

Board Officers and  
Members

1. Scott Ambler, PR.
2. Rodney Davis, VP
3. Barbara Mullally,  
Sec.
4. Marilyn Birkhimer,  
Treas.
5. Manny Aponte
6. Michael Bull
7. Van'Hauser
8. Sara Gayle  
McConnell
9. Ann Montgomery
10. Leo Russo
11. Jay Voss
12. Phil Williams
13. Brenda  
Manigault, Prop  
Manager, Island  
Realty



# Over at the Villas

Newsletter: May-June 2025

**Mission:**

To keep the Ventura Villas Community informed of  
BOA initiatives, upcoming events, progress on projects,  
and stories of special interest from the community.



## Message from Scott Ambler,

Hello Ventura Villas neighbors! While summer is fast approaching, it's been a different kind of spring. It was a little cooler than usual and quite dry. However, these past couple of days it's been raining. So, while it's still cool, the rain has definitely increased the humidity. The AC is on! I'm sure by the time you read this it'll be full blown summer.

We held our annual meeting on Wednesday March 26<sup>th</sup> at the Snee Farm Country Club. While lightly attended, there was some very nice questions and feedback from those who were able to make it. Most importantly, the 2025-26 budget was ratified and all the candidates running were elected. The online voting system has proven to be quite effective. A shout out to the entire community for their involvement and support!

As a reminder, Board Meetings are held the fourth Wednesday of the month up at the clubhouse. All board members and meeting dates are listed on our website: [www.VenturaVillas.com](http://www.VenturaVillas.com) Please consider attending to ask questions and offer feedback. I know the entire board is looking forward to serving to the best of our abilities and keeping Ventura Villas a desirable place to live!

As I previously mentioned, we know that the summer heat will soon be upon us. A great way to enjoy the summer is to visit our pool. The Recreation Committee has done an outstanding job and the pool is looking quite inviting. Also, the Clubhouse Renovation Committee has continued to tirelessly work on updating the clubhouse. In addition to the recent updating of the rest rooms, the entire

clubhouse now has new flooring tile. Currently the kitchen area is being renovated, with the painting of the ceiling next on the list. Come on up to swim, relax and meet your neighbors!

If you have thoughts or ideas for this newsletter, please contact Jay Voss [jayvoss43@gmail.com](mailto:jayvoss43@gmail.com). We would love your input!

For all things Ventura Villas, please go to our website: [VenturaVillas.com](http://VenturaVillas.com). Just as a reminder, if you have any concerns about your unit please contact our Property Manager, Brenda Manigault (843) 242-1088 or [brenda@islandrealty.com](mailto:brenda@islandrealty.com)

Thanks for reading and being a member of our community!

Scott

## Committee Reports

### Minutes of Annual Meeting, March 26, 2025

March 26, 2025, Washington Room, Snee Farm Country Club

Meeting called to order by President Scott Ambler at 6pm.

21 owners in attendance (as confirmed by sign in sheets)

Proof of Notice was confirmed by Brenda Manigault, Property Manager

Minutes of the last Annual Meeting were published in the April 2024 Newsletter and emailed to all owners. There being no corrections, minutes were accepted.

Ms. Manigault introduced the members of the Board of Directors as the Roll Call.

Report of the Officers:

Scott Ambler, President, gave a short welcome and announced since there is not a quorum this will be an informational meeting. He gave a tribute to our late Board member Ann Whalen and her many contributions to the Property Owners Association.

He reviewed the completion of the Waterworks project with a thank you to Leo Russo for his leadership on the project.

President Ambler also extended thanks to the Clubhouse Renovation Committee headed by Marilyn Birkhimer. We all look forward to the completion of the remodeling of this key element of our community.

Marilyn Birkhimer, Treasurer:

Before reviewing the expiring budget, I would like to discuss the Maintenance Reserve Account. This account is funded to take care of maintenance items without having to procure loans. In 2020 the board had a maintenance reserve study done, this gives us estimated replacement costs and the amount needed to contribute to the maintenance reserve over the next 30 years. Items include roof replacement, painting of the buildings, clubhouse refurbishing, HVAC, pool upkeep, asphalt paving, mailboxes, tennis court and more. Unfortunately, we had to take out a loan to complete the much-needed updates to the buildings. When replacing the roofs, the repairs came in much higher than expected. Brenda and I are getting the numbers together to update the reserve study, but for now we are using the current study for guidance.

