



Boulders Area Trail System Project

On August 21, 2024, the Payson Ranger District signed the decision memo authorizing the Boulders Area Trail System Phase 1. This is the first official trail system to be implemented as part of the larger Payson Area Trails (PATS) master plan.

The goals of this trail system are to meet the needs of the community by providing a sustainable non-motorized trail system, that is easy to access, easy to maintain, able to support special events, all while providing varying levels of trail user experience.

Project Details:

This project authorizes construction and maintenance of the below features. Implementation will occur in a phased approach as funding becomes secured through either the USFS or its partners.

- **Create the Cypress Trailhead-** create a new trailhead parking area to allow for 20 or so vehicles (approximately 25,000 sq. ft.). Installation of gate, surface material, fencing, three panel kiosk, signage (road and trail signs-following developed sign plan guidelines), and a possible vault toilet. Trailhead would be managed for day use only-no overnight camping allowed. See conceptual design attachments.
- **Create the Granite Dells Trailhead-** create a new trailhead parking area to allow for 30 or so vehicles (approximately 30,000 sq. ft.). Installation of gate, surface material, fencing, three panel kiosk, signage (road and trail signs-following developed sign plan guidelines), and a vault toilet. Trailhead would be managed for day use only-no overnight camping allowed. See conceptual design attachments.
- **Construct New Trails-**Under this phase approximately 6 miles of new non-motorized class 3 trails will be constructed. The trail management objectives for these trails will be managed as standard terra non-motorized uses including hiker/pedestrian, bicycle, and pack and saddle. The trails' designed use would be for pack and saddle. Routine maintenance will be needed once completed.
- **Adopt and Maintain Social Trails-** This area has been well used by locals for many years. Over time a system of approximately 10 miles of user created trails has developed. In many places these trails are now not sustainable due to lack of drainage and substrate. Maintenance will be needed on many sections of trails and will need to include the use of small trail machine as well as hand crews.
- **Approve and install a trail system signage plan-**A trail system signage plan will be developed and followed. This plan will be consistent with both USFS specifications along with the Payson Area Trails Plan. This plan will cover both trailhead signage as well as all necessary intersections and other points of interest.
- **Close Unauthorized Motorized Access Points:** There are many locations where we have noted motorized intrusions along the road and trails. As part of this action, we will begin to restrict motorized access at these, and any other user created points within this project



area. This work will require machine work in combination with installing barriers such as boulders and or fencing.

Granite Dells Road Widening and Improvements-from the FS boundary some sections of the Granite Dells Road will need to be realigned or improved to safely accommodate the increased recreational traffic.

Current Grant applications Submitted:

- ATIIP (TOP)
- AZ State Parks RTP (USFS) Boulders Area Trail System 150,000 for 5-6 miles of new trail construction
- AZ State Parks RTP Maintenance (RCMBA) 100,000 for maintenance of existing social trails
- AZ State Parks RTP Education/Signage (RCMBA) 10,000 for trail intersection signs
- NFF is submitting a T-Mobile Hometown grant for 50,000 for maintenance of existing social trails, signage and trail volunteer tools.

Other projects Underway:

Houston Mesa Area Trail System-still in development, working with SDR on finalizing a Phase 1 plan to be submitted to the USFS for NEPA process.

American Gulch Area Trail System-still in development, working with SDR on finalizing a Phase 1 plan to be submitted to the USFS for NEPA process.

Rim Country Trail Connector-layout still being look at by a few dedicated volunteers, RCMBA did apply for a Pay Dirt Grant to fund the Archeology surveys needed.

Pine-Strawberry Trails additions-NEPA is almost completed (anticipated for Oct 2024). Under this decision several new trails will be authorized along with new Trailheads and a bike skills area. Pine Strawberry Fuels Reduction has submitted grant application for AZ State Parks RTP 150,000 for construction of 6 miles of new trail.

RCMBA applied for a 50,000 Pay Dirt Grant for potential archeology survey for the Rim Country Connector.

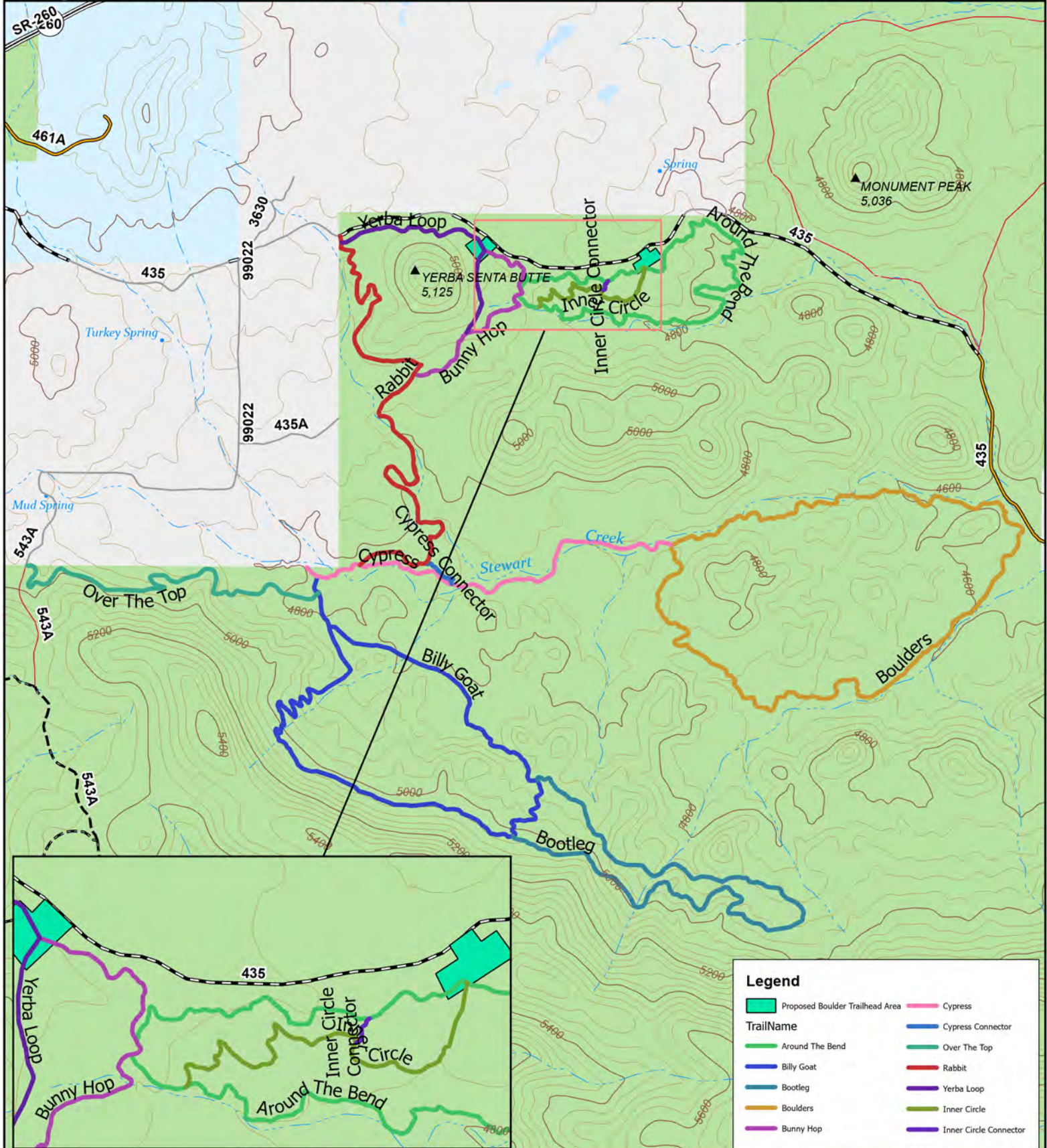
USFS/Tonto applied for a AZ State Parks RTP Grant for work on the Redrock Springs/new Highline Trail Connector.



Forest Service
U.S. DEPARTMENT OF AGRICULTURE

Proposed Boulder Trails Area Names

Southwestern Region | Tonto National Forest



Payson Ranger District | Boulders Area Trailheads

Fee Proposal

Prepared by:

LAST ARCHITECTS

Prepared for:

USDA Forest Service



September 10, 2024

Angela Abel | Recreation Manager
Forest Service | Tonto National Forest
1009 AZ-260
Payson, AZ 85541

Re: Boulders Area Trailheads | Cypress + Granite Dells

Service Description: The National Forest Foundation (NFF) partnered with the US Forest Service (USFS, Tonto National Forest, Payson Ranger District) are continuing their revitalization and improvement projects on the trails in Rim Country outside the surrounding towns of Payson, Pine, Star Valley, and Strawberry, Arizona.

The overall goals of this program are to:

- + Provide single-lane, non-motorized trail that can accommodate moderate use for hikers, bikers, and horseback riders with intermediate skill level and experience.
- + Slow and prevent erosion on trails and in campgrounds.
- + Improve watershed health and water quality in Rim Country areas supported by recreational needs.
- + Increase user safety on trails and in campgrounds.
- + Reduce deferred maintenance and long-term maintenance requirements on both trails and in campgrounds.

The next step in the revitalization plan is the design and engineering of two trailheads in support of the Boulders Loop Trail east of Payson. The Trailheads will advance the conceptual design and cost estimating work previously completed by LAST Architects. Utilizing a full engineering team, the result of this work will be a permitted and construction ready drawing package for issuance to interested contracting partners.

Scope of Work: LAST Architects will facilitate the following:

TASK 1 | Architecture – Schematic Design (30%)

Building upon the developed Trailhead Program and Conceptual Design, Schematic Design translates the program's quantitative and adjacency data with the aspirational goals, desired qualitative experiences, and performance metrics to uncover meaningful project precepts that establish a baseline project language for design study and critique. Through this operative discourse, Schematic Design develops an integrative project approach that reconciles the various project issues and opportunities while upholding the larger Goals and Vision agreed upon for the work.

TASK 2 | Architecture – Design Development (60%)

Design Development advances the approved Schematic Design approach incorporating the specificity of various systems and elements. System development and project coordination is achieved through the facilitation of discipline specific workshops. The developed approach continues to be analyzed and tested against the project goals and vision to ensure design integrity and meaning.

TASK 3 | Architecture – Permit Drawings (95%)

Based on the Client's authorization to proceed, LAST Architects will coordinate and generate documents for use in permitting and constructing the project. Construction Documents for review and approval at 95% completion will be submitted for permit approval with the Authorit(ies) Having Jurisdiction.

Scope of Work (cont'd):	TASK 4 Architecture – Construction Documents (100%)
	Incorporating all Permit and Quality Assurance and Control comments, the final 100% Construction Document set is completed. The finished set, coordinating all disciplines, is ready for distribution amongst interested parties for bidding and construction. The design team is to be engaged for Construction Administrative services at that time - not included here.
	TASK 5 Geotechnical Engineering
	<i>See attached Speedie and Associates fee proposal: "Cypress & Granite Dells Trailheads - Proposal No. 88878 S" for proposed scope and fee.</i>
	TASK 6 Civil Engineering
	<i>See attached Hess-Rountree fee proposal: "Boulders and Bradshaw Trailheads" for proposed scope and fee.</i>
	TASK 7 Landscape Architecture
	<i>See attached Wheat Design Group fee proposal: "Boulders Area Trailheads" for proposed scope and fee.</i>
	TASK 8 Structural Engineering
	<i>See attached BDA Design fee proposal: "Boulders and Bradshaw Trailheads" for proposed scope and fee.</i>
Fee Basis:	TASK 9 Electrical Engineering
	<i>See attached Woodward Engineering fee proposal: "Bradshaw and Cypress Trailheads" for proposed scope and fee.</i>
	TASKS 10 Plumbing Engineering
	<i>See attached Associated Mechanical Engineers fee proposal: "Boulders & Bradshaw Trailheads" for proposed scope and fee.</i>

Service Provided

Part 2 | Cypress + Granite Dells

TASK 1 Architecture – Schematic Design (30%)	\$ 21,160
TASK 2 Architecture – Design Development (60%)	\$ 37,020
TASK 3 Architecture – Permit Drawings (95%)	\$ 42,340
TASK 4 Architecture – Construction Documents (100%)	\$ 5,280
TASK 5 Geotechnical Engineering	\$ 8,800
TASK 6 Civil Engineering	\$ 53,444
+ Topographic Survey	\$ 5,970
+ Grading and Drainage	\$ 27,804
- 30%	\$ 9,731
- 60%	\$ 8,341
- 95%	\$ 8,341
- 100%	\$ 1,391
+ Stormwater Pollution Prevention Plan (SWPP)	\$ 2,880
+ Drainage Report (Erie & Associates)	\$ 16,790
TASK 7 Landscape Architecture	\$ 18,708
+ 30%	\$ 4,448
+ 60%	\$ 4,768
+ 95%	\$ 6,672
+100%	\$ 2,820
TASK 8 Structural Engineering	\$ 7,600
+ 30%	\$ 2,300
+ 60%	\$ 2,300
+ 95%	\$ 2,600
+100%	\$ 400

Fee Basis (cont'd):	TASK 9 Electrical Engineering	\$ 13,500
	+ Pre-Design with Site Visit	\$ 2,000
	+ 30%	\$ 4,000
	+ 60%	\$ 2,500
	+ 95%	\$ 3,000
	+100%	\$ 2,000
	TASK 10 Plumbing Engineering	\$ 1,500
	+ 30%	\$ 500
	+ 60%	\$ 500
	+ 95%	\$ 250
	+100%	\$ 250
PART 2 TOTAL:		\$209,352

Schedule: LAST Architects, working with USFS, will establish a milestone schedule based on an agreed upon notice to proceed date and completion date. Schedule to be vetted with NFF and consultant team to ensure suitable time frames for design, development, delivery, and review.

Billing: Upon acceptance, the Payson Ranger District to provide LAST Architects an initial payment of **\$6,900.00** for commencement of work. The initial payment will be credited towards the final invoice. Two additional invoices will be released at the completion of Concept Design Finalization and at the conclusion of the Concept Package and Presentation.

Reimbursables: Costs directly related to the delivery of the work, if incurred, will be reimbursed at cost plus 10%. Project related travel to be reimbursed at the IRS standard mileage rate.

Thank You & Contact: LAST Architects endeavors to provide you with an engaged and comprehensive services with an experienced and dedicated team. Please let us know if you have any questions. We look forward to working with you.



