

# CHANGE EXISTING I-BEAM AND REMOVE EXISTING WALL WITH INTERIOR REMODEL ON EXISTING TWO STORY SINGLE FAMILY RESIDENCE



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RESIDENTIAL &  
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RENDER - 3D DESIGN

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ENGINEER: **Manuel A. Espino**  
CIVIL ENGINEER RCE 55526  
12109 Woodruff Ave. \* Downey, CA 90241  
(323) 379-6216 (562) 622-6927



OWNER:

PROJECT: **CHANGE EXISTING I-BEAM AND REMOVE EXISTING WALL WITH INTERIOR REMODEL ON EXISTING TWO STORY SINGLE FAMILY RESIDENCE**

PROJECT ADDRESS:

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE:

## COVER SHEET

PROJECT NO:

10062023

DATE

10/016/2023

SHEET NO:

**T.1**

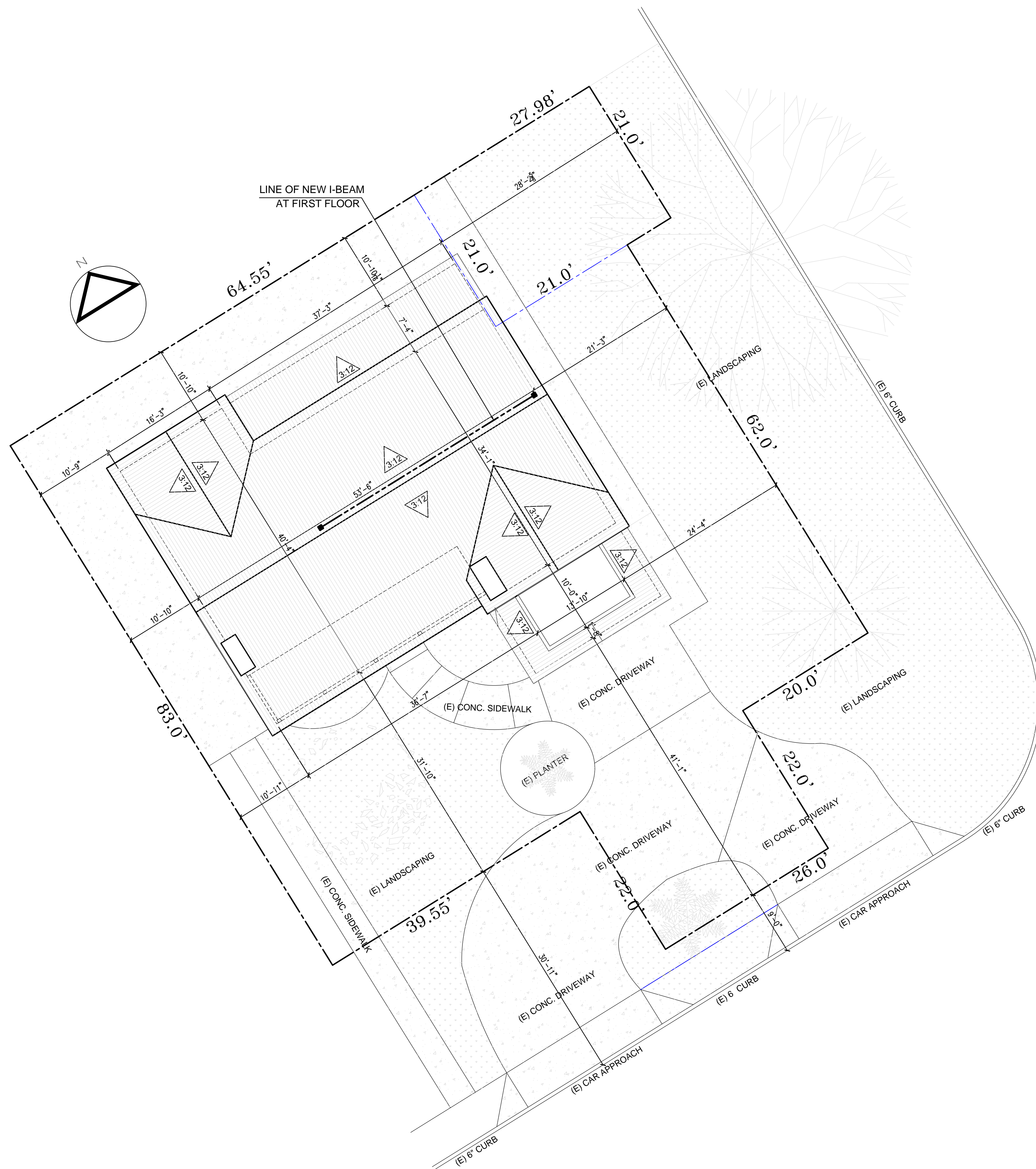
01-02

VICINITY MAP	PROJECT DIRECTORY	CODE SUMMARY	ABBREVIATION LIST	SIMBOLS LEGEND																																																																																																																																																																																																																																																																																																																																																							
	<p>Design Consultant: ANAMART CORP Miguel A. Rodriguez T. 830 Feather Avenue. La Puente, CA 91746 (626) 337-1301 mig12te16@gmail.com</p> <p>Structural Consultant: Design: Anibal Abolsky. Supervised by: Civil Eng. Manuel A. Espino 12109 Woodruff Ave. Downey, CA 90241 (323) 379-6216 (562) 622-6927</p>	<p>PROPERTY INFORMATION:</p> <p>SITE ADDRESS:</p> <p>PROPERTY TYPE:</p> <p>STORIES:</p> <p>ZONING DISTRICT: RS4</p> <p>AREA DISTRICT: III</p> <p>OCCUPANCIES: R3 SINGLE FAMILY DWELLING</p> <p>CONSTRUCTION TYPE: VB</p> <p>LEGAL DESCRIPTION:</p> <p>LOT / PARCEL AREA 7,819.20 SQ. FT.</p> <p>ASSESSOR'S PARCEL NUMBER: 7542-016-054</p> <p>LEGAL DESCRIPTION: TR=6888 NE 27.98 FT OF SE 21 FT LOT 14 AND ALL OF LOT 15 BLK 2218</p> <p><b>PROJECT DATA</b></p> <table><tr><td></td><td>EXISTING</td><td></td><td></td><td></td></tr><tr><td>EXISTING FIRST FLOOR</td><td>1,544.00 SQ. FT.</td><td>3,109.00 SQ. FT.</td><td></td><td></td></tr><tr><td>EXISTING SECOND FLOOR</td><td>1,565.00 SQ. 