

Holly Mill

Community Handbook

2026



Version 2.0



Disclaimer

The Holly Mill Handbook is intended for use as a guide for residents of Holly Mill, and is not intended as, or provided as, a substitute for Governing Documents, including the Holly Mill Community Association Protective Covenants. For any clarification, the Holly Mill Protective Covenants will serve as any controlling document.

Please refer to the Holly Mill Protective Covenants for any clarification. If needed, Protective Covenants are available on the Sixes App, or by emailing Property Management, or the Holly Mill Community Board of Directors. Any discrepancy is unintentional.



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Contact Information

For modification, request forms, amenity cards, and contact information:

Sixes Management Group
2230 Towne Lake Parkway
Building 500
Woodstock, GA 30189
(770) 575-0943
sixesmanagement.com
hollymill@sixesmanagement.com



To contact the Board of Directors or to view events and news in our community

hollymillcommunity.com
board@hollymillcommunity.com

Utilities:

| | |
|-----------------------------|--------------|
| Utilities protection center | 800-282-7411 |
| Georgia Power | 888-660-5890 |
| Cobb EMC | 770-429-2100 |
| Power outages | 888-891-0938 |
| Point Broadband | 762-285-0537 |
| Loose or dangerous animals | 770-479-6153 |

Cherokee County Services:

| | |
|---------------------|--------------|
| Building permits | 678-493-6220 |
| County-issued plats | 678-493-6530 |

Ordinances, maps, license info, and other useful information can be found at www.Cherokee.ga.gov

To report any suspicious or illegal activity, even if not an emergency:



Rules & Regulations

Extracted and condensed from the covenants

THESE RULES AND REGULATIONS HAVE BEEN MODIFIED IN ACCORDANCE WITH ARTICLE VII, SECTION 1 OF THE DECLARATION OF PROTECTIVE COVENANTS FOR HOLLY MILL.

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1. Lots are for single-family residential purposes only. No business or business activity is permitted without written consent of the Board of Directors. Listing of a lot is not considered a business activity. Occupants are subject to the rules and regulations of the community.
2. No sign shall be erected by owners or occupants without the written consent of the Board, except for signs required by legal proceedings, one for sale sign per lot, or signs erected by the Board. Political signs are prohibited. .
3. Vehicles must be parked on driveways or in garages. Parking on sidewalks or grass is not permitted. No overnight parking of any type vehicle is permitted on any street or cul-de-sac. Daily or habitual parking in the street is not permitted. Vehicles such as, but not limited to, recreational vehicles, motorhomes, campers, trailers, utility trailers, boats, and jet skis must be parked in garages and must not be visible from any lot for more than 24 hours. These vehicles may be parked in the street for a short period of time, not to exceed four hours, for the purposes of loading and unloading. Towed vehicles parked in the street for loading and unloading must remain in tow.



4. Only usual and common pets are permitted. Dogs, whenever outside the lot, shall be leashed, in accordance with Cherokee County Ordinances. Owners are responsible for cleaning up their pets' waste.
5. Lots must be maintained to the community standard. Lawns (if privately maintained) must be regularly mowed and edged, beds mulched and weeded. Shrubbery must be trimmed and maintained. No unclean or unkempt condition is permitted. Homes must be kept in good repair.
6. All modifications to the exterior of properties must be submitted for review and approved in writing before work begins. Design guidelines are contained in this handbook. Association approval does not obviate the homeowner from seeking approval from any other jurisdiction having authority over the project and vice versa.
7. All clothes lines, garbage cans, wood piles, water hoses, ladders, wheelbarrows, and other utilitarian items must be located or stored so as to be completely screened from all streets and adjacent lots. No refuse shall be placed by the curb before 4:00 PM the day before collection. Garbage cans must be removed no later than 12:00 PM the day after collection. Examples of approved garbage can screens and enclosures are attached below.
8. No lot may be subdivided or its boundary lines changed without the consent of the Board. Any such division, boundary line change, or replanning shall not be in violation of the applicable subdivision and zoning regulations.
9. The use of firearms in the community is prohibited. Definition of firearms include, but is not limited to, BB guns, pellet guns, and paintball guns.
10. Devices for solar heat collection for the purposes of energy conservation are expressly prohibited.
11. Garages may not be converted into living spaces. Violators will be reported to the Cherokee County Marshals Office.
12. Overnight parking at the Enclave or Rec pools is not authorized without the expressed, written consent of the Board of Directors. Violators are subject to towing without notice. Street parking is not permitted. Large commercial vehicles are not permitted to be stored or parked within the community.
13. Holly Mill amenities are for the use and enjoyment of Association members in good standing, their guests, and tenants. Amenity access will be suspended for any Association member, or their tenant, with past due fees, fines, or dues. Landlords must provide a list of all occupants of their properties in accordance with the Leasing Rules and Regulations.