Brad Lang, AIA 9/10/24
Date
Principal | Co-Founder
LAST Architects
(480) 570-5296
brad@lastarchitects.com

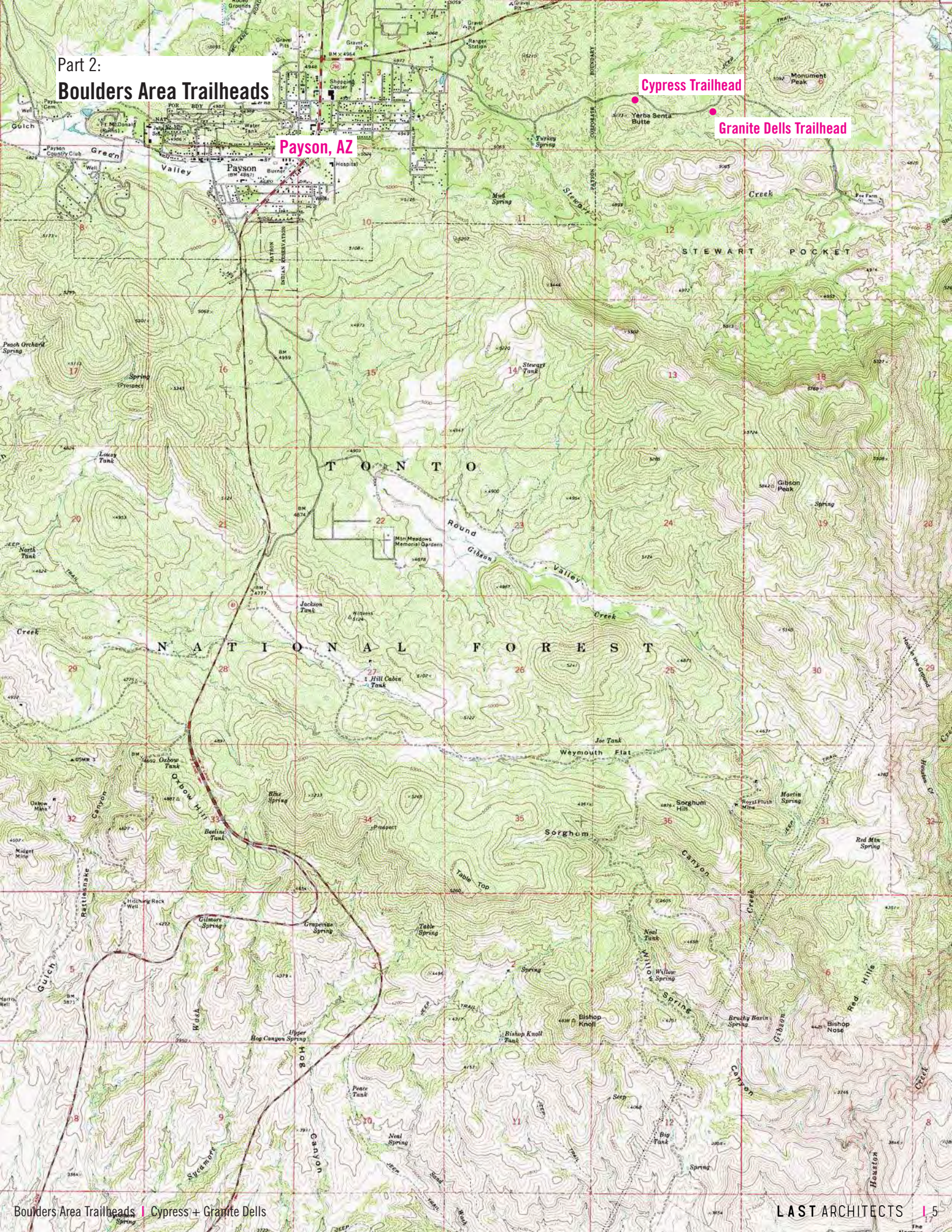


Eric Sterner 9/10/24
Date
Principal | Co-Founder
LAST Architects
(610) 570-5573
eric@lastarchitects.com

EXHIBITS



Part 2:
Boulders Area Trailheads



Cypress Trailhead

Granite Dells Trailhead

Payson, AZ

Part 2:

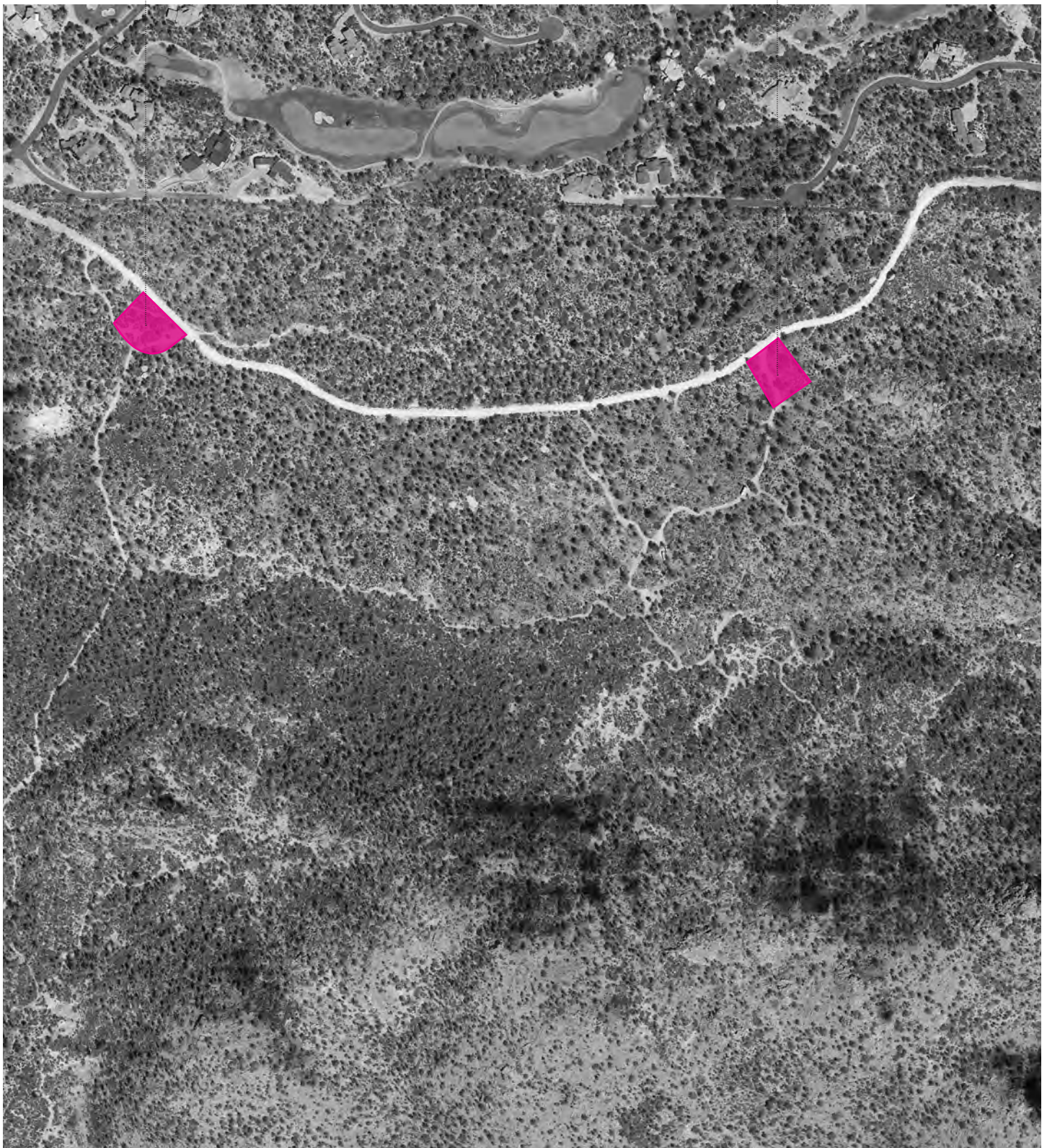
Boulders Area Trailheads

Cypress Trailhead

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Granite Dells Trailhead

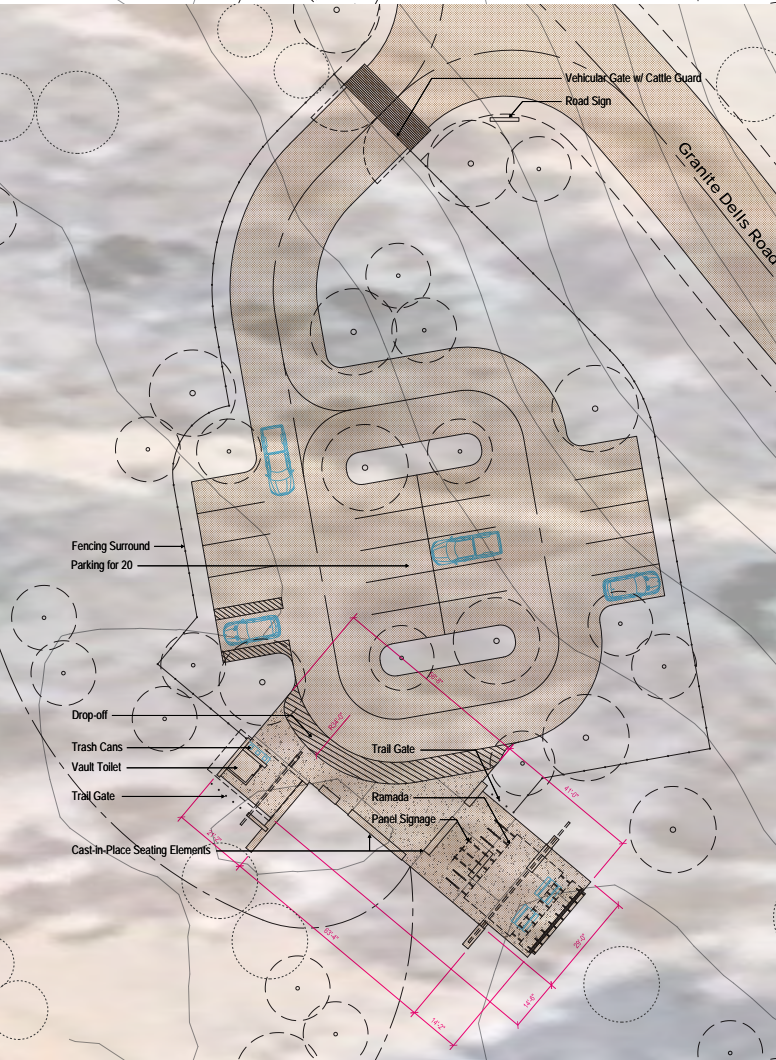
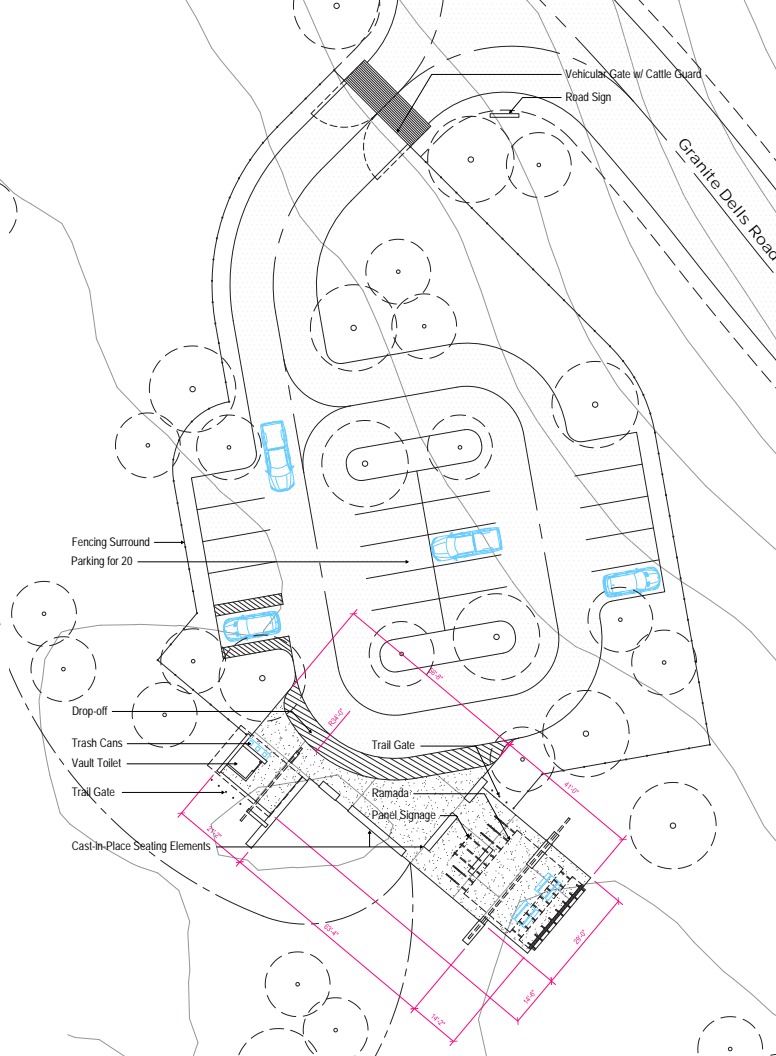
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Cypress Trailhead

These trailheads already have detailed concept designs from LAST Architects. The current work is intended to obtain a technical analysis for the upcoming engineering design of the trailheads as depicted in the concept designs presented here.

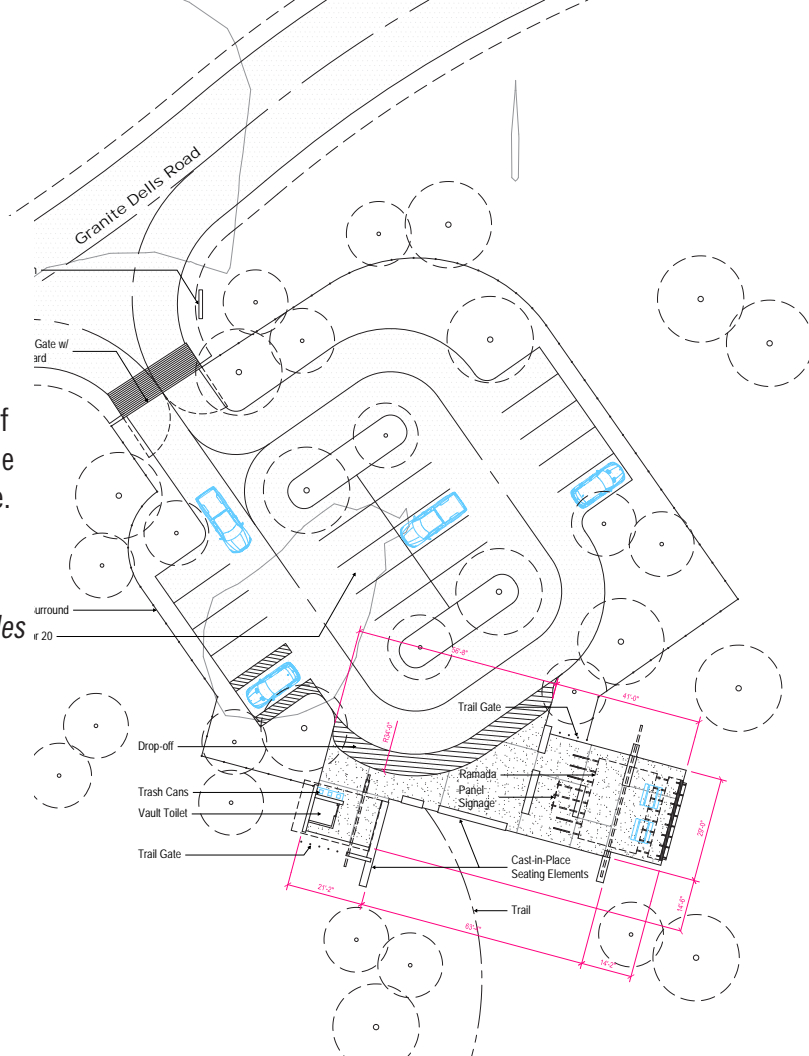
Create a new trailhead parking area to allow for 20 or so vehicles (approximately 25,000 sq. ft.). Installation of gate, surface material, fencing, three panel kiosk, signage (road and trail signs-following developed sign plan guidelines), and a vault toilet. Trailhead would be managed for day use only-no overnight camping allowed.



