



# San Miguel Ranch

*Exterior Design Guidelines*  
*2025*

## ***TABLE OF CONTENTS***

Introduction	1
Objectives	1
Covenants, Conditions & Restrictions (CC&R's)	2
Amendments	2
Master Architectural Committee Criteria & Approval	2
Limited Scope of Review	3
Management Company	4
Maintenance	4
Community Common Areas & Residential Parkways	4
City Permits	4
Procedural Standards	4
➤ Application Procedure & Requirements	4
➤ Neighborhood Notification	5
➤ Construction Drawings & Plans	6
➤ Right of Entry	6
➤ Submittal	6
➤ Construction	6
➤ Final Review	7
➤ Enforcement	7
➤ Damage	7
➤ No Waiver of Future Approvals	7
➤ Notice of Completion	7
➤ Appeals	7
Landscape Guidelines	8
➤ Landscape & Irrigation	8
➤ Drainage	9
➤ Artificial Turf	9
Architectural Guidelines	10
➤ Air Conditioners	10
➤ Antennas/Satellite Dishes	10
➤ Barbeques – Permanent	10
➤ Basketball Hoops	11
➤ Clothing Lines	11
➤ Dog Houses/Dog Runs	11
➤ Exterior Painting/Resurfacing	11
➤ Fence, Walls, Gates, & Retaining Walls	12
➤ Fireplaces, Chimneys, Flues, & Roofs	13
➤ Flagpoles, Flags, & Banners	13
➤ Gazebos, Arbors, Trellises, & Other Free Standing (Unattached) Structures	13
➤ Gutters & Downspouts	14
➤ Lighting – Exterior, Walkway & Security Lighting	14
➤ Patios & Decks	14
➤ Patio Covers, Sunshades, Overhangs, Awning & Other Attached Structures	15
➤ Paving	16
➤ Room Additions	16
➤ Screen Doors & Security Doors	17

➤ Security & Realty Signs	17
➤ Solar Energy Equipment	17
➤ Statues, Exterior Art, & Other Decorative Yard Elements	18
➤ Swimming Pools, Spas & Fountains	18
➤ Tool Sheds & Play Structures	19
➤ Windows & Window Treatment	19
No Guarantee of View	19
Conditions Not Included	20
Violations of Guidelines	20
➤ Enforcement	20
➤ Violations	20
Suggested Plants & Trees and Prohibited Plants – <b>Appendix A</b>	A
Pre-Approved Improvement List & Application – <b>Appendix B</b>	B
Home & Landscape Improvement Application Procedures – <b>Appendix C</b>	C
Home & Landscape Improvement Check List & Application – <b>Appendix D</b>	D
Notice of Completion Form – <b>Appendix E</b>	E
Satellite Installation Application Form – <b>Appendix F</b>	F
Exterior Painting Color Scheme Guide – <b>Appendix G</b>	G

## **INTRODUCTION**

The Master Declaration of Restrictions for San Miguel Ranch Master Association (“Declaration”) provides that exterior improvements to Residences within San Miguel Ranch must be submitted to the Master Architectural Committee (MAC) for review and approval (Article 8, Section 8.5). The Declaration also provides for the MAC to adopt and promulgate guidelines and standards for architectural review procedures (Article 8 Section 8.5 e). These Architectural Guidelines (“Guidelines”) are adopted pursuant to the Declaration and provide an overall framework and comprehensive set of standards and procedures for the review of proposed exterior improvements to Residences and Lots within San Miguel Ranch.

The main goals of the Architectural Guidelines are to provide a consistent approach to the review of proposed improvements and provide guidance to Homeowners/Members seeking to make improvements to their Lots and/or Residences. The intent of the Guidelines is not to inhibit individuality and creativity, but rather to maintain and enhance the Community-Wide Standard established for San Miguel Ranch.

These Architectural Guidelines are a guide for the Members of the San Miguel Ranch MAC and the San Miguel Ranch Homeowners, who are Members of the SMR Master Association. It is hoped that these Guidelines will increase the Homeowners' awareness of the ways in which the integrity of the Community Plan is preserved and the responsibilities the Homeowners must assume in this process. The Guidelines address exterior improvements for which Homeowners most commonly submit applications and are not intended to be all-inclusive.

In the event of any inconsistency between the terms and conditions in these Guidelines, and the Declaration, the Declaration shall control. Nothing in these Guidelines is intended to modify the conditions set forth in the Declaration.

## **OBJECTIVES**

To provide uniform guidelines to be used by the MAC in reviewing applications in conformance to the standards set forth in the legal documents of San Miguel Ranch Master Association.

To assist Homeowners and residents in preparing an application to the MAC.

To increase Homeowners and residents' awareness and understanding of the CC&Rs, Bylaws, and Articles of Incorporation.

To maintain and improve the quality of the living environment in San Miguel Ranch.

To illustrate basic design principles which will aid Homeowners in developing exterior improvements that are in harmony with the immediate neighborhood and the community as a whole.

The intent of these Guidelines is to assure Homeowners of continuity of design that will help preserve or improve the appearance, to protect property values, and to enhance the overall environment of San Miguel Ranch.

These Guidelines are directed only to exterior alteration, including landscaping, made by Homeowners to their property.

## **COVENANTS, CONDITIONS AND RESTRICTIONS (CC&Rs)**

The CC&Rs establish the San Miguel Ranch Master Association and the Master Architectural Review Committee (MAC). The MAC insures that proposed exterior alterations comply with the standards set forth in the covenants. This involves the regular review of all applications for exterior alterations submitted by Homeowners and residents.

Every San Miguel Ranch Homeowner has received a copy of the CC&Rs with the purchase of their home. However, the CC&Rs are not always read by the Homeowner. The CC&Rs are binding on all Homeowners and every Homeowner is encouraged to read the CC&Rs thoroughly for complete understanding of the responsibilities of the San Miguel Ranch Master Association and its Members. Homeowners are responsible for ensuring compliance with all standards and procedures within these Guidelines. Homeowners are also governed by the requirements and restrictions set forth in the Declaration and any applicable Supplemental Declaration.

## **AMENDMENTS**

These Guidelines may be amended from time to time. It is anticipated that the changes will primarily be additive and will not involve substantive changes. However, the existing Guidelines may be amended to reflect changed conditions or technology.

The SMR Board of Directors will conduct a periodic evaluation of the Guidelines to determine if amendments are required. The Board of Directors shall be the conclusive interpreter of these Guidelines, shall monitor the effectiveness of these Guidelines, and may promulgate additional design standards and review procedures consistent with these Guidelines.

## **MASTER ARCHITECTURAL COMMITTEE CRITERIA & APPROVAL**

In rendering its decisions, the MAC may consider whether the construction, alterations or additions contemplated in the location Indicated will be detrimental to the appearance of the properties as a whole, whether the appearance of any structure affected thereby will be in harmony with the surrounding structures, whether the construction thereof will detract from the beauty and attractiveness of the properties as a whole, and whether the upkeep and maintenance thereof will become a burden on the Master Association or any applicable Subassociation. The MAC may consider whether any additions to the structure of a home will be architecturally compatible with the existing structures as well as the surrounding area.

The MAC will decide what is acceptable and what is not acceptable. Disputes may be appealed to the SMR Board of Directors. Any decision by the SMR Board of Directors shall be final and binding.

Homeowners are reminded that **approval** from the MAC is **required PRIOR TO COMMENCING** with any **additions, alterations, remodels, or conversions** that meet any of the following contained in these Guidelines. Furthermore, once a plan is approved, any modification must be approved by the MAC **prior** to installation.

This includes all exterior structures, alterations, and landscaping, of front, side and rear yards, including fences and walls, except those items specifically listed as ‘pre-approved’ in Appendix B.

It is important to understand that MAC approval is not limited to major alterations such as adding a room or deck to a house, but including **ALL** minor alterations such as changes in color and

material, etc. Approval is also required when an existing item is to be removed.

Each application is reviewed on an individual basis. There are no "automatic" approvals, except as outlined in the Guidelines. A Homeowner who wishes to construct a deck, for example, identical to one that has already been approved by the MAC, will be required to submit an application and may or may not receive MAC approval.

In every case, an application must be submitted and reviewed for consideration of specific implications of location and impact on surroundings.

The MAC evaluates the individual merits of the application. Besides evaluation of the design proposal, this includes consideration of the characteristics of the housing type and the individual site, since what may be an acceptable design of an exterior in one instance, may not be acceptable for another. The MAC will consider the potential effect of the proposed improvements on views, access, sunlight, ventilation, and privacy of adjoining houses and the neighborhood.

The proposed improvements must be consistent and compatible with the architectural characteristics of the Applicant's house, adjoining houses, and the neighborhood setting. Compatibility and consistency are defined as similarity in architectural style, quality of workmanship, similar use of materials, color and construction details.

Beyond compatibility, the other concerns are views, access, sunlight, and size of any proposed structures or items.

The MAC reserves the right to request additional information necessary to review an application. Submittal packages will be returned if all required information and documentation is not provided.

### **LIMITED SCOPE OF REVIEW**

When reviewing or approving an application, the MAC does not approve the means or the method of construction, the installation, nor a guarantee to the Homeowner. This is the sole responsibility of the Homeowner and/or his contractor or landscape contractor. Review and approval of any exterior improvement under these Guidelines is made based on aesthetic considerations and compliance with these Guidelines and the Declarations only. The MAC shall not bear any responsibility for ensuring (i) structural integrity or soundness of approved construction or modifications, (ii) compliance with building codes and other governmental requirements; or (iii) for any defects or deficiencies in plans submitted.