14. Association members, their tenants, and guests, are expected to follow the rules posted at each pool. Each residence is permitted no more than 2 (two) guests per visit. Violations of pool rules can result in termination of amenity access. Repeated violations will result in the violator(s) being trespassed from Association amenities.

Modifications

I. INTRODUCTION

All modifications require written approval from the association. Those homeowners performing repairs must submit a request so that the repair work will be logged in and an ARC project sign must be placed. The method of complying this requirement is to submit a modification request for an all supporting documents in duplicate.

II. DEFINITION OF MODIFICATIONS

A modification is defined as an alteration including removal of, addition to, a structure of any nature whatsoever without limitation to the following:

A. Landscaping and modifications to land

1. Plant materials
2. Tree removal
3. Change of grade or topography
4. Drainage
5. Retaining walls and foundations
6. Bed walls, edging, and mulch
7. Pathways, sidewalks, and driveways
8. Statuary and yard ornamentation
9. Exterior lighting
10. Fences and walls
11. Gazebos, arbors, and pergolas
12. Benches and other lawn furniture
13. Basketball goals, play equipment, swing sets, and other sport equipment
14. Animal houses
15. Swimming pools, hot tubs, and Jacuzzis
16. Tennis courts



17. Mailboxes
18. Trash can and hose screens
19. Antennas and satellite dishes

B. Structural modifications

1. Exterior paint and stain
2. Siding and trim
3. Decks and railings
4. Screened porches, sunrooms, and room additions
5. Detached structures
6. Windows, doors, garage doors, shutters, and window treatments
7. Roofs
8. Awnings
9. Chimneys
10. Stoops and steps

Modification Request Forms

Modification Request Forms may be submitted on the Sixes app or obtained from the Association's property manager. Completed applications may be submitted through the app or delivered to the property manager's office or mailed to:

**Holly Mill Community Association
2230 Towne Lake Parkway
Building 500
Woodstock, GA 30189**

All applications for modifications must be submitted to and approved in writing by the Association in accordance with the procedures outlined below **prior to making any modification.**

MODIFICATION REVIEW



The Board of Directors or its designee reviews requests for modifications and approval or disapproval are given based on the compliance of the modification requested to community-wide standards, the Design Guidelines, and the Covenants. The Association may deny any request based on aesthetics alone

1. THIRD PARTY EXPERTS

If the Association is unable to render a decision and deems it necessary to hire a third-party expert, the fees associated with retention of this third-party expert shall be passed on to the applicant. The applicant, in advance of formally engaging the third-party expert, shall pay these fees.

2. COURTESY TO NEIGHBORS

Although neighbors' approval is not necessary, homeowners submitting requests to install fencing, plant materials which may eventually encroach upon property lines, or other modifications on or close to the property line should contact all neighbors who may be impacted by the modification **prior to submitting** the request to modify.

3. REGULATORY COMPLIANCE

It is the homeowner's responsibility to obtain all permits, inspections, and Certificates of Occupancy, and to comply with all building codes, zoning regulations, and the requirements of all agencies having jurisdiction over the project. Regulatory compliance and permits do not preclude the authority and responsibility of the association for design review and vice versa.

4. FINAL APPROVAL

The Association's final approval constitutes a binding agreement between the applicant and the Association. **Any deviation from the approved plans must be resubmitted in writing to the association for approval.**

5. APPEALS



Decisions reached by the Association may be appealed within 14 days of notification of denial to the Board of Directors for reconsideration. This final appeal must be submitted to and addressed to the Board, and mailed to the property management office at the address listed above.