Moving on to the current 2024-2025 budget included in the packet. We did make revisions as the year progressed. We were unsure of the insurance costs until the end of November, which led us to reallocate funds between line items as needed. Due to a new insurance program offered this year, we had \$270K excess in the insurance reserve. The board decided to redistribute the insurance overage by using \$100K to pay down the loan which saves \$23,762 in interest and pays off the loan 13 months early (New end date: 7/30/2029); \$70K was moved to the maintenance reserve (per reserve study, the balance should be \$226K at the end of this term. The balance at the end of March will be \$111K, with a required \$90K contribution next term.); \$100K will remain in the insurance reserve.

In response to a question asked at the last Annual Meeting Ms. Manigault reported that Beacon Bank does not accept Zelle for payments such as regime fees. Cash, checks or electronic transfer continue to be the accepted methods of payment for the regime fees.

Committee Reports:

Rodney Davis presented the report for the Architectural Review Committee (ARC):

The Architectural Review Committee (ARC) is assigned by the Board to review requests submitted by homeowners of alterations to any unit or limited common area. These requests are submitted using the Architectural Review Approval Form, which can be located under “Owners Resources” of the Ventura Villas website. Please provide any drawings, sketches or product specifications when submitting the request. Submit the ARC review form and documentation to the property manager, via email. The ARC will review the request, along with any information provided, and make recommendations to the Board.

Rodney Davis, Chairman of the Communications Committee:

The Communication Committee procured ownership of the website, appointed a homeowner/volunteer with maintenance, formatted it for better accessibility on all devices, inserted a chyron on the main page to post urgent news, and is looking for ways to improve and expand the delivery of information to the community.

Ann Montgomery, chairman of the Landscape Committee reported that we will continue with our current landscapers, Landmark, for the coming year. They will continue with the weekly routine maintenance of the grounds and will trim shrubs in the common areas as time allows.

The tree maintenance is handled by a separate company on a yearly basis. Owners who have trees that need to be trimmed or removed from the limited common areas should notify the property manager.

Ann Montgomery also reported for the Social Committee: Once the clubhouse renovation is completed, we hope to have more social activities. We're looking for community input as to what activities are wanted, maybe meetings such as a book club or cards. Also, depending on community response we might plan activities such as get togethers around the pool as we did last year. Please let us know what you would like to see.

Barbara Mullally, Insurance Committee Chairman:

As in past years, the property insurance premium kept the Board in limbo until the bids came in November. We were pleasantly shocked when AmRisc came in at 335K, more than 100K less than last year. As always, several agencies were contacted for bids, and we were presented with a new program that recently opened in the coastal area which offered the same coverage for an even lower rate.

Therefore, the Steedman Agency now carries our property insurance while all other lines remain with the Taylor Agency.

At the same time, the Board voted to update the property appraisal for the community. The last appraisal was done in 2018 and valued the Ventura Villas at 28M. The 2025 appraisal place the value at 40M, so the property insurance has been increased to match that amount bringing the premium for 24-25 to \$314,864 and allowing the regime fees to be reduced an average of \$60 per unit.

The flood insurance will be increased to match the appraisal at its next renewal.

I will add the caveat, however, that insurance will continue to drive the regime fees for the foreseeable future, and they will be adjusted to meet current needs yearly.

Marilyn Birkhimer reported for the Clubhouse Renovation Committee that we are doing the renovation in three phases.

- Phase One- Men and Women Restroom--completed
- Phase Two- Kitchen and Hall currently underway
- Phase Three- Main Room

The committee will be working on design ideas for the main room. We hope to make it more inviting and acoustically pleasant. We plan to begin this work after the pool season is over.