Part 2b: Granite Dells Trailhead

These trailheads already have detailed concept designs from LAST Architects. The current work is intended to obtain a technical analysis for the upcoming engineering design of the trailheads as depicted in the concept designs presented here.

Create a new trailhead parking area to allow for 20 or so vehicles (approximately 25,000 sq. ft.). Installation of gate, surface material, fencing, three panel kiosk, signage (road and trail signs-following developed sign plan guidelines), and a vault toilet. Trailhead would be managed for day use only-no overnight camping allowed.



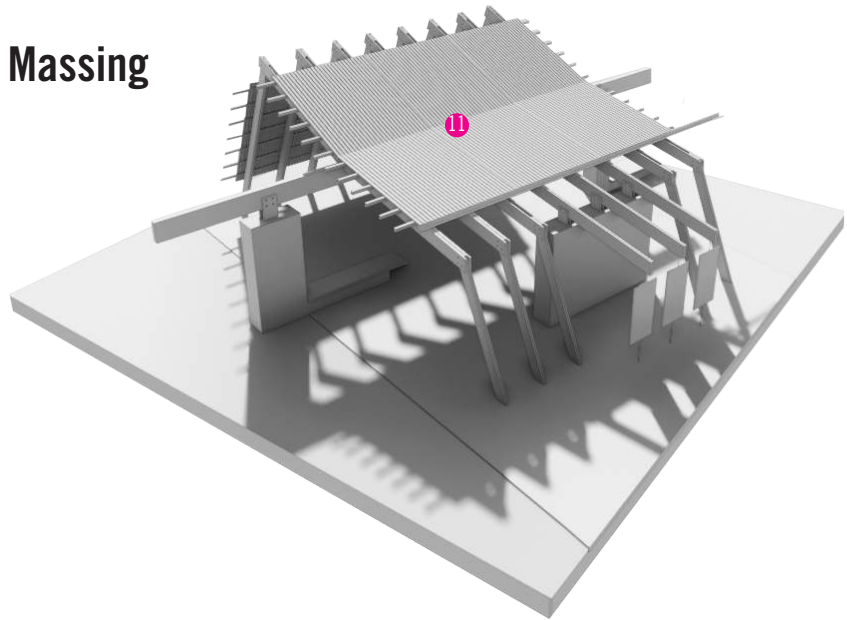
Part 2:
Trailhead Views



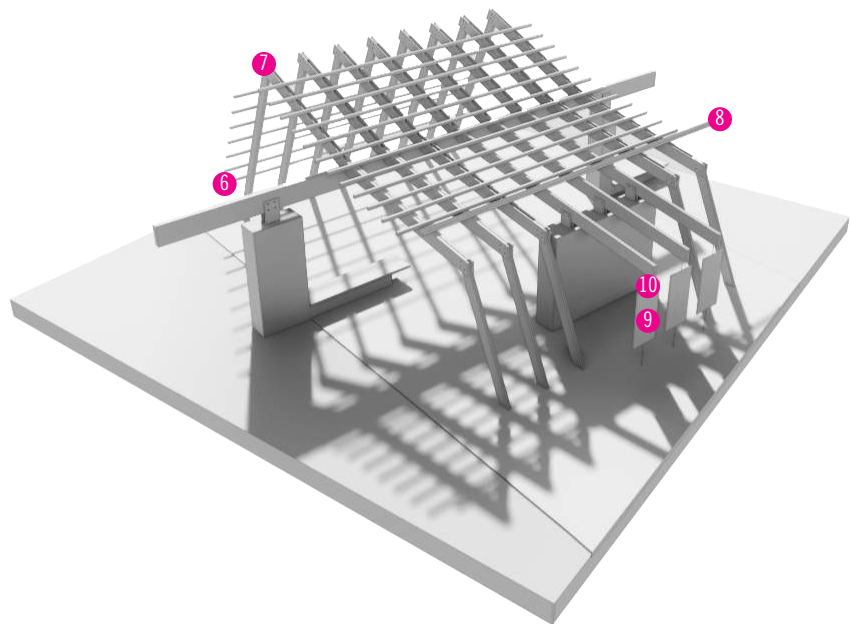
Part 2:

Typical Trailhead Conceptual Massing

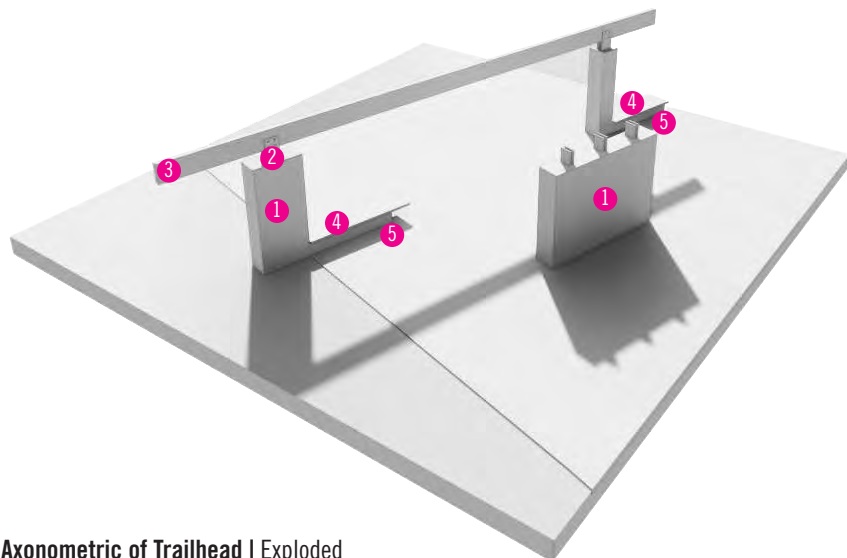
- 11 7/8" Corrugated Corten Roof
- 12 Perforated Corrugated Metal Panel



- 6 Corten Steel Tube
- 7 Wood Framing Members
- 8 Corten Steel Gutter
- 9 Steel Signage
- 10 Steel Rod

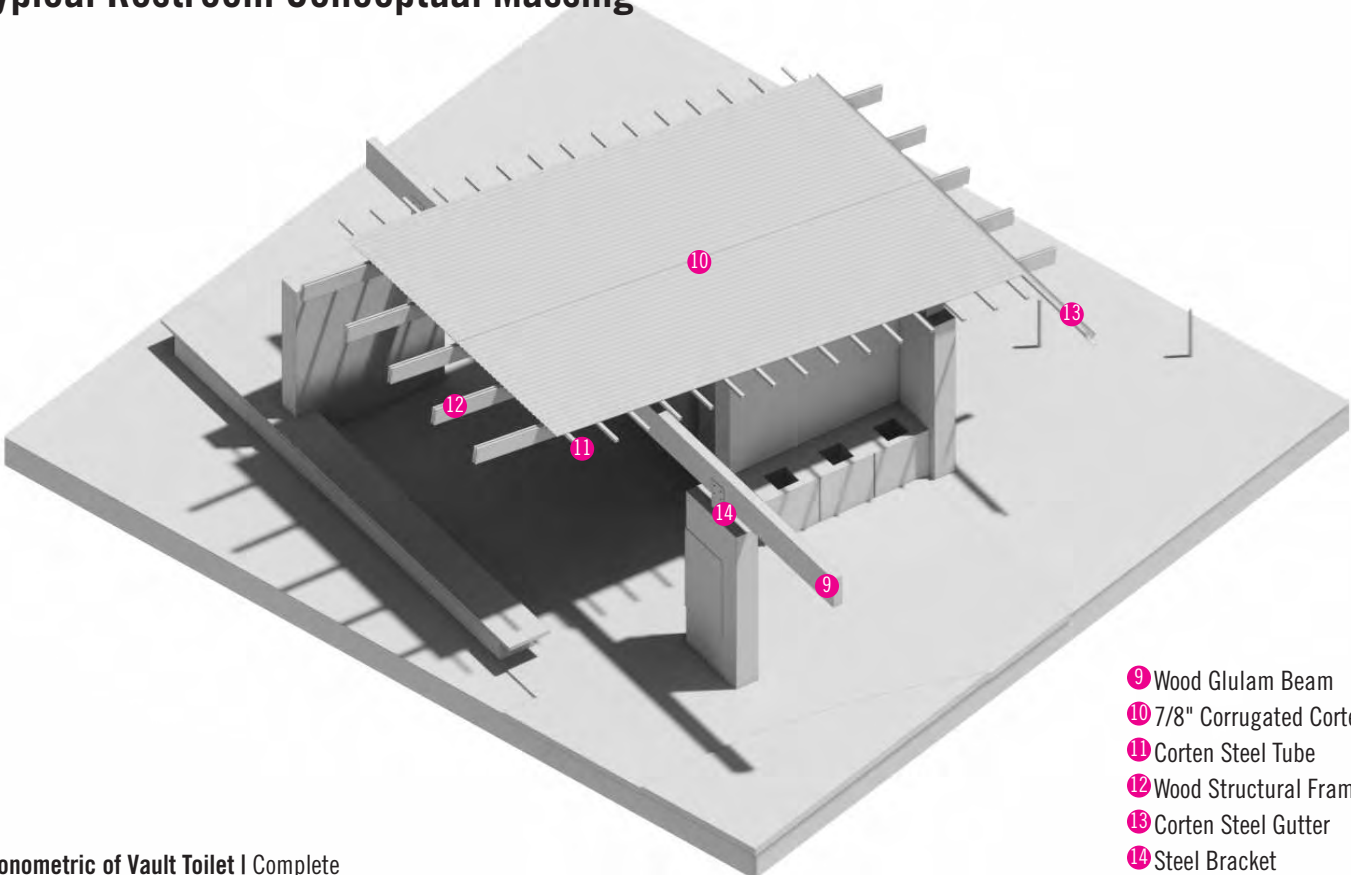


- 1 Masonry Wall with Stone Cladding
- 2 Steel Bracket
- 3 Wood Glulam Beam
- 4 Wood Plank Top on Bench
- 5 Colored Concrete Exposed Aggregate



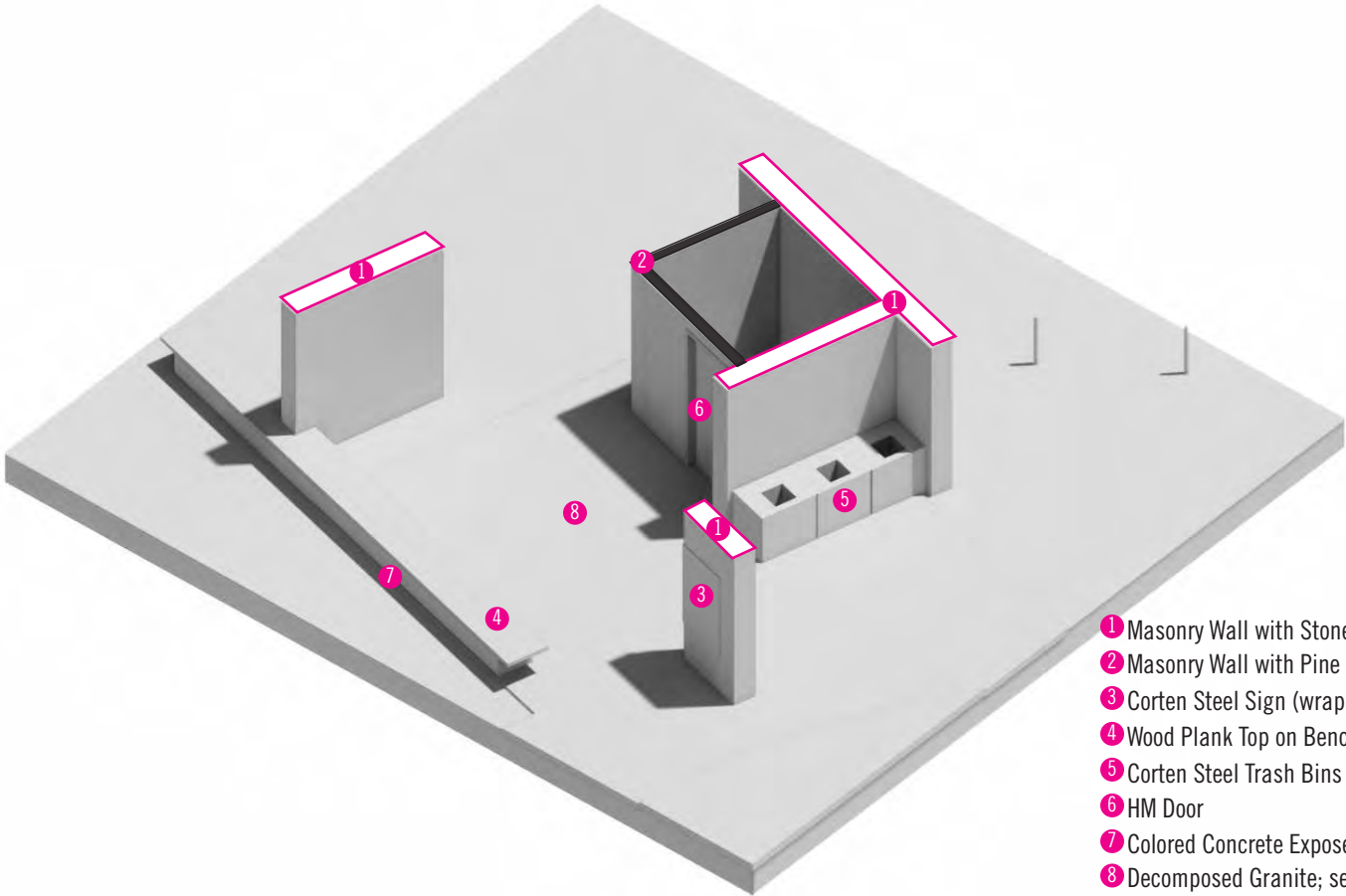
Axonometric of Trailhead | Exploded

Typical Restroom Conceptual Massing



Axonometric of Vault Toilet | Complete

- 9 Wood Glulam Beam
- 10 7/8" Corrugated Corten Steel
- 11 Corten Steel Tube
- 12 Wood Structural Framing
- 13 Corten Steel Gutter
- 14 Steel Bracket



Axonometric of Vault Toilet | Walls

- 1 Masonry Wall with Stone Cladding
- 2 Masonry Wall with Pine Clapboard
- 3 Corten Steel Sign (wraps Column)
- 4 Wood Plank Top on Bench
- 5 Corten Steel Trash Bins
- 6 HM Door
- 7 Colored Concrete Exposed Aggregate
- 8 Decomposed Granite; see Site Plan for complete hardscape areas

August 16, 2024

Brad Lang, AIA
Last Architects
515 East Grant Street
Suite 109
Phoenix, AZ 85004

**RE: Proposal for Geotechnical Investigation
Cypress & Granite Dells Trailheads
Granite Dells Road south of Rim Club
Payson, AZ
Proposal No. 88878 S**

Mr. Lang:

Speedie & Associates are pleased to provide our cost proposal to conduct a soil investigation at the above referenced site that will satisfy site development, pavement and foundation design requirements. All work on this project will be carried out under the overall supervision of a registered Professional Engineer in the state of Arizona.

