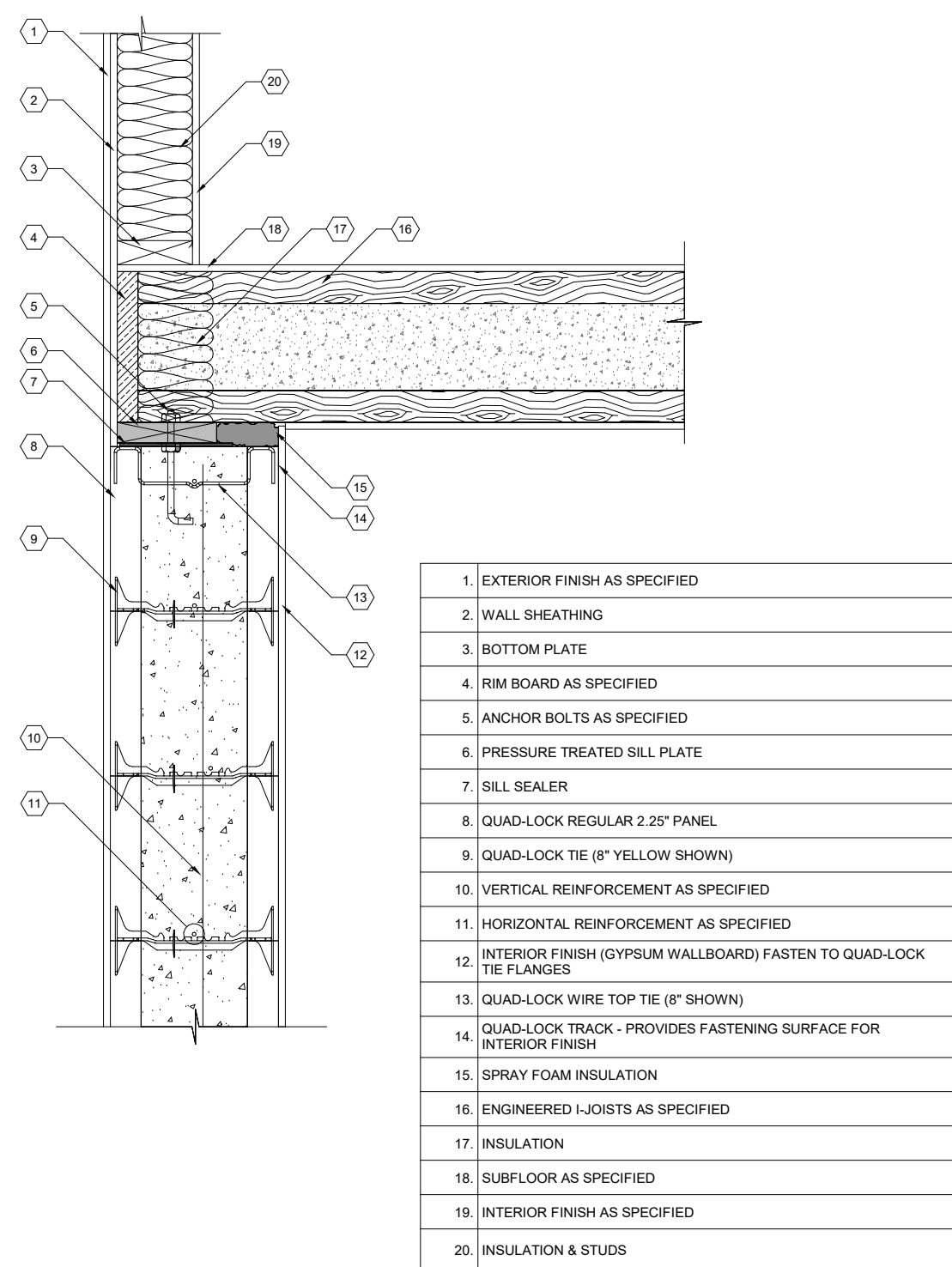
IFC STONE VENEER DETAIL
1" = 1'-0"



QL-407 HEAD & SILL WINDOW DETAIL
1" = 1'-0"



QL-403 WOOD BUCK WINDOW DETAIL
1" = 1'-0"