Design Guidelines

The Design Guidelines are tools used to review modifications. Their purpose is to provide for and encourage maintenance and improvements to lots and dwellings in a fair and consistent manner with respect for the Covenants, original intent of the developers' goals, protection of the community's image, homeowners' property values, as well as individual tastes. **Association approval does not obviate the homeowner from obtaining permits or approval from any other authority having jurisdiction over the project.**

Landscaping and modifications to lots

1. PLANT MATERIALS

The planting of Bermuda, Zoysia, or fescue grass (seed or sod), and ornamental plants and shrubbery in the front or side yard does not require approval. The planting of trees requires approval. A drastic change in the appearance of the lot, such as but not limited to, the removal of most of the sod to create a natural lot, or the addition of plant material so as to create a screen that blocks the house from street view requires approval. Vegetable gardens are not permitted.

2. TREE REMOVAL

A request must be submitted and approved for any tree removal. Diseased and dead trees, trees that have fallen during storms, etc., will be approved. The Association may track the progression of diseased trees in order to prevent the spread of the disease and protect neighboring trees. Felled trees must be removed from the property or cut into logs and stored in a location not visible to the street and adjacent lot. Stumps must not be

visible. The Association may require homeowners to replace removed trees by planting new trees.

3. CHANGE OF GRADE OR TOPOGRAPHY

A major change in the grade or topography of any lot requires approval. This includes, but is not limited to, creating or removing a hill and creating ponds or water features not natural to the lot. County compliance to soil protection must be followed. A county permit may be required.

4. DRAINAGE

Any Alteration which adversely affects adjacent or downstream properties is not permitted. All land-disturbing activities must be Approved by the association and such activities must conform to Cherokee County ordinances regarding erosion and sedimentation control. A permit may be required. No neighborhood swale or drainage features may be directed, dammed, or obstructed. Grass clippings may not be placed in drainage areas.

5. RETAINING WALLS AND FOUNDATIONS

Exposed concrete block or poured concrete foundation and retaining walls that are an extension of the house must be covered with matching or complimentary stone, stucco, or brick. Crosstie timber walls are permitted, but not encouraged, in backyards, not forward of the dwelling's rear corners. Crosstie timber walls are permissible, as retaining walls, when original construction included such walls in the front or side yard. New crosstie timber walls are not permitted. Wall height approvals will be determined by the topography and aesthetics of the lot. Homeowners are responsible for obtaining permits when required

6. BED WALLS, EDGING MATERIALS, AND MULCH

Bed walls must be constructed of complementary concrete, rock, stucco, rock, or stone. Maximum height of the wall will be determined by the lay of the land, topography, and aesthetics of the lot. Edging material must be constructed of complementary poured concrete, stucco, rock, brick, and/or stone. Height of the edging will be determined by the material and topography of the lot. Mulch may be natural, pine straw, hardwood mulch, or synthetic, but must be neutral colored and closely resemble natural mulch. Brightly colored mulch is not permitted. Gravel is not approved for use as mulch. **Approval is not needed for mulch unless a request for something outside of these materials or colors is being submitted**



7. PATHWAYS, SIDEWALKS, AND DRIVEWAYS

Alterations in materials or layout of homeowners' sidewalks and driveways require approval. Repairs using same materials and colors made to sidewalks and driveways do not need approval, but notification to the property management is necessary. Staining of driveways in a dark color will not be approved. Driveways may be accented with brick or stone, or stamped or molded concrete to complement the dwelling. This alteration must be submitted for review. Pathways must be submitted for review. In general, gravel is not approved for use if visible from the street. The sidewalk to the main entry of the residence must be concrete, brick, or stone. **Homeowners may not alter community sidewalks in terms of location or materials.**

8. STATUARY AND YARD ORNAMENTATION

Although not encouraged, all statuary and yard ornamentation including fountains must conform with existing community-wide standards as it pertains to aesthetics. Statuary must be made of concrete, wood, rock, or metal, and must be finished in traditional earth-tone colors. Multicolored and brightly colored statuary is not approved. Statuary must be incorporated into landscape beds or located on stoops or porches. Consideration must be given to a good design principles such as a scale, style, and number of items displayed. The Board of Directors or its designee reserve the right to deny and/or remove any statuary that is deemed aesthetically or socially unacceptable, offensive, or obscene.

9. EXTERIOR LIGHTING

Except for temporary holiday lighting, all exterior lighting must be submitted to and approved by the Association. Lighting must be a low-level, low-glare type and located to cause minimum visual impact to adjacent properties and streets. Exterior spotlights or floodlights must be hooded to eliminate glare onto adjacent properties.