Marilyn Birkhimer reviewed the proposed budget. This year with the lower insurance premium and the insurance financing from 2023 paid off we are able to reduce Regime Fees an average of \$60 a month. We have included an expected increase to the property and Flood insurance. The contracts for Pool Cleaning, Management Fees and Grounds Maintenance have increased slightly. The \$8k Pine Straw line item allows for the recommended two applications per year. The Maintenance Reserve contribution is in accordance with the reserve study, with additional funds to make up the shortfall of last year. The Board urges acceptance of the proposed budget.

Online Voting:

The election of Board members and approval of the budget takes place online through the Simply Voting system beginning at 9 pm March 26, 2025. Homeowners will receive the ballot by email and voting will close Sunday, March 30, 2025, at 11pm. A quorum of 51% of the eligible voters is required to validate the election.

Old Business: none

New Business:

There being no new business, the meeting was adjourned at 7:05 pm.

## *Election Results*

*The following election results are certified by Simply Voting to have been securely processed and accurately tabulated by our independently managed service.*

*Respectfully yours,  
Brian Lack President Simply Voting Inc.*

*Results - Ventura Villas 2025-2026 Annual Meeting and Online Election  
for Budget Approval and Election of Board Members*

*Start: 2025-03-26 21:00:00 America/New\_York End: 2025-03-30 23:00:00  
America/New\_York Turnout: 91 (58.7%) of 155 electors voted in this ballot.*

*Approval of the Ventura Villas Annual Budget for 2025-2026*

*Option 1: I approve the 25-26 budget as presented: 89*

*Option 2: I do not approve the 25-26 budget as presented: 2*

*Election of Ventura Board Members for a three-year term*

*Options*

*Rodney Davis: 79*

*Van Hauser: 77*

*Marilyn Birkhimer: 76*

*Barbara Mullally: 75*

*VOTER SUMMARY*

*Total Abstain: 6*

*Write-in candidate: John Thomas*

## *Officer Election*

President, Scott Ambler  
Vice President, Rodney Davis  
Treasurer, Marilyn Birkhimer  
Secretary, Barbara Mullally

*Election ID: 255107 To validate the authenticity of this report please contact Simply Voting at [info@simplyvoting.com](mailto:info@simplyvoting.com).*

## *Reminder: Landscaping*

Reminder: now that the growing season has begun residents are reminded not to allow vines to grow on the exteriors of units, firewalls or fences. Failure to remove vines can not only damage the paint but can result in fines. Trees and shrubs should not be allowed to touch the buildings or roofs. Notify the property manager of such conditions.

## *Reminder: Clubhouse Rules and the Pool*

### **Pool**

**SWIM AT YOUR OWN RISK**—*the Ventura Villas Property Owners Association and its representatives do not assume any responsibility or liability for loss, injury, accident, or death.*

- Only residents are allowed to use the access FOB. Do not open the gate to non-residents.
- Children under the age of 15 and all guests must be accompanied by an adult resident whose assessment is current. Children under the age of 8 must be accompanied by an adult to the restrooms.
- The Department of Health and Environmental Control (DHEC) requires the safety line (rope across the pool) to be in place when the pool is open. The DHEC will assess a fine to any person violating this requirement.
- Swimmers must use the shower before entering the pool.
- Swimming is prohibited by anyone with infectious skin diseases such as chicken pox or measles, and persons with open wounds, or skin rashes.



- Proper swimwear is required for both adults and children. No street clothes may be worn in the pool. Swim diapers are required for infants and small children. Diapers are not to be deposited in the facility waste cans but must be removed from the site when leaving.
  - No running or rough housing in the pool or clubhouse areas.
  - No diving. • Children must be supervised by a parent or accompanying adult. Residents are responsible for damage caused by their children.
  - No glass containers of any kind are allowed in the pool area.
  - No smoking, vaping, or E-cigarettes are to be used in the pool area.
  - No illegal activities or activities prohibited within the community are allowed in the pool area. DHEC fines will be assessed to the violating party.
  - Pets are not allowed within the fenced area surrounding the pool.
- Wheeled vehicles, with the exception of wheelchairs and baby strollers, are not permitted in the fenced pool area and must be parked outside the fence without blocking the gate or walkway. Roller skates, roller blades, and skateboards are not allowed in the pool area.

