

Notes: all plans should show plan and elevations of all openings, including fireplaces, etc. Walls to be 1/2" thick.  
 2. BEARING ALL WALLS, BEAR ON PILES.  
 3. BEARING EQUIPMENT MUST BE CARRIED ON DECKING OR BASE.  
 4. SEE DRAWING 2177 FOR WALL.

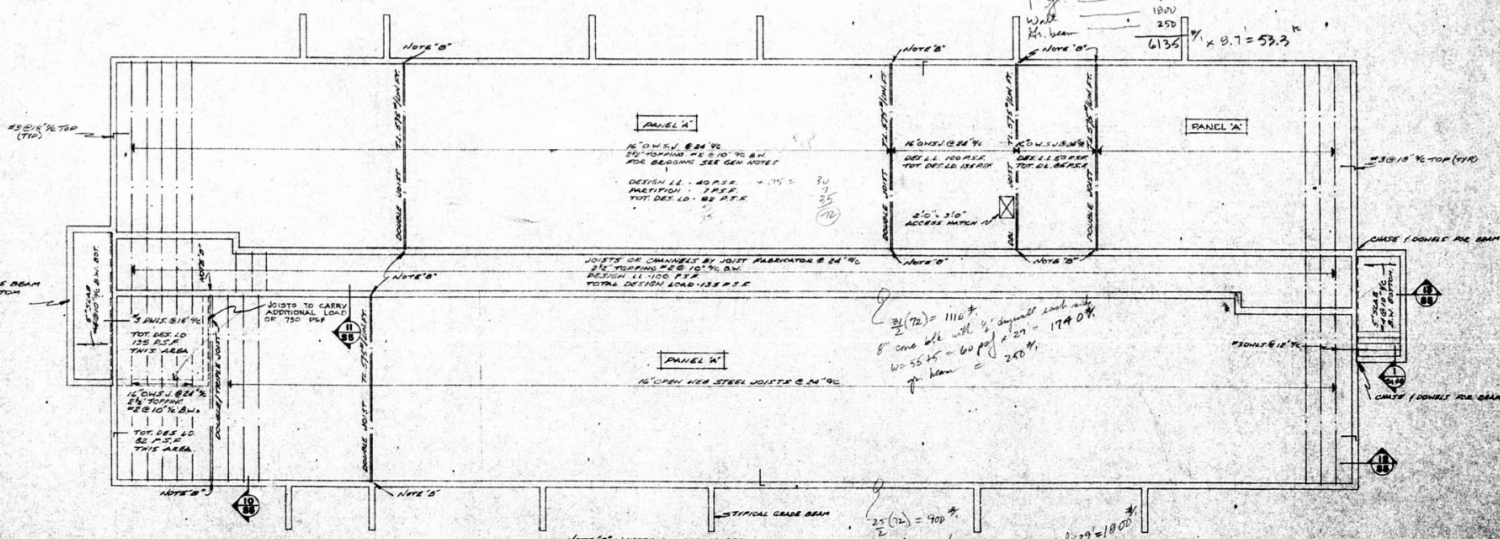
Typical pile leg:

Base	500
3rd floor	1500
2nd floor	1500
1st floor	1100
Wall	1700
W.L. beam	250
Total	7000

7000 x 7.5 = 52.7 k

Roof	750
3rd flr	1800
2nd flr	1800
1st flr	900
Wall	1800
W.L. beam	250
Total	6100

6100 x 8.7 = 53.3 k



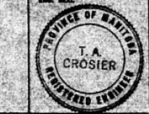
DATE	BY	REVISION

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**NUMBER TEN ARCHITECTURAL GROUP**  
 ARCHITECTS, ENGINEERS, PLANNERS  
 2000 10TH AVENUE, WINNIPEG, CANADA, R4S 0S1