The Homeowner submitting an application for approval under these Guidelines ("Applicant") shall obtain all necessary permits, approvals and inspections required by any state, county or local governmental entity to commence and complete the proposed improvement. Additionally, the Applicant shall also be responsible for ensuring that all improvements comply with all applicable building codes and regulations. The MAC shall have no liability for any injury, damage, or loss arising out of the manner or quality of approved improvements.

The review of the MAC is limited to aesthetics and compliance with these Guidelines and the Declaration. Opinions regarding aesthetics are necessarily subjective and therefore may vary. Individual interpretations of these Guidelines and the Declaration may also vary.

Each Homeowner agrees to release and hold harmless Declarant, the Association, SMR Board of

Directors, the MAC, and the members of the foregoing from and against all liability, including attorney's fees and court costs actually incurred, arising out of any approval given or denied by the MAC.

### **MANAGEMENT COMPANY**

The management company for the San Miguel Ranch Master Association is Walters Management and can be reached at (619) 397-5299 or via email to [smrstaff@waltersmanagement.com](mailto:smrstaff@waltersmanagement.com). The management company has an onsite office at 401 Calle La Marina, Chula Vista, CA 91914.

### **MAINTENANCE**

Homeowners are responsible for maintaining all structures and grounds that are a part of their property. Proper maintenance includes, but is not limited to, items such as adequate watering, fertilizing, trimming, mowing and pruning to always maintain a healthy and attractive appearance, removal of trash and structural maintenance. Maintenance affects the visual character and economic values of the property and the neighborhood and, in some cases, safety, and security.

### **COMMUNITY COMMON AREA & RESIDENTIAL PARKWAYS**

Community Common Areas and Residential Parkways are maintained by the San Miguel Ranch Master Association. The landscaping within these areas (turf and trees) may not be pruned, trimmed, removed, altered or changed in any way by residents.

Irrigation within these areas will be maintained by San Miguel Ranch Master Association.

A Community Common Area or Residential Parkway that is damaged or disrupted due to installation/construction of an individual Homeowner's improvement must be restored to its original state at the Homeowner's expense. Any improvement plan requiring placement of electrical lines, sewer lines or gas lines over or under the Community Common Area or Residential Parkway must fully detail the exact location of such lines in relation to the Homeowner's lot or unit. Proper authorization for work on adjacent property must be obtained from the Homeowner of said property PRIOR TO COMMENCING any alterations.

### **CITY PERMITS**

Approval by the MAC for any improvement does not waive the necessity of obtaining required City permits. Obtaining City permits does not waive the need for MAC approvals. Approval must be obtained prior to construction.

### **PROCEDURAL STANDARDS**

#### **Application Procedure and Requirements**

An SMR Home and Landscape Improvement Application form is included in Appendix D of the Guidelines.

**All changes to existing architectural features or construction of new architectural features must be approved by the MAC** pursuant to the application and approval procedures outlined in these Guidelines. This includes, but is not limited to, all alterations to or new construction of accessory dwelling units (ADU), walls, fences, , antennas, satellite dishes, dog houses, dog runs, permanent barbecues, fireplace chimneys, , roof gutters, exterior lighting, patios and decks, patio covers, arbors, gazebos, room additions, security or screen doors, solar energy equipment, swimming pools, spas, windows and window treatments, sports apparatus, tool sheds, playhouses,

exterior colors, awnings, and overhangs.

Applications for landscaping must include a list of all proposed plant material. Included within the Guidelines are lists of both suggested and prohibited plants and trees. These lists are not all inclusive.

Applications must include a site plan prepared in accordance with applicable building codes and in a professional manner with clarity and completeness. The Plan must show the house (plot plan) and location of the proposed landscaping (plant materials) with dimensions to building and adjacent property lines.

Any proposed planters, retaining walls, and edge treatments must include dimensions, materials, and color/finish.

All Hardscape, such as concrete, walk and patios, driveways, deck, patio covers must include finishes, color, elevations (side views), dimensions, and construction detail.

A complete drainage plan diagram must be submitted which includes the locations of drain inlets and water flow direction.

Approval of any project by the MAC does not waive the necessity of obtaining the required City permits, such as pools, walls, fencing and building permits.

All requests are to be made to the San Miguel Ranch Master Association to the attention of the MAC on the standard San Miguel Ranch Master Association Architectural and Landscape Improvement application form included with these Guidelines. Additional copies may be obtained by contacting the Management Company.

All MAC submittal packages must include the items listed on the attached San Miguel Ranch Master Association Architectural and Landscape Improvement application.

Submittal packages will be returned if deemed incomplete.

Generally, there are no fees to submit an architectural plan to the MAC. On rare occasions, if the submittal package is deemed to exceed the expertise of the MAC and Board of Directors, the homeowner is required to submit their plans to the association's professional consultant for an additional fee. Additional fees will be charged to the homeowner if plans are altered or require resubmission based on the professional consultant's fee.

MAC reserves the right to request additional information.

### **Neighborhood Notification**

The MAC requires notification of Adjacent Property Homeowners, prior to approval of any improvement. The intent is to advise all neighbors, who own property adjacent to the Applicant's lot and would be affected by the proposed work. On the application form, obtain ALL the following signatures: each neighbor(s) located to the left, right, front, and rear of the property from the applicable work.

Signatures indicate neighbor awareness, not neighbor approval. Neighbors who disapprove of



proposed projects may inform the MAC of their concerns in writing or in a scheduled hearing. This hearing shall be held, or all written comments received within thirty (30) days of plan submittal. Failure of neighbors to comment at hearing or submit written comments by the deadline will constitute such neighbor's consent. Neighbors' right to input is a courtesy only. The MAC shall determine final approval of the plans.

**NO APPLICATION WILL BE CONSIDERED COMPLETE UNTIL ALL OF THE NEIGHBORS' NOTIFICATIONS CONDITION HAS BEEN SATISFIED.**

### **Construction Drawings & Plans**

Construction drawings and plans must be prepared in accordance with applicable building codes, and in a professional manner with clarity and completeness. It is recommended that work involving major additions or work requiring variances be submitted at the preliminary drawing stage for review. To avoid unnecessary expense, final drawings should not be prepared until preliminary plans have been reviewed and approved by the MAC.

### **Right of Entry**

If construction work requires the use of Common Area, or access from property not owned by the Applicant for purposes of transporting labor and materials, or for the temporary storage of materials for the work, the Applicant shall obtain written permission from the San Miguel Ranch Master Association and any other Homeowner involved for the right to enter during construction. A copy of the letter granting permission shall be submitted to the MAC prior to commencement of construction. A security deposit or bond, as deemed necessary by the MAC, may be required from the Homeowner. Unused deposits will be refunded after completion of work and final acceptance by the MAC and verification that the Common Area has not been disturbed or has been restored to its original condition. Payment will be refunded by US Mail within 30 days after the MAC's final acceptance.

### **Submittal**

Within 60 days of the MAC's receipt of a complete application, a decision will be rendered, either approving or disapproving the application via first-class mail.

When the plans are approved by the MAC, one set of the stamped approved plans will be returned to the Homeowner and the other set will be retained by the Management Company and the MAC.

**Applicants are prohibited from commencing construction prior to obtaining a written response acknowledging approval of the application by the MAC.**

The decisions of the MAC are subject to appeal to the Board of Directors.

### **Construction**

Work shall be completed within one hundred fifty (150) days after receiving approval from the MAC. If a project's completion were to extend past one hundred fifty (150) days, a written request must be submitted to the Board and approved prior to the end of the approved project timeframe.

No construction materials or debris may be stored in the street under any circumstances. No materials may be stored in the front yard for more than 96 hours and debris may not be stored

in the front yard for more than 24 hours. Homeowners are responsible for preventing debris and stored materials from entering the street or storm drain system.

Use and location of portable facilities must be included in the submittal package. Portable facilities must not be unsightly and kept clean, sanitary, and not cause harmful/offensive odors.

### **Final Review**

Upon completion of the work, as indicated on "Approved" copy of the drawings and specifications, the Applicant shall notify the MAC in writing and request the final review and conformance report. The review and conformance report will be completed within thirty (30) days. Failure of the Homeowner to request a final review inspection shall leave improvements subject to review indefinitely and set forth the procedures for non-compliance.

### **Enforcement**

Improvements that are installed without the necessary approval from the MAC will constitute a violation of the CC&Rs and will require modifications or removal of work at the expense of the Homeowner included, but not limited to, any legal fee incurred. Remedies will be pursued to the fullest extent permitted by the CC&Rs and the law.

### **Damage**

Homeowners shall be responsible for any damage caused to the streetscape, Common Area, Residential Parkways, other Homeowner's property, or open space areas as a result of construction improvements. This includes construction debris and other materials used in making said improvements. All refuse must be removed from the premises to a regulated disposal area.

### **No Waiver of Future Approvals**

The approval, conditional approval, or disapproval, by the MAC of any proposals, plans, specifications or drawings will not bind the MAC to approve or disapprove the same or similar improvement or matter in the future. The MAC specifically reserves the right to reject the same or similar plans, specifications, or proposals subsequently submitted by the same or any other person.