10. FENCES AND WALLS

No fence or wall, with the exception of retaining walls, shall be erected or maintained on any lot nearer to the street than 15 feet from the rear corner of the residence. All fences and walls shall be approved by the Board of Directors. The best visual side of the fence shall be placed toward the outside, offering onlookers the most pleasant view. Shared fences must be on the property line. Fences not originally shared or of different designs, and not located on the property line, must be placed so that a minimum



gap of three (3) feet is present between the two fences to allow for maintenance of vegetation. Homeowners wishing to install a custom designed fence or wall must submit detailed sketches and specifications of the design. ***All fencing and walls located on or near the property line, or fencing that neighbors share, require the homeowner to contact the neighbors who will be affected by said fence. Fencing on property lines is shared fencing. Removal of shared fencing requires ARC approval, and modification request form from BOTH property owners. Perimeter privacy fencing or privacy fencing installed close to or on property lines will not be approved. Homeowners are responsible for obtaining permits when required.***

GENERAL

Homeowners are required to notify and discuss fencing projects with all the neighbors that share a property line with the homeowner, if the fencing is to be installed on or within 10 feet of the property line. Fences must start no further towards the street than 15 feet from the rear of the dwelling. White PVC fencing consistent to the material and design are permitted only within the confines of the Enclave and Village communities. No vinyl fencing will be allowed other than those areas already mentioned. **Details on materials, height, and design must be submitted for all fencing. Landscaping may be required to soften the appearance of fencing especially on a corner lot.**

LOT PERIMETER PRIVACY FENCING (FOR EXAMPLE TO CREATE PRIVACY FOR PATIOS, HOT TUBS, AND POOLS OR PETS)

- Approved on a case-by-case basis
- A landscaping plan to soften neighborhood views of the fence may be required
- Natural wood only unless mentioned under general guidelines
- Specify post material, design, size, and height
- Specify slat size
- Positive or negative scallops may be approved for repair of an existing section
- Height shall not exceed 6 feet
- **Finish sides must face exterior and frame and support must be on the interior of the fence. Decorative posts may be on both sides.**



Approved fence examples:



11. GAZEBOS, ARBORS, AND PERGOLAS

Plans for gazebos, arbors, or pergolas, must be submitted for review.

Details on materials, color samples, location of the structure indicated on a county issue plat, and elevations must be included. Homeowners are responsible for obtaining building permit and adhering to setbacks when required.

12. BENCHES AND OTHER LAWN FURNITURE

Benches and lawn furniture placed in the front of residences, in the front yard, or in a location visible to any street must be submitted for review and approved before installation. Beach chairs and umbrellas, plastic furniture, and brightly colored items are not approved. The location of benches and other lawn furniture must be indicated.

13. BASKETBALL GOALS, PLAY EQUIPMENT, SWING SETS, AND OTHER SPORTS EQUIPMENT

Basketball goals are not permitted.

All other play and sports equipment including, but not limited to, tree houses, trampolines, swing sets, and nets must be submitted for review and approved prior to installation

14. ANIMAL HOUSES

Animal houses must be neutral in color, completely screened from both street and adjacent properties, and be discreetly located so as not to become a nuisance to adjacent properties. Clotheslines and/or fenced “dog runs” are not permitted.

15. SWIMMING POOLS, HOT TUBS, AND JACUZZIS

County issued plats, site plans, landscaping details, including tree removal, fencing details, locations of pumps and filters, and details on all materials must be submitted for review. All swimming pools must fit naturally into the topography of the lot and be located to provide minimal visual impact to surrounding properties and streets. This may be achieved by installing landscaping. **No above ground pools are permitted.** Hot tubs and spas need approval and must be screened from adjacent properties. Pumps and filters must be screened from all street and adjacent lot views and located so as not to cause a nuisance to neighbors. County permits and adherence to zoning setbacks are required



16. MAILBOXES

Only one mailbox per address is permitted. All mailboxes must conform to the approved Holly Mill design that corresponds to each neighborhood. Approved standard address numbers must be displayed on both sides of the plaque. Numbers must not be obscured. Only matching security sign plaques may be attached to the mailbox. Mailboxes must be maintained at a consistent height. No “raised” beds so as to bury any part of the decorative portion of the posts are permitted. Postal workers may not deliver mail if harmful insects surround the mailbox; therefore homeowners are encouraged to keep vegetation below 24 inches in height.