ASSOCIATE ARCHITECTS  
 ARCHITECTS, ENGINEERS, PLANNERS

REGISTERED ARCHITECT  
 REGISTERED ENGINEER

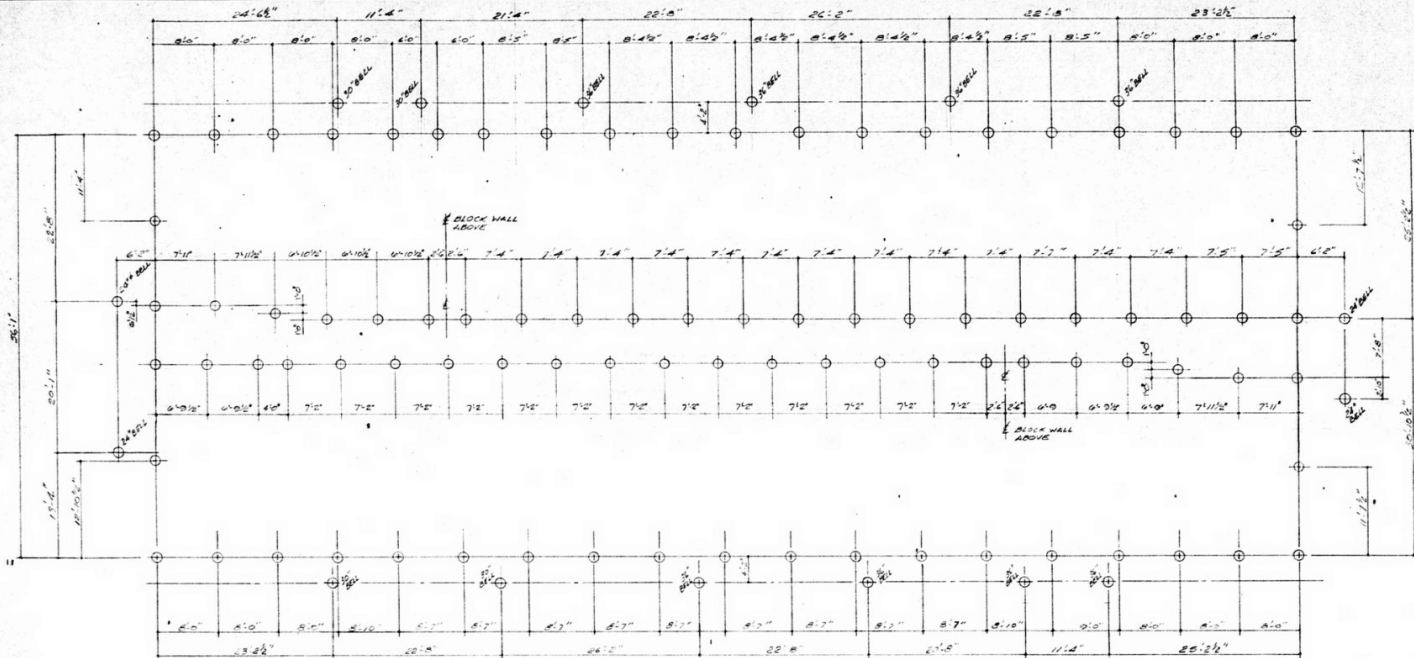


**PROJECT:**  
 KENASTON ESTATES - PHASE I  
 GARDEN APARTMENTS  
 KENASTON BLVD & GRANT AVE.

**OWNER:**  
 KENASTON PROPERTIES LTD.  
 DEVELOPER  
 LAKEVIEW PROPERTIES LTD.  
 WINNIPEG, MANITOBA

**SHED TITLE:**  
 FOUNDATION AND  
 MAIN FLOOR  
 FRAMING PLAN - TYPE 'X'

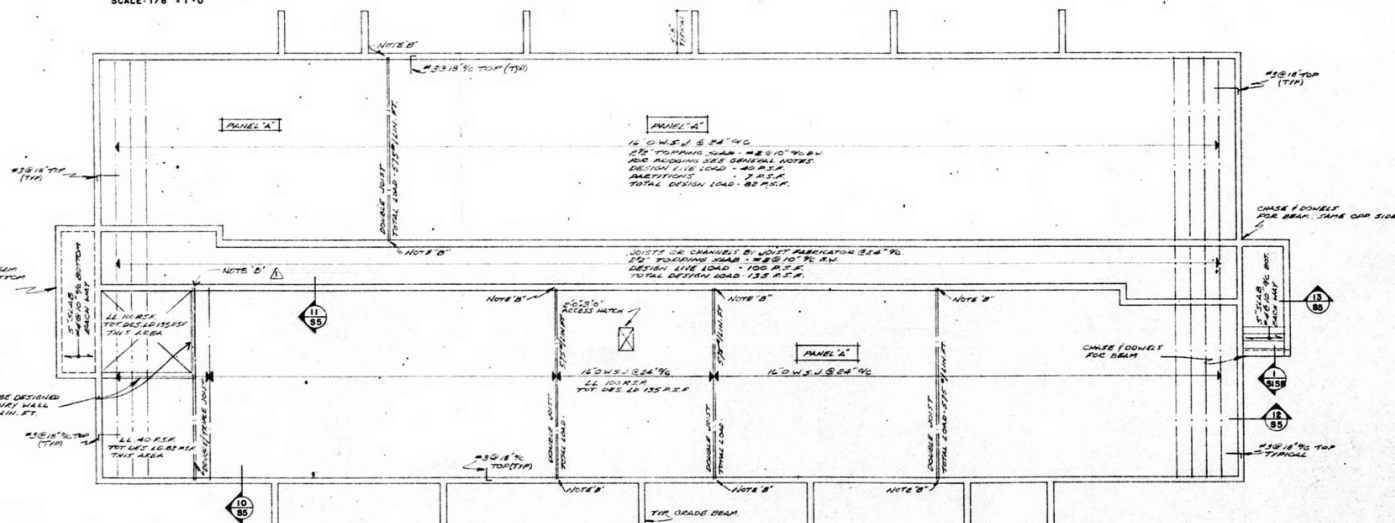
DESIGN BY	DATE	SCALE
CHK'D BY	PROJECT NO.	FILE NO.
APP'D BY	FIGS	



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

NOTES: 1. ALL PILE CAPS SHALL BE PILE 10" Ø BELOW 1'7" CL + 7'6" LOW. UNLESS OTHERWISE NOTED.  
2. DIMENSIONS ON BELL HOOD P.S.P. MAY VARY.  
3. BELLEVUE FOUNDATION MUST BE CAPABLE OF CARRYING 50 TONS.  
4. SEE DRAWING S-2 FOR SOIL TEST.  
5. ALL PILES TO BE 10" Ø UN.

$$P_{119} = \frac{W}{A} = \frac{12000}{10} = 1200 \text{ psf}$$



**MAIN FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION
1	10/27/79	EXTEND DOUBLE JOIST TO CENTER LINE

DATE: 10/27/79

REVISION:

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, RATINGS AND LOADS PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS AND LOADS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.
- VARIOUS SCHEDULES AND NOTATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
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**NUMBER TEN ARCHITECTURAL GROUP**  
ARCHITECTS ENGINEERS PLANNERS  
10 DONALD STREET NORTH WINNIPEG CANADA (204) 543 0981

ASSOCIATE ARCHITECT:

CONSULTING ENGINEER:  
ENGINEERS, ARCHITECTS & PARTNERS  
1000 UNIVERSITY AVENUE  
WINNIPEG, MANITOBA R2S 0R1

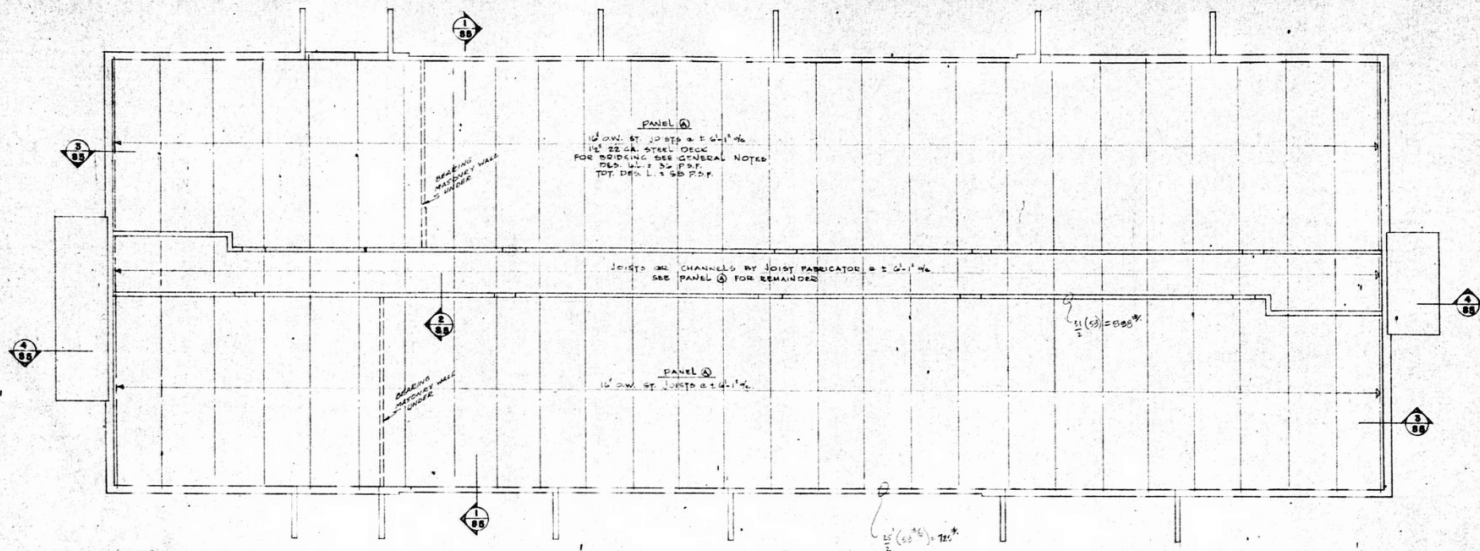
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ENGINEERING SEAL: [Blank]

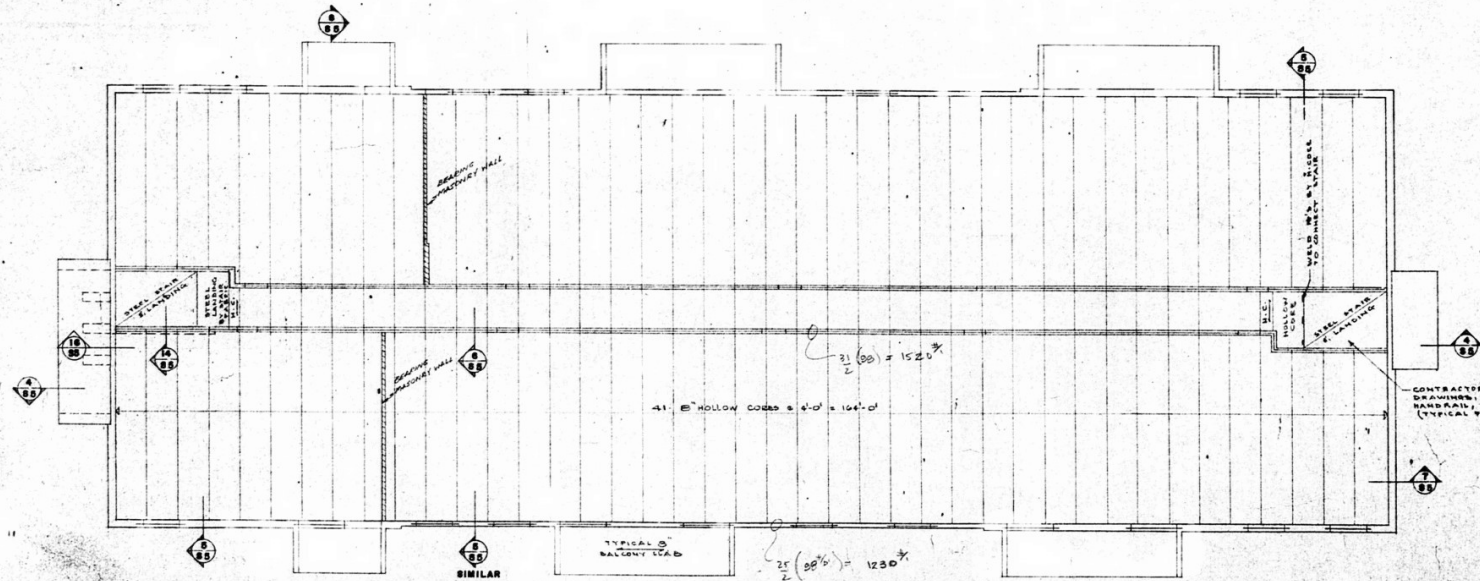
PROJECT: **KENASTON ESTATES - PHASE I**  
**GARDEN APARTMENTS**  
KENASTON BLVD. & GRANT AVE.  
OWNER: KENASTON PROPERTIES LTD.  
DEVELOPER: LAKEVIEW PROPERTIES LTD.  
WINNIPEG MANITOBA