We understand that construction will consist of a two trailheads on Forest Service land east of Payson, AZ. Each trailhead will consist of a 20 vehicle parking lot, gate, cattle guard, fencing, signage, kiosk and a vault toilet structure. Structural loads are expected to be light and no special considerations regarding settlement tolerances are known at this time. Adjacent areas will be landscaped or paved to support light to moderate passenger and maintenance truck traffic. Landscaped areas will be utilized for storm water retention and disposal.

We will drill and sample sufficient test pits to adequately determine subsoil conditions and provide samples for laboratory testing. Sufficient laboratory tests will be conducted to properly classify the soils encountered and provide data for engineering design. We presently anticipate excavating up to four (4) test pits per trailhead to depths of 8 feet below existing ground surface, or refusal, whichever comes first. Access to the site by conventional 2WD backhoe is assumed to be free and unencumbered.

We will mark the proposed test pits locations in the field with the locations to be approved by the client and owner. Speedie & Associates will take reasonable precautions to avoid damage to subterranean structures, pipelines and utilities including notifying AZ811 (Blue Stake) and reviewing as-built utility plans provided. The client (and owner) agree Speedie & Associates is not responsible for any damages to underground structures, pipelines and utilities that are not traceable, not called to our attention and/or correctly shown on the plans furnished to Speedie & Associates.

We will analyze the data obtained from field and laboratory testing and prepare a report presenting all data obtained, together with our conclusions and recommendations regarding:

1. Design data, allowable bearing pressure and depth, for shallow spread footings.
2. Alternate foundation systems and design data, if indicated by soil conditions.

3. Settlement estimate for each foundation system considered.
4. Lateral pressures on temporary and permanent retaining and foundation walls.
5. Seismic Site Classification based on borings and published ground motion data.
6. Groundwater conditions, if any, to the depths which will influence design and/or construction of the proposed development.
7. Swell potential of in-situ and compacted soils and recommendations for control if highly expansive.
8. Pavement design to provide economy and adequate service.
9. Suitability of site soils for use as compacted fill and preferred earthwork methods, including clearing, stripping, excavation and construction of engineered fill.
10. Local excavation and trenching conditions and stability considerations.
11. Corrosion potential of subsoils.

Charges for our services have been determined on the basis of our standard Fee and Rate Schedule, a copy of which is attached and made a part hereof for any additional design work requested. We propose to provide the design services set forth herein for the following **lump sum amount**, which includes all testing, engineering, reimbursable expenses and one electronic pdf format file of the report emailed upon completion. Should we be informed that hard copies of the report are needed, there will be an additional charge of \$50.00 per report.

Geotechnical Investigation with Report \$ 8,800.00

We have the staff available to begin work immediately upon notice to proceed. Once we finalize the test pit location plan, 10 to 15 working days are required to mark, obtain utility clearances and begin auger borings. Fieldwork for test pits should take two days (weather & access permitting) and lab testing about 3 weeks. The complete report will be issued within ten working days of lab testing completion. **This schedule is subject to change depending on our workload when Notice to Proceed is received.** As always, we stand ready to make reasonable adjustments to this schedule to meet our clients' needs.

We appreciate the opportunity to submit this proposal for your consideration. If the terms set forth are satisfactory, please sign the attached copy and return it for our records or attach to your standard agreement for professional services.

Respectfully submitted,
SPEEDIE & ASSOCIATES



Kenneth M. Euge II
Geotech Field Manager

APPROVED AND ACCEPTED
For: Last Architects

By: _____
(Printed Name & Position)

(Signature)

(Date)



A UES Company

ENGINEERING SERVICES 2024 Fee and Rate Schedule

Fees for services will be based upon the time worked on the project at the following rates:

Title	Rate Per Hour
Principal	\$ 180.00
Project Manager	140.00
Sr. Geologist/Engineer	140.00
Special Inspector (Architectural)	120.00
Project Engineer/Geologist	120.00
Environmental Specialist	100.00
Special Inspector (Structural/Geotechnical)	100.00
Staff Engineer/Geologist	100.00
Sr. Engineering Technician	80.00
Draftsman	75.00
Materials Testing Technician	70.00
Clerical/Administrative	60.00

REIMBURSABLE EXPENSES

Light Truck Mileage Rate: \$0.67 per mile

The following items are reimbursable to the extent of actual expenses plus 25%:

1. Transportation, lodging and subsistence for out of town travel
2. Special mailings and shipping charges
3. Special materials and equipment unique to the project
4. Duplication or reprinting/copying reports

TEST BORINGS AND FIELD INVESTIGATIONS

On projects requiring test borings, test pits, or other explorations, the services of reputable contractors to perform such work shall be obtained.

SUBCONTRACTORS/SUBCONSULTANTS CHARGES

Any charges for subcontractors/subconsultants are subject to a 25% handling fee if invoiced by Speedie & Associates or such charges can be directly paid by the CLIENT.

SPECIAL RATES

The following rates may be subject to a 35% increase:

- Overtime – time over 8 hours per weekday and on Saturday
- Sunday and Holidays
- Rush orders

MINIMUM CHARGES

A three-hour minimum is charged for field testing and inspection services.

EXPERT WITNESS

Deposition and testimony; 4-hour minimum, \$250.00 per hour.

The following Terms and Conditions are included and hereto made a part of this agreement.

GENERAL CONDITIONS

SECTION 1: RESPONSIBILITIES

1.1 SPEEDIE & ASSOCIATES, LLC a UES Company (S&A/UES) is responsible for providing the services described under the Scope of Services.

1.2 The Client is responsible for providing S&A/UES with a clear understanding of the project's nature and scope. The Client shall supply S&A/UES with sufficient and adequate information, including, but not limited to, maps, site plans, reports, surveys, plans and specifications, and designs, to allow S&A/UES to properly complete the specified services. The Client shall also communicate changes in the nature and scope of the project as soon as possible during performance of the work so that the changes can be incorporated into the work product.

1.3 The Client acknowledges that S&A/UES's responsibilities in providing the services described under the Scope of Services section is limited to those services described therein, and the Client hereby assumes any collateral or affiliated duties necessitated by or for those services. Such duties may include, but are not limited to, reporting requirements imposed by any third party such as federal, state, or local entities, the provision of any required notices to any third party, or the securing of necessary permits or permissions from any third parties required for S&A/UES's provision of the services so described, unless otherwise agreed upon by both parties in writing.

SECTION 2: STANDARD OF CARE

2.1 Services performed by S&A/UES under this Agreement will be conducted in a manner consistent with the level of care and skill ordinarily exercised by members of S&A/UES's profession practicing contemporaneously under similar conditions in the locality of the project. No other warranty, express or implied, is made by S&A/UES hereunder.

2.2 Execution and delivery of this Agreement by S&A/UES is not a representation that S&A/UES has visited the site, become generally familiar with local conditions under which the work is to be performed, or correlated personal observations with the requirements of the Scope of Services. It is the Client's responsibility to provide S&A/UES with all information necessary for S&A/UES to provide the services described under the Scope of Services, and the Client assumes all liability for information not provided to S&A/UES that may affect the quality or sufficiency of the services so described.

SECTION 3: SITE ACCESS AND SITE CONDITIONS

3.1 Client will grant or obtain free access to the site for all equipment and personnel necessary for S&A/UES to perform the work set forth in this Agreement. The Client will notify any possessors of the project site that Client has granted S&A/UES free access to the site. S&A/UES will take reasonable precautions to minimize damage to the site, but it is understood by Client that, in the normal course of work, some damage may occur, and the correction of such damage is not part of this Agreement unless so specified in the Scope of Services.

3.2 The Client is responsible for the accuracy of locations for all subterranean structures and utilities. S&A/UES will take reasonable precautions to avoid known subterranean structures, and the Client waives any claim against S&A/UES, and agrees to defend, indemnify, and hold S&A/UES harmless from any claim or liability for injury or loss, including costs of defense, arising from damage done to subterranean structures and utilities not identified or accurately located. In addition, Client agrees to compensate S&A/UES for any time spent or expenses incurred by S&A/UES in defense of any such claim with compensation to be based upon S&A/UES's prevailing fee schedule and expense reimbursement policy.

SECTION 4: BILLING AND PAYMENT

4.1 S&A/UES will submit invoices to Client monthly or upon completion of services. Invoices will show charges for different personnel and expense classifications.

4.2 Payment is due 30 days after presentation of invoice and is past due 31 days from invoice date. Client agrees to pay a finance charge of one and one-half percent (1 ½ %) per month, or the maximum rate allowed by law, on past due accounts.

4.3 If S&A/UES incurs any expenses to collect overdue billings on invoices, the sums paid by S&A/UES for reasonable attorneys' fees, court costs, S&A/UES's time, S&A/UES's expenses, and interest will be due and owing by the Client.

SECTION 5: OWNERSHIP AND USE OF DOCUMENTS

5.1 All reports, boring logs, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by S&A/UES, as instruments of service, shall remain the property of S&A/UES. Neither Client nor any other entity shall change or modify S&A/UES's instruments of service.

5.2 Client agrees that all reports and other work furnished to the Client or his agents, which are not paid for, will be returned upon demand and will not be used by the Client for any purpose.

5.3 S&A/UES will retain all pertinent records relating to the services performed for a period of "five years or such longer period" of time required by applicable accrediting agency, unless specified in the scope of services following submission of the report or completion of the Scope of Services, during which period the records will be made available to the Client in a reasonable time and manner.

5.4 All reports, boring logs, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by S&A/UES, are prepared for the sole and exclusive use of Client, and may not be given to any other entity, or used or relied upon by any other entity, without the express written consent of S&A/UES. Client is the only entity to which S&A/UES owes any duty or duties, in contract or tort, pursuant to or under this Agreement.

SECTION 6: DISCOVERY OF UNANTICIPATED HAZARDOUS MATERIALS

6.1 Client represents that a reasonable effort has been made to inform S&A/UES of known or suspected hazardous materials on or near the project site.

6.2 Under this agreement, the term hazardous materials includes hazardous materials, hazardous wastes, hazardous substances (40 CFR 261.31, 261.32, 261.33), petroleum products, polychlorinated biphenyls, asbestos, and any other material defined by the U.S. EPA as a hazardous material.

6.3 Hazardous materials may exist at a site where there is no reason to believe they are present. The discovery of unanticipated hazardous materials constitutes a changed condition mandating a renegotiation of the scope of work. The discovery of unanticipated hazardous materials may make it necessary for S&A/UES to take immediate measures to protect health and safety. Client agrees to compensate S&A/UES for any equipment decontamination or other costs incident to the discovery of unanticipated hazardous materials.

6.4 S&A/UES will notify Client when unanticipated hazardous materials or suspected hazardous materials are encountered. Client will make any disclosures required by law to the appropriate governing agencies. Client will hold S&A/UES harmless for all consequences of disclosures made by S&A/UES which are required by governing law. In the event the project site is not owned by Client, it is the Client's responsibility to inform the property owner of the discovery of unanticipated hazardous materials or suspected hazardous materials.

6.5 Notwithstanding any other provision of this Agreement to the contrary, Client waives any claim against S&A/UES, and to the maximum extent permitted by law, agrees to defend, indemnify, and save S&A/UES harmless from any claim, liability, and/or defense costs for injury or loss arising from S&A/UES's discovery of unanticipated hazardous materials or suspected hazardous materials including any costs created by delay of the project and any cost associated with possible reduction of the property's value. Client will be responsible for ultimate disposal of any samples secured by S&A/UES which are found to be contaminated.

SECTION 7: RISK ALLOCATION

7.1 Subject to the balance of this Section 7.1, Client agrees that S&A/UES's liabilities, losses, damages, fees, costs and expenses (including attorneys' fees)(collectively, "**Liability**") arising from any claim on account of any breach of contract, error, omission, or professional negligence will be limited to a sum not to exceed \$50,000 or S&A/UES's fee, whichever is greater (the "**Liability Cap**"). If Client prefers to have a higher Liability Cap, S&A/UES agrees to increase the Liability Cap to \$1,000,000.00 upon Client's written request at the time of accepting S&A/UES's proposal, provided that Client agrees to pay an additional consideration of one percent of the total fee, or \$1,000.00, whichever is greater. If Client prefers a \$2,000,000.00 Liability Cap, S&A/UES agrees to increase the Liability Cap to \$2,000,000.00 upon Client's written request at the time of accepting S&A/UES's proposal, provided that Client agrees to pay an additional consideration of one percent of the total fee, or \$2,000.00, whichever is greater. The additional charge for the higher Liability Cap is because of the greater risk assumed and is not strictly a charge for additional professional liability insurance.

7.2 Client shall not be liable to S&A/UES, and S&A/UES shall not be liable to Client for any punitive, incidental, special, or consequential damages (including lost profits, loss of use, and lost savings) incurred by either party due to the fault of the other, regardless of the nature of the fault, or whether it was committed by Client or S&A/UES, their employees, agents, or subcontractors; or whether such liability arises in breach of contract or warranty, tort (including intentional torts and negligence), statutory, or any other cause of action.

7.3 As used in this Agreement, the terms "claim" or "claims" mean any claim in contract, tort, or statute alleging negligence, errors, omissions, strict liability, statutory liability, breach of contract, breach of warranty, negligent misrepresentation, or any other act giving rise to Liability.