17. TRASH CAN AND HOSE SCREENS

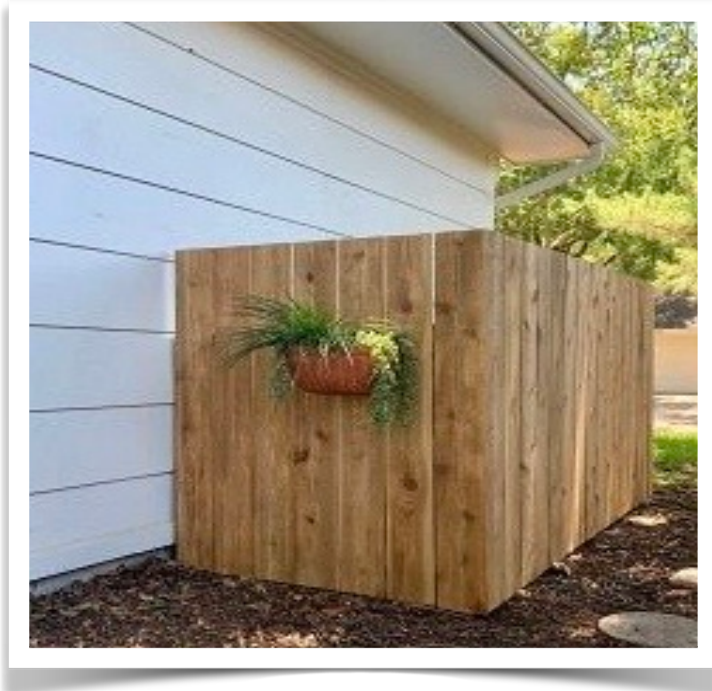
Trash cans and water hose reels must be completely screened with an approved screen, adequate landscaping, or stored out of sight. Plans for screening devices must be submitted and must include height, size, details on materials, and color specifications.

18. ANTENNAS AND SATELLITE DISHES

Only satellite dishes and antennas used for single home television reception are permitted. Satellite dishes must be located as inconspicuously as possible consistent with proper operation. Antennas must be placed on the rear slope of the roof only and in the least conspicuous location possible. Antenna cables will not be permitted to be exposed to view and must enter the structure immediately in the area of the antenna. Cherokee County ordinance 5.6–10: A satellite disk or dish is subject to the same restrictions and requirements as ***sheds and storage buildings***.



Approved garbage can screens and enclosures examples:



Structural Modifications

1. EXTERIOR PAINT AND STAIN

All exterior paint and stain colors must be approved by the Association. Changes in exterior colors requires modification requests. All paint chips must be attached to the request form as indicated. Paint colors or stain colors for additions and modifications must be identical to those of the existing house. **Repainting with no change in existing colors will be approved subject to the homeowner submitting a request stating that they have the existing paint color(s) and will paint the dwelling using these exact colors.**

2. SIDING AND TRIM

All siding and exterior trim must be marketed and warranted as able to be painted. Cement fiber siding, such as *Hardiplank*, painted to match the existing siding, is permitted to replace original siding. If a change in paint color for the siding is desired, a modification request must be completed and approved before painting may begin. Fascia, sill nose, brick mold and other exterior trim composed of cellular PVC or other no-rot materials that are marketed and warranted as being able to receive and retain paint and identical in size and shape to the original, may be used to replace wood products as long as these materials are painted to match the existing colors of the wood product that they are replacing. If a paint color change is desired, a modification request must be submitted for review.

3. DECKS AND RAILINGS

Approved deck materials are cedar, red wood, and pressure-treated pine. New composite or low maintenance decking, such as *Trex*, must be submitted and approved. **VINYL DECKING AND RAILING PRODUCTS ARE NOT APPROVED.** Railings, step, and column designs must be submitted for review. Support posts must be a minimum of 6" x 6" wide or a minimum of 8" x 8" stone, concrete, or brick columns. **It is the homeowners' responsibility to comply with code and other regulatory agencies regarding the engineering and or safety of deck construction. Building permits are required by the county.**

4. SCREENED PORCHES, SUNROOMS, AND ROOM ADDITIONS

Detailed plans including elevations, a list of all materials including windows, roofing, and color selections for screened porches, sunrooms, and other room additions must be submitted. Materials must be consistent with materials on the existing home and painted or stained to match. **Vinyl and aluminum framing products and windows are not approved. Building permits are required by the county.**

5. DETACHED STRUCTURES

Detached storage, workshop and tool sheds, pool houses and cabanas, and other freestanding buildings are not approved. Detached garages must be submitted for review. A county issued plat, site plan, elevations, details on materials, and landscaping details must be submitted. **Building permits are required by the county for all detached garages and are subject to zoning ordinances.**



6. WINDOWS, DOORS, GARAGE DOORS, SHUTTERS, AND WINDOW TREATMENTS

Any change in window, door, or garage door material or design requires Association approval prior to installation. **Only products that are marketed and warranted by the manufacturer as being able to receive and retain paint are approved.** Cherokee County requires a permit for window replacement. State law requires the use of Low-E glass. Other safety codes may restrict the type of window approved.