SHEET TITLE: **FOUNDATION AND MAIN FLOOR FRAMING PLAN - TYPE '2'**

DRAWN BY: D.C.R. DATE: [Blank] SHEET NO.: S-2 SB  
CHECKED BY: A.W.R. PROJECT NO.: 7189 FILE NO.: [Blank]

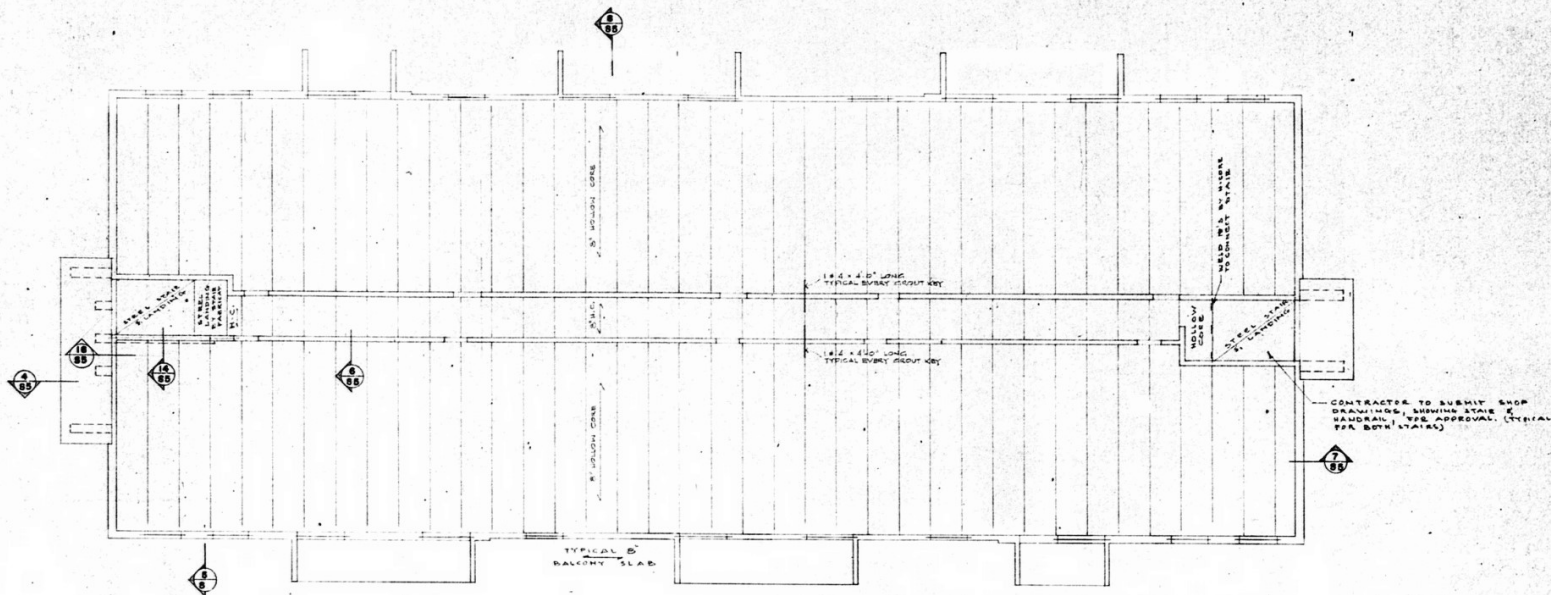


**ROOF FRAMING PLAN**  
SCALE: 1/8"=1'-0"  
NOTE:



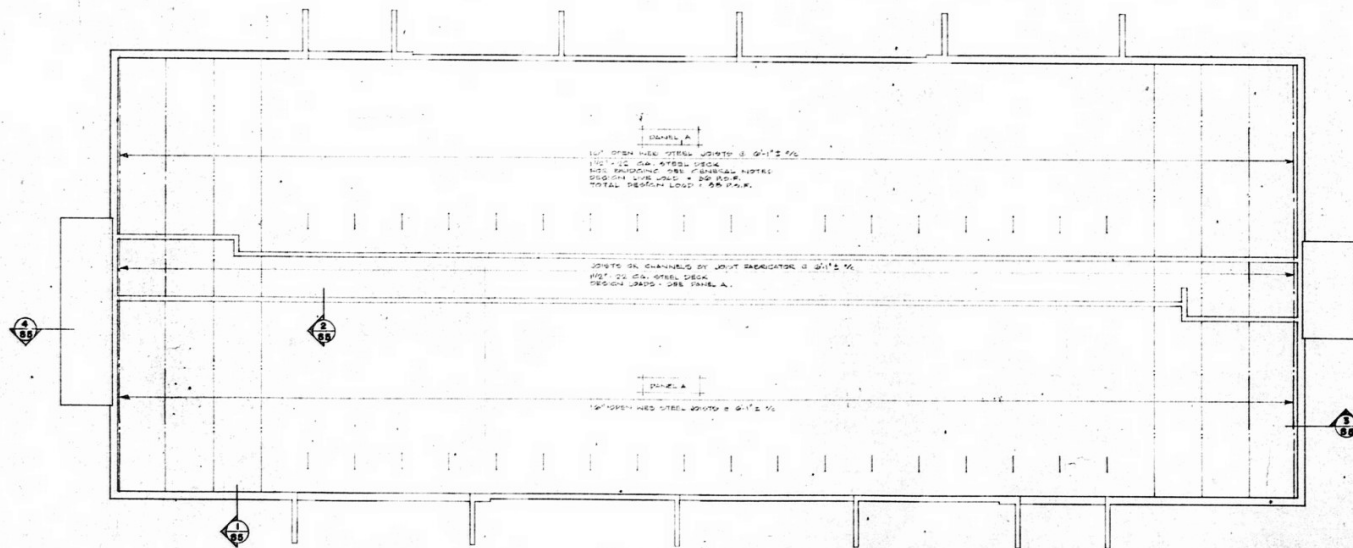
**SECOND & THIRD FLOOR FRAMING PLAN**  
SCALE: 1/8"=1'-0"  
NOTE: HOLLOW CORES MADE TO CARRY 2" MASONRY WALL (SEE ARCH. DRWG. FOR LOCATION)  
W.S. LL. 40 P.S.F., PARTITIONS 7 P.S.F., TOTAL DEL. LB. 100 P.S.F.

REVISION	
DATE	DR
<p>THIS DRAWING MUST NOT BE SCALED.</p> <p>THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.</p> <p>VARIATIONS &amp; MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.</p> <p>THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECTS AND CAN BE REPRODUCED ONLY WITH THE PERMISSION OF THE ARCHITECTS. IN WHICH CASE THE REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECTS.</p>	
<p><b>NUMBER TEN ARCHITECTURAL GROUP</b> ARCHITECTS ENGINEERS PLANNERS 10 DONALD STREET NORTH WINDYBEE CANADA (204) 942 0881</p>	
<p>ASSOCIATE ARCHITECT</p>	
<p>CONSULTING ENGINEER</p> <p><b>ENGINEER GREENBERG &amp; PARTNERS</b> 1001 THE CENTRAL ST. WINDYBEE CANADA Phone: 1-800-388-8888 Fax: 204-942-0881</p>	
<p>ARCH. SEAL</p>	<p>ENG. SEAL</p> <p>PROVINCE OF MANITOBA <b>D. M. KILGOUR</b> REGISTERED ENGINEER</p>
<p>PROJECT</p> <p><b>KENASTON ESTATES - PHASE I</b> GARDEN APARTMENTS KENASTON BLVD. &amp; GRANT AVE.</p> <p>OWNER: KENASTON PROPERTIES LTD.</p> <p>DEVELOPER: L'AKVIEW PROPERTIES LTD. WINNIPEG MANITOBA</p>	
<p>SHEET TITLE</p> <p><b>SECOND, THIRD FLOOR &amp; ROOF FRAMING PLANS</b></p>	
<p>TYPE X</p>	
<p>DRAWN BY</p>	<p>DATE</p>
<p>D.D.</p>	<p>SECRET NO.</p> <p><b>S-3</b></p>
<p>CHECKED BY</p>	<p>PROJECT NO.</p> <p><b>7128</b></p>
<p>P. RULES</p>	<p>FILE NO.</p>



**SECOND AND THIRD FLOOR FRAMING PLAN**

SCALE: 1/8" = 1'-0"  
 HOLLOW CORE SLABS TO CARRY 6" MASONRY WALLS  
 SEE ARCHT. DRAWINGS FOR LOCATION  
 DES. LL. 40 FLY, PARTITION 7 FLY, TOTAL DES. LL. 108 P.A.T.