SECTION 8: INSURANCE

8.1 S&A/UES represents that it and its agents, staff, and consultants employed or retained by S&A/UES, is and are protected by workers' compensation insurance, and that S&A/UES has such coverage under public liability and property damage insurance policies which S&A/UES deems to be adequate. Certificates for all such policies of insurance shall be provided to Client upon request in writing. Within the limits and conditions of such insurance, S&A/UES agrees to indemnify and save Client harmless from and all Liabilities arising from negligent acts by S&A/UES, its agents, staff, and consultants employed by it. S&A/UES shall not be responsible for Liabilities beyond the amounts, limits, and conditions of such insurance or the limits described in Section 7, whichever is less. The Client agrees to defend, indemnify, and save S&A/UES harmless from all Liabilities arising from acts by Client, Client's agents, staff, and others employed by Client.

8.2 Under no circumstances will S&A/UES indemnify Client from or for Client's own actions, negligence, or breaches of contract.

8.3 To the extent that damages are covered by property insurance, Client and S&A/UES waive all rights against each other and against the contractors, consultants, agents, and employees of the other for damages, except such rights as they may have to the proceeds of such insurance.

SECTION 9: DISPUTE RESOLUTION

9.1 All claims, disputes, and other matters in controversy between S&A/UES and Client arising out of or in any way related to this Agreement shall be submitted to mediation before and as a condition precedent to seeking other remedies provided by law.

9.2 If a dispute arises and that dispute is not resolved by mediation, then: (a) the claim will be brought in the state or federal courts having jurisdiction where the S&A/UES office which provided the service is located; and (b) the prevailing party will be entitled to recovery of all reasonable out of pocket fees, costs and expenses incurred by such party, including court costs, attorneys' fees, expert witness fees, and other claim related expenses.

SECTION 10: TERMINATION

10.1 This Agreement may be terminated by either party upon seven (7) days written notice in the event of substantial failure by the other party to perform in accordance with the terms hereof, or in the case of a force majeure event such as terrorism, act of war, public health or other emergency. Such termination shall not be effective if such substantial failure or force majeure has been remedied before expiration of the period specified in the written notice. In the event of termination, S&A/UES shall be paid for services performed to the termination notice date plus reasonable out of pocket termination expenses incurred or paid by S&A/UES in connection with such termination and the winding down of its operations.

10.2 In the event of termination, or suspension for more than three (3) months, prior to completion of all reports contemplated by this Agreement, S&A/UES may complete such analyses and records as are necessary to complete its files and may also complete a report on the services performed to the date of notice of termination or suspension. The expense of termination or suspension shall include all direct out of pocket costs incurred or paid by S&A/UES in completing such analyses, records, and reports.

SECTION 11: REVIEWS, SPECIAL INSPECTIONS, TESTING AND OBSERVATIONS

11.1 Plan review and building inspections are performed for the purpose of observing compliance with applicable building codes. Construction materials testing ("CMT") and Special Inspections are performed to document compliance of certain materials or components with applicable testing standards. S&A/UES's performance of plan reviews, Special inspections, building inspections, or CMT, or S&A/UES's presence on the site of Client's project while performing any of the foregoing activities, is not a representation or warranty by S&A/UES that Client's project is free of errors in either design or construction.

11.2 If S&A/UES is retained to provide construction monitoring or observation, S&A/UES will report to Client any observed work which, in S&A/UES's opinion, does not conform to the plans and specifications provided to S&A/UES. S&A/UES shall have no authority to reject or terminate the work of any agent or contractor of Client. No action, statements, or communications of S&A/UES, or S&A/UES's site representative, can be construed as modifying any agreement between Client and others. Client acknowledges that S&A/UES's performance of construction monitoring or observation is not a representation or warranty by S&A/UES that Client's project is free of errors in either design or construction.

11.3 Neither the activities of S&A/UES pursuant to this Agreement, nor the presence of S&A/UES or its employees, representatives, or subcontractors on the project site, shall be construed to impose upon S&A/UES any responsibility for means or methods of work performance, superintendence, sequencing of construction, or safety conditions at the project site. Client acknowledges that Client or its contractor is solely responsible for project jobsite safety.

11.4 Client is responsible for scheduling all inspections and CMT activities of S&A/UES. All testing and inspection services will be performed on a will-call basis. S&A/UES will not be responsible for tests and inspections that are not performed due to Client's failure to schedule S&A/UES's services on the project, or for any claims or damages arising from tests and inspections that are not scheduled or performed.

11.5 If the Client desires more extensive or full-time project observation to help reduce the risk of problems arising during construction, the Client shall request such services as "Additional Services" in accordance with the terms of this agreement. Should the Client, for any reason, choose not to have S&A/UES provide construction or field observation during the implementation of S&A/UES's specifications or recommendations, or should the Client unduly restrict S&A/UES's assignment of observation personnel, Client shall, to the fullest extent permitted by law, waive any claim against S&A/UES, and indemnify, defend, and hold S&A/UES harmless from any claim or liability for injury or loss arising from field problems allegedly caused by findings, conclusions, recommendations, plans or specifications developed by S&A/UES. The Client also shall compensate S&A/UES for any time spent or expenses incurred by S&A/UES in defense of any such claim. Such compensation shall be based upon S&A/UES's standard fee and rate schedule.

SECTION 12: ENVIRONMENTAL ASSESSMENTS

12.1 Client acknowledges that an Environmental Site Assessment (“ESA”) is conducted solely to permit S&A/UES to render a professional opinion about the likelihood or extent of regulated contaminants being present on, in, or beneath the site in question at the time services were conducted. No matter how thorough an ESA study may be, findings derived from the study are limited and S&A/UES cannot know or state for a fact that a site is unaffected by reportable quantities of regulated contaminants as a result of conducting the ESA study. Even if S&A/UES states that reportable quantities of regulated contaminants are not present, Client acknowledges that it still bears the risk that such contaminants may be present or may migrate to the site after the ESA study is complete.

SECTION 13: SAMPLE DISPOSAL

13.1 Non-Hazardous Samples — Test samples are substantially altered during testing and disposed of immediately upon completion. Drilling samples are disposed of thirty (30) days after submission of our report. If requested in writing, samples can be held after thirty (30) days for an additional storage fee or returned to the Client.

13.2 Hazardous Samples — If toxic or hazardous substances are involved, S&A/UES will return such samples to the Client. Or using a manifest signed by the Client, S&A/UES will have such samples transported to a location selected by the Client for final disposal. The Client agrees to pay all costs for storage, transport, and disposal of samples. The Client recognizes and agrees that S&A/UES is acting as a bailee and at no time assumes title to samples involving hazardous or toxic materials.

SECTION 14: SUBSURFACE EXPLORATIONS

14.1 Client acknowledges that subsurface conditions may vary from those observed at locations where borings, surveys, samples, or other explorations are made, and that site conditions may change with time. Data, interpretations, and recommendations by S&A/UES will be based solely on information available to S&A/UES at the time of service. S&A/UES is responsible for those data, interpretations, and recommendations but will not be responsible for other parties’ interpretations or use of the information developed or provided by S&A/UES.

14.2 Subsurface explorations may result in unavoidable cross-contamination of certain subsurface areas, as when a probe or boring device moves through a contaminated zone and links it to an aquifer, underground stream, or other hydrous body not previously contaminated. S&A/UES is unable to eliminate totally cross-contamination risk despite use of due care. Since subsurface explorations may be an essential element of S&A/UES’s services indicated herein, Client shall, to the fullest extent permitted by law, waive any claim against S&A/UES, and indemnify, defend, and hold S&A/UES harmless from any claim or Liability arising from cross-contamination allegedly caused by S&A/UES’s subsurface explorations. In addition, Client agrees to compensate S&A/UES for any time spent or expenses incurred by S&A/UES in defense of any such claim with compensation to be based upon S&A/UES’s prevailing fee schedule and expense reimbursement policy.

SECTION 15: SOLICITATION OF EMPLOYEES

15.1 Client agrees not to solicit for hire any of S&A/UES’s employees with which Client had contact during the term of this Agreement for a one-year period following the expiration date or termination date of this Agreement (the “Post-Term Period”) except through S&A/UES. If Client hires any such S&A/UES employee during the Post-Term Period, Client shall within five business days following written demand therefore from S&A/UES, pay S&A/UES an amount equal to one-half of the employee’s then effective annualized salary, as liquidated damages. Further, Client acknowledges that the liquidated damages, stated above, are reasonable under the circumstances.

SECTION 16: ASSIGNS

16.1 Neither Client nor S&A/UES may assign this Agreement or assign or delegate any of its rights or obligations hereunder without the prior written consent of the other party.

SECTION 17: GOVERNING LAW AND SURVIVAL

17.1 This Agreement shall be governed by and construed in accordance with the laws of the jurisdiction in which the S&A/UES office performing the services hereunder is located.

17.2 If any of the provisions of this Agreement is held by a court of competent jurisdiction to be illegal, invalid, or unenforceable, the enforceability of the remaining provisions will not be impaired and will survive. Limitations of liability and indemnities will survive termination of this Agreement for any cause.

SECTION 18: INTEGRATION CLAUSE

18.1 This Agreement represents and contains the entire and only agreement and understanding among the parties with respect to the subject matter of this Agreement and supersedes any and all prior and contemporaneous oral and written agreements, understandings, representations, inducements, promises, warranties, and conditions among the parties. No agreement, understanding, representation, inducement, promise, warranty, or condition of any kind with respect to the subject matter of this Agreement shall be relied upon by the parties unless expressly set forth herein.

18.2 This Agreement may not be amended or modified except by an agreement in writing signed by the party against whom the enforcement of any modification or amendment is sought.

SECTION 19: WAIVER OF JURY TRIAL

19.1 To the extent permitted by applicable law, Client and S&A/UES hereby waive trial by jury in any action arising out of or related to this Agreement.

CLIENT APPROVAL

S&A/UES offers the Client the Proposal as listed above. Client may accept S&A/UES's offer by signing in the space provided below and returning a signed copy to S&A/UES. Such notification may be faxed or by emailing the signed general conditions. In the event the Client authorizes work without returning a signed copy, the Client agrees to be bound by the general conditions as stated herein. The proposal presented has been read, understood, and accepted by the Client effective as of the date that the executed proposal is returned to S&A/UES.

EXECUTED BY CLIENT'S AUTHORIZED REPRESENTATIVE: _____ (signature)

Printed Name: _____ Title: _____

Date Accepted: _____

Client Business Name: _____

Billing Address: _____

Telephone: _____ E-mail: _____

ACCOUNTS PAYABLE INFORMATION

A/P Contact Name: _____

A/P Contact Telephone: _____ *A/P Contact E-Mail: _____

* A/P Contact E-Mail must be provided before the S&A/UES can proceed with its proposed services



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a Bowman company

August 16, 2024

Mr. Brad Lang
Last Architects
515 E. Grant Street, Suite 109
Phoenix, AZ 85004

Re: Boulders and Bradshaw Trailheads and Bike Skills Area (the "Project")
Proposal to provide Engineering and Survey Services (the "Proposal")

Dear Brad:

We are pleased to submit this Proposal to provide Engineering and Survey services for the above referenced Project. Upon verbal or written direction to proceed with performance of the services described herein, this Proposal, along with all attachments thereto, will constitute a binding agreement (the "Agreement") between Bowman Consulting Group, Ltd. ("Bowman") and Last Architects (the "Client").

PROPOSAL ASSUMPTIONS AND PROJECT UNDERSTANDING

It is our understanding that Bowman will provide Engineering and Survey services for two trailheads near Payson, Arizona and a trailhead and bike skills area near Pine, Arizona.

Standard of Care - Services provided by Bowman under this proposal will be performed in a manner consistent with the degree of care and skill ordinarily exercised by members of the same profession practicing under similar circumstances, including standard of care at the time the services were provided.

Quality Control - A portion of the stated compensation is set-aside for Quality Control/Quality Assurance, which is part of the Bowman Quality Control Policy.

SCOPE OF SERVICES AND FEES

The scope of services (the "Scope") and associated fees shall be as follows:

A. BRADSHAW TRAILHEAD AND BIKE PARK

1. Topographic Survey:

We will perform a topographic survey of the proposed trail parking and gathering area, the 2 to 3 acre bike park and the road from the parking lot to the highway.. Field acquire locations and elevations of existing improvements within the survey area. Finish grades will be obtained at 50-foot intervals and grade breaks. Above ground utility locations and underground utility locations shown on as-builts provided by the Owner or utility companies will be shown on the drawings. We will obtain location of all trees with a trunk of 2 inches in diameter. Shrubs and groundcover will not be located.

FEE: Lump Sum of \$5,431.00



2. **Grading and Drainage:**

Analyses, design and preparation of grading and drainage plans and specifications. Design includes onsite grading, paving, parking lots, striping and signing, site storm drain lines, retention basins and appropriate details. The fee includes 1 site meeting and 3 zoom type coordination meetings.

30% FEE:	Lump Sum of \$5,790.00
60% FEE:	Lump Sum of \$4,963.00
95% FEE:	Lump Sum of \$4,963.00
100% FEE:	Lump Sum of \$828.00
TOTAL FEE:	Lump Sum of \$16,544.00

3. **SWPP:**

We will prepare a stormwater pollution prevention plan (SWPP) in accordance with ADEQ requirements.

FEE: Lump Sum of \$1,440.00

4. **Drainage Report:**

Erie & Associates will provide a drainage analysis to determine the flows that affect the proposed trailhead and bike park. They will determine contributing drainage area and provide hydrologic modeling of the drainage.

FEE: Lump Sum of \$9,430.00

5. **Bike Park:**

We will provide the design for a 2-3 acre the bike skills area. The design will include flow trails with riding features and surfacing that will fulfill the trail objectives of play, challenge, skills progression and trail rhythm. The bike park trails will provide a high-quality experience with features that appeal to and are safe for a wide variety of rider abilities. The trail tread will be shaped to provide enhanced natural features, constructed of dirt and rock, together with prefabricated steel and wood structures. The features will include rollers, berms, table tops, hips and drops. These "play features" will fulfill the required Trail Objectives and blend in with the surrounding landscape. The fee includes one site meeting and 3 zoom type meeting. The fee includes providing rough order of magnitude cost estimates of the design development drawings and the construction drawings. Matthew Roberts of Flagline Trails LLC with assist with the design of the bike park.

FEE: Lump Sum of \$21,340.00

B. BOULDERS – CYPRESS & GRANITE DELLS TRAILHEADS

1. **Topographic Survey:**

We will perform a topographic survey of the proposed Cypress & Granite Dells trailheads. Field acquire locations and elevations of existing improvements within the survey area. Finish grades will be obtained at 50-foot intervals and grade breaks. Above ground utility locations and underground utility locations shown on as-builts provided by the Owner or utility companies will be shown on the drawings. We will obtain location of all trees with a trunk of 2 inches in diameter. Shrubs and groundcover will not be located.