### **Notice of Completion**

Upon full completion of the approved improvements, the Applicant will forward the Notice of Completion (form included with these Guidelines) to the San Miguel Ranch Master Association, attention: MAC, c/o the Management Company. Any refundable construction deposit(s) will be refunded only after the Notice of Completion has been submitted to the Management Company and the MAC has inspected and signed off on the improvement. If the Notice of Completion's inspection is approved, the Refund will be sent by first class mail within ten (10) days of written notification by the MAC that the improvement has been completed per plan.

### **Appeals**

In the event plans and specifications submitted to the MAC are disapproved, the Applicant(s) may 1) make corrections to any/all item(s) that were disapproved and resubmit a new architectural application to the MAC 2) appeal in writing to the San Miguel Ranch Association Board of Directors. The written appeal must be submitted to the Board not more than thirty (30) days following the notification of the disapproval by the MAC. Within sixty (60) days

following receipt of the request for an appeal, the Board shall render its decision. This decision shall be final. The failure of the Board to render a decision within said sixty (60) day period shall be deemed a decision in favor of the Applicant.

## **LANDSCAPE GUIDELINES**

### **Landscape & Irrigation**

Plants are not to encroach on walkways.

Modifications to the Common Areas, to street trees and to Residential (turf) Parkways adjacent to sidewalks are prohibited. SMR Association is responsible for properly maintaining the original turf and street trees in the Residential Parkways adjacent to SMR homes.

Any plant material planted by a homeowner may not encroach upon or cause damage to another homeowner's property.

Decorative gravel, rock or mulch should only be used as an accent to plantings in the front yard and/or side yards visible from public view. Artificially colored boulders, cobble or mulch is not permitted. Gravel or artificial mulch of any kind is expressly prohibited.

Hardscape, such as concrete, walks, steppers, pavers, boulders, gravel, rocks, mow curbs, walls, patios, and decks, and including the driveway, may not cover more than 60% of the front yard. The list is not meant to be inclusive. The hardscape being proposed should be consistent with the aesthetic of the neighborhood and community.

Decorative boulders, placed in the front yard, shall be made of natural stone, neutral in color, and be no larger than 36" wide and 30" in height from ground level.

Homeowner is encouraged to use concrete mow curbs or wooden or plastic bender board to separate planted and turf areas.

Artificial plants of any kind are prohibited in the front yard and other visible yard areas.

All exposed soil in planter areas must be covered with some type of groundcover or mulch.

Irrigation lines must be subterranean except "drip" systems. The irrigation system shall be designed and installed to operate different landscape zones (i.e. sun, shade, lawn and shrubs).

Sprinklers must be adjusted so as to spray landscaped areas only.

Applications for landscape must include:

- Listing of plant material and size. The San Miguel Ranch suggested plant list is attached in Appendix A.
- Site plan showing house (plot plan) and location of the proposed landscaping (plant materials).
- Walls, Planters and Retaining Walls - with dimensions including height, materials, and color/finish. Planters may not be taller than forty-eight inches (48").
- Hardscape, such as concrete, walls, steppers, pavers, walks, mow curbs, patios, deck,

and a patio cover with dimensions, elevations (side views), and construction detail.

### **Drainage**

All surface water must have positive drainage away from the building and be collected in a landscape drainage system. Drain inlets must be located throughout landscape areas including side yards.

Appropriate drainage shall be installed so as to be directed to the street to prevent run-off onto adjacent or common area properties. There should be a slope/drainage of 2% away from the building and water should be collected in a landscape drainage system.

Under no circumstances may water flow onto adjacent properties.

The MAC is not responsible for installation of proper drainage. This is the sole responsibility of the Homeowner and/or their landscape contractor.

The Homeowner is solely responsible for cleaning, repairing, and maintaining all drains in place on the lot, and for maintaining a safe and responsible course of drainage.

### **Artificial Turf**

Artificial turf is permitted for use in front and visible side yard areas. All requests to install artificial turf shall be reviewed and approved by the Master Architectural Review Committee (MAC) prior to installing any artificial turf products in the front yard.

The term “artificial turf” shall apply to any synthetic turf product that is in the form of turf grass or putting greens. Artificial turf shall occupy no more than 75% of the total landscape area of the front yard, excluding such hardscape features as driveways and walkways.

All requests for the installation of artificial turf shall be accompanied by a plan that clearly indicates the location and size, in square feet, of the total landscape area and the total proposed area, in square feet, of artificial turf installation. Artificial turf shall be installed as a permanent improvement and shall be integral to the landscape theme of the yard.

Product specifications, installation details, and two (2) product samples that measure six (6) inches by six (6) inches shall be provided that clearly indicate the quality and color of the product, installation techniques, and proper drainage.

The artificial turf must meet all of the requirements of the State of California Proposition 65. Artificial turf installations that do not meet these requirements shall not be permitted.

The artificial turf shall consist of grass blades that are multiple color blends that consist of green hues and brown thatch.

Artificial turf, like real turf, requires regular maintenance. Maintenance shall occur at regular intervals based on manufacturer’s recommendation.

A minimum of 10% of the landscaping of the front yard area shall consist of 100% living plant material. The live plants may be accented with other naturally colored products such as boulders, cobble, or mulch.

SMR Master Association reserves the right to require replacement of the artificial turf if the product shows significant fading or deterioration. If notified in writing by the Master Association, the Homeowner is required to replace the entire installation within ninety (90) days of written notification. Additionally, lack of maintenance of the artificial turf may result in revocation of approval of the artificial turf. The Homeowner will be required to remove the entire installation of visible artificial turf and replace it with landscaping that is in conformance to the Architectural Design Guidelines.

The component materials of the artificial turf shall consist of a minimal face weight of 60 ounces. The fiber shall be UV resistant fiber, measuring not less than 1.75 inches high. Installation shall be in accordance with the manufacturer's instructions.

## **ARCHITECTURAL GUIDELINES**

### **Air Conditioners**

Air Conditioning units extending from windows are not permissible.

Compressors and equipment shall be screened from public view by fencing or landscaping.

If air conditioning was offered as an option and was not installed by the Builder at the time of purchase, equipment must be located in the same area in which the optional unit would have been installed, unless otherwise approved by the MAC.

All roof appurtenances including air conditioners shall be architecturally integrated and concealed from view.

The sound from compressors and/or air conditioning units must be buffered from adjacent properties and streets pursuant to the City's Planning Department, to the satisfaction of the City's Director of PI and Building.

### **Antennas/Satellite Dishes**

Antennae, satellite dishes, or technological evolutions of the foregoing, must be submitted and approved by the MAC before installation. Satellite dishes, one meter or less in diameter, are permitted under the following conditions:

- Application must include the location, size, and a description of the device.
- Location should be in the least obtrusive location without interfering with the antenna's reception
- Devices must be installed on the side or the rear of the home.
- Unused devices must be disconnected and removed.

### **Barbecues – Permanent**

Construction of permanent barbecues requires MAC approval.

Permanent barbecues are to be located in the rear or side yards only.

Structures should be designed to a height less than or equal to the fences surrounding the property.

Permanent barbeques must meet California fire and safety code.

Permanent (hard wired/piped) power sources must be installed by a licensed contractor.

Application is to provide the following information:

- Dimensions
- Material and color
- Elevation drawings
- Location of barbecue in relation to the house and property lines

### **Basketball Hoops**

Portable basketball structures are permitted, but must be stored behind the fence line when not in use.

Portable basketball structures cannot be left out overnight and must be stored behind the fence line.

Residents living in cul-de-sacs must ensure the use of portable basketball structures does not block traffic patterns or create a safety hazard.

Residents may not block off areas within the cul-de-sac of a neighborhood.

All permanent basketball hoops and courts must be installed so that they are not visible from the street and must be approved by the MAC.

### **Clothing Lines**

Portable Clotheslines are permitted in the rear yard only and must be taken down and stored out of site when not in use for drying clothes.

### **Dog Houses / Dog Runs**

Dog Houses and Dog Runs require MAC approval.

Dog House and Dog Runs are to be located in rear or side yards only and located out of public view.

Dog Run fencing must be no taller than front, side or rear yard fences. Chain link fencing may be used solely for the purpose of creating a Dog Run.

Noise attenuation for neighboring Homeowners must be a consideration.

### **Exterior Painting / Resurfacing**

Exterior painting of any color other than the original color requires MAC approval. Applying a new exterior surface such as stucco or other element also requires approval. Repainting can occur without MAC approval, provided that the original paint colors are used.

Applications for color changes must be selected from the color schemes listed in Appendix G. If a resident deviates from the color schemes in Appendix G, it will be reviewed by the MAC on a

case-by-case basis. The paint colors not selected from the color scheme in Appendix G must be consistent with the tone, tint, and hue of colors listed in Appendix G. All applications must include physical paint swatches.

Review criteria may include, but shall not be limited to, the sheen of paint, the home's architecture, any existing stone or brick accents, roof color, and neighboring properties' colors.

### **Fences, Walls, Gates, & Retaining Walls**

Any modifications of or additions to fencing and/or walls (including retaining walls), gates, and planters requires MAC approval. Applications for modifications or additions must include dimensions, materials, and color/finish. Homeowners shall not remove or alter in any way walls and fences that have been erected by the Builder without the prior written consent of the MAC.

Fence style, materials and finished color are to be compatible with the neighborhood. Chain link is not permissible as fence material except as specified in the Dog Run section.