**ROOF FRAMING PLAN**

SCALE: 1/8" = 1'-0"

CONTRACTOR TO SUBMIT SHOP  
 DRAWINGS FOR SUBMITTING STAIR &  
 WANDRAIL, SEE APPROVAL, TYPICAL  
 FOR BOTH STAIRS

DATE	BY	REVISION

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THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.

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**NUMBER TEN ARCHITECTURAL GROUP**  
 ARCHITECTS ENGINEERS PLANNERS  
 10 DONALD STREET NORTH, WINNIPEG CANADA (204) 942 0841

ASSOCIATE ARCHITECT

CORPORATED ENGINEER

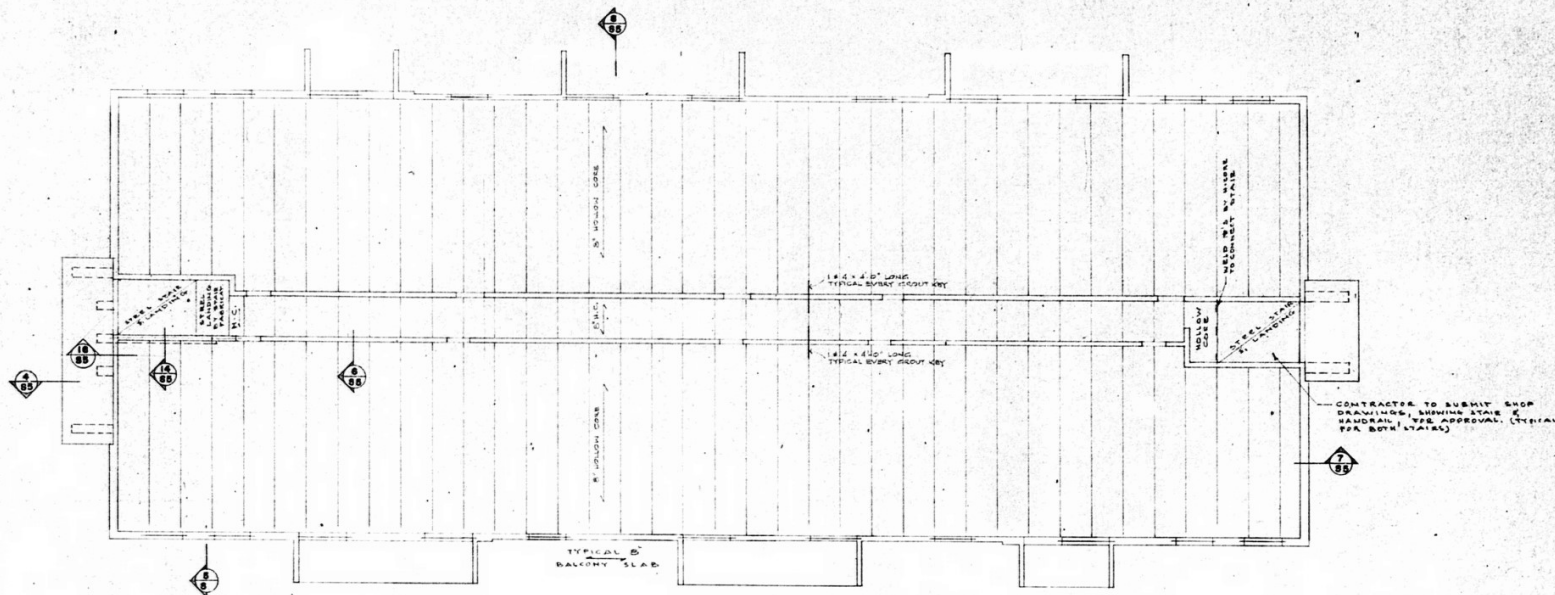
CHIEF ARCHITECT & PARTNERS  
 D. M. KILGOUR  
 ARCH. SEAL

PROFESSOR OF MANITOBA  
 D. M. KILGOUR  
 REGISTERED ENGINEER

PROJECT  
**KENASTON ESTATES - PHASE I**  
**GARDEN APARTMENTS**  
 KENASTON BLVD. AND GRANT AVE.  
 OWNER:  
 KENASTON PROPERTIES LTD.  
 DEVELOPER:  
 LAKEVIEW PROPERTIES LTD.  
 WINNIPEG MANITOBA

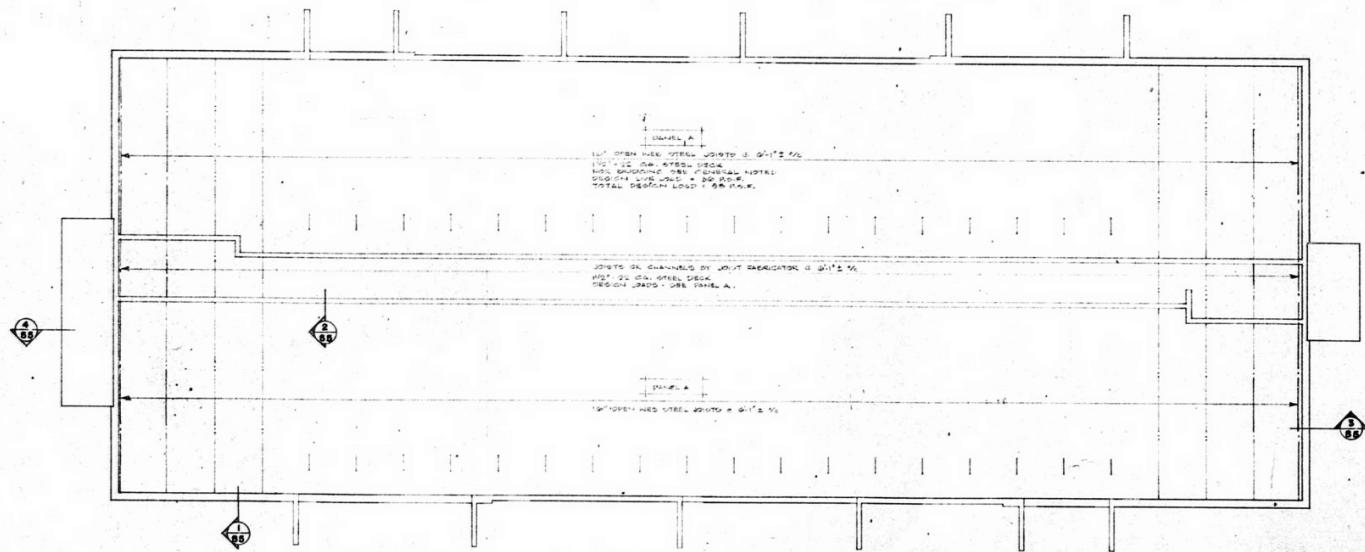
SHEET TITLE  
**FLOOR AND ROOF FRAMING PLANS**  
**TYPE 2**

DRAWN BY D. L.	DATE	SHEET NO. S-4
CHECKED BY S. R. U.S.	PROJECT NO. 7129	FILE NO.



**SECOND AND THIRD FLOOR FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

HOLLOW CORE SLABS TO CARRY G MASONRY WALLS  
SEE ARCHIT. DRAWINGS FOR LOCATION  
CELL NO. 831, PARTITION 7 P.F., TOTAL CELL NO. 108 P.F.



**ROOF FRAMING PLAN**  
SCALE: 1/8" = 1'-0"

CONTRACTOR TO SUBMIT SHOP DRAWINGS, INCLUDING STAIR & HANDRAIL, FOR APPROVAL (TYPICAL SEE BOTH FLOORS)

DATE	BY	REVISION

THIS DRAWING MUST NOT BE SCALED.