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FEE: Lump Sum of \$5,970.00

2. Grading and Drainage:

Analyses, design and preparation of grading and drainage plans and specifications for the trailheads at Cypress and Granite Dells. Design includes onsite grading, paving, parking lots, striping and signing, site storm drain lines, detention basins and appropriate details. The fee includes 1 site meeting and 3 zoom type coordination meetings.

30% FEE: Lump Sum of \$9,731.00

60% FEE: Lump Sum of \$8,341.00

95% FEE: Lump Sum of \$8,341.00

100% FEE: Lump Sum of \$1,391.00

TOTAL FEE: Lump Sum of \$27,804.00

3. SWPP:

We will prepare a stormwater pollution prevention plan (SWPP) in accordance with ADEQ requirements.

FEE: Lump Sum of \$2,880.00

4. Drainage Report:

Erie & Associates will provide a drainage analysis to determine the flows that affect the proposed trailheads at Cypress and Granite Dells. They will determine contributing drainage area and provide hydrologic modeling of the drainage.

FEE: Lump Sum of \$16,790.00

SUMMARY FEE MATRIX

BRADSHAW TRAILHEAD AND BIKE PARK					
Task	Description	Fee	Fee Type	Qty	Total
1	Topographic Survey	\$5,431.00	LS	1	\$5,431.00
2	Grading and Drainage		LS	1	\$16,544.00
	30%	\$5,790.00			
	60%	\$4,963.00			
	95%				
	100%	\$828.00			
3	SWPP	\$1,440.00	LS	1	\$1,440.00
4	Drainage Report	\$9,430.00	LS	1	\$9,430.00
5	Bike Park	\$21,340.00	LS	1	\$21,340.00
Total Bradshaw Trailhead and Bike Park					\$54,185.00

NOT in SCOPE



BOULDERS - CYPRESS & GRANITE DELLS TRAILHEADS					
Task	Description	Fee	Fee Type	Qty	Total
1	Topographic Survey	\$5,970.00	LS	1	\$5,970.00
2	Grading and Drainage		LS	1	\$27,804.00
	30%	\$9,731.00			
	60%	\$8,341.00			
	95%	\$8,341.00			
	100%	\$1,391.00			
3	SWPP	\$2,880.00	LS	1	\$2,880.00
4	Drainage Report	\$16,790.00	LS	1	\$16,790.00
Total Boulders - Cypress & Granite Dells Trailheads					\$53,444.00
TOTAL ESTIMATED FEE					\$96,289.00

EXCLUSIONS

The following services are specifically excluded from the scope of this agreement and may be performed as contract addendums upon request:

- Plan review fees, permits, assessments, and other fees;
- Borings for field locating existing underground utilities;
- Geotechnical Investigation;
- Cultural and Biological Investigation;
- Scour Analysis of wash crossings;
- Construction materials testing;
- Landscape design;
- Construction staking;
- Engineer of Record Services;
- ADEQ NOI preparation or submittal;
- ADEQ SWPPP Construction Site Book
- Traffic Engineering reports;
- Jurisdictional delineation or Nationwide 404 permits;
- Legal or title analysis of property ownership or easement rights;
- ALTA or Boundary Survey
- Environmental assessments;
- FAA Notice to Construct for crane/drill rig usage;
- Right-of-way and easement dedications;
- Dry utility and power designs and utility coordination;



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- Items not specifically delineated in Scope.

CLIENT RESPONSIBILITIES

The Client shall be responsible for obtaining permission for Bowman, its employees, agents and subcontractors to enter onto the subject property and any properties in the vicinity as reasonably necessary for Bowman to perform the services described herein. By either countersigning this Proposal or verbally authorizing Bowman to proceed, the Client warrants and represents that it has obtained such permission.

OTHER TERMS

This proposal is based on the scope of services indicated herein and the information available at the time of the proposal preparation. If any additional services are required due to unforeseen circumstances and/or conditions, Client or regulatory requested revisions, additional meetings, regulatory changes, etc., Bowman will notify the Client that additional scope of work and fees are required and will obtain the Client's written approval prior to proceeding with any additional work.

Bowman's Standard Terms and Conditions are attached hereto and incorporated into this Proposal by reference.

Please indicate your acceptance of this proposal by executing below and returning a copy to this office. Thank you for the opportunity to provide services to Last Architects.

Respectfully,

Doug Osborn, P.E.
Principal, Director of Civil Engineering

Last Architects hereby accepts all terms and conditions of this Proposal (including the Standard Terms and Conditions) and authorizes Bowman to proceed with the Project, and the undersigned represents that he or she is authorized by Last Architects to so execute this Proposal.

LAST ARCHITECTS

By: _____
(Signature)

Printed Name: _____

Title: _____ Date: _____

August 22, 2024

Brad Lang
Eric Sterner
LAST Architects
Phoenix, AZ

Re: Bradshaw Trailhead and Bike Park; Boulders Area Trailheads

Brad and Eric,
I am pleased to submit this fee proposal for providing landscape architectural services for the above-stated projects. I have based this scope and fee on the emails and exhibits you have provided. Please refer to the attached Workhour Estimates for a detailed breakdown of services offered.

Assumptions:

1. Landscape architectural services are provided for 12-months.
2. Maricopa Association of Governments Standard Specifications and Details (2020) will be used.
3. LAST will provide base files in AutoCAD format.
4. Hours for Project Management, Team Design Meetings, and Quality Control are included in the total hours for each submittal.
5. One site visit (2 people) will take place prior to the 30% submittal. Hours for the Site Visit are included in the hours for the 30% Submittals.
6. WDG does not anticipate public participation involvement.
7. The technical review, checking procedures, and monitoring process shall follow Wheat Design Group's QA/QC plan for each submittal.
8. All submittals will be in pdf format to LAST.

SCOPE OF WORK

PART 1 BRADSHAW TRAILHEAD AND BIKE SKILLS AREA

- 30% Submittal – Deliverables: Landscape/Hardscape Site Plan, lump sum cost estimate for trailhead area
- 60% Submittal – Deliverables: Landscape/Hardscape Site Plan, some landscape and hardscape details, itemized cost estimate
- 95% Submittal – Deliverables: Landscape/Hardscape Site Plan, all necessary landscape and hardscape details, itemized cost estimate
- 100% Submittal – Signed & Sealed Landscape/Hardscape Plans and Details, final itemized cost estimate

NOT in SCOPE

NOTES:

- Landscape Site Plan to include plantings, parking lot, and all proposed site amenities (seatwalls/site furniture, signage, and hardscape materials).
- Wheat Design Group is not responsible for the design of the parking lot.
- Wheat Design Group is not responsible for the design of the bike skills area. Flagline Trails will be responsible for the design of the bike skills area. Included in our scope are coordination hours with Flagline Trails.

PART 2 BOULDERS AREA TRAILHEAD (CYPRESS TRAILHEAD & GRANITE DELLS TRAILHEAD)

- 30% Submittal – Deliverables: Landscape Site Plans for each Trailhead, lump sum cost estimate for each Trailhead
- 60% Submittal – Deliverables: Landscape Site Plans for each Trailhead, some landscape and hardscape details, itemized cost estimates
- 95% Submittal – Deliverables: Landscape Site Plans for each Trailhead, all necessary landscape and hardscape details, itemized cost estimates
- 100% Submittal – Signed & Sealed Landscape/Hardscape Plans and Details, final itemized cost estimates

NOTES:

- Landscape Site Plan to include plantings, parking lot, and all proposed site amenities (seatwalls/site furniture, signage, and hardscape materials).
- Wheat Design Group is not responsible for the design of the parking lots.

PROFESSIONAL FEES

The work will be based on the hourly rates provided and based on the hours and tasks listed in the attached Workhour Estimate worksheet. Work beyond this scope will be considered additional services and will not proceed without approval from the Client. Design services and post design services will be billed on a unit price of work basis.

We very much look forward to working with you on this project.
Thank you for reaching out to Wheat Design Group.

Sincerely,



Laura Mielcarek, Principal
Wheat Design Group, Inc.

Wheat Design Group DERIVATION OF COST PROPOSAL SUMMARY

PROJECT: **Bradshaw Trailhead and Bike Park, Boulders Area Trailheads**
 Project No.:
 DBE: Yes #1025
 PREPARED BY: Laura Mielcarek, Principal
 CONTRACT TIME: 12 months

DATE: **08/22/24**
 CONTRACT NO.:
 CONSULTANT: **Wheat Design Group, Inc.**

DESIGN DIRECT LABOR COST

TASK DESCRIPTION

	<u>CLASSIFICATION</u>	No. HOURS <u>Hours</u>	HOURLY RATE <u>Rates</u>	TOTAL COST <u>Cost</u>
Landscape Architectural	Principal	46	\$160.00	\$7,360.00
Services	Project Manager	148	\$138.00	\$20,424.00
	Designer	146	\$100.00	\$14,600.00
(A) Direct Labor		340	Hrs.	\$42,384.00

OTHER DIRECT EXPENSES

TRAVEL \$265.93

TOTAL OTHER DIRECT EXPENSES: \$265.93

ESTIMATED FEES

TOTAL DESIGN CONSULTANT FEE = \$42,649.93

TOTAL CONTRACT AMOUNT \$42,649.93

Wheat Design Group Workhour Estimate by Task
Bradshaw Trailhead and Bike Park, Boulders Area Trailheads

8/22/2024

DIRECT HOURLY LABOR RATES		\$160.00	\$138.00	\$100.00	
Description		Principal	Project Manager	Designer	TOTAL
PART 1	BRADSHAW TRAILHEAD AND BIKE SKILLS AREA				
	30% Submittal	4	16	16	36
		\$640.00	\$2,208.00	\$1,600.00	\$4,448.00
	60% Submittal	8	24	24	56
		\$1,280.00	\$3,312.00	\$2,400.00	\$6,992.00
	95% Submittal	8	30	30	68
		\$1,280.00	\$4,140.00	\$3,000.00	\$8,420.00
	100% Submittal	6	12	12	30
		\$960.00	\$1,656.00	\$1,200.00	\$3,816.00
	Subtotal	26	82	82	190
		\$4,160.00	\$11,316.00	\$8,200.00	\$23,676.00
Description		Principal	Project Manager	Designer	TOTAL
PART 2	BOULDERS AREA TRAILHEADS (CYPRESS TRAILHEAD & GRANITE DELLS TRAILHEAD)				
	30% Submittal	4	16	16	36
		\$640.00	\$2,208.00	\$1,600.00	\$4,448.00
	60% Submittal	6	16	16	38
		\$960.00	\$2,208.00	\$1,600.00	\$4,768.00
	95% Submittal	6	24	24	54
		\$960.00	\$3,312.00	\$2,400.00	\$6,672.00
	100% Submittal	4	10	8	22
		\$640.00	\$1,380.00	\$800.00	\$2,820.00
	Subtotal	20	66	64	150
		\$3,200.00	\$9,108.00	\$6,400.00	\$18,708.00
	DESIGN TOTAL WORKHOURS	46	148	146	340
	DESIGN TOTAL DIRECT LABOR	\$7,360.00	\$20,424.00	\$14,600.00	\$42,384.00



August 21, 2024

Mr. Brad Lang AIA
LAST Architects
515 East Grant Street, Suite 109
Phoenix, AZ 85004

Re: Fee Proposal
Boulders and Bradshaw Trailheads, AZ

Good Day:

We are pleased to present to you this proposal for consulting design services covering the structural engineering for this work. The scope of the work is as described in your email of August 4 and pdf attachments. The scope is defined as:

1. The design of three new trailhead facilities in the Payson, Arizona area. The structural scope includes cast-in-place seating elements, ramada structures, wall elements and a vault toilet building. The first site is the Bradshaw Trailhead and Bike Park and the second are the Cypress and Granite Dells Trailheads.

As a design-based consulting firm, it is our desire to create structures that work in harmony with the architecture. For this project, we propose to provide the following services as the basic design contract:

1. For the construction documents, BDA will produce structural construction documents for permitting and construction. The work may be achieved in either Revit or AutoCAD to match the architect's direction.
2. Prepare all final Structural design calculations reflecting the final design.
3. Prepare electronic copies of calculations and review architect-created specifications as required by reviewing jurisdiction.
4. Include all necessary documentation for permit submittal as required by reviewing jurisdiction.
5. Review and coordinate between final Architectural drawings, as necessary, for accuracy and correctness.
6. Review and address building department comments for building permit issuance, coordinate revisions with Architect, revise and digitally reprint the structural calcs, as required.

Currently excluded from this scope are:

1. Reimbursable expenses, which will be billed in conjunction with our current schedule.
2. IBC and local code prescribed special structural inspections, which may be provided at our standard trip charge.
3. Construction site services are not included but may be provided on an hourly basis.
4. General Construction Administration is not included but may be provided on an hourly basis.

7047 East Greenway Parkway, Suite 250
Scottsdale, AZ 85254
480.398.7729
www.bdadesign.com

Fee Proposal – Boulders and Bradshaw Trailheads, Payson, AZ

The items currently excluded from this proposal may be included under a separate contract or as an addendum to this proposal.

For the scope, as outlined above, we propose the following:

Bradshaw Trailhead and Bike Park: A fixed fee of \$3,600.00 (Thirty-Six Hundred Dollars).	
The fee will be broken down by design completion milestones:	
30 Percent:	\$1,100.00
60 Percent:	\$1,100.00
95 Percent:	\$1,200.00
100 Percent:	\$200.00

NOT in SCOPE

Boulders Trailheads, Cypress and Granite Dell Locations: A fixed fee of \$7,600.00 (Seventy-Six Hundred Dollars).

The fee will be broken down by design completion milestones:

30 Percent:	\$2,300.00
60 Percent:	\$2,300.00
95 Percent:	\$2,600.00
100 Percent:	\$400.00

It is typically the policy that invoices are paid within 15 days of corresponding payment from the owner. A fee of 1.5% per month will be applied to late payments that go uncollected for more than 90 days, calculated from the invoice date.

Limitation of liability: In recognition of the relative risks and benefits of the Project to both the Client and Consultant, the risks have been allocated such that the Client agrees, to the fullest extent permitted by law, to limit the liability of the Consultant to the Client for any and all claims, losses, costs, damages of any nature whatsoever or claims expenses from any cause or causes, including attorneys' fees and costs and expert-witness fees and costs, so that the total aggregate liability of the Consultant to the Client shall not exceed the Consultant's total fee for service rendered on this Project. It is intended that this limitation apply to any and all liability or cause of action however alleged or arising, unless otherwise prohibited by law.

The standard of care for all professional services performed or furnished by Consultant under this Agreement will be the skill and care used by members of Consultant's profession practicing under similar circumstances at the same time and in the same locality. Consultant makes no warranties, express or implied, under this Agreement or otherwise, in connection with Consultant's services.