QL-201 ICF WALL W/ FLOOR ON TOP DETAIL
1" = 1'-0"



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TRUE BLUE & ASSOCIATES, LLC

DRAWING INDEX:

SHEET TITLE:
ICF BLOCK DETAILS

SHEET NUMBER:

A5.1

DRAWN BY:	JAG	REVIEWED BY:	CWS
DATE:	6-05-2018	PROJECT NUMBER:	1714.00

6/6/2018 12:09:36 AM

Window Wall Schedule - Store Front								
Family and Type	Assembly Code	R Value	STC Rating	Width	Length	Area	Cost	Heat Transfer Coefficie nt (U)
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			17' - 3 1/2"	183 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			8' - 4"	67 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			8' - 1 19/32"	89 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			11' - 4"	128 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			8' - 4"	58 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			13' - 11 1/4"	167 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			7' - 9 1/4"	89 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			10' - 0"	113 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			11' - 4"	128 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			8' - 4"	58 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94			8' - 4"	49 SF		
Curtain Wall: Storefront - Tublite T14650 K	B2020200	2.94						
Grand total: 12					113' - 1 19/32"	1132 SF	0.00	

WINDOW SCHEDULE							
Letter	Level	Window Type	Sill Height	Header Size	Width	Height	Window Area
Basement Level							
A	Basement Level	36" x 48"	3' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	4' - 0"	12
A	Basement Level	36" x 48"	3' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	4' - 0"	12
B	Basement Level	60" x 24"	5' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	5' - 0"	2' - 0"	10
B	Basement Level	60" x 24"	5' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	5' - 0"	2' - 0"	10
C	Basement Level	72" x 36"	3' - 6"	(2) 2x10 or IFC Detail (7/A4.1)	6' - 0"	3' - 0"	18
D	Basement Level	24" x 48"	3' - 6"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	4' - 0"	8
Basement Level: 6							70

Main Level							
B	Main Level	60" x 24"	5' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	5' - 0"	2' - 0"	10
B	Main Level	24" x 60"	3' - 10"	(2) 2x10 or IFC Detail (7/A4.1)	5' - 0"	2' - 0"	10
F	Main Level	24" x 24"	4' - 8"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
F	Main Level	24" x 24"	4' - 8"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
F	Main Level	24" x 24"	3' - 10"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
F	Main Level	24" x 24"	3' - 10"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
F	Main Level	24" x 24"	3' - 10"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
F	Main Level	24" x 24"	3' - 10"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
F	Main Level	24" x 24"	5' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
G	Main Level	36" x 36"	4' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	3' - 0"	9
G	Main Level	36" x 36"	4' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	3' - 0"	9
G	Main Level	36" x 36"	4' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	3' - 0"	9
H	Main Level	24" x 36"	5' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	3' - 0"	6
I	Main Level	60" x 36"	2' - 8"	(2) 2x10 or IFC Detail (7/A4.1)	5' - 0"	4' - 0"	20
J	Main Level	36" x 60"	3' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	5' - 0"	15
Main Level: 15							116

Second Level							
F	Second Level	24" x 24"	3' - 0"	(2) 2x10 or IFC Detail (7/A4.1)	2' - 0"	2' - 0"	4
G	Second Level	36" x 36"	4' - 2"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	3' - 0"	9
G	Second Level	36" x 36"	3' - 3"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	3' - 0"	9
G	Second Level	36" x 36"	2' - 4"	(2) 2x10 or IFC Detail (7/A4.1)	3' - 0"	3' - 0"	9
Second Level: 4							31
Grand total: 25							217

Wall Schedule - Exterior Framed Walls								
Family	Type	Assembly Code	R Value	STC Rating	Width	Length	Area	Cost
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	29' - 0"	303 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	23' - 6 1/2"	175 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	29' - 6 1/2"	215 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	5' - 1 1/4"	65 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	19' - 6 3/4"	129 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	7' - 8 31/32"	100 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	4' - 3 17/32"	50 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	10' - 4 1/16"	81 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	11' - 8 3/4"	98 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	17' - 4 11/32"	102 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	0' - 3 1/4"	1 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	8' - 7 3/8"	20 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	9' - 2 1/32"	29 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	10' - 5 3/4"	40 SF	
Basic Wall	Exterior Wall 1/2" Wood Siding, 2x6 Wood Stud, 1/2" Gyp	B2011	21		0' - 6 1/2"	12' - 9 1/8"	72 SF	
Grand total: 15					199' - 6 7/32"	1480 SF	0.00	