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SETTING AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.

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**NUMBER TEN ARCHITECTURAL GROUP**  
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ASSOCIATE ARCHITECT

CONSULTING ENGINEER  
CHRYSTAL ENGINEERS & PARTNERS  
ENGINEERING CIVIL AND STRUCTURAL ENGINEERS  
1000 - 10th Street West, Winnipeg, Manitoba, R2G 1K1

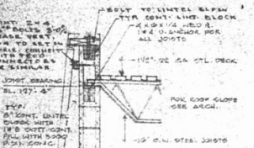
ARCH. SEAL: [Signature] ENG. SEAL: [Signature]

**PROFESSIONAL ENGINEER**  
D. M. KILGOUR  
REGISTERED ENGINEER

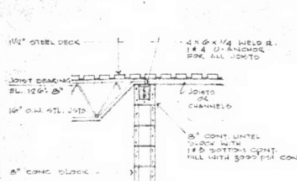
PROJECT  
**KENASTON ESTATES - PHASE I**  
GARDEN APARTMENTS  
KENASTON BLVD. AND GRANT AVE.  
OWNER:  
KENASTON PROPERTIES LTD.  
DEVELOPER:  
LAKEVIEW PROPERTIES LTD.  
WINNIPEG, MANITOBA

SHEET TITLE  
**FLOOR AND ROOF FRAMING PLANS**  
TYPE Z

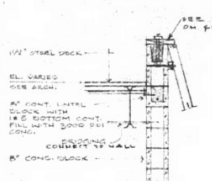
DRAWN BY D. L.	DATE	SHEET NO. S-4
CHECKED BY S. R. U.S.	PROJECT NO. 7120	FILE NO.



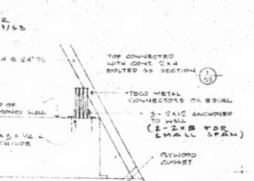
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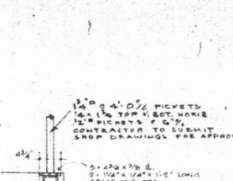
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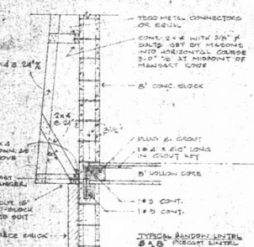
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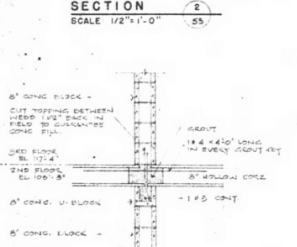
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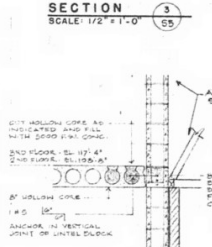
DETAIL 1  
SCALE: 1" = 1'-0"



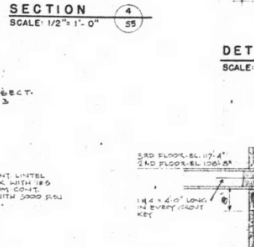
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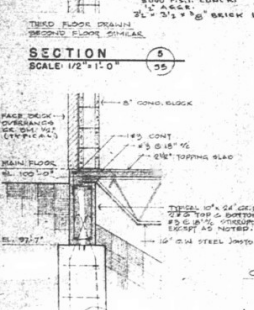
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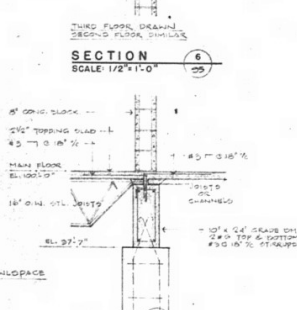
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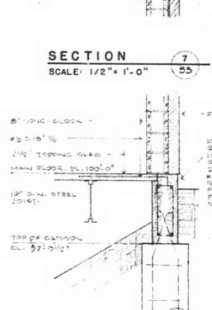
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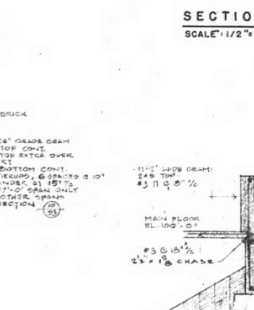
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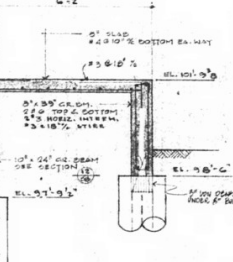
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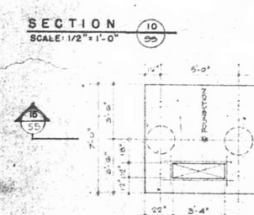
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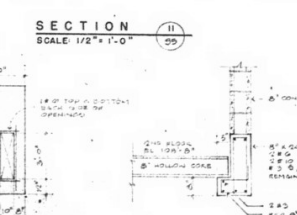
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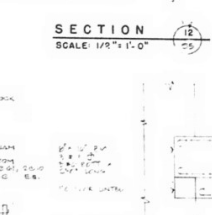
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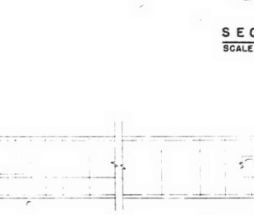
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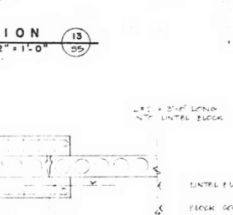
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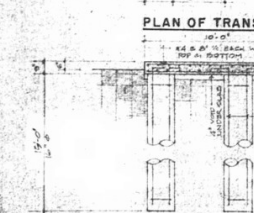
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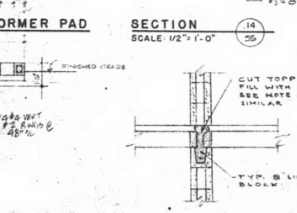
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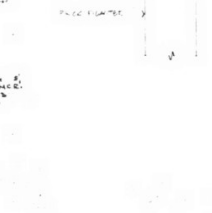
SECTION 18  
SCALE: 1/2" = 1'-0"



SECTION 19  
SCALE: 1/4" = 1'-0"



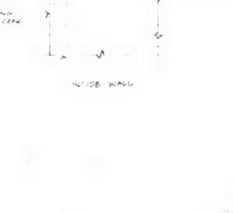
SECTION 20  
SCALE: 1/2" = 1'-0"



SECTION 21  
SCALE: 1/2" = 1'-0"



SECTION 22  
SCALE: 1/2" = 1'-0"



DETAIL 2

GENERAL NOTES

- Concrete strength at 28 days shall be as follows:
  - Structural slabs - 3,000 p.s.i.
  - 1/2" concrete block - 2,500 p.s.i.
- Minimum concrete cover:
  - Slabs - 3/4"
  - Walls - 1/2"
- Reinforcing steel to be A32 (60 k. s. 1 yield) deformed bars except #3 bars and stirrups, which may be intermediate grade welded steel. All reinforcing to be detailed in accordance with the latest ACI Detailing Manual, except as otherwise noted.
- Concrete cover to main steel to be as follows:
  - a) Grade below bottom of slab 2"; stirrups 1 1/2"
  - b) Paving slabs 1"
- Top steel in beams to be lapped at centre span. Bottom steel to be lapped at supports.
- All reinforcing to be held in place, and tied by the use of proper accessories, such as chair-bars, spacers, etc., to be supplied by the reinforcing steel fabricator.
- Do not backfill until ground floor structure is completed.
- Place all polyethylene under slabs on piers.
- Slip joint all paving against structural members with 1/2" asphalt impregnated fibreboard.
- All door lintels in block walls to have 8" high lintel block 2-45 bottom 3,000 p.s.i. concrete fill; or steel notch 3/4" x 1/2" x 1/2" lintel block 2-45 bottom 3,000 p.s.i. concrete fill.
- All lintels over ducts in block walls to have 8" high lintel block 2-45 bottom 3,000 p.s.i. concrete fill.
- Sulphate Resisting Portland Cement is to be used for all concrete strength at 28 days shall be 2,500 p.s.i.