No walls, fences, gates, or pilasters, or similar structures over forty-eight (48) inches in height as measured from the ground (other than the original fencing installed by the Builder), may be placed, installed, or permitted in the front yard which is determined as beginning at the front face of the dwelling unit.

Front yard walls or other structures shall be no closer than two (2) feet to the rear of the front sidewalk. Any structure erected within an easement area is subject to removal at the Homeowner's expense.

Placement of the fence and support structures may not interfere with adjacent SMR Association sprinkler systems, nor shall fences be constructed over irrigation lines.

Structural framing, an unfinished side, or a fence varying from existing fence standards shall not be exposed to any public street, sidewalk, walkway, park, recreation area or neighboring lot.

Shared fencing between neighbors should remain free of planting at a minimum of six (6) inches from the fence

The homeowner or resident may not attach to, affix to, or hang any item on or over any such fences or walls without MAC approval.

Stepped fencing is permissible where the grade slopes.

### **Specific Fence Requirements:**

#### **Wrought Iron:**

- Must have painted finish consistent with the San Miguel Ranch approved color: black (semi-gloss).
- Welded wire mesh must be applied to the interior side of a fence, to restrain small pets and children, and painted to match fence color. Supplemental landscape must be used to soften the appearance.
- Black metal fencing (vertical bars) is the property of SMR Master Association and may not be removed, altered, or replaced by any other fencing or structures.

#### Solid Wood Fence - Privacy Fence:

- Maximum height is 6 feet as measured from the ground to the top of the fence panel.
- Public facing surface areas must have painted or stained finish consistent with existing San Miguel Ranch fencing color schemes.
- Consideration should be given to shadowing or view obstruction of adjacent property when utilizing a solid fence.
- Fencing facing the street and adjacent to the side yard must not extend beyond the front face of the house structure.

#### Acceptable material for fencing and walls:

- Wood
- Wrought Iron
- Masonry
- Stucco
- Vinyl PVC
- 1/4" thick tempered glass with painted metal supports.
- These materials are all inclusive. Materials must conform to type, quality, color and character of masonry or stucco used elsewhere in the respective neighborhoods.

#### Unacceptable residential fencing materials:

- Aluminum or sheet metal
- Chicken wire or wire mesh
- Barbed or razor wire
- Galvanized or plastic chain link
- Plastic webbing, reeded or straw-like materials and bamboo
- Corrugated or flat plastic or fiberglass sheets or panels
- Rope or other fibrous strand elements
- Miniature type fencing
- Plastic
- Split-rail

#### **Fireplaces, Chimneys, Flues, & Roofs**

Any new fireplace, chimney, flue, or other alteration of the roof line requires MAC approval.

The exterior appearance of a fireplace, chimney, flue or roof must match the existing or new structure.

#### **Flagpoles, Flags, & Banners**

Flags or banners flown shall be no larger than three feet (3') by five feet (5').

#### **Gazebos, Arbors, Trellises, & Other Free Standing (Unattached) Structures**

The installation of Gazebos, Arbors, Trellises and other free standing (unattached) structures requires MAC approval and must comply with Chula Vista, CA Building Codes

Free standing canvas shades (i.e. sail shades) are not allowed.



Temporary shade structures (i.e. umbrella shades) are allowed. The material must be of a solid color.

Structures in this section may be stained or painted a complementary color. The wood should be waterproofed.

Arbors, Gazebos, Trellises and other freestanding structures shall be constructed of wood, plastic composite consistent with wood appearance or metal consistent with wood appearance, with the exception of vertical supports which may be stucco or masonry.

Structures in this section may be no larger than 144 square feet in surface roof area.

### **Gutters & Downspouts**

Gutters and downspouts must be painted to match existing trim or stucco.

Run-off from gutters shall not affect adjacent property and should tie into the existing drainage plan, and be directed to the street.

### **Lighting – Exterior, Walkway, & Security Lighting**

The addition or change of any exterior lighting requires MAC approval.

Lights are to be directed onto applicant's property and screened to prevent light onto adjacent property. Application must indicate the location of the lights and the area(s) that they will illuminate.

Proposed fixtures are to be compatible with applicant's house in style and scale.

Application must indicate the manufacturer, model number, wattage of lights to be used, and location/placement of installation and provide a picture. All exterior lighting must meet current electrical code(s) at time of installation.

“Decorative” Lighting includes lighting installed on a patio, trellis, rear yard fencing or plant materials (i.e. trees, shrubs, etc.) that will remain in place for more than 60 days. This type of Lighting is typically a string of lights.

- Neighbor(s) signature(s) is/are required and MAC approval is required if Decorative Lighting is above the fence line.
- Lighting shall be adequately screened to minimize light projecting onto adjacent properties.
- The MAC reserves the right to request removal of extensive lighting or lighting that is not generally recognized as complementary to the exterior of the residence and in harmony with other homes in the neighborhood.
- Blinking, flashing, and/or colored lighting is prohibited outside the San Miguel Ranch Rules and Regulations holiday timeframes.

### **Patios & Decks**

Patios and Decks require MAC approval. Application for patios or decks is to include the following information:

- Site plan indicating location of patio or deck in relation to existing house
- Listing of materials, colors and finishes
- Drainage provisions and flow or run-off with drawings
- Dimensions
- Elevation drawings
- Materials shall be harmonious with Applicant's house.

In designing the deck or patio, a minimum of intrusion upon neighbors' privacy should be given every possible consideration.

Adequate drainage must be installed to prevent standing water and run-off onto adjacent properties. Drainage must be directed to the street or existing drainage plan.

Wooden decks are to be stained and/or sealed to preserve natural color or painted to match existing trim.

No exterior staircases to the 2<sup>nd</sup> story balconies or decks are allowed. Access must be from the interior of the house.

Railings are acceptable provided no patio cover is installed. See "Patio Covers" for details.

#### **Patio Covers, Sunshades, Overhangs, Awnings & Other Attached Structures**

All Patio Covers, Sunshades, Awnings, Overhangs and similar structures must be approved by the MAC.

All structures must be a minimum of 5.5 feet from the rear and side fence lines and must meet all additional City required setbacks.

Structures in this section may be stained, painted white, or painted to match the house stucco or trim color. The wood should be waterproofed.

Awnings must be a solid color and must be the same as the trim color of the house, or generally recognized as complementary to the exterior of the residence and in harmony with other homes in the neighborhood.

Awnings should not cover more than 50% of the rear yard.

Obstruction of view from adjacent properties is to be considered when determining placement and construction of a structure in this section.

Patio Covers, Sunshades, and Overhangs shall be constructed of wood, plastic composite consistent with wood appearance or metal consistent with wood appearance, with the exception of vertical supports which may be stucco or masonry.

Unacceptable construction materials for structures in this section include the following:

- Corrugated plastic
- Corrugated fiberglass
- Plastic webbing, split bamboo, reeded or straw-like materials
- Asphalt

- Tarps
- This list of materials is not all inclusive.

Application for the above structures must include:

- Location of cover in relation to house
- Materials and color
- Dimensions
- Elevation drawings

### **Paving**

MAC approval is required for any alterations to, deletions of, or additions to, any paving or other hardscape on Homeowner's lot, including color or surface material changes.

This guideline includes any paving material whether of a temporary or permanent nature, including, but not limited to: concrete, asphalt, brick, flagstone, stepping stones, and pre-cast patterned or exposed aggregate concrete pavers.

This guideline covers paving for any purpose including walks, driveways, or patio areas. Homeowners shall secure MAC approval before extending or expanding any driveway.

Colors should be predominately neutral or natural and should be consistent and harmonious with the character of the neighborhood.

### **Room Additions**

Accessory Dwelling Units (ADUs) and room additions must be submitted on an architectural scaled plan with all dimensions, including front, side and rear elevations.

Must comply with City of Chula Vista Building Codes.

Room additions must be compatible in scale, materials and color with the applicant's existing structure.

Location of the addition should not unreasonably impair view, sunlight, privacy or natural ventilation to adjacent properties.

Pitched roofs must match or be complementary to the existing structure in slope and form. No improvement (unless second story improvement or chimneys) shall exceed the roof heights of the existing structure. Third story additions are prohibited.

No exterior stairways are permitted.

New windows and doors are to be compatible with existing windows and exterior openings. Changes in grade, which will affect drainage, are to be indicated in the application. Provisions must be made to prevent run-off to adjacent properties.

Materials for construction shall be stored in the least conspicuous area. Excess debris and material shall be removed from the site daily.

Major features of the existing house such as the vertical and horizontal lines, projections and trim details, are to be reflected in the design of the proposed addition.

Garage conversions for those homes with less than three-car garages are prohibited.

Any proposed garage conversion shall not alter the exterior appearance and/or front elevation of any home.

Following approval by the MAC, if duly granted, the Homeowner is responsible for securing the appropriate building permits as required by the City of Chula Vista.

### **Screen Doors & Security Doors**

Plans and specifications for front screen and security doors must be submitted to the MAC for approval.

Applications should include manufacturer information and specifications indicating the appearance and installation of screen doors and security doors. Pictures are encouraged.

All screen doors must be installed within the existing doorjamb in a style or color that matches the existing dwelling unit. Security or screen door mesh material must allow existing front door to be visible.

### **Security & Realty Signs**

Security signs shall be no larger than 12" X 12" (one foot square). A maximum of one sign shall be permitted in the front yard. Additional signs may be approved upon written request. Signs shall be freestanding and not attached to the house or the garage.