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<p><b>APPLICABLE CODES:</b></p> <p>CONSTRUCTION SHALL COMPLY WITH TITLE 24, CALIFORNIA CODE REGULATIONS, INCLUDING THE FOLLOWING:</p> <p>2022 CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, CCR, PART 1)</p> <p>2022 CALIFORNIA BUILDING CODE (TITLE 24, CCR, PART 1, PART 2)</p> <p>2022 CALIFORNIA ELECTRICAL CODE (TITLE 24, CCR, PART 3)</p> <p>2022 CALIFORNIA MECHANICAL CODE (TITLE 24, CCR, PART 4)</p> <p>2022 CALIFORNIA PLUMBING CODE (TITLE 24, CCR, PART 5)</p> <p>2022 CALIFORNIA ENERGY CODE (TITLE 24, CCR, PART 6)</p> <p>2022 CALIFORNIA HISTORICAL BUILDING CODE (TITLE 24, CCR, PART 8)</p> <p>2022 CALIFORNIA FIRE CODE (TITLE 24, CCR, PART 9)</p> <p>2022 CALIFORNIA REFERENCED STANDARDS (TITLE 24, CCR, PART 12)</p> <p>2022 CALIFORNIA RESIDENTIAL STANDARDS (TITLE 24, CCR, PART 2.5)</p> <p>2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (TITLE 24, CCR, PART 11)</p>	<p><b>SCOPE WORK</b></p> <p>REMOVE EXISTING WALL CORNER AT KITCHEN, AND CHANGE EXISTING I-BEAM TO NEW I-BEAM, AND INTERIOR REMODEL, CLOSING EXTERIOR DOOR &amp; WINDOWS AT EAST ELEVATION (SAME EXISTING STUCCO).</p>	<p><b>SHEET INDEX</b></p> <table><tr><td>T1. TITLE SHEET</td></tr><tr><td>A01 PLOT - ROOF PLAN - GENERAL NOTES &amp; BMP</td></tr><tr><td>A02 EXISTING &amp; PROPOSED FIRST FLOOR PLAN</td></tr><tr><td>ELECTRICAL LAYOUT AT KITCHEN</td></tr><tr><td>A03 EXISTING SECOND FLOOR PLAN &amp; ELEVATIONS</td></tr><tr><td>A04 EXISTING ELEVATIONS &amp; PROPOSED WEST ELEVATIONS</td></tr><tr><td>DETAILS CLOSED DOOR AND WINDOW</td></tr><tr><td>A05 GREEN BUILDING</td></tr><tr><td>S-1 FOUNDATION PLAN AND GENERAL NOTES &amp; DETAILS</td></tr><tr><td>S-2 FLOOR FRAMING PLAN AND DETAILS</td></tr><tr><td>S-3 ROOF FRAMING PLAN</td></tr></table>	T1. TITLE SHEET	A01 PLOT - ROOF PLAN - GENERAL NOTES & BMP	A02 EXISTING & PROPOSED FIRST FLOOR PLAN	ELECTRICAL LAYOUT AT KITCHEN	A03 EXISTING SECOND FLOOR PLAN & ELEVATIONS	A04 EXISTING ELEVATIONS & PROPOSED WEST ELEVATIONS	DETAILS CLOSED DOOR AND WINDOW	A05 GREEN BUILDING	S-1 FOUNDATION PLAN AND GENERAL NOTES & DETAILS	S-2 FLOOR FRAMING PLAN AND DETAILS	S-3 ROOF FRAMING PLAN																																																																																																																																																																																																																																																																																																																																														
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## PLOT PLAN