- All masonry walls to be properly braced until complete structure has been closed in.
- All masonry walls to be built with type "S" mortar having minimum strength of 1,800 p.s.i. at 28 days, bonded walls, bonded restraints, use mortar in every second course of all masonry walls. Every course for stack bond.
- All standard concrete blocks to specification ASTM - C90 - 64; Min. of 1,000 p.s.i. @ 28 days.
- Place double joints under all masonry conditions to carry extra wall load, unless otherwise shown or noted.
- All joints bonding to conform with latest building code requirements, except as noted.
- All duct larger than 18" x 18" across shall be supported with 2 x 4 x 1/2" angles around, spaced as above. Smaller openings through steel deck to be stiffened by steel reinforcement where steel deck reverses its framing direction, use 2" x 2" x 1/4" x 1/2" support edge.
- All welding shall be performed by qualified welders, fully approved for structural welding by the Canadian Institute of Science, in accordance with C. S. A. S. Spec. 147.459.
- Fabrication of structural steel and steel joints to be completed in accordance with C. S. A. Standard 154-64.
- Joints to have top chord extensions.
- Joint supplier to refer to architectural drawings for section and weights of equipment supported by the joints. Joints to have integral members in line, where required by mechanical units etc.
- Half core supplier to check with mechanical engineer for any floor openings.
- ALTERNATE FOR DOOR LINTELS IN CONCRETE BLOCK WALLS:
  - 8" x 8" CONCRETE LINTEL
  - 2-4 TOP; 2-2 BOTTOM; #3 @ 6" O.C.

DATE	BY	REVISION

**NUMBER TEN ARCHITECTURAL GROUP**  
ARCHITECTS ENGINEERS PLANNERS  
15 DONALD STREET NORTH WINNIPEG CANADA (204) 841 0881

ASSOCIATE ARCHITECT  
D. M. KILGOUR  
REGISTERED ENGINEER  
PROVINCE OF MANITOBA

PROJECT  
**KENASTON ESTATES - PHASE I**  
GARDEN APARTMENTS  
KENASTON BLVD & GRANT AVE.  
OWNER:  
KENASTON PROPERTIES LTD.  
DEVELOPER:  
LAKEVIEW PROPERTIES LTD.  
WINNIPEG - MANITOBA

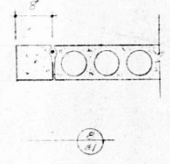
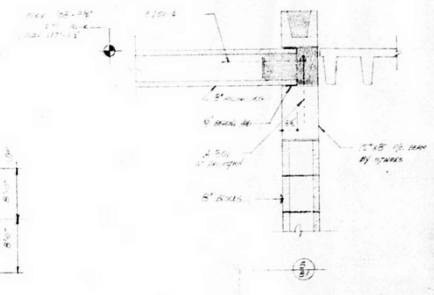
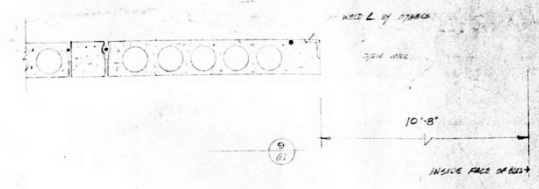
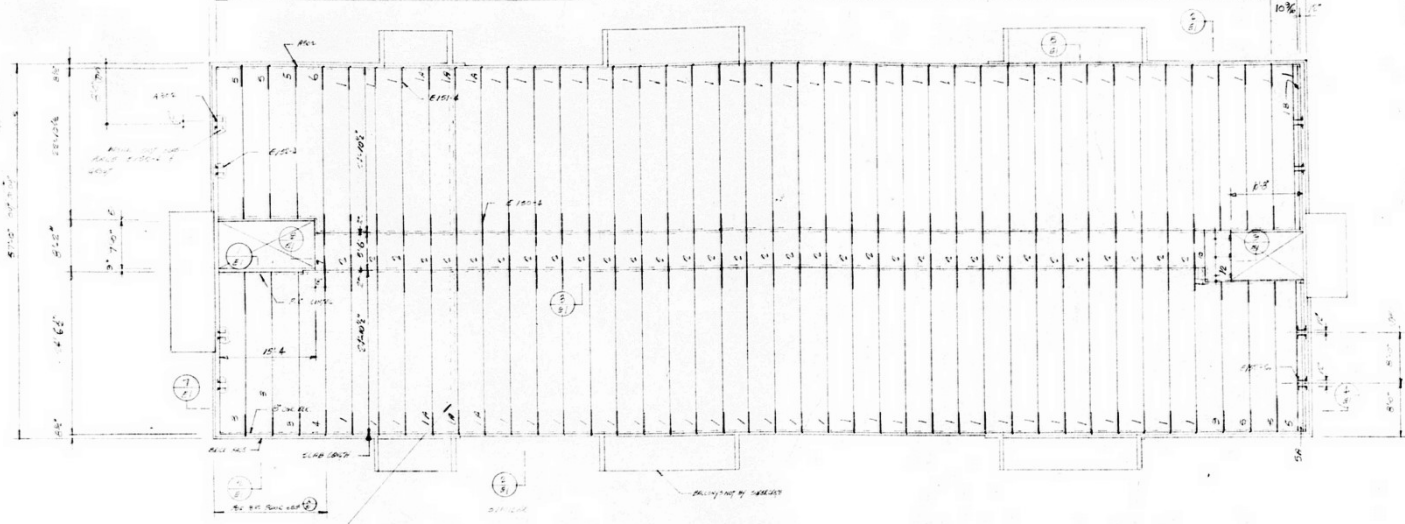
SHEET TITLE  
**SECTIONS & DETAILS**  
TYPE X & Z  
DRAWN BY  
D.L.  
CHECKED BY  
F.R.  
DATE  
PROJECT NO.  
7125  
SHEET NO.  
**S-5**  
FILE NO.

ORIG FROM THIS END

166'-8" OUT TO OUT

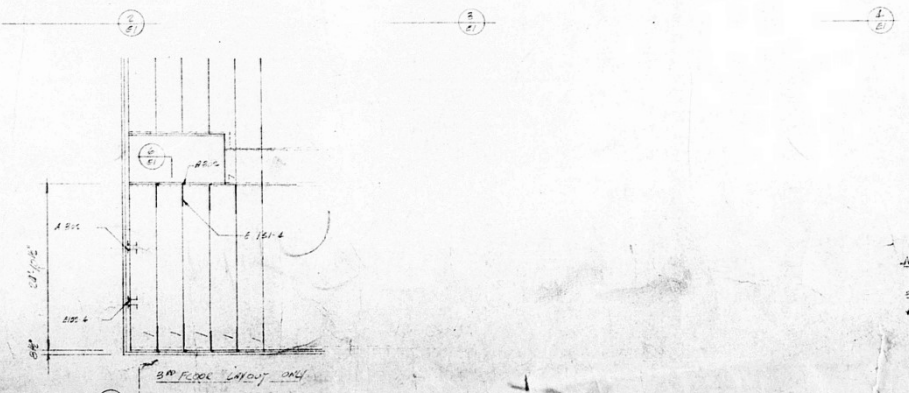
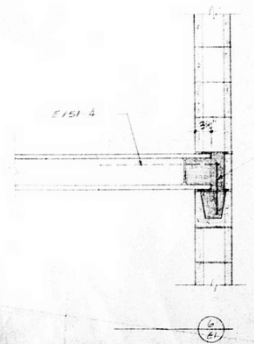
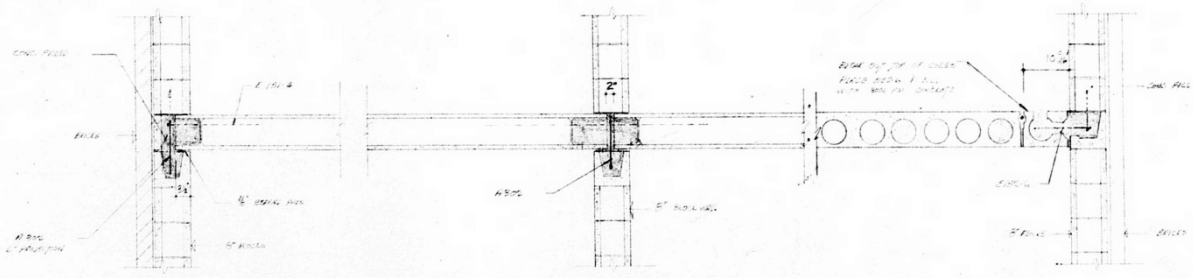
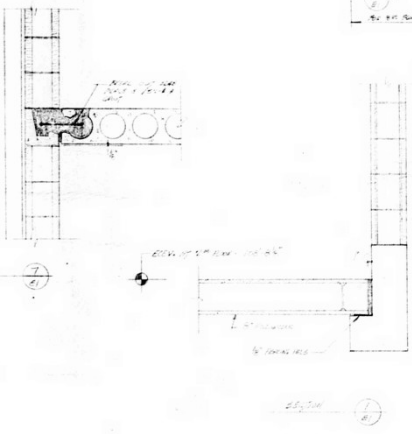
41 WORKING OVER CLEAR IS 178' x 166'-8"

30 Pcs. 8" x 4" + 2 Pcs. 10" x 10"



6" DIA. HOLE  
8" DIA. HOLE  
8" DIA. HOLE

2" x 8" FLOOR JOIST x 18' LONG



NOTE  
 DIMENSIONS WITH 1/8" TOLERANCE UNLESS OTHERWISE SPECIFIED  
 \* DIMENSIONS REVD.