Wall Schedule - Exterior ICF										
Family	Type	Base Constraint	Assembly Code	R Value	STC Rating	Width	Length	Area	Cost	Height
Basement Level										
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	6' - 7 17/32"	75 SF		11.30347
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	14' - 1 7/8"	131 SF		9.254354
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	14' - 1 13/32"	91 SF		6.428776
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	4' - 6 1/8"	41 SF		9.163972
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	27' - 7 3/4"	295 SF		10.660136
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	15' - 3 9/32"	169 SF		11.09221
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	19' - 6 3/4"	210 SF		10.749024
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	8' - 1"	88 SF		10.876933
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	13' - 3 1/4"	127 SF		9.603349
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	3' - 5 7/8"	46 SF		13.18209
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	48' - 10 7/8"	504 SF		10.309265
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	18' - 0 5/8"	197 SF		10.908252
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	6' - 7 17/32"	61 SF		9.248294
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Basement Level	ICF	22		0' - 10 1/4"	2' - 6"	37 SF		14.758333
Basement Level: 14						202' - 9 7/8"	2073 SF	0.00		

Main Level										
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	52' - 9 7/8"	414 SF		7.830934
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	8' - 2 3/4"	86 SF		10.429114
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	2' - 6"	29 SF		11.779181
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	27' - 7 3/4"	231 SF		8.352987
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	14' - 2 7/8"	115 SF		8.095137
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	9' - 2 7/8"	73 SF		7.934611
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Main Level	ICF	22		0' - 10 1/4"	15' - 3 9/32"	144 SF		9.434567
Main Level: 7						129' - 11 13/32"	1093 SF	0.00		

Second Level										
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Second Level	ICF	22		0' - 10 1/4"	9' - 3 7/8"	66 SF		7.087343
Basic Wall	Quad-Lock R-22 (2.25" EPS + 5.75" Conc. + 2.25" EPS)	Second Level	ICF	22		0' - 10 1/4"	20' - 4 1/8"	147 SF		7.240143
Second Level: 2						29' - 8"	213 SF	0.00		
Grand total: 23						362' - 5 9/32"	3379 SF	0.00		

Roof Schedule						
Family and Type	Area	Base Level	Heat Transfer Coefficient (U)	Thermal Resistance (R)	Thickness	
Basic Roof: Wood Rafter 2x10 Truss - Metal Roof - Insulated	909 SF	Main Level	0.0140 BTU/(h·ft²·°F)	71.2369 (h·ft²·°F)/BTU	0' - 10 1/4"	
Basic Roof: Wood Rafter 2x10 Truss - Metal Roof - Insulated	1113 SF	Main Level	0.0140 BTU/(h·ft²·°F)	71.2369 (h·ft²·°F)/BTU	0' - 10 1/4"	
Basic Roof: Wood Rafter 2x10 Truss - Metal Roof - Insulated	1301 SF	Main Level	0.0140 BTU/(h·ft²·°F)	71.2369 (h·ft²·°F)/BTU	0' - 10 1/4"	
Basic Roof: Wood Rafter 2x10 Truss - Metal Roof - Insulated	343 SF	Second Level	0.0140 BTU/(h·ft²·°F)	71.2369 (h·ft²·°F)/BTU	0' - 10 1/4"	
Basic Roof: Wood Rafter 2x10 Truss - Metal Roof - Insulated	614 SF	Second Level	0.0140 BTU/(h·ft²·°F)	71.2369 (h·ft²·°F)/BTU	0' - 10 1/4"	
Grand total: 5		4281 SF				

WALL AREA ICF = 4,105 SF		
WALL AREA EXTERIOR FRAMED = 1,488 SF		
TOTAL WALL AREA = 5,593 SF		
WINDOW TO WALL RATIO = 24% WINDOWS		
WINDOW AREA - 1135 SF + 217 SF = 1,352 SF		