Window stickers, no larger than three and half (3.5) inches by six (6) inches, are permitted with a maximum of one such sticker per window.

No signs are allowed which can be seen outside any unit or home with the exception of a security sign or a single "FOR SALE" sign or "FOR RENT" sign of customary and reasonable dimensions, not to exceed 18" x 30", and of a professional quality on weather resistant material. "SOLD" signs may not be displayed for more than 15 days after the sale of a lot or unit. Construction signs may be displayed during the ongoing construction but must be removed within five (5) days after the project is completed.

### **Solar Energy Equipment**

Plans for solar equipment must be submitted to the MAC for approval.

Application shall include location and number of roof panels.

Solar collectors are to be placed flush with and in the same plane as the roof slope. If panels cannot be flush mounted, then supports must be solid and painted to match the house.

All plumbing lines from collectors to tank must be concealed.

Collectors must be non-reflective in nature.

No ground level solar panels are allowed in the front yard and any ground level, side or rear yard solar panels must not be within public view.

### **Statues, Exterior Art, & Other Decorative Yard Elements**

Any statue, exterior art, figurine, birdbath, water feature, sculpture, fountain, or other yard decoration for placement in the front yard requires MAC approval. This list is not inclusive.

Items as listed above, for placement in the front yard, shall be limited to no more than one (1) such item, shall be neutral in color, consistent, and on balance with the architecture of the Applicant's house, and whose height shall not exceed thirty-six inches (36") from the ground. The exception is that fountain height may not exceed sixty inches (60").

Any statue, exterior art, figurine, birdbath, water feature, sculpture, fountain, or other yard decoration for placement in the front yard must be located a minimum of eight (8) feet from the back of the sidewalk to the front leading edge of the fixture.

All water features including fountains and bird baths must be maintained in a clean and working condition or a clean and dry condition or be removed. No stagnant water is allowed at any time.

Rear yard figurines, birdbaths, or sculptures whose heights are below the fence line, are out of public view, and meet the Guideline specifications, do not require MAC approval.

Decorative elements shall be compatible with the community-wide standard in the neighborhood.

Applications including decorative elements shall provide complete information regarding the element, including color, size, elevation views, materials, etc. Photographs are encouraged.

Seasonal decorations are exempted from MAC review and approval, provided they are not in place more than thirty (30) days prior to the holiday and are removed within thirty (30) days following the holiday.

Displays which, in the opinion of the MAC, create traffic congestion or become an annoyance to adjacent property owners shall not be allowed.

The MAC reserves the right to require the removal of any seasonal decorations which do not meet the community-wide standard.

### **Swimming Pools, Spas & Fountains**

Permanent above-ground pools or spas exceeding a total area of 100 sq ft are prohibited.

Fountain height must be no taller than six (6) feet from the ground.

Pool, spa and fountain equipment must be placed so as not to disturb adjacent properties.

Spa or pool equipment shall be enclosed by fencing at least five (5) feet in height and screened from view (i.e. plants, fence or wall).

Plumbing lines to spa, pool or fountain must be subterranean or concealed. All drainage must tie into existing site drainage and is not permitted to drain into landscaped or common areas.

Application for a spa, pool or fountain must include the following:

- Location of the spa, pool, and/or fountain in relation to the existing structure
- Dimensions of pool, spa, and/or fountain
- Drainage detail
- Material for decking, railings, and fencing
- Material of fountain
- Location of equipment and screen (noise and view) detail
- Detail on fencing to surround pool or spa
- Means of access to the proposed construction
- Applications for spas and fountains must include a photograph, brochure, or sketch

Swimming pools and spas are prohibited from being placed in the front yard.

Following MAC approval, if granted, Homeowner is responsible for securing the appropriate building permit from City of Chula Vista and is subject to the appropriate building and health codes.

### **Tool Sheds & Play Structures**

Tool Sheds, Play Structures, and other exterior structures should be designed to a height less than or equal to the fences surrounding the property. Tool sheds, playhouses, or other exterior structures require MAC approval for new construction or alterations if they exceed fence height.

Should the proposed structure exceed fence height, appropriate neighbor approval is required. Final decision on allowable height will be at the discretion of the MAC.

The structure shall be of a color and style which matches the dwelling unit. Wood material shall be painted in a color to match the existing house trim or naturally treated.

Canvas or other material covers for playhouse structures must be a solid color.

### **Windows and Window Treatment**

Exterior wrought iron bars that are visible from neighboring property or the common areas must be reviewed and approved by the MAC.

No reflective materials may be used to create a mirror effect from the outside. No materials such as sheets, paper, or foil will be permitted.

### **NO GUARANTEE OF VIEW**

Throughout these Guidelines, there are provisions which state that one of the criteria which will be considered is the effect of the proposed improvement on views. Please note that this is only one of several criteria that may be considered by the MAC. A Homeowner is not guaranteed any unobstructed right to any type of a view. In order to preserve the character of the project, view preservation may be a consideration of the MAC but cannot be guaranteed.

### **CONDITIONS NOT INCLUDED**

Any condition or material not included within these Guidelines shall become a matter of judgment on the part of the Master Architectural Committee and the final approval of the San Miguel Ranch Community Association Board of Directors.

### **VIOLATIONS OF GUIDELINES**

#### **Enforcement**

Any Homeowner who begins any project that requires submission to the Master Architectural Committee before they have submitted plans and received written approval from the MAC may be called directly to a hearing at which time a fine may be imposed.

Improvements that are installed without the necessary approval from the MAC will constitute a violation of the Declaration and may require modifications or removal of work at the expense of the Homeowner including, but not limited to, reasonable legal fees and costs actually incurred. Remedies will be pursued to the fullest extent permitted by the Declaration and the law.

#### **Violations**

All Homeowners have the right to bring to the attention of the MAC any violations of the Guidelines. Notices of violation should be sent to the attention of the Management Company.



## **San Miguel Ranch Master Association** **Plants & Trees List – Appendix A**

The following list provides recommended planting material for San Miguel Ranch. The conclusion on this list does not indicate that the mentioned plant will be approved for installation in all cases. Applicants should consider the mature size of plants and their location in relation to neighbors' yards, views, etc. Plants appropriate in one context may not be appropriate in another. The MAC, in its discretion, will determine which plants may or may not be appropriate.

### **SUGGESTED TREES**

Agonis Flexuosa	Peppermint Willow
Bauhinia Blakeana	Hong Kong Orchid Tree
Brahea Armata	Blue Fan Tree
Calodendrum	Cape Chestnut
Callistemon Citrinus	Lemon Bottlebrush
Cassia Leptophylla	Gold Medallion Tree
Cercidium	Palo Verde
Cercis	Redbud
Cinnamomum Camphora	Camphor Tree
Cupania Anacardioides	Carrotwood Tree
Eriobotrya Deflexa	Bronze Loquat
Ficus Rubiginosa	Rusty Leaf Fig
Geijera Parvifolia	Australian Willow
Jacaranda Acuffolia	Jacaranda
Koelreuteria Bipinnata	Chinese Flame Tree
Lagerstroemia	Crepe Myrtle
Liquidambar Styraciflua	American Sweet Gum
Magnolia	St. Mary's, D.D. Blanchard, Or Little Gem
Melaleuca Leucadendron	Cajuput Tree
Metrosideros Excelsus	New Zealand Christmas Tree
Nerium	Oleander
Pistacia Chinensis	Chinese Pistache
Pittosporum	Mock Orange
Platanus	Sycamore
Podocarpus Gracillior	Yew Pine
Prosopis	Mesquite
Prunus	Cherry/Plum
Pyrus Callera 'Aristocrat'	Aristocrat
Pyrus Kawakamii	Evergreen Pear
Quercus Agrifolia	Coast Live Oak
Quercus Ilex	Holly Oak
Rhus Lancea	African Sumac
Tabebuia Impetiginosa	Pink Trumpet Tree
Tabebuia Chrysotricha	Golden Trumpet Tree
Tipuana	Tipu Tree
Ligustrum Japonicum	Chinese Privet
Vitex Agnus-Castus	Vitex/Chaste Tree



Raphiolepis

Plumeria

Hawthorn

Plumeria

***Dwarf Citrus Trees:*** Lemon, Lime, Orange, Tangerine, Kumquat

***Queen Or King Palm:*** To Be Accent Tree Only, Not As Theme Trees

### **SUGGESTED SHRUBS**

Abelia Grandiflora

Agapanthus Africanus

Azalea So. Indica

Ceanothus

Cistus Purpureus

Coprosma Baueri 'Marble Queen'

Escallonia Fradesii

Grevillea Noelli

Heteromeles Arbutifolia

Leptosporam Scoiparium

Liriope Muscari

Nandina Domestica

Photinia Fraseri

Phorum Tenax

Pittosporum Tobira

Pittosporum Tobira 'Wheeler's Dwarf'

Raphiolepis Indica 'Ballerina'

Raphiolepis Indica 'Clara'

Raphiolepis Indica 'Springtime'

Strelitzia Reginae

Trachelospennum Jasminioides

Xylosma Congestum

Glossy Abelia

Lily Of The Nile

Sun Azalea

'Frosty Blue' California Lilac

Orchid Rockrose

Mirror Plant

Pink Escallonia

(No Common Name)

Toyon

New Zealand Tea Tree

Big Blue Lily Turf

Heavenly Bamboo

Photinia

New Zealand Flax

Mock Orange

Dwarf Mock Orange

Pink India Hawthorn

White India Hawthorn

Pink India Hawthorn

Bird Of Paradise

Star Jasmine

Xylosma

### **SUGGESTED GROUND COVERS**

Gazania 'Splendens'