#### General Information:

**Pool Hours:** Seven days a week, 10:00 a.m. to 8:00 p.m. or sunset, (whichever occurs first). Enter the pool using the assigned FOB, through the gate only. Do not slam the gate as these damages the lock. Do not swing on the gate or climb the gate or fence. Do not loan the FOB to anyone.

The pool is provided for the enjoyment of residents and their accompanied guests. All assessments must be paid in full in order to have access to the pool. Pool use may be denied until VVPOA dues have been paid. *Guests should be limited to four non-residents for each household.*

The pool area is to be a reasonably peaceful and relaxing environment for the enjoyment of all residents.

Radios/music should not disturb other pool guests or residents in close proximity to the pool complex. Music with obscene or vulgar language should not be played and residents or guests asked to turn down their music should do so.

Pool toys and rafts should be used with consideration for others.

Please clean up after yourself, your children and guests. Close umbrellas after use. All trash must be placed in the trash receptacles provided.

Pool Closure/Unsanitary/Unsafe conditions: Signs will be posted notifying residents of any pool closing.

These closings MUST be obeyed. Unsanitary conditions require immediate closing of the pool. Please immediately call to report an incident such as vomit or defecation. The pool will remain closed until DHEC certifies it is safe.

Any property damage due to the fault of or negligence of a resident, resident's family or guest must be repaired at the resident's expense. Any damage to the facility should be reported to the property manager.

**Ventura Villas Property Owners Association may revoke the use privileges of any property owner(s) or tenant for a specified period of time for noncompliance with any published rule for the use of the common area facilities, whether due to negligent, deliberate or willful act or behavior.**

**All penalties will be determined by the VVPOA for these acts or behaviors or for any act of vandalism. The sponsoring property owner shall be responsible for the actions of his family or guest and may lose his privileges or be asked to compensate for any damages.**

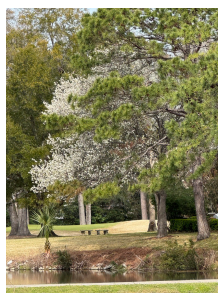
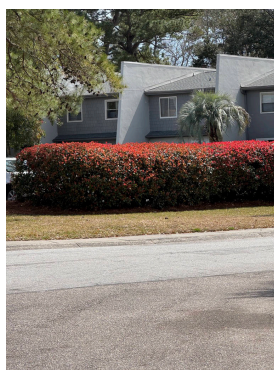
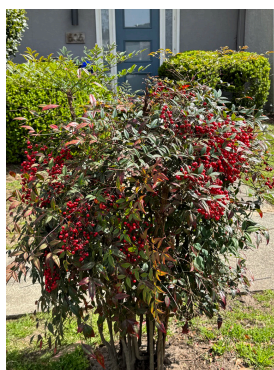
### **Pool House**

The Pool House (Club House) is available for rental to property owners for private events. Contact the Property Manager for information.

## The Ventura Villas Creative Corner

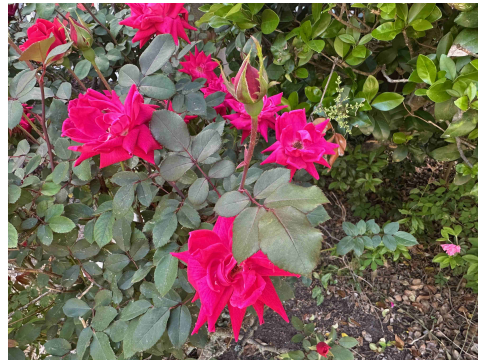
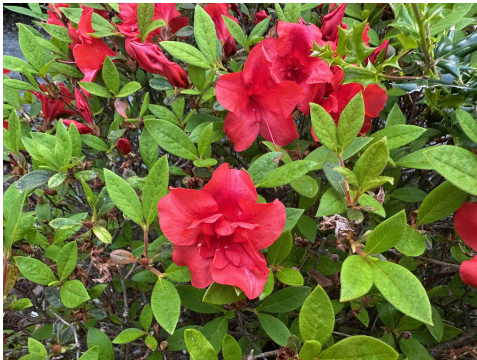
***“Spring Has Arrived Once More at the Villas”***