Floor Schedule								
Family and Type	Volume	Thermal Resistance (R)	Thermal mass	R Value	Perimeter	Cost	Core Thickness	Area
Floor: 1/2" Slate Flooring, 1/2" gypcrete	28.39 CF	0.0555 (h·ft²·°F)/BTU	0.2870 BTU/°F		156' - 7 25/32"			389 SF
Floor: 1/2" Slate Flooring, 1/2" gypcrete: 1	28.39 CF							389 SF
Floor: Asphalt 4"	1295.35 CF	0.4808 (h·ft²·°F)/BTU	19.4336 BTU/°F		579' - 2 1/32"			3886 SF
Floor: Asphalt 4": 1	1295.35 CF							3886 SF
Floor: Concrete Floor 3.5", 2" Rigid Insulation, 4" Compacted Soil	1653.48 CF	8.2416 (h·ft²·°F)/BTU	0.0840 BTU/°F		256' - 0 27/32"			1995 SF
Floor: Concrete Floor 3.5", 2" Rigid Insulation, 4" Compacted Soil: 1	1653.48 CF							1995 SF
Floor: Concrete Floor 4"	441.19 CF				105' - 4"			662 SF
Floor: Concrete Floor 4"	69.74 CF				60' - 3 1/2"			105 SF
Floor: Concrete Floor 4": 2	510.92 CF							766 SF
Floor: Concrete Floor 7 1/4"	41.08 CF				51' - 4"			68 SF
Floor: Concrete Floor 7 1/4": 1	41.08 CF							68 SF
Floor: Exterior Deck - PATIO	113.49 CF				75' - 0 5/8"			340 SF
Floor: Exterior Deck - PATIO	132.37 CF				197' - 11 13/32"			397 SF
Floor: Exterior Deck - PATIO: 2	245.86 CF							738 SF
Floor: Exterior Deck, 2x10 Joists 16" O.C.	93.79 CF	0.8013 (h·ft²·°F)/BTU	1.8670 BTU/°F		44' - 8 1/4"			110 SF
Floor: Exterior Deck, 2x10 Joists 16" O.C.	61.50 CF	0.8013 (h·ft²·°F)/BTU	1.8670 BTU/°F		36' - 0"			72 SF
Floor: Exterior Deck, 2x10 Joists 16" O.C.	299.57 CF	0.8013 (h·ft²·°F)/BTU	1.8670 BTU/°F		123' - 7 1/4"			351 SF
Floor: Exterior Deck, 2x10 Joists 16" O.C.: 3	454.87 CF							533 SF
Floor: Slate 3 1/2" Concrete Slab	28.30 CF	0.4826 (h·ft²·°F)/BTU	6.5717 BTU/°F		39' - 11 1/2"			85 SF
Floor: Slate 3 1/2" Concrete Slab: 1	28.30 CF							85 SF
Floor: Wood Flooring	96.12 CF				327' - 8 15/16"			1318 SF
Floor: Wood Flooring	15.58 CF				65' - 4 11/16"			214 SF
Floor: Wood Flooring: 2	111.71 CF							1532 SF
Floor: Wood Joist 9 1/4" - 3/4" Plywood, 1/2" Drywall	187.59 CF	54.3848 (h·ft²·°F)/BTU	0.7443 BTU/°F		65' - 5 15/16"			214 SF
Floor: Wood Joist 9 1/4" - 3/4" Plywood, 1/2" Drywall: 1	187.59 CF							214 SF
Floor: Wood Joist 11 7/8" - 3/4" Plywood	2129.25 CF	69.5287 (h·ft²·°F)/BTU	0.7482 BTU/°F		260' - 10 7/16"			1947 SF
Floor: Wood Joist 11 7/8" - 3/4" Plywood: 1	2129.25 CF							1947 SF

Wall Schedule - Interior & Cultured Stone							
Family and Type	Assembly Code	R Value	STC Rating	Width	Length	Area	Cost

[illegible]