**SCALE: 1/8" = 1'-0"**

## BEST MANAGEMENT PRACTICES



### List of BMPs (Best Management Practices)

1. CA1 Dewatering Operations - remove sediments from ground water
2. CA2 Paving Operations - reduce discharge of pollutants from paving operations
3. CA3 Structure Construction and Painting - prevent & reduce discharge from construction sites & painting projects
4. CA10 Material Delivery and Storage - prevent & reduce discharge of pollutants to storm water from material delivery & storage
5. CA11 Material Use - prevent & reduce discharge of pollutants to storm water from material use
6. CA12 Spill Prevention and Control - prevent & reduce discharge of pollutants to storm water systems with good housekeeping
7. CA20 Solid Waste Management - prevent & reduce discharge of pollutants to storm water systems from solid waste or construction
8. CA21 Hazardous Waste Management - prevent & reduce discharge of pollutants to storm water from toxic materials
9. CA22 Contaminated Soil Management - prevent & reduce discharge of pollutants to storm water from contaminated soil
10. CA23 Concrete Waste Management - prevent & reduce discharge of pollutants to storm water from concrete waste
11. CA24 Sanitary/Septic Waste Management - prevent & reduce discharge of pollutants to storm water from sanitary & septic systems
12. CA30 Vehicle and Equipment Cleaning - prevent & reduce discharge of pollutants to storm water from cleaning of vehicles and equipment
13. CA31 Vehicle and Equipment Fueling - prevent & reduce discharge of pollutants to storm water from fueling of vehicles & equipment
14. CA32 Vehicle and Equipment Maintenance - prevent & reduce discharge of pollutants to storm water from maintenance of vehicles & equipment
15. CA40 Employee/Subcontractor Training - SWPPP Storm Water Pollution Prevention Plan
16. ESC1 Scheduling - Sequencing the construction project to reduce the amount of soil exposed to erosion
17. ESC2 Preservation of Existing Vegetation - minimize damage and erosion by preserving the existing vegetation
18. ESC10 Seeding and Planting - minimize erosion with seeding and planting
19. ESC11 Mulching - for stabilizing cleared and freshly seeded areas
20. ESC20 Geotextiles and Mats - for stabilization of soils
21. ESC21 Dust Controls - reduce dust and soil erosion
22. ESC22 Temporary Stream Crossing - recommendations for installing a temporary culvert, ford or bridge
23. ESC23 Construction Road Stabilization - recommendations for dust and erosion control
24. ESC24 Stabilized Construction Entrance - recommendations for dust, sediment and erosion control for public streets
25. ESC30 Earth Dike - temporary berm or ridge of compacted soil
26. ESC31 Temporary Drains and Swales - to divert off-site runoff around a construction site
27. ESC32 Slope Drain - temporary pipe to divert runoff from the top of a slope to the bottom without causing erosion
28. ESC40 Outlet Protection - install rip-rap to reduce sediment in the soil
29. ESC41 Check Dams - reduces velocity of concentrated storm water flows and reduces erosion
30. ESC42 Slope Roughening/Terracing - creates microclimates for establishing vegetation
31. ESC50 Silt Fence - for sedimentation control
32. ESC51 Straw Bale Barriers - for sedimentation control
33. ESC52 Sand Bag Barrier - for sedimentation control
34. ESC53 Brush or Rock Filter - for sedimentation control and velocity reduction
35. ESC54 Storm Drain Inlet Protection - devices which detain sediment laden runoff
36. ESC55 Sediment Trap - small excavated or bermed area for sedimentation
37. ESC56 Sediment Basin - pond created to allow excessive sediment to settle