WINDOWS

Original window material and design for Holly Mill is wood double-hung. Double-hung windows located on the front façade must have grilles. Storm windows are not permitted on front windows. The change of glass from regular to Low-E and changes in grille style i.e. grille between the glass, pop in grilles, or architecturally correct grilles, must be changed on all windows of the particular façade of the house with the exception of decorative fixed windows, such as stained or leaded-glass windows. A change in grille pattern requires approval. Cellular PVC and other synthetic window trim pieces that are **marketed and warranted as being able to receive and retain paint** may be used to replace identical wood trim with no approval needed so long as the replaced trim is painted to match the existing trim.

EXTERIOR DOORS AND GARAGE DOORS

Any change in material or style of any door including garage doors requires approval. A brochure showing the requested style or address of a nearby home with the same style is needed. The material as well as the stain color or paint chip must be submitted. Storm doors located on the front of the house must be full view with no screens and must match one of the existing colors. Garage doors should be painted the trim color of the house. Specify color on the paint request form.

SHUTTERS

Original approved shutter designs include raised panel, inverted panel, and Tuscan board shutters. A change in shutter design requires approval.

WINDOW TREATMENTS



Window treatments on street façades must be neutral colored or lined in a neutral color.

7. ROOFS

Primary roofing materials must be asphalt shingles. Any change to the existing color or request for other colors must be submitted for approval. Shingle replacement does not require a county permit. Sheet metal and PVC work such as roof caps, flashings, and plumbing vents must be painted to match the roof colors. Roof stacks, plumbing vents, and attic fans must be placed on the rear slope of roof and painted to match the roof color.

FOR ADDITIONS AND NEW CONSTRUCTION

Roofs shall be gabled or hipped with a minimum pitch of 10:12. All front facing gables shall have a minimum pitch of 10:12 and a maximum pitch of 16:12. Lower pitches may be considered on a one-story home.

Shed roofs may be used on porches and dormers with a minimum pitch of 4:12. Front-facing gables must have cornice returns. All roofs must have fascia boards and enclosed cornices

No skylights may be placed on the front slope of any roof. Skylights must have bronze or black anodized frames. Bronze glass is recommended.

Roof structures require county permits.

8. CANVAS AWNINGS

Canvas awnings must be submitted for review and approved prior to installation. Multi-colored and/or brightly colored awnings are not approved. No canvas awnings may be placed over windows of façades facing any street.

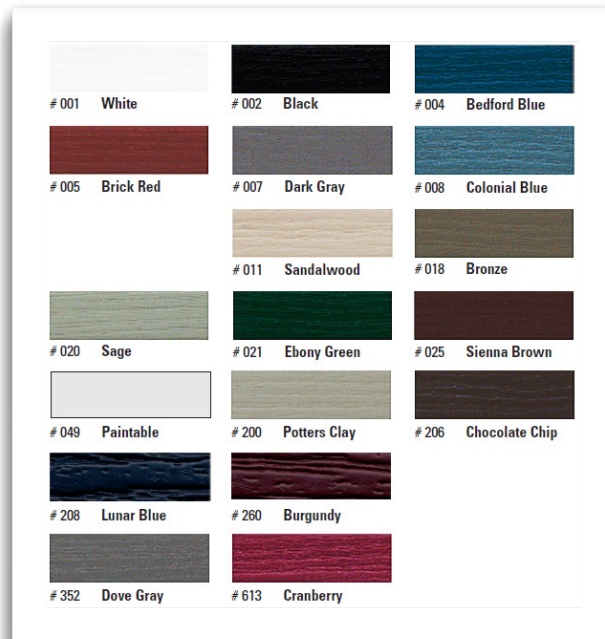
9. CHIMNEYS

Chimneys visible from any street shall have painted metal or copper shrouds. Exterior finish of chimney chase shall be the same as the side of the house where it is located. Chimneys on the front of the residence must be brick or stone. All chimneys visible from the street shall extend to the ground