*Photos by Marcia Russo*



## ***“My Front Yard”***

*Photos by Jay Voss*



## *Poetry by Ray W. Hatfield*

### Time and Change

Things change, people change, things not people  
Are forever, over time, all things change.  
Time has no substance, time is what it takes  
For things to happen, to grow, to age, fade  
To corrode, to die, to ripen, to become rotten  
To be enjoyed, to be understood, to be forgotten

Time does not stop, it cannot be turned back.  
It cannot be made faster. Everything may last  
For a while and for something. Every man has his  
Time which is determined by his physical and mental  
Condition. Those things can be changed in ways  
To cause longevity or to curtail one's life.  
It is not wise to spend time on anything that  
Brings pain to others or oneself or cause  
Unhappiness or any endeavor that does not  
Benefit and or cause strife.

Time should be used to learn, to work, to rest  
To relax and nurture the soul. To know one's worth  
To be spiritual and to acknowledge that there is  
A higher being than man and be thankful for the  
Wonders of life and what man can achieve  
During this here on earth.

Ray W. Hatfield

## WITHOUT YOU

Can I go on without you  
To live my life alone  
Never to hear your footsteps  
And never to hear our song

Our chance at love was wasted  
when time and distance prevailed  
But there was also distractions  
and heartaches that cause us to fail

Whenever I walk near the ocean  
where we once happily met  
I'll try to hold my head up  
and smile without regret

Was the time we spent together  
a farce and nothing more  
or was being together a little while  
a gift to be thankful for

I can't imagine not seeing you  
and not to hear your voice  
how can I face each passing day  
when there's no reason to rejoice

How can my heart feel such sadness  
without it falling apart  
and can you tell me truthfully  
If I still have a place in your heart

Ray W. Hatfield



## **Important Request** *Unwelcome Visitors?*

Several property owners have recently reported the presence of questionable characters of the rodent variety in the neighborhood. One resident even discovered that they had found their way into her home. While such creatures are a fact of nature in the Lowcountry and we do live in a semi-rural, wooded area, there are a number of ways we can make our community less attractive to such visitors.

- Stop feeding pets outside. Even the presence of empty dishes can attract vermin by the residual odor.
- Clean up all pet waste from your yard and surrounding areas. Dog waste is often a leading food source for rats in urban areas, according to agricultural experts. Pet waste that isn't picked up will likely attract both rats and mice.
- Use a seed tray under a bird feeder so that seeds are not dropped on the ground. Stop feeding the birds and remove the empty feeder for a few weeks.
- Peppermint oil, chili powder, citronella, and eucalyptus are natural rodent repellents. Chemical smells, such as ammonia, bleach, and mothballs also work as deterrents when sprinkled around the exterior of the building.
- Remove firewood and debris where rodents can make nests. Cut back or remove dense vegetation in the limited common areas.
- Be sure that the dryer and stove vents have properly working baffles and are cleaned regularly.
- In extreme circumstances there are rodent poisons available that will not harm house pets. Professional extermination companies can help if needed.



Real Estate Section (No Units for sale this month)

Unit	Approx Sq. Ft.	BR	Baths	Price	Closed
404	1530	3	2	\$445,000	Sold
1103	2418	4	3	\$819,000	Sold
1202	1850	3	2.5	\$598,500	New
1307	1660	3	2.5	\$550,000	Under contract

Recent sales and listings: Thanks to Marcia Russo

***Welcome to new residents at Ventura Villas***

404 Ventura  
1103 Ventura

Judith Juneau  
Kelly Powers

## Upcoming Board Events

BOA Monthly Meeting, June 25, 6 PM, Clubhouse

BOA Annual Meeting, July 23, 6 PM, Clubhouse

## Contact Info

Pres. Scott Ambler: [sfambler@gmail.com](mailto:sfambler@gmail.com)

Brenda Manigault: [brenda@islandrealty.com](mailto:brenda@islandrealty.com)

Newsletter Staff: If you have ideas, constructive feedback or suggestions for the Newsletter, please email your ideas to [jayvoss43@gmail.com](mailto:jayvoss43@gmail.com)

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