We have established our reputation for being a different kind of structural design firm - one that is creative, design-based, cost-conscious and responsive. All consulting engineering are provided with the consensus standard of care for the profession.

Yours truly,



J. Greg Brickey, SE
Principal
GB/mg

L A S T Architects
515 E Grant Street, Suite 109
Phoenix, AZ 85004
brad@lastarchitects.com
attn: Brad Lang

May 20, 2024

Re: Bradshaw and Cypress Trailheads
Payson (vicinity), AZ

Brad:

Woodward Engineering is pleased to submit this proposal for consulting electrical engineering service for the proposed trailheads and bike park in the Payson / Pine vicinity. The scope of work is based on the RFP information provided – three trailhead facilities and one bike skills park. The Bradshaw trailhead and bike park will be served from an off-grid electrical service (if there is power required), the Granite Dells and Cypress trailheads have utility power available (again – if power is required). For the purposes of this proposal, power is being figured. The following is the list of services WE will provide / require under the terms and conditions of the contract:

- Background documents in AutoCad format provided by the architect.
- The design area does not require interior and exterior IECC compliance. Payson does not enforce the IECC.
- Pre-design services with a site visit are included for the two locations with utility power .
- Site lighting with cut sheets and photometrics are included for each parking area.
- Trailheads include kiosks, vault toilets, parking, gates, and ramadas.
- The Bike Park scope is planned for entrance lighting only.
- The off-grid power systems with energy storage are not in contract. Our power distribution would tie into these systems.
- Signed and sealed construction documents/electrical specifications in AutoCad/CSI format.
- All plan check corrections required to obtain permit.
- Construction Administration fee is not included..

Woodward Engineering will provide the aforementioned consulting electrical engineering services, as well as post design services as listed below, for the following fees:

Bradshaw Trailhead:

Pre Design with site visit:	\$0.00
30% CD set:	\$2,000.00
60% CD set:	\$1,500.00
95% CD set:	\$1,500.00
100% CD set:	\$1,000.00

Bradshaw Trailhead Total Fee:**NOT in SCOPE****\$6,000.00**Bike Park:

Pre Design with site visit:	\$0.00
30% CD set:	\$1,000.00
60% CD set:	\$750.00
95% CD set:	\$500.00
100% CD set:	\$350.00

Bradshaw Bike Park Total Fee:**\$2,600.00**Cypress Trailhead:

Pre Design with site visit:	\$1,000.00
30% CD set:	\$2,000.00
60% CD set:	\$1,250.00
95% CD set:	\$1,500.00
100% CD set:	\$1,000.00

Cypress Trailhead Total Fee:**\$6,750.00**Granite Dells Trailhead:

Pre Design with site visit:	\$1,000.00
30% CD set:	\$2,000.00
60% CD set:	\$1,250.00
95% CD set:	\$1,500.00
100% CD set:	\$1,000.00

Granite Dells Trailhead Total Fee:**\$6,750.00**

(0) site visits during construction are included in the CA fee, requested field visits and/or required special inspections/observations after completion of construction documents will be provided at a rate of \$2000.00 per occurrence.

Additional services shall be warranted for revisions, and/or new requirements to the project after substantial completion. Said services shall either be negotiated or billed at the following hourly rates: Principal/Engineer: \$150.00, Design: \$120.00, CADD: \$85.00, and Clerical \$65.00.

Payment to Woodward Engineering shall be within ten (10) days of receipt of payment from your client.

Please sign, date, and return if these terms are acceptable.

I appreciate the opportunity to propose on this project. I look forward to your acceptance of these terms and the chance to work with you on this project.

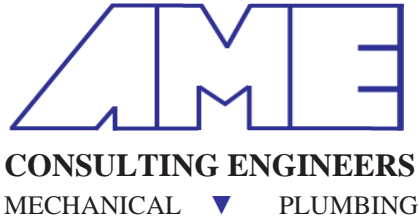
Sincerely,

A handwritten signature in black ink, appearing to read 'D Woodward', written in a cursive style.

Doug Woodward, LC, PE
WOODWARD ENGINEERING

Signature: _____
Re: Bradshaw and Cypress Trailheads

Date: _____



**ASSOCIATED MECHANICAL
ENGINEERS, PLC.**

1121 W. Warner Road, Suite 107
Tempe, Arizona 85284

August 21, 2024

Brad Lang
LAST Architects
515 E. Grant St. Suite 109
Phoenix, AZ 85004

RE: Boulders & Bradshaw Trailheads
AME Proposal No. 24-069

Dear Brad:

Associated Mechanical Engineers, PLC is pleased to submit this proposal to provide consulting engineering services for the project referenced above. Following is the list of services we propose to provide under the terms and conditions of this contract:

MECHANICAL

- No mechanical scope anticipated.

PLUMBING

- Complete, print ready, construction documents in AutoCAD format for the plumbing systems to connect to five feet outside the building.
- IECC calculations and documentation for the plumbing systems required for the project. Proposal excludes vault toilet design. Vault toilet design shall be by other. Proposal included on domestic cold water connections to bottle filler or similar device to 5 feet outside the device. Proposal excludes water tank/pump system design.
- Shop drawing review.
- Complete specifications in CSI format.
- All plan check corrections required to obtain permit.

GENERAL SCOPE OF WORK

- Specifications shall be included on plans or in 8-1/2" x 11" CSI format.
- Background documents in AutoCAD format provided by Architect and/or his sub-consultants.
- Basic project scope includes:

- Phase 1: Bradshaw Trailhead - A vault toilet (not in scope). Possible domestic water connection to bottle filler or similar device.
- Phase 2: Boulders Area Trailheads (Cypress Trailhead and Granite Dells Trailhead) – A vault toilet for each (not in scope). Possible domestic water connection to bottle filler or similar device.

COMPENSATION

Associated Mechanical Engineers, PLC shall provide the aforementioned consulting engineering services for the following lump sum fee based on the assumptions above.

Phase 1 Plumbing Engineering:

Schematic Design (30%)	NOT in SCOPE	\$ 500.00
Design Development (50%)		\$ 500.00
Construction Documents (95 – 100%)		\$ 500.00
<hr/>		
TOTAL		\$ 1,500.00

Phase 2 Plumbing Engineering:

Schematic Design (30%)	\$ 500.00
Design Development (50%)	\$ 500.00
Construction Documents (95 – 100%)	\$ 500.00
<hr/>	
TOTAL	\$ 1,500.00

GRAND TOTAL \$ 3,000.00

Hourly billing rates (for additional services where contracted):

Principal	\$ 172.00
Engineer	\$ 157.00
Designer	\$ 129.00
Drafter	\$ 92.00
Clerical	\$ 72.00

Contingent Additional Services

Should any of the following items be required, it will be billed as a contingent additional service.

- Construction observations shall be provided on an additional service basis for the fixed fee of \$1,500.00 (one thousand and five hundred dollars) per trip.
- Major floor plan revisions due to Architectural city comment revisions.

The design professional (AME) shall not be held responsible for claims that arise due to lack of coordination or lack of professional interpretation of the construction documents during the construction phase including change orders arising from Contractor's failure to properly bid the project per the requirements set forth on the plans and in the specifications, revisions made to the construction documents without the involvement of AME (the design professional), or contractor's lack of field coordination. Construction observations performed by the design professional (AME) do not relieve the contractor of his or her obligations under the construction contract. Construction observations are not intended to verify contractor means and methods, or jobsite safety.

The Client recognizes that construction observations are a critical part of the execution of this design contract that may allow the design professional to quickly correct any deficiencies, errors or omissions from the contract documents or due to construction error or due to other unforeseen acts or due to other causes, at a relatively low cost. The Client agrees that if construction observations are not included in the contract the design professional shall not be held responsible monetarily, legally or professionally for any of the design professional's acts, errors or omissions, except for those acts, errors or omissions which, it could reasonably be concluded, the design professional's review services would not have prevented or mitigated.

Dispute resolution; By binding mediation according to the Rules of American Association of Arbitration, this agreement shall be governed by and construed in accordance with the internal laws of the State of Arizona, without giving effect to any choice of conflict of law provision or rule (whether of the State of Arizona or any other jurisdiction) that would cause the application of the laws of any jurisdiction other than the State of Arizona. In the event that legal action is brought by either party against the other, the prevailing party shall be reimbursed by the other for the prevailing party's legal fees and costs in addition to whatever other judgments or settlement sums, if any may be due. Legal fees include reasonable attorney fees, costs and litigation expense.

Fee quotations are valid for 180 days from the date of this proposal.

Additional services shall be warranted and negotiated for architectural, structural or civil revisions, changes and/or new requirements requested after substantial completion. A project is considered substantially complete when less than 5% of the work remains.

Payment to AME shall be within seven (7) days of receipt of payment by owner to client. Please sign and date on the line provided if these terms are acceptable. We sincerely appreciate the opportunity to propose on this project. We look forward to your acceptance of these terms and the chance to add value to this project.

Sincerely,
ASSOCIATED MECHANICAL ENGINEERS, PLC.

August 21, 2024
Proposal No. P24-069



George J. Josephs, P.E.
LEED AP
Principal

Signature: _____

Date: _____



RIM COUNTRY TRAILHEADS AND CAMPGROUND
PAYSON, ARIZONA

CONCEPT DOCUMENTS ANALYSIS

Table of Contents

Section I	Cover Page
Section II	Table of Contents
Section III	Building Estimate Summary
Section IV	Building Estimate Detail

Rim Country Trailheads And Campground
Concept Design
Documents Analysis
Building Estimate Summary

	RIM COUNTRY TRAILHEADS AND CAMPGROUND	Total Cost
1.	Granite Dells Road Widening	\$ 6,728,399.00
2.	Cypress Trailhead	\$ 1,084,453.26
3.	Granite Dells Trailhead	\$ 1,011,760.78
	General Conditions (10%)	Included Above
	Contractor Fee (10%)	Included Above
	Bond & Insurance (3%)	Included Above
	Construction Contingency (5%)	Included Above
	Sales Tax (Special) - (6.7%)	Included Above
	Escalation (6%/yr - To Be Bid In Jan '25)	Included Above
	Total Construction Cost	\$ 8,824,613,04

	RIM COUNTRY TRAILHEADS AND CAMPGROUND	Qty (Units)	Unit	Unit Cost	APM Total	APM Total
1.	Granite Dells Road Widening					
	Construction Survey And Layout - Allowance	1	LS	\$ 15,000.00	\$ 15,000.00	
	Erosion Control - Allowance	27456	LF	\$ 0.50	\$ 13,728.00	
	Traffic Control And Barricades- Allowance	1	LS	\$ 5,000.00	\$ 5,000.00	
	Tree Protection - Allowance	27456	LF	\$ 0.25	\$ 6,864.00	
	Unsuitable Material - Allowance	0	LS	NIC	NIC	
	Move Boulders To Roadside - Allowance	1	LS	\$ 20,000.00	\$ 20,000.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Clearing And Grubbing	5	ACR	\$ 5,000.00	\$ 23,500.00	
	Cut/Fill At Expanded Road - Allowance	6000	CY	\$ 50.00	\$ 300,000.00	
	Saw Cut Asphalt - Allowance	1	LS	\$ 7,500.00	\$ 7,500.00	
	Heavy Duty Asphalt	45760	SY	\$ 55.00	\$ 2,516,800.00	
	Traffic Control Signage - Allowance	18	EA	\$ 125.00	\$ 2,250.00	
	Traffic Striping	41184	LF	\$ 0.75	\$ 30,888.00	
	Storm Water - Culvert - Allowance	1	LS	\$ 50,000.00	\$ 50,000.00	
	Misc Concrete - Low Retaining Walls - Allowance	1	LS	\$ 25,000.00	\$ 25,000.00	
	Restrict Vehicle Access - Bollards - Allowance	126	EA	\$ 950.00	\$ 119,700.00	
	Domestic Water - 2" PVC - Allowance	13728	LF	\$ 50.00	\$ 686,400.00	
	Electrical Service - Allowance	13728	LF	\$ 40.00	\$ 549,120.00	
	Sub Total				\$ 4,374,250.00	
	General Conditions (10%)				\$ 437,425.00	
	Sub Total				\$ 4,811,675.00	
	Contractor Fee (10%)				\$ 481,167.50	
	Sub Total				\$ 5,292,842.50	
	Bond & Insurance (3%)				\$ 158,785.28	
	Sub Total				\$ 5,451,627.78	
	Construction Contingency (10%)				\$ 545,162.78	
	Sub Total				\$ 5,996,790.55	
	Sales Tax (Special) - (6.7%)				\$ 401,784.97	
	Sub Total				\$ 6,398,575.52	
	Escalation (6%/yr - To Be Bid In Jan '25)				\$ 329,823.48	
	1. Roadway Total					\$ 6,728,399
2.	Cypress Trailhead					
	Construction Survey And Layout	1	EA	\$ 5,000.00	\$ 5,000.00	
	Erosion Control - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Traffic Control And Barricades - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Clear And Grub	25093	SF	\$ 0.25	\$ 6,273.25	
	Move Boulders To Store - Allowance	1	LS	\$ 5,000.00	\$ 5,000.00	
	Fine Grade At Parking	14294	SF	\$ 0.15	\$ 2,144.10	
	Cattle Guard At Entry Gate - Allowance	2	EA	\$ 3,000.00	\$ 6,000.00	
	Medium Duty Asphalt At Driveway	1,122	SY	\$ 47.50	\$ 53,295.00	
	Asphalt "Dropoff" Area at Patio	47	SY	\$ 47.50	\$ 2,232.50	
	Gravel Pave At Parking Area	4200	SF	\$ 15.00	\$ 63,000.00	
	Gravel Pave Patio/Walkway At Dropoff	798	SF	\$ 15.00	\$ 11,970.00	
	Decomposed Granite At Parking Islands	13	CY	\$ 50.00	\$ 650.00	
	Concrete Wheel Stops	20	EA	\$ 75.00	\$ 1,500.00	
	Stripe Parking Spaces	19	EA	\$ 20.00	\$ 380.00	
	Paint ADA Parking Spaces	1	EA	\$ 25.00	\$ 25.00	
	Paint ADA Parking Symbols	1	EA	\$ 150.00	\$ 150.00	
	ADA Parking Signs And Post	1	EA	\$ 150.00	\$ 150.00	
	Paint Traffic Lane Striping	427	LF	\$ 2.00	\$ 854.00	
	Traffic Control Signage - Allowance	6	EA	\$ 150.00	\$ 900.00	
	Trail Signage	3	EA	\$ 200.00	\$ 600.00	
	4' Pipe Fencing - Allowance	477	LF	\$ 30.00	\$ 14,310.00	