10. STOOPS, PORCHES, AND STEPS

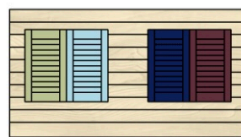
Stoops, porches, and steps on the front and sides of houses shall be brick or stone, unless otherwise approved by the ARC or originally constructed of other materials. **Homeowners must obtain county permits where required.**

Approved Paint Colors



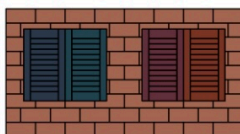
Tan

Neutral tones, earthy greens and browns, white



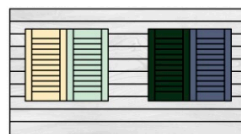
Cream

Simple light tones, dramatic dark tones



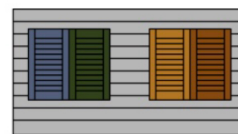
Brick

Dramatic dark tones



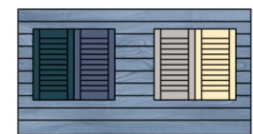
White

Both light and dark colors



Gray

Both cool and warm tones



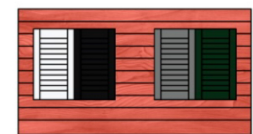
Blue

Blues, grays, yellows



Green

Grays, natural wood



Red

White, black, dark grays, dark greens

Changes to existing paint and finish colors must be approved. Paint color samples or swatches must be submitted on a Modification Request Form or via the Sixes app. Repainting in existing colors does not require approval. Request forms can be obtained from the property manager office:

Approved Roof Colors



Pavilion Reservation Form

**Holly Mill Pavilion Reservation Form
Policy & Procedures**

The Pavilion is available for use by all Holly Mill residents (who are current on their dues and have no outstanding fines or covenant violations) on a first-come, first-served basis subject to the following:

1. First Come is defined as the time and date that you initially contact Sixes Management Group and receive confirmation. The coordinator will only hold telephone reservations for 48 hours, unless this completed, signed agreement and a \$100.00 security deposit is received by Sixes Management Group.
2. Use is subject to compliance with all conditions set forth in the Covenants for Holly Mill, rulings by the Board of Directors or their appointees, and all national, state, or local laws. We reserve the right to restrict usage to preserve the general welfare for all Holly Mill residents and all use is to be strictly for non-commercial, non-political purposes.
3. The use of the Pavilion area includes access to the parking lots for reasonable vehicle parking, the playground, and the restrooms in the pool house. **The use of the Pavilion does not include swimming or tennis privileges, except as per the standard Holly Mill Amenities Use Rules.**
4. In using the Pavilion, you agree to hold harmless the Holly Mill Community Association, the Board of Directors, all committee members, and Sixes Management Group from all liability arising from the use of the Holly Mill Property from abuse or misuse, whether intentional or accidental. You are responsible for notifying Sixes Management Group of any pre-existing damage or mess at the beginning of your reserved timeslot. You are responsible for all clean up associated with your event. You will be help liable for all damage (if any damage is noted) and additional clean-up is required based on the post event inspection by Sixes Management Group.
5. **You are responsible for emptying all trash from the trash can located in the pavilion and placing it in the trash enclosure trash can in the parking lot. Failure to empty trash will result in a \$100.00 Specific Assessment to your account for clean-up of the pavilion.**

FIRE CODES PROHIBIT COOKING DIRECTLY UNDER THE PAVILION STRUCTURE.

Agreement

By signing below, I acknowledge that I have read and agree to abide by the above Policies and Procedures and have been provided a copy of the same. I further certify that my dues are current and in good standing and that I have no outstanding fines or covenant violations. I understand that I will be held financially responsible if damage occurs, or additional clean-up is needed.