NO.	DATE	DESCRIPTION
1	10/15/44	AS SHOWN
2	10/15/44	REVISIONS (READ UP)
3	10/15/44	REVISIONS (READ UP)
4	10/15/44	REVISIONS (READ UP)
5	10/15/44	REVISIONS (READ UP)
6	10/15/44	REVISIONS (READ UP)
7	10/15/44	REVISIONS (READ UP)
8	10/15/44	REVISIONS (READ UP)
9	10/15/44	REVISIONS (READ UP)
10	10/15/44	REVISIONS (READ UP)

DATE	NO.	DESCRIPTION
10/15/44	1	AS SHOWN
10/15/44	2	REVISIONS (READ UP)
10/15/44	3	REVISIONS (READ UP)
10/15/44	4	REVISIONS (READ UP)
10/15/44	5	REVISIONS (READ UP)
10/15/44	6	REVISIONS (READ UP)
10/15/44	7	REVISIONS (READ UP)
10/15/44	8	REVISIONS (READ UP)
10/15/44	9	REVISIONS (READ UP)
10/15/44	10	REVISIONS (READ UP)

PROJECT OF MATHEMATICS  
 E. R. DENTLAND  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 104, State of New York

DATE: 10/15/44

NO. 104

DESCRIPTION: REVISIONS (READ UP)

PROJECT: SUPERCONCRETE LT. 222 PROVENCHER AVE. ST. BONAIRE

JOB: KAMMISTON DEVELOPMENT

TITLE: HOLLOW CORE LAYOUT 2" x 8" FLOOR JOIST

ARCHITECT: A. B. J.

CONTRACTOR: KAMMISTON

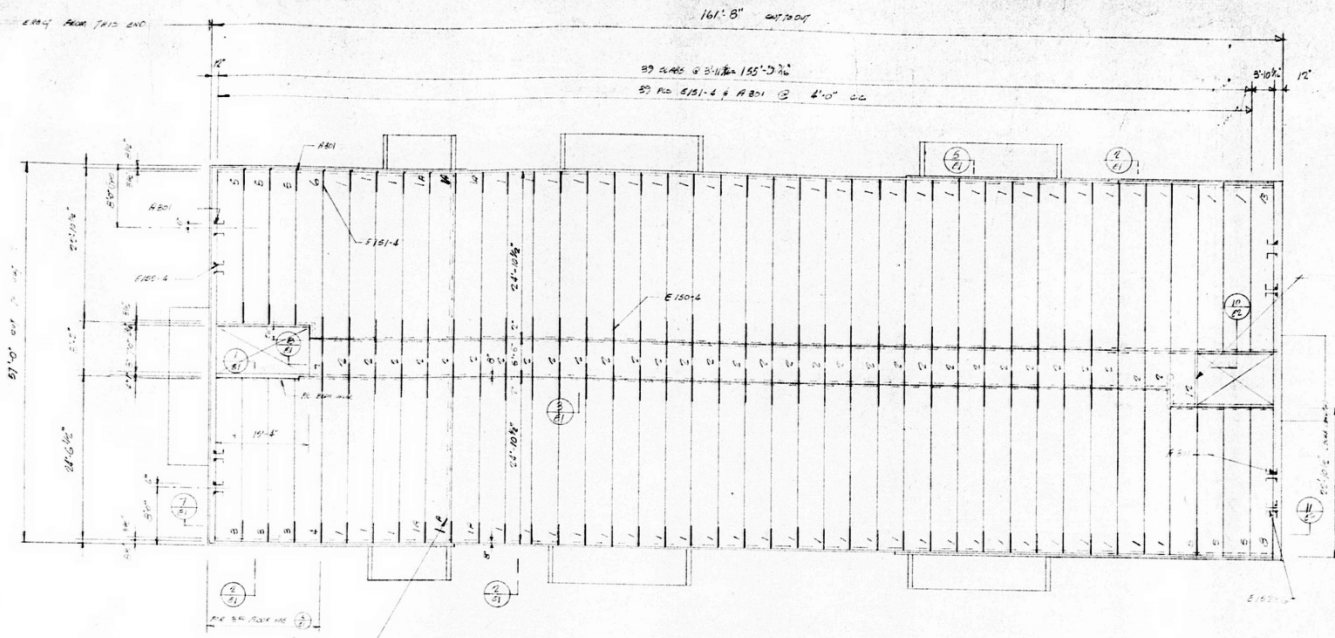
SCALE: 1/4" = 1'-0"

Drawn By: [Signature]

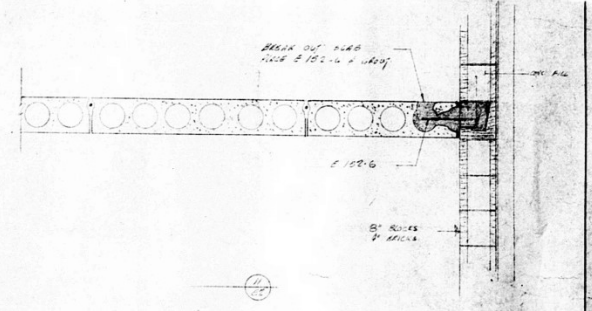
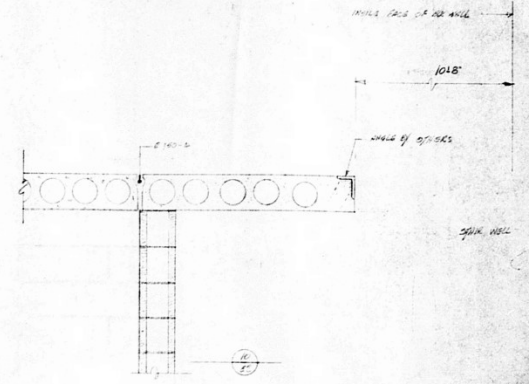
Checked By: [Signature]

DATE: 10/15/44

W.O. 57



2" x 8" FLOOR TYPE 2 3 Bay  
 5' TYP. HANG BRACKETS  
 4" TYP. HANG BRACKETS  
 5' TYP. ON BRIDGEWORK JOISTS



KILDARE CONCR.  
~~744-5544~~  
 842-5546  
 Mr. J. J. Bernaden  
 Superintendent  
 5894952