	RIM COUNTRY TRAILHEADS AND CAMPGROUND	Qty (Units)	Unit	Unit Cost	APM Total	APM Total
	Vehicular Entrance Gate	1	EA	\$ 2,500.00	\$ 2,500.00	
	Monument Sign At Road	1	EA	\$ 3,000.00	\$ 3,000.00	
	<i>Vault Toilet</i>					
	Vault For Toilet	1	EA	\$ 2,500.00	\$ 2,500.00	
	Excavate At Vault	37	CY	\$ 30.00	\$ 1,110.00	
	Backfill/Compact	21	CY	\$ 50.00	\$ 1,050.00	
	Decomposed Granite Slab At Toilet	6	CY	\$ 250.00	\$ 1,500.00	
	CMU Toilet Walls	472	SF	\$ 13.00	\$ 6,136.00	
	Grout Fill - 100%	472	SF	\$ 3.00	\$ 1,416.00	
	Paint Interior CMU Walls	240	SF	\$ 2.00	\$ 480.00	
	Toilet Fixture - Allowance	1	LS	\$ 500.00	\$ 500.00	
	Toilet Accessories - Allowance	1	LS	\$ 500.00	\$ 500.00	
	Stone Cladding At Ext CMU Toilet Walls	367	SF	\$ 15.00	\$ 5,505.00	
	Pine Clapboard At Ext Toilet Walls	120	SF	\$ 5.00	\$ 600.00	
	Stain Pine Clapboard	120	SF	\$ 2.50	\$ 300.00	
	HM Frame /HM Door - 3'x7' - Single	1	EA	\$ 1,150.00	\$ 1,150.00	
	Exterior Finish Hardware - Per Leaf	1	EA	\$ 650.00	\$ 650.00	
	Paint Door And Frame - Single	1	EA	\$ 75.00	\$ 75.00	
	Misc Steel - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	CMU Wall At Large Front Post	128	SF	\$ 13.00	\$ 1,664.00	
	Stone Cladding At Large Front Post	128	SF	\$ 15.00	\$ 1,920.00	
	CMU Wall At Small Front Post	64	SF	\$ 13.00	\$ 832.00	
	Corten Steel Cladding At Post - Allowance	64	SF	\$ 75.00	\$ 4,800.00	
	Glulam Beam	28		\$ 20.00	\$ 560.00	
	Wood Roof Framing	328	SF	\$ 25.00	\$ 8,200.00	
	Corten Steel Piping At Roof Framing	256	LF	\$ 150.00	\$ 38,400.00	
	Corrugated Corten Steel Paneling At Roof - Allowance	328	SF	\$ 75.00	\$ 24,600.00	
	Corten Steel Gutter At Roof - Allowance	15	LF	\$ 75.00	\$ 1,125.00	
	Corten Steel Cladding At Trash Cans - Allowance	32	SF	\$ 75.00	\$ 2,400.00	
	Trash Cans - Bear/Critter Proof - Allowance	2	EA	\$ 2,000.00	\$ 4,000.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	<i>Trailhead Ramada</i>					
	Colored Concrete W/Exp Agg Finish Slab At Ramada	1182	SF	\$ 15.00	\$ 17,730.00	
	CMU Walls /Posts At Ramada	213	SF	\$ 13.00	\$ 2,769.00	
	Grout Fill - 100%	213	SF	\$ 3.50	\$ 745.50	
	Stone Cladding At CMU Walls	272	SF	\$ 15.00	\$ 4,080.00	
	Corten Steel Cladding At Posts - Allowance	48	SF	\$ 75.00	\$ 3,600.00	
	Misc Steel - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Glulam Beam	44	LF	\$ 20.00	\$ 880.00	
	Horizontal Wood Roof Framing	408	SF	\$ 30.00	\$ 12,240.00	
	Vertical Wood Roof Framing	616	SF	\$ 25.00	\$ 15,400.00	
	Corten Steel Piping At Roof Framing - Allowance	520	LF	\$ 150.00	\$ 78,000.00	
	Corrugated Horizontal Corten Steel Paneling At Roof - Allowance	320	SF	\$ 75.00	\$ 24,000.00	
	Corrugated Vertical Corten Steel Paneling At Roof - Allowance	189	SF	\$ 75.00	\$ 14,175.00	
	Corten Steel Gutter At Roof - Allowance	26	LF	\$ 75.00	\$ 1,950.00	
	Corten Steel Cladding At Trash Cans - Allowance	32	SF	\$ 75.00	\$ 2,400.00	
	Trash Cans - Bear/Critter Proof - Allowance	2	EA	\$ 2,000.00	\$ 4,000.00	
	Steel Rod At Signs	27	LF	\$ 5.00	\$ 135.00	
	Steel Signage Allowance	3	EA	\$ 500.00	\$ 1,500.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	3-Panel Kiosk - Ventek - Allowance	3	EA	\$ 11,750.00	\$ 35,250.00	
	Cast In Place Seating - Allowance	99	LF	\$ 250.00	\$ 24,750.00	
	Pine Wood Plank Top At Bench	345	LF	\$ 7.50	\$ 2,587.50	
	Bollards At Trail Gate	8	EA	\$ 750.00	\$ 6,000.00	
	Landscape - Trees - Ponderosa Pine	31	EA	\$ 950.00	\$ 29,450.00	
	Move Boulders To Designated Areas - Allowance	1	LS	\$ 5,000.00	\$ 5,000.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Fine Grade Existing Soils To Drain (Inside Fencing)	7020	SF	\$ 0.25	\$ 1,755.00	
	Fine Grade To Surrounding Elevations (Outside Fencing)	10432	SF	\$ 0.10	\$ 1,043.20	

	RIM COUNTRY TRAILHEADS AND CAMPGROUND	Qty (Units)	Unit	Unit Cost	APM Total	APM Total
	Domestic Water - 1" PVC - Allowance	310	LF	\$ 67.50	\$ 20,925.00	
	Electrical Service - Allowance	310	LF	\$ 275.00	\$ 85,250.00	
	Sub Total				\$ 705,022.05	
	General Conditions (10%)				\$ 70,502.21	
	Sub Total				\$ 775,524.26	
	Contractor Fee (10%)				\$ 77,552.43	
	Sub Total				\$ 853,076.68	
	Bond & Insurance (3%)				\$ 25,592.30	
	Sub Total				\$ 878,668.98	
	Construction Contingency (10%)				\$ 87,866.90	
	Sub Total				\$ 966,535.88	
	Sales Tax (Special) - (6.7%)				\$ 64,757.90	
	Sub Total				\$ 1,031,293.78	
	Escalation (6%/yr - To Be Bid In Jan '25)				\$ 53,159.47	
	2. Cypress Trailhead Total					\$ 1,084,453
3.	Granite Dells Trailhead					
	Construction Survey And Layout	1	EA	\$ 5,000.00	\$ 5,000.00	
	Erosion Control - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Traffic Control And Barricades - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Clear And Grub	20735	SF	\$ 0.25	\$ 5,183.75	
	Move Boulders To Store - Allowance	1	LS	\$ 5,000.00	\$ 5,000.00	
	Fine Grade At Parking	12531	SF	\$ 0.15	\$ 1,879.65	
	Cattle Guard At Entry Gate - Allowance	2	EA	\$ 3,000.00	\$ 6,000.00	
	Medium Duty Asphalt At Driveway	926	SY	\$ 47.50	\$ 43,985.00	
	Asphalt "Dropoff" Area at Patio	46	SY	\$ 47.50	\$ 2,185.00	
	Gravel Pave At Parking Area	4200	SF	\$ 15.00	\$ 63,000.00	
	Gravel Pave Patio/Walkway At Dropoff	798	SF	\$ 15.00	\$ 11,970.00	
	Decomposed Granite At Parking Islands	13	CY	\$ 50.00	\$ 650.00	
	Concrete Wheel Stops	20	EA	\$ 75.00	\$ 1,500.00	
	Stripe Parking Spaces	19	EA	\$ 20.00	\$ 380.00	
	Paint ADA Parking Spaces	1	EA	\$ 25.00	\$ 25.00	
	Paint ADA Parking Symbols	1	EA	\$ 150.00	\$ 150.00	
	ADA Parking Signs And Post	1	EA	\$ 150.00	\$ 150.00	
	Paint Traffic Lane Striping	340	LF	\$ 2.00	\$ 680.00	
	Traffic Control Signage - Allowance	6	EA	\$ 150.00	\$ 900.00	
	Trail Signage	3	EA	\$ 200.00	\$ 600.00	
	4' Pipe Fencing - Allowance	408	LF	\$ 30.00	\$ 12,240.00	
	Vehicular Entrance Gate	1	EA	\$ 2,500.00	\$ 2,500.00	
	Monument Sign At Road	1	EA	\$ 3,000.00	\$ 3,000.00	
	Vault Toilet				\$ -	
	Vault For Toilet	1	EA	\$ 2,500.00	\$ 2,500.00	
	Bury Vault	37		\$ 30.00	\$ 1,110.00	
	Backfill/Compact	21	CY	\$ 50.00	\$ 1,050.00	
	Decomposed Granite Slab At Toilet	6	CY	\$ 60.00	\$ 360.00	
	CMU Toilet Walls	472	SF	\$ 13.00	\$ 6,136.00	
	Grout Fill - 100%	472	SF	\$ 3.00	\$ 1,416.00	
	Paint Interior CMU Walls	240	SF	\$ 2.00	\$ 480.00	
	Toilet Fixture - Allowance	1	LS	\$ 500.00	\$ 500.00	
	Toilet Accessories - Allowance	1	LS	\$ 500.00	\$ 500.00	
	Stone Cladding At Ext CMU Toilet Walls	367	SF	\$ 15.00	\$ 5,505.00	
	Pine Clapboard At Ext Toilet Walls	120	SF	\$ 5.00	\$ 600.00	
	Stain Pine Clapboard	120	SF	\$ 2.50	\$ 300.00	
	HM Frame /HM Door - 3'x7' - Single	1	EA	\$ 1,150.00	\$ 1,150.00	
	Exterior Finish Hardware - Per Leaf	1	EA	\$ 650.00	\$ 650.00	
	Paint Door And Frame - Single	1	EA	\$ 75.00	\$ 75.00	

	RIM COUNTRY TRAILHEADS AND CAMPGROUND	Qty (Units)	Unit	Unit Cost	APM Total	APM Total
	Misc Steel - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	CMU Wall At Large Front Post	128	SF	\$ 13.00	\$ 1,664.00	
	Stone Cladding At Large Front Post	128	SF	\$ 15.00	\$ 1,920.00	
	CMU Wall At Small Front Post	64	SF	\$ 13.00	\$ 832.00	
	Corten Steel Cladding At Post	64	SF	\$ 75.00	\$ 4,800.00	
	Glulam Beam	28	LF	\$ 20.00	\$ 560.00	
	Wood Roof Framing	328	SF	\$ 25.00	\$ 8,200.00	
	Corten Steel Piping At Roof Framing	256	LF	\$ 150.00	\$ 38,400.00	
	Corrugated Corten Steel Paneling At Roof	328	SF	\$ 75.00	\$ 24,600.00	
	Corten Steel Gutter At Roof	15	LF	\$ 75.00	\$ 1,125.00	
	Corten Steel Cladding At Trash Cans	32	SF	\$ 75.00	\$ 2,400.00	
	Trash Cans - Bear/Critter Proof - Allowance	2	EA	\$ 2,000.00	\$ 4,000.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Trailhead Ramada				\$ -	
	Colored Concrete W/Exp Agg Finish Slab At Ramada	1182	SF	\$ 15.00	\$ 17,730.00	
	CMU Walls /Posts At Ramada	213	SF	\$ 13.00	\$ 2,769.00	
	Grout Fill - 100%	213	SF	\$ 3.50	\$ 745.50	
	Stone Cladding At CMU Walls	272	SF	\$ 15.00	\$ 4,080.00	
	Corten Steel Cladding At Posts	48	SF	\$ 75.00	\$ 3,600.00	
	Misc Steel - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Glulam Beam	44	LF	\$ 20.00	\$ 880.00	
	Horizontal Wood Roof Framing	408	SF	\$ 30.00	\$ 12,240.00	
	Vertical Wood Roof Framing	616	SF	\$ 25.00	\$ 15,400.00	
	Corten Steel Piping At Roof Framing	520	LF	\$ 150.00	\$ 78,000.00	
	Corrugated Horizontal Corten Steel Paneling At Roof	320	SF	\$ 75.00	\$ 24,000.00	
	Corrugated Vertical Corten Steel Paneling At Roof	189	SF	\$ 75.00	\$ 14,175.00	
	Corten Steel Gutter At Roof	26	LF	\$ 75.00	\$ 1,950.00	
	Corten Steel Cladding At Trash Cans	32	SF	\$ 75.00	\$ 2,400.00	
	Trash Cans - Bear/Critter Proof - Allowance	2	EA	\$ 2,000.00	\$ 4,000.00	
	Steel Rod At Signs	27	LF	\$ 5.00	\$ 135.00	
	Steel Signage Allowance	3	EA	\$ 500.00	\$ 1,500.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	3-Panel Kiosk - Ventek - Allowance	3	EA	\$ 11,750.00	\$ 35,250.00	
	Cast In Place Seating - Allowance	105	LF	\$ 250.00	\$ 26,250.00	
	Pine Wood Plank Top At Bench	363	LF	\$ 7.50	\$ 2,722.50	
	Bollards At Trail Gate	8	EA	\$ 750.00	\$ 6,000.00	
	Landscape - Trees - Ponderosa Pine	28	EA	\$ 950.00	\$ 26,600.00	
	Move Boulders To Designated Areas - Allowance	1	LS	\$ 5,000.00	\$ 5,000.00	
	Hoisting And Rigging - Allowance	1	LS	\$ 2,500.00	\$ 2,500.00	
	Fine Grade Existing Soils To Drain (Inside Fencing)	4922	SF	\$ 0.25	\$ 1,230.50	
	Fine Grade To Surrounding Elevations (Outside Fencing)	4445	SF	\$ 0.10	\$ 444.50	
	Domestic Water - 1" PVC - Allowance	220	LF	\$ 67.50	\$ 14,850.00	
	Electrical Service - Allowance	220	LF	\$ 275.00	\$ 60,500.00	
					\$ -	
	Sub Total				\$ 657,763.40	
	General Conditions (10%)				\$ 65,776.34	
	Sub Total				\$ 723,539.74	
	Contractor Fee (10%)				\$ 72,353.97	
	Sub Total				\$ 795,893.71	
	Bond & Insurance (3%)				\$ 23,876.81	
	Sub Total				\$ 819,770.53	
	Construction Contingency (10%)				\$ 81,977.05	
	Sub Total				\$ 901,747.58	
	Sales Tax (Special) - (6.7%)				\$ 60,417.09	
	Sub Total				\$ 962,164.67	
	Escalation (6%/yr - To Be Bid In Jan '25)				\$ 49,596.12	
	3. Granite Dells Trailhead Total					\$ 1,011,761