Basic Wall: Exterior - 2" Stone Veneer: 58	390' - 11 1/2"	1882 SF
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Basic Wall: Interior - 4 1/2" Partition						
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	6' - 6 1/4"	43 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	4' - 0 1/2"	34 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	5' - 4 1/2"	51 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	6' - 6 1/4"	56 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	8' - 2 3/4"	35 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	12' - 10 19/32"	125 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	6' - 9 1/2"	23 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	11' - 10 1/4"	69 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	5' - 4 1/2"	48 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	3' - 5"	27 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	6' - 6 1/4"	35 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	12' - 5 1/8"	73 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	7' - 7 7/8"	79 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	15' - 7 7/8"	119 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	3' - 5 1/4"	17 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	6' - 7 1/4"	15 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	6' - 6 3/4"	57 SF
Basic Wall: Interior - 4 1/2" Partition	C1010145			0' - 4 1/2"	11' - 7"	103 SF
Basic Wall: Interior - 4 1/2" Partition: 18					141' - 5 1/2"	1008 SF

Basic Wall: Interior - 4 1/2" Partition wraps							
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145			0' - 4 1/2"	13' - 5 1/2"	115 SF	

Wall Schedule - Interior & Cultured Stone							
Family and Type	Assembly Code	R Value	STC Rating	Width	Length	Area	Cost

Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	10' - 6 5/8"	42 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	10' - 0 9/32"	121 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	5' - 9 1/8"	58 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	7' - 6 1/8"	66 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	5' - 3 15/32"	32 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	4' - 6 1/2"	27 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	3' - 10 21/32"	45 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	1' - 1"	15 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	1' - 10 7/8"	20 SF	
Basic Wall: Interior - 4 1/2" Partition wraps	C1010145		0' - 4 1/2"	3' - 8 5/16"	38 SF	

Basic Wall: Interior - 4 1/2" Partition wraps: 11	6' - 8 15/32"	579 SF
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Basic Wall: Interior - 6 1/2" Partition					
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	17' - 1 1/8"	125 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	19' - 1 1/2"	153 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	19' - 11 1/8"	160 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	10' - 10 1/2"	129 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	13' - 1 29/32"	79 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	2' - 5 1/2"	21 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	5' - 6 3/4"	56 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	11' - 10 1/4"	86 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	8' - 7"	34 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	8' - 3 5/16"	66 SF
Basic Wall: Interior - 6 1/2" Partition	C1010145		0' - 6 1/2"	13' - 8 3/8"	117 SF

Basic Wall: Interior - 6 1/2" Partition: 11	130' - 7 11/32"	1026 SF
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DOOR SCHEDULE							
Number	Level	Family and Type	Type	Header Size	Width	Height	Door Area