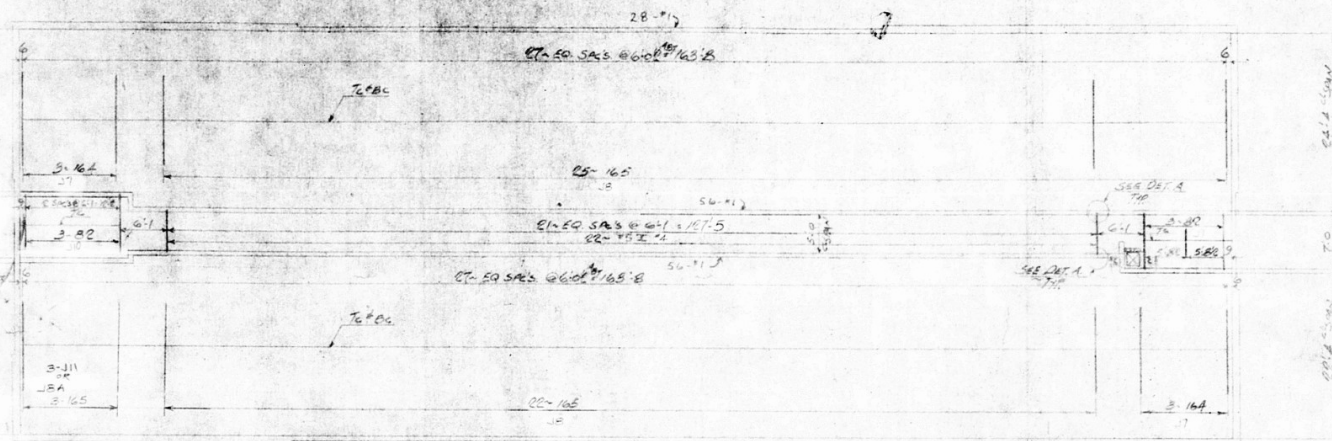


NOTE  
 DIM. PLANS WITH 1/8\"/>

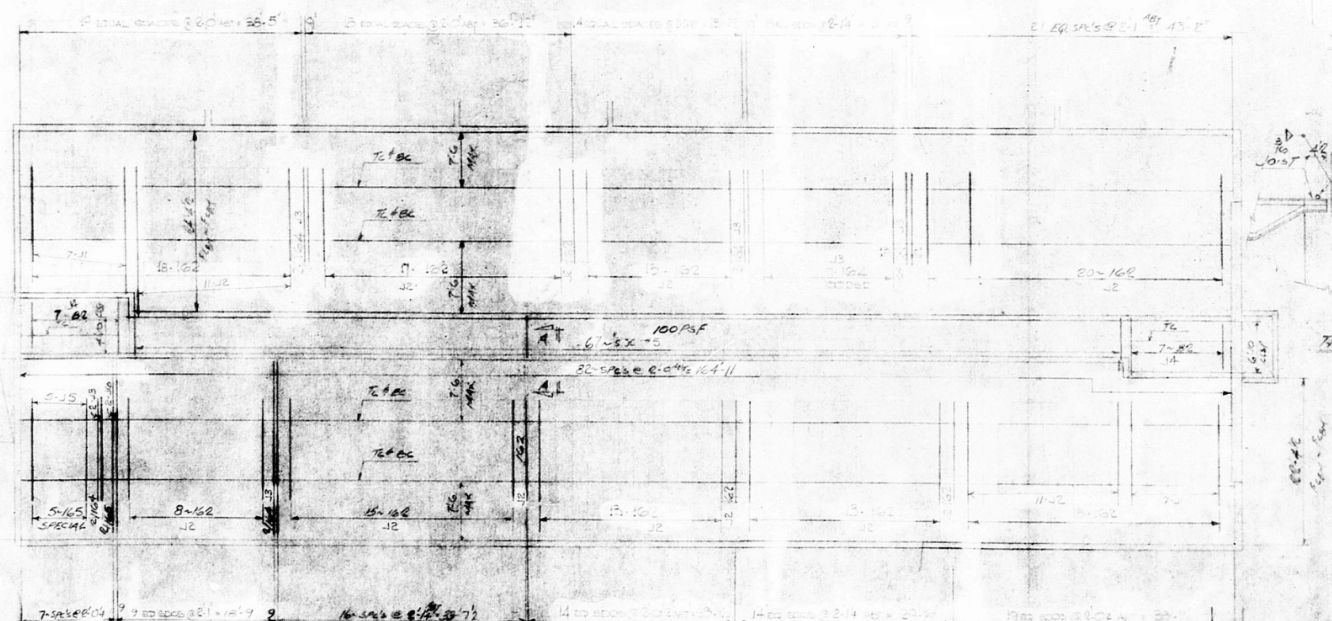
Check SIZES of OTHERS  
 SEE 207.01

DATE	NO.	DESCRIPTION	BY	CHKD.
REVISIONS (READ UP)				
<b>SUPERCRETE LTD.</b>				
222 PROVENCER AVE. ST. BONIFACE, MAN.				
JOB: <b>KENNSTON DEVELOPMENT</b>				
TITLE: <b>2" x 8" FLOOR - TYPE 2</b>				
ARCHITECT: #10				
CONTRACTOR: <b>KILDARE CONCR.</b>				
SCALE: 3/8" = 1'				

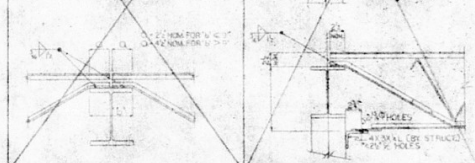
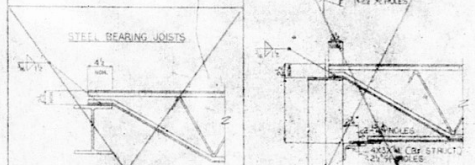
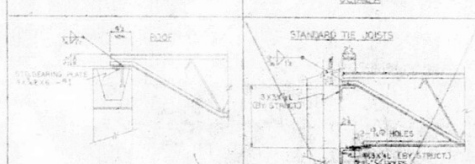
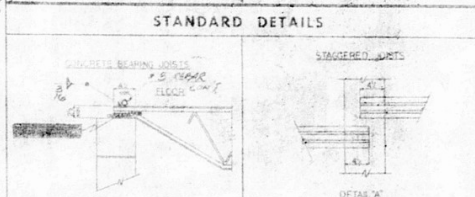
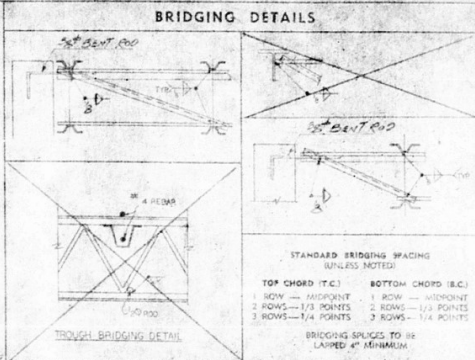




ROOF FRAMING PLAN TYPE "X" 9-RES-3  
 ALL BRIDGING 2 INCHES TO T.C.B.C. UNLESS NOTED  
 LWS LOGS 30 R5F



MAIN FLOOR FRAMING PLAN TYPE "X" 9-RES-3  
 ALL BRIDGING 2 INCHES TO T.C.B.C. UNLESS NOTED  
 LWS LOGS 30 R5F



SECTION B-B

SECTION A-A

TOP THROUGH CORRIDOR

**FOR STEEL JOISTS ONLY**



**SUPERVISION OF CONSTRUCTION**  
 With reference to Article 4.1.1.8, the Metropolitan Vancouver Building By-Law #211 1965, the undersigned has not been retained to supervise the construction shown on this drawing.

SECTION - BY DOMINION BRIDGE CO. <input type="checkbox"/>	BY OTHERS <input type="checkbox"/>	TOP-UP <input type="checkbox"/>
SHOP PAINT - 1 COAT STANDARD PRIMER - SW 65 TRUSS		
WASH FORMS <input checked="" type="checkbox"/> CR	DRAINAGE <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
TROUGH BRIDGING <input type="checkbox"/>	DIA. AT E.W. <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>
FENCE JOBS <input type="checkbox"/>	WELDED WIRE MESH <input checked="" type="checkbox"/> 6X6X1/2	YES <input type="checkbox"/> NO <input type="checkbox"/>
STEEL DECK <input checked="" type="checkbox"/> 22	GAUGE <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/> BY D.B. CO. <input type="checkbox"/>
		BY OTHERS <input type="checkbox"/>

<b>OPEN WEB JOIST SETTING DIAGRAM</b>		CONTRACT
STRUCTURE	KENASTON REPAIRS, 107 "X" 107 "X"	10000
PURCHASER	2400 W. 107 "X" 107 "X"	BLAYD CONTRACT
DRAWN BY	JOIST SQUAD	DATE
CHECKED	DATE	DWG. NO.
DATE	DATE	REV. /
<b>DOMINION BRIDGE COMPANY LTD.</b>		

REV	DESCRIPTION	BY	DATE
1	WORK CHANGE - SECTION MARKS	RJK	2-2-65
2	WORK CHANGE - SECTION MARKS	RJK	2-4-65