Name (print): _____
 Address: _____
 Phone: _____ Home Phone: _____ Contact / Cell _____
 Requested Reservations Date: _____ Hours: _____ Alt. Date: _____
 Purpose (e.g. birthday party, cookout, etc.): _____
 Number of Guests: _____
 Signature: _____ Date: _____

| |
|--|
| HM use only |
| Due current? Y / N |
| Date: _____ |
| By: _____ |
| No outstanding liens, fines, violations? Y / N |
| Date: _____ |

Sixes Management Group
 2230 Towne Lake Pkwy, Bldg 500, Ste 110, Woodstock, GA 30189
 Phone: 770-575-0943 Email: info@sixesmanagement.com
 Emergencies: 911



Modification Request Form

APPLICATION FOR APPROVAL OF MODIFICATION

**Holly Mill Community Association
Application for Approval of Modification**



- Please read the instructions before completing this application
- Return completed form below to:

Sixes Management Group
 2230 Towne Lake Parkway
 Building 500, Suite 110
 Woodstock, GA 30189
 o.770-575-0943 / f.770-591-1444
 modifications@sixesmanagement.com

Date: _____

Property Owner Name: _____

Street Address: _____ Lot Number: _____

Home Phone: _____ Cell Phone: _____ Email: _____

Estimated Start Date for Work: _____ Estimated Completion Date for Work: _____

Type of Modification Being Requested

MINOR Modifications (circle one):

For Minor Modifications, please see #1 in attached Instructions for Modifications

Play Equipment Painting (exterior) Roof Statuary Landscaping Tree Removal Other: _____

MODERATE Modifications (circle one):

For Moderate Modifications, please see #2 in attached Instructions for Modifications

Deck/Screened Porch Retaining Wall Gazebo/Out Building Fence Stairs Other: _____

MAJOR Modifications (circle one):

For Major Modifications, please see #2 in attached Instructions for Modifications

Swimming Pool Other: _____

The Holly Mill Architectural Control Committee (ACC) and Association representatives are authorized to enter onto my lot in connection with the review and/or approval of the requested modification and completed project. By submitting this application, Applicant covenants that all representatives of Applicant, including, but not limited to, Applicant's architect, engineer, contractors, subcontractors, and their agents and employees, shall be made aware of, by the Applicant, and shall comply with applicable Association and ACC requirements, including the Declaration and of these procedures and guidelines. I understand that any deviation from plans approved by the ACC shall be in violation of the Declaration and subject to removal at my expense upon direction from the Association, in addition to other sanctions.

I have discussed this modification with my neighbors who will be directly impacted by the proposed modification.

Homeowner Signature: _____

Neighbor(s) Name and Signature(s) (if required) _____



Sixes/Holly Mill Mobile App



Sixes Management Group

CINC Systems

The Sixes Management App is available on both the App Store and Google Play for all devices. It can also be accessed on the web by going to:

sixes.cincwebaxis.com/hollymill

From the app, users are able to access:

- Submit modification requests
- View account information and make payments
- View governing documents
- Submit pavilion reservation and parking requests
- View Board communications and newsletters
- View Board meeting minutes
- Contact property management and/or the Board of Directors

Homeowners as well as tenants are able to register their accounts.

Pool Rules

1. Due to county and state regulations, children who are not toilet trained, and incontinent individuals, must wear swim diapers and plastic/rubber pants.
 2. Parent/guardian must ensure that infants/children using the pool do not have a diarrheal illness.
 3. Shower and rinse thoroughly before entering the pool.
 4. Residents 18 years and older may bring up to two guests per household.
 5. Children under the age of 14 must be accompanied by a member 18 years or older.
 6. Do not open pool gate for anyone without a working swipe card.
 7. Swimmers with open wounds, skin conditions, or any communicable condition are not allowed.
 8. Lifeguards/pool monitors have the associations authority to remove anyone from the pool area for rule violation and inability to provide proof of residency.
-
- NO solo swimming
 - NO diving allowed.
 - NO playing with drain skimmers, pool equipment, or pool ropes.
 - NO inflatable mattresses/large floats allowed in pool.
 - NO running, horseplay, or roughhousing in or around the pool area.
 - NO food or drink allowed within 5 feet of the pool water.
 - NO bicycles, roller skates, skateboards, rollerblades, heavy balls, frisbees, or any motorized vehicles permitted within the gated pool area.
 - NO glass containers, sharp or hazardous materials allowed in pool.
 - NO tobacco products or vaping products allowed in the pool area.
 - NO spitting, spouting, or blowing noises in the pool area.
 - NO water balloons or large pump action squirting toys allowed in the pool area.
 - NO pets allowed, except service animals.
 - NO loud or excessive music or noise permitted at any time in the pool area.



Revisions

1. Approved Roof Colors November 2025
2. Play equipment updated May 2026

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