2	Basement Level	Single-Flush: 30" x 80"	30" x 80"		2' - 6"	6' - 8"	16.666667
3	Basement Level	Single-Flush: 32" x 80"	32" x 80"		2' - 8"	6' - 8"	17.777778
3	Basement Level	Single-Flush: 32" x 80"	32" x 80"		2' - 8"	6' - 8"	17.777778
4	Basement Level	Single-Flush: 30" x 80"	30" x 80"		2' - 6"	6' - 8"	16.666667
5	Basement Level	Barn_Door_5547: 54"x89 1/4" Solid Vintage Sliding Reclaimed Door	54"x89 1/4" Solid Vintage Sliding Reclaimed Door		4' - 6"	7' - 5 1/4"	33.46875
6	Basement Level	Barn_Door_5547: 60"x89 1/2" Glass Vintage Sliding Reclaimed Door	60"x89 1/2" Glass Vintage Sliding Reclaimed Door		5' - 0"	7' - 5 1/4"	37.1875
7	Basement Level	Sliding_Curtain_Wall_Door_12253: Store Front Double Door	Store Front Double Door		8' - 2 1/16"	6' - 8"	54.476302
8	Basement Level	Single-Flush: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
9	Basement Level	Single-Flush: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
10	Basement Level	Sliding_Curtain_Wall_Door_12253: Store Front Double Door	Store Front Double Door		8' - 2 1/16"	6' - 8"	54.476302
11	OLDMain Level	Sliding_Curtain_Wall_Door_12253: Store Front Double Door	Store Front Double Door		7' - 11 3/32"	7' - 11 15/32"	63.027194
12	Main Level	Door-Interior-Single-Full Glass-Wood: 36" x 84" Exterior Door	36" x 84" Exterior Door		3' - 0"	7' - 0"	21
13	Main Level	Int-Pocket-3_Panel-Craftsman_Casing_Door slim trim: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
14	Main Level	Int-Pocket-3_Panel-Craftsman_Casing_Door slim trim: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
15	Main Level	Single-Flush: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
16	Main Level	Door-Interior-Single-Full Glass-Wood: 36" x 84" Exterior Door	36" x 84" Exterior Door		3' - 0"	7' - 0"	21
17	Main Level	Garage_-_Glass_2_Car_14987: Garage_-_Glass_2_Car_14987	Garage_-_Glass_2_Car_14987		9' - 0"	7' - 0"	63
18	Main Level	Garage_-_Glass_2_Car_14987: Garage_-_Glass_2_Car_14987	Garage_-_Glass_2_Car_14987		9' - 0"	7' - 0"	63
19	Main Level	Int-Pocket-3_Panel-Craftsman_Casing_Door slim trim: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
20	Main Level	Sliding_Door_Panel_-_Closet_280: 84" x 84"	84" x 84"		7' - 0"	7' - 0"	49
21	Main Level	Single_Storefront_-_New_amp_Existing_Rovit_2012_15602: Store Front Single Door	Store Front Single Door		3' - 8"	7' - 11 15/32"	29.16734
22	OLDMain Level	Sliding_Curtain_Wall_Door_12253: Store Front Double Door	Store Front Double Door		8' - 2 1/16"	7' - 11 15/32"	65.002175
23	Main Level	Double_pocket_door_18989: Heirloom French Pocket Door (2) 30"x80"	Heirloom French Pocket Door (2) 30"x80"		5' - 0"	6' - 8"	33.333333
24	Main Level	Sliding_Door_Panel_-_Closet_280: 48" x 84"	48" x 84"		4' - 0"	7' - 0"	28
25	Main Level	Single-Flush: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
26	Main Level	Single-Flush: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
27	Main Level	Int-Pocket-3_Panel-Craftsman_Casing_Door slim trim: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
28	Main Level	Single-Flush: 36" x 80"	36" x 80"		3' - 0"	6' - 8"	20
29	OLDMain Level	Sliding_Curtain_Wall_Door_12253: Store Front Double Door	Store Front Double Door		7' - 11 21/32"	7' - 11 15/32"	63.416546
55	Basement Level	Single-Flush: 30" x 70"	30" x 70"		2' - 6"	5' - 10"	14.583333

Room Schedule									
Number	Name	Level	Base Finish	Ceiling Finish	Floor Finish	Wall Finish	ceiling height	Volume	Area

Basement Level									
1	GUESTROOM	Basement Level					575.12 CF	117 SF	
2	GUESTROOM	Basement Level					562.50 CF	117 SF	
3	BATHROOM	Basement Level					957.63 CF	109 SF	
4	ENTERTAINMENT SPACE	Basement Level					3584.22 CF	775 SF	
5	MECHANICAL & STORAGE	Basement Level					2961.76 CF	333 SF	
6	FUTURE EXPANSION	Basement Level					3567.43 CF	401 SF	

Basement Level: 6	12208.65 CF	1852 SF
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Main Level								
7	GATHERING ROOM	Main Level					3964.31 CF	409 SF
8	KITCHEN	Main Level					2043.59 CF	208 SF
9	PANTRY	Main Level					388.32 CF	43 SF
10	MUDROOM	Main Level					1048.31 CF	116 SF
11	GARAGE	Main Level					6388.08 CF	664 SF
12	ENTRY & DINING	Main Level					4481.92 CF	455 SF
13	OFFICE	Main Level					1075.85 CF	112 SF
14	BATHROOM	Main Level					686.86 CF	69 SF
15	WALK-IN	Main Level					952.52 CF	98 SF
16	MASTER BEDROOM	Main Level					2833.57 CF	286 SF
17	MASTER BATHROOM	Main Level					1257.36 CF	130 SF

Main Level: 11	25120.68 CF	2590 SF
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Second Level							
18	LIBRARY	Second Level				1597.66 CF	213 SF

Second Level: 1 1597.66 CF 213 SF

Grand total: 10 CF 4033 SI

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REVISIONS		
No.	Description	Date
0	FOR PERMITS	06/05/18

Permit Set

DRAWING INDEX:

SHEET TITLE

Quantities & Schedules

SHEET NUMBER

A8.1

DRAWN BY:

JAG

DATE _____

6-05-2018

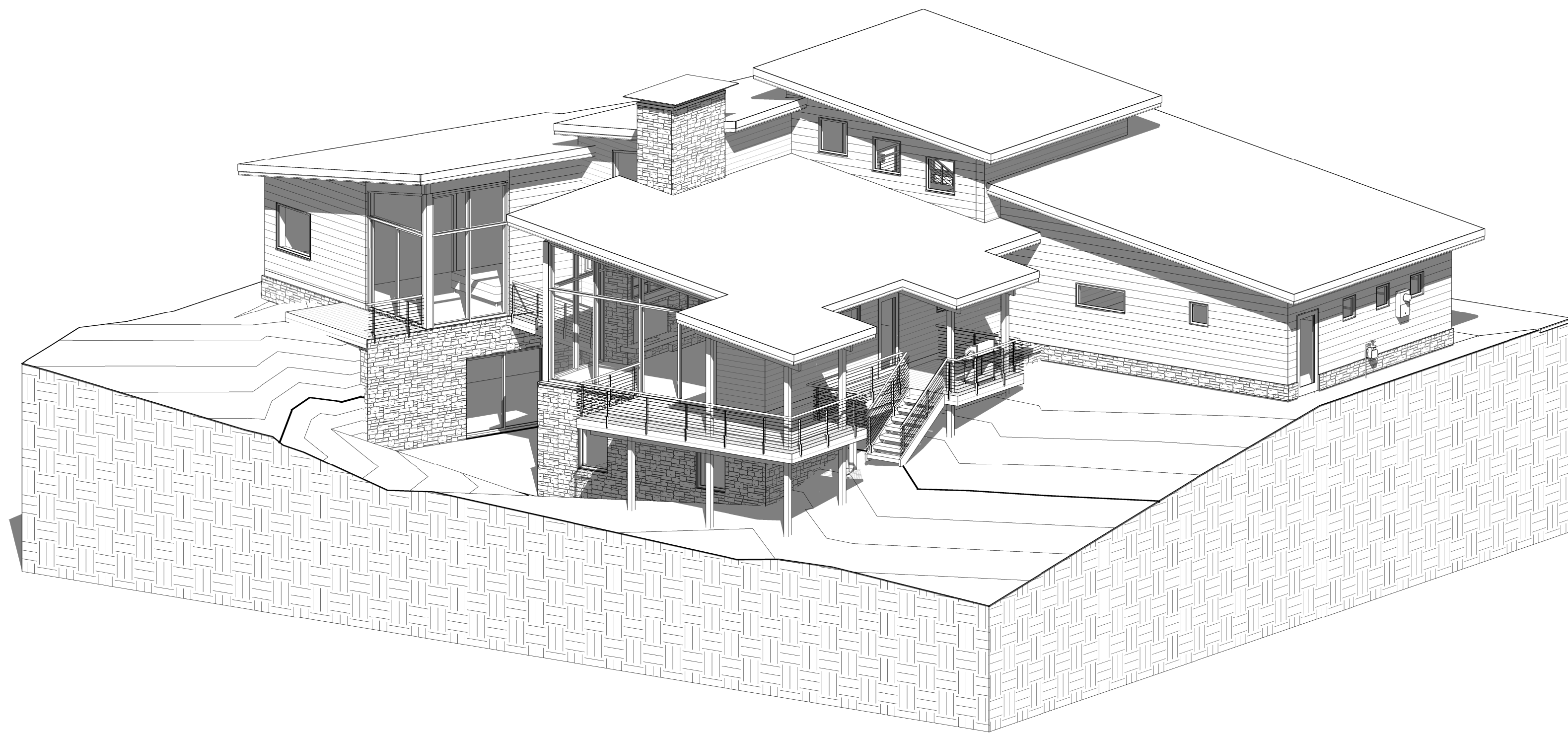
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PROJECT NUMBER
1714.00



3
A10.0

Entry Perspective



1
A10.0

3D Overall A



2
A10.0

3D Overall B



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SHEET TITLE:
3D VIEWS

SHEET NUMBER:

A10.0

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DATE: 6-05-2018	PROJECT NUMBER: 1714.00