Hedera Helix 'Needlepoint'

Lawn

Pelagonium Peltatum

Rosemarinus Officinalis

Drosanthemum Floibundum

Myoporum Parvifolium

Gazania

Needlepoint Ivy

Marathon

Ivy Geranium

Prostrate Rosemary

Rosea Iceplant

Myoporum

### **SUGGESTED VINES**

Bougainvillea Species

Distictis Buccinatoria

Ficus Pumila

Gelsemium Sempervirens

Wisteria Species

Bougainvillea

Any Trumpet Vine

Creeping Fig

Carolina Jessamine

Wisteria

## **PROHIBITED PLANTS**

Eucalyptus Trees  
Pampas Grass  
Acacia  
Acanthus  
Aegilops  
Ailanthus  
Aptenia  
Arctotheca  
Arundo  
Atriplex  
Bamboo  
Carpobrotus  
Chorisporea  
Cistus  
Convolvulus  
Cortaderia  
Cotoneaster  
Crataegus  
Cynara  
Cynodon  
Cyperus  
Cytisus  
Delairea  
Dimorphotheca  
Drosanthemum  
Eucalyptus  
Euphorbia  
Ficus  
Genista  
Hedera  
Hypericum  
Iris  
Iva  
Limnobium  
Limnobium  
Limnophila  
Limonium  
Linaria  
Linaria  
Lupinus  
Myoporum  
Muhlenbergia  
Osteospermum  
Panicum  
Panicum

Bear's Breech  
Ovate Goatgrass  
Tree Of Heaven  
Red Apple  
Capeweed  
Giant Reed  
Australian Saltbrush  
Bamboo  
Hottentot Fig  
Purple Mustard  
Rockrose  
Morning Glory  
Pampas Grass  
Cotoneaster  
Hawthorn  
Artichoke Thistle  
Bermuda Grass  
Nutsedge  
Broom  
Cape Ivy  
African Daisy  
Ice Plant  
NCN  
Geraldton Carnation Spurge  
Fig  
Broom  
Ivy  
Klamath Weed  
Iris  
Poverty Weed  
North American Spongeplant  
South American Spongeplant  
Ambulia  
Sea Lavender  
Dalmatian Toadflax  
Yellow Toadflax  
Lupine  
Myoporum  
Nimblewill  
African Daisy  
Blue Panic Grass  
Witch Grass

Pennisetum  
Phoenix  
Polygonum  
Robinia  
Salvia  
Salvinia  
Schinus  
Scolymus  
Senecio  
Solanum  
Spartium  
Sytisus  
Tagetes  
Tamarix  
Ulex  
Vinca  
Washingtonia  
Cannabis

Fountain Grass  
Date Palm  
Knotweed  
Black Locust  
Sage  
Salvinia  
Pepper Tree  
Golden Thistle  
NCN  
Nightshade  
Spanish Broom  
Scotch Broom  
Marigold  
Tamarisk  
Gorse  
Periwinkle  
Fan Palm  
Marijuana



## **San Miguel Ranch Master Association** **Pre-Approved Improvements List – Appendix B**

The following improvements may be made to an Owner's property without obtaining prior architectural approval from the MAC. However, a 'Pre-Approved' Improvement Application Notice must be filed with the Management Company notifying the SMR Association of the improvements PRIOR to the commencement of work:

- Rear yard landscape below the height level of the fence and not within public view.
- Rear yard hardscape, such as concrete walkways and patio slabs, below the height level of the fence and not within public view.
- Doghouses and dog runs in the rear yard below the height level of the fence and not within public view.
- Re-painting the house exterior the original color scheme.
- Replacing Garage Doors to match the original door installed by the Builder.
- Gutters and downspouts painted to match the existing trim of the house.

### **EXCLUDED INSTALLATIONS:**

The following list describes items which must be reviewed and approved by the MAC PRIOR to proceeding with improvements by submitting the San Miguel Ranch Home and Landscape Improvement Application. This list is a guideline and is not intended to be all inclusive. Please contact Management with any questions for your specific case.

- Any plant material which has an expected mature growth height which will exceed the existing fence height
- All retaining walls regardless of City Permit requirements
- Built-in Bars and Serving Counters
- Built-in sitting walls and/or benches
- Built-in raised planter beds
- Built-in barbecues, fire pits and fire rings
- Pools, ponds, fountains, or any type of water feature
- Post-mounted lighting fixtures exceeding fence height
- Satellite dishes



# San Miguel Ranch

**San Miguel Ranch Master Association**  
**Pre-Approved Improvement Application Notice – Appendix B**  
**Notice of Intent to Install**

Please complete and deliver this request form to: **San Miguel Ranch Master Association, 401 Calle La Marina, Chula Vista, CA 91914** upon completion of any of the above listed pre-approved improvements. Please also make sure to attach photos of the improvement(s) with the completed application.

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Address: \_\_\_\_\_ Lot No: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Proposed Start Date: \_\_\_\_\_ Proposed Completion Date: \_\_\_\_\_

Description And Location of Improvement(s): \_\_\_\_\_

---

---

---

---

**Owner's Certification & Acknowledgment**

I certify that all improvements listed above are included as Pre-Approved Improvements in the SMR Exterior Design Guidelines in effect on this date, and that no improvements to my lot are planned or will be started which requires prior written approval by the MAC unless I have first obtained MAC approval. I acknowledge that any improvement to my lot, made under the authority of the Report but which is not in strict compliance with the SMR Exterior Design Guidelines for Pre-Approved Improvements, is subject to action by the Association requiring its modification and/or removal, with all Association costs of enforcement (including but not limited to attorney's fees and costs) of the SMR Exterior Design Guidelines and any supplementary guidelines to be charged to me.

Owner's Signature: \_\_\_\_\_ Date Signed: \_\_\_\_\_

**Note**

Once you have completed your Pre-Approved Installation, you must submit the Notice of Completion Form along with photographs showing all aspects of your installation.



## **San Miguel Ranch Master Association** **Home & Landscape Improvement Application Procedures – Appendix C**

Plans must include, as applicable, the following information:

- Location of residence on lot and the dimensions from lot lines
- Complete dimensions (height, width, depth) of proposed improvement. Provide a dimensioned plot plan utilizing one-inch equals ten feet or more detailed as necessary to adequately depict the improvement.
- Description of all materials, fixtures, and color scheme. Indicate the color of stain or paint by manufacturer's number respective to building parts or surfaces. Color samples must be provided if they deviate from the original color used. Note accordingly if color is intended to match existing surface. Samples of materials having inherent colors, such as in masonry, will be required if they are to be used in their natural finish.
- Any/all affected elevations shown
- Complete list of Plant inventory (type, size and location)
- Photographs of front and rear of house
- Detail of any and all slopes on property

Most application will not require a plan review fee or deposit. However, if an application requires structural improvements that exceed the MAC's expertise, it will be submitted to a third-party architect where a review fee will be required. The management office will only accept the review fee in a check or money order made out to San Miguel Ranch.

**If plans are altered or re-submitted**, additional fees will be charged to the owner based on the association's professional consultant's fee.

**San Miguel Ranch Master Association**  
**401 Calle La Marina**  
**Chula Vista, CA 91914**  
**Phone: 619-397-5299**

Please do not have the work commence prior to obtaining the approval of the Master Architectural Review Committee. The MAC will respond to your request within thirty (30) days from the time of submittal. If you do not receive a response within thirty (30) days, please notify the Management Company and a response will be forthcoming. If you do not receive a response within thirty (30) days, you may not assume that your plans have been approved.

**You must submit the “notice of completion” form to the mac upon completion of your improvements.** The completed improvement(s) will be reviewed and verified by the MAC and/or SMR Management. The completed improvement(s) will be verified 1) to be in sync with the submitted and MAC approved Application and 2) that the Common Areas and Residential Parkways are in their pre-construction condition.



## San Miguel Ranch Master Association

### Home & Landscape Improvement Application Check List – Appendix D

When working on your Architectural Application for Landscape/Hardscape Improvements, please ensure that you have all items listed on this checklist before submittal. Your **application must be submitted a week before the Architectural Committee Meeting and it must be completed in its entirety!** Please visit the [www.sanmiguelhoa.com](http://www.sanmiguelhoa.com) website for the next scheduled Architectural Committee meeting. The Architectural Guidelines should be referenced while drafting your plans; this is merely a checklist for frequently missed items.

#### *Does Your Application...*

- ☐ Do you have a photo of the area you are purposing to change? (e.g. front of your home, rear yard)
- ☐ Did you include neighbor signatures from your front, rear, and side neighbors?  
**Note: This is notifying your neighbors of construction, not their approval. Please attempt to obtain your neighbor's signature at least three (3) times before submitting a partial application.**
- ☐ Do you have a description of the work that is going to be completed? Please feel free to be as detailed as possible with your project.
- ☐ Include a plan to show where installations are going? (See section below)

#### *Does Your Plan...*

- ☐ Include a drawing that shows where all installations are going in relation to your home and property lines?
- ☐ Do you have the dimensions of all areas on the plan in relation to your home and property lines?  
**Note: Without dimensions (length, width, and height where applicable), the Committee cannot understand the amount of material you are putting in, or the actual size of your yard(s).**
- ☐ If you are submitting for front yard changes, did you include measurements for all landscape, hardscape (including driveway and walkways), and proposed landscape/hardscape changes?
- ☐ Did you list all plants/materials and where they are being placed?
- ☐ Include colored photos of all materials?  
**Note: Bricks, mulch, gravel, rocks, plants, etc. Everything that is going in your yard(s) should have a colored picture included with your plan. If turf is being installed, a sample and a spec sheet showing the face weight is required.**
- ☐ Are you following the 60/40 rule, which states that only a maximum of 60% of the front yard can be hardscape?  
**Note: Hardscape is considered anything that is not living plant material or turf.**
- ☐ Ensure that all front yard walls or structures are 2 feet back from the sidewalk?
- ☐ Ensure that all permanent structures are 6 feet away from the fence boundary lines (e.g. rear and side fence boundary lines)

#### *Still Have Questions?*

Still have questions? Is something unclear? If so, please contact the onsite office via email at [smrstaff@waltersmanagement.com](mailto:smrstaff@waltersmanagement.com) for more information or for example applications, cheat sheets, or a copy of the architectural guidelines.



**San Miguel Ranch Master Association**  
**Home and Landscape Improvement Application – Appendix D**

*Please make sure that you have completed the application in its entirety and you have reviewed the checklist on the front page of this application. It is imperative that your application includes all the supporting documents, samples, and photos for the Committee's review. You may find the meeting schedule on the community website, [www.sanmiguelhoa.com](http://www.sanmiguelhoa.com).*

☐ Original Application

☐ Resubmittal

Homeowner Name(s): \_\_\_\_\_

Property Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Description of Improvement:

*Attach additional piece of paper If necessary.*

Description of any landscape previously installed by builder or prior owner:

Proposed Start Date: \_\_\_\_\_

Proposed Completion Date: \_\_\_\_\_

Extension Requested Date: \_\_\_\_\_

Extension Reason: \_\_\_\_\_

***Please Notify Management of the Actual Date of Completion***

.....  
**Neighbor Notification**  
**(This Section Must Be Completed)**

The intent is to advise your adjacent neighbors of your proposed improvements. This includes front, side, and rear yard neighbors. Any neighbors who may reasonably be affected by the improvement must be notified.

Name & Address

Signature

Phone

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_





# San Miguel Ranch

## San Miguel Ranch Master Association Notice of Completion Form – Appendix E

Notice is hereby given that the undersigned is the Owner of the property located at:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_ Email: \_\_\_\_\_

☐ If an extension was granted for the work of improvement(s), please check the box and include the timeline granted for your project: \_\_\_\_\_

The work of improvement on the described property was **completed** on:

\_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ in accordance with the Master Architectural Committee's written approval through the above owners plans and submitted package.

**Owners Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

.....  
**Approved By:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Printed Name:** \_\_\_\_\_

( ) Inspection Approved

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

( ) Disapproved, due to the following:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Upon completion of project, please submit this completed documentation with supporting documentation and photos via email or to the address below:

**Please Send Via Email:** [jzamora@waltersmanagement.com](mailto:jzamora@waltersmanagement.com)  
**Mailing Address:** 401 Calle La Marina | Chula Vista, CA 91914  
**Phone Number:** (619) 397-5299



# San Miguel Ranch

## **San Miguel Ranch Master Association** **Satellite Installation Application Form – Appendix F**

Complete this form and submit it along with one (1) set of the required listed items below to:

San Miguel Ranch Master Association  
401 Calle La Marina  
Chula Vista, CA 91914

Homeowner Name(s): \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_ Email: \_\_\_\_\_

Lot No: \_\_\_\_\_ Date: \_\_\_\_\_

Date Installation Is To Be Performed: \_\_\_\_\_

Company Performing Installation: \_\_\_\_\_

Company's Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Homeowner's Signature: \_\_\_\_\_

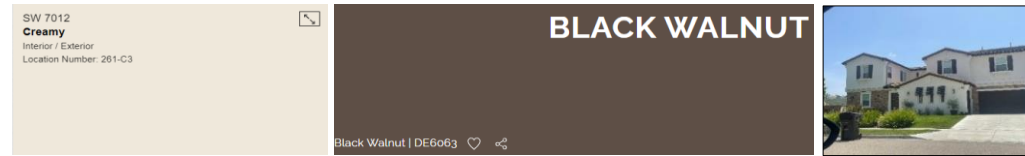
### **The following information must be submitted with this application:**

- Location where Satellite Dish is to be installed
- Dimensions of Satellite Dish
- Method of installation and how the installation will be secured
- Picture/drawing of proposed installation
- Any cable, wires, or conduits will match existing color of the exterior
- Signed copy of Satellite Installation Agreement

**San Miguel Ranch Master Association**  
**Exterior Color Scheme Guide - Appendix G**

**190 Avenida Altamira**

<b>Body</b>	Creamy SW 7012
<b>Accents</b>	Black Walnut DE6063
<b>Garage</b>	Black Walnut DE6063
<b>Fascia/Beams</b>	Black Walnut DE6063
<b>Shutters</b>	Black Walnut DE6063



**193 Avenida Altamira**

<b>Body</b>	Tower Tan SW 7704
<b>Accents</b>	Portabello SW 6102
<b>Garage</b>	Portabello SW 6102
<b>Fascia/Beams</b>	Portabello SW 6102
<b>Shutters</b>	Portabello SW 6102



**418 Avenida Gabriel**

<b>Body</b>	Sandstorm N3103
<b>Accents</b>	Havana Coffee N2107
<b>Garage</b>	Havana Coffee N2107
<b>Fascia/Beams</b>	Havana Coffee N2107
<b>Shutters</b>	N/A



**254 Avenida Loretta**

<b>Body</b>	Milkweed DEC762
<b>Accents</b>	Mother Earth DE5718
<b>Garage</b>	Dark Clove SW9183
<b>Fascia/Beams</b>	Dark Clove SW9183
<b>Shutters</b>	N/A



**310 Avenida Marlina**

<b>Body</b>	Accessible Beige SW7036
<b>Accents</b>	Backdrop SW7025
<b>Garage</b>	Backdrop SW7025
<b>Fascia/Beams</b>	Backdrop SW7025
<b>Shutters</b>	N/A
<b>Front Door</b>	Riverway HGSW3302



*Body (Stucco)*

*Accents (Window Trim, Front Door Header, Garage Door Header, Recessed Window Trim)*

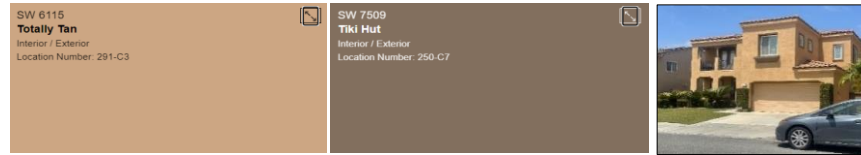
*Garage Door*

*Fascia/Beams (Fascia, Beams, Posts)*

**San Miguel Ranch Master Association**  
**Exterior Color Scheme Guide - Appendix G**

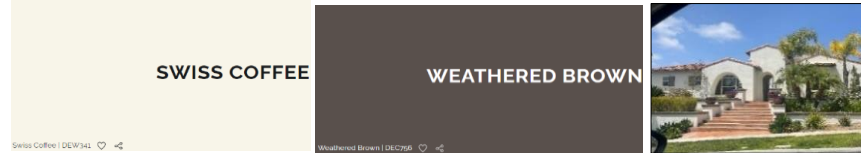
**311 Calle La Quinta**

**Body** Totally Tan SW6115  
**Accents** Tiki Hut SW7509  
**Garage** Tiki Hut SW7509  
**Fascia/Beams** Totally Tan SW6115  
**Shutters** N/A



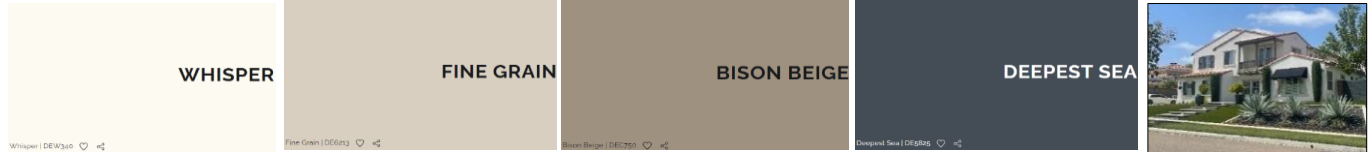
**1867 Camino Mojave**

**Body** Swiss Coffee DEW341  
**Accents** Weathered Brown DEC756  
**Garage** Weathered Brown DEC756  
**Fascia/Beams** Weathered Brown DEC756  
**Shutters** Weathered Brown DEC756



**1903 Camino Mojave**

**Body** Whisper DEW340  
**Accents** Fine Grain DE6213  
**Garage** Bison Beige DEC750  
**Fascia/Beams** Bison Beige DEC750  
**Shutters** Deepest Sea DE5825



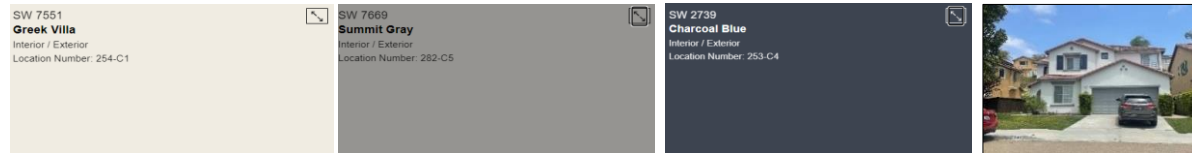
**1895 Camino Mojave**

**Body** Swiss Coffee DEW341  
**Accents** Crystal Haze DE6219  
**Garage** Weathered Brown DEC756  
**Fascia/Beams** Weathered Brown DEC756  
**Shutters** Weathered Brown DEC756



**343 Circulo Coronado**

**Body** Greek Villa SW7551  
**Accents** Summit Gray SW7669  
**Garage** Summit Gray SW7669  
**Fascia/Beams** Summit Gray SW7669  
**Shutters** Charcoal Blue SW2739

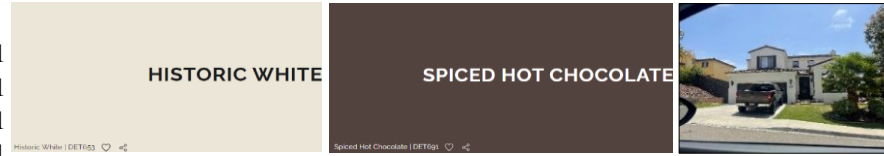


*Body (Stucco)*  
*Accents (Window Trim, Front Door Header, Garage Door Header, Recessed Window Trim)*  
*Garage Door*  
*Fascia/Beams (Fascia, Beams, Posts)*

**San Miguel Ranch Master Association**  
**Exterior Color Scheme Guide - Appendix G**

**2152 Corte Anacapa**

**Body** Historic White DET653  
**Accents** Spiced Hot Chocolate DET691  
**Garage** Spiced Hot Chocolate DET691  
**Fascia/Beams** Spiced Hot Chocolate DET691  
**Shutters** Spiced Hot Chocolate DET691



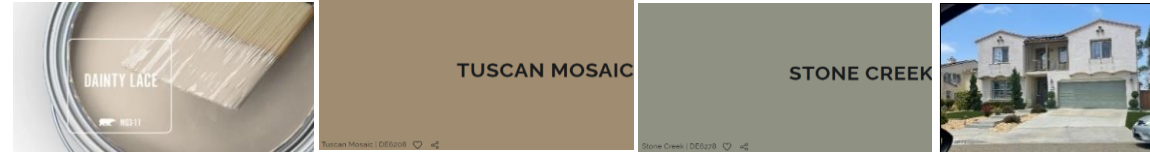
**2185 Corte Anacapa**

**Body** Winds Breath 981  
**Accents** Indian River 985  
**Garage** Woodcliff Lake 980  
**Fascia/Beams** Indian River 985  
**Shutters** Woodcliff Lake 980



**2227 Corte Anacapa**

**Body** Dainty Lace MQ311  
**Accents** Tuscan Mosaic DE6208  
**Garage** Stone Creek DE6278  
**Fascia/Beams** Tuscan Mosaic DE6208  
**Shutters** N/A



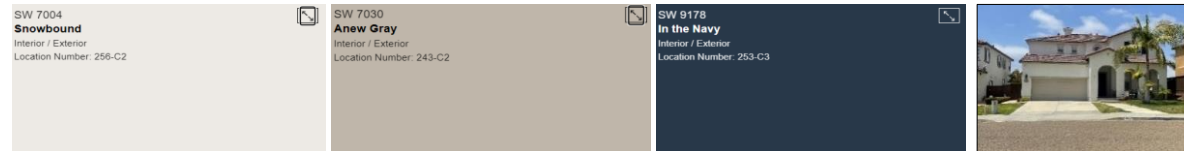
**2228 Corte Anacapa**

**Body** Sandstorm N310  
**Accents** Havana Coffee N2107  
**Garage** Havana Coffee N2107  
**Fascia/Beams** Havana Coffee N2107  
**Shutters** N/A



**462 Corte Calypso**

**Body** Snowbound SW7004  
**Accents** Anew Grey SW7030  
**Garage** Anew Grey SW7030  
**Fascia/Beams** Anew Grey SW7030  
**Shutters** In The Navy SW9178  
**Front Door** In The Navy SW9178



*Body (Stucco)*

*Accents (Window Trim, Front Door Header, Garage Door Header, Recessed Window Trim)*

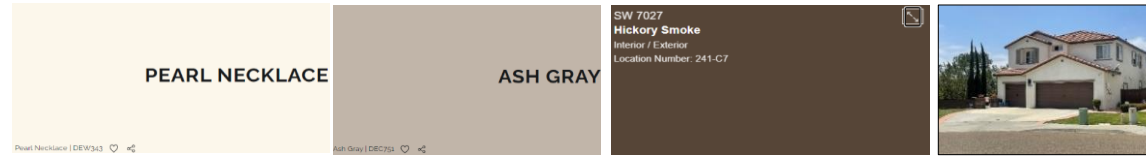
*Garage Door*

*Fascia/Beams (Fascia, Beams, Posts)*

**San Miguel Ranch Master Association**  
**Exterior Color Scheme Guide - Appendix G**

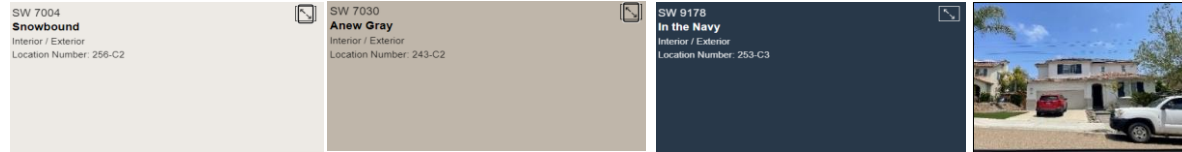
**466 Corte Calypso**

**Body** Pearl Necklace DEW343  
**Accents** Ash Gray DEC751  
**Garage** Hickory Smoke SW7027  
**Fascia/Beams** Hickory Smoke SW7027  
**Shutters** Ash Gray DEC751



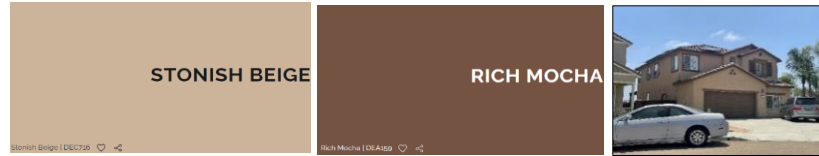
**441 Corte Calypso**

**Body** Snowbound SW7004  
**Accents** Anew Gray SW7030  
**Garage** Anew Gray SW7030  
**Fascia/Beams** Anew Gray SW7030  
**Shutters** In The Navy SW9178  
**Front Door** In The Navy SW9178



**2102 Corte Condesa**

**Body** Stonish Beige DEC716  
**Accents** Rich Mocha DEA159  
**Garage** Rich Mocha DEA159  
**Fascia/Beams** Rich Mocha DEA159  
**Shutters** Rich Mocha DEA159



**1849 Corte Galeana**

**Body** Winds Breath 981  
**Accents** Indian River 985  
**Garage** Woodcliff Lake 980  
**Fascia/Beams** Indian River 985  
**Shutters** Woodcliff Lake 980



**352 Corte Goleta**

**Body** Drifting DEC770  
**Accents** Whisper DEW340  
**Garage** Whisper DEW340  
**Fascia/Beams** Whisper DEW340  
**Shutters** Old Mill DEA185  
**Front Door** Old Mill DEA185



*Body (Stucco)*

*Accents (Window Trim, Front Door Header, Garage Door Header, Recessed Window Trim)*

*Garage Door*

*Fascia/Beams (Fascia, Beams, Posts)*



**San Miguel Ranch Master Association**  
**Exterior Color Scheme Guide - Appendix G**

**2141 Plaza Kadie**

**Body** Pumice MQ6-23  
**Accents** Battleship Gray N360-4  
**Garage** Whisper DEW340  
**Fascia/Beams** Whisper DEW340  
**Shutters** Starless Night PPU14  
**Front Door** Whisper DEW340



**2169 Plaza Kadie**

**Body** Sand Dune DE6128  
**Accents** Sandal DEC715  
**Garage** Swiss Coffee DEW341  
**Fascia/Beams** Sandal DEC715  
**Shutters** N/A  
**Front Door** Raisin in the Sun DE6034



**2430 Plaza Eva**

**Body** Alabaster SW7008  
**Accents** Turkish Coffee SW6076  
**Garage** Turkish Coffee SW6076  
**Fascia/Beams** Turkish Coffee SW6076  
**Shutters** In The Navy SW9178  
**Front Door** In The Navy SW9178



**1925 Corte Belize**

**Body** Swiss Coffee 12 U  
**Accents** Pewter Cup 13C-2T  
**Garage** Slate Gray 13C-4D  
**Fascia/Beams** Pewter Cup 13C-2T  
**Shutters** N/A  
**Front Door** Slate Gray 13C-4D



**1927 Corte Escena**

**Body** Alabaster SW7008  
**Accents** Mega Grieve SW7031  
**Garage** Urbane Bronze SW7048  
**Fascia/Beams** Urbane Bronze SW7048  
**Shutters** N/A  
**Front Door** N/A



*Body (Stucco)*

*Accents (Window Trim, Front Door Header, Garage Door Header, Recessed Window Trim)*

*Garage Door*

*Fascia/Beams (Fascia, Beams, Posts)*