## RESIDENTIAL PLAN GENERAL NOTES



## STANDARD PLAN NOTES

City of Palos Verdes Estates  
Community Development Department | Building Division 340  
Palos Verdes Drive West, Palos Verdes Estates, CA 90274  
**[appointments@pvestates.org](mailto:appointments@pvestates.org)** | (310) 378-0383

**The following notes must be incorporated into the plans.**

1. All work shall conform to the 2022 California Building Code, 2022 California Residential Code, 2022 California Plumbing Code, 2022 California Mechanical Code, and the 2022 California Electrical Code, 2022 California Green Building Standards Code, the current requirements of the Energy and county of Los Angeles Fire Code.
2. All General Contractors, Sub-Contractors, Architects, & Engineers conducting business within the city of Palos Verdes Estates are required to maintain a current City Business License as described in the Municipal Code Ordinance No. 092-559 and Resolution No. R92-72.
3. Per local requirements, the working hours are between 7:00 AM to 7:00 PM Monday through Thursday; 7:00 AM to 5:30 PM on Friday and 9:00 AM to 5:30 PM on Saturday. No construction on Sunday.
4. A re-inspection fee may be charged for an inspection which is not accessible, or approved plans are not on site, or job is not ready.
5. All special inspectors shall be registered with the City of Palos Verdes Estates prior to performing any inspections and shall also notify the Building Official of each job location thereafter.
6. The yard drainage improvements shall be inspected and certified by the engineer of record prior to final approval.
7. "Any and all deviations from the Planning Commission approved plans require that revised plans be submitted to the Planning department for review and approval.
8. Required swimming pool fencing must be maintained during construction or the pool shall be emptied. (As applicable).
9. "General Contractor shall provide a haul route and the size of equipment to the Building Official for review and approval prior to issuance of a building permit."
10. All Construction waste and debris must be containerized at all times & must be Athen's dumpsters only (call 1-888-336-6100).
11. Dust Control Measures shall be maintained throughout the duration of the project.
12. All nailing shall be per CRC Table 602.3(1) unless otherwise noted.
13. Steel nail plates (18-gauge min.) are to be installed where plastic and/or copper piping material is within 1" of the exposed framing (CPC 312.9).
14. Penetrations through the roof or exterior wall assemblies by ducts, pipes and/or other appurtenances shall be made watertight (CPC 312.8).
15. As of March 9, 2009, state agency (AQMD) has passed a law that solid fuel burning fireplaces (wood burning) are no longer legal. Construction of such appliances or masonry units may still be constructed as such with the requirements that a complete gas burning assembly be permanently secured/attached in the fire box at final inspection.

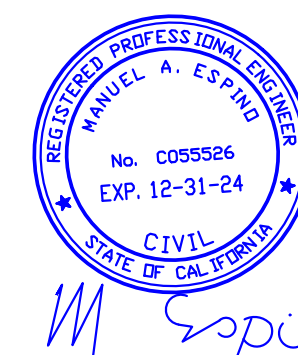


**MIGUEL A. RODRIGUEZ**  
CAD SPECIALIST  
INTL. ASSC. AIA  
RESIDENTIAL &  
COMMERCIAL DESIGN  
RENDER - 3D DESIGN

830 FEATHER AVENUE. LA PUENTE, CA 91746  
TEL: (626) 482-5689 - mlq12te16@gmail.com

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**ENGINEER:** **Manuel A. Espino**  
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PROJECT:  
CHANGE EXISTING I-BEAM AND  
REMOVE EXISTING WALL WITH  
INTERIOR REMODEL ON EXISTING  
TWO STORY SINGLE FAMILY RESIDENCE

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE: F

PLOT PLAN  
ROOF PLAN  
GENERAL NOTES

PROJECT NO. \_\_\_\_\_

**10062023**

DATE \_\_\_\_\_

**10/06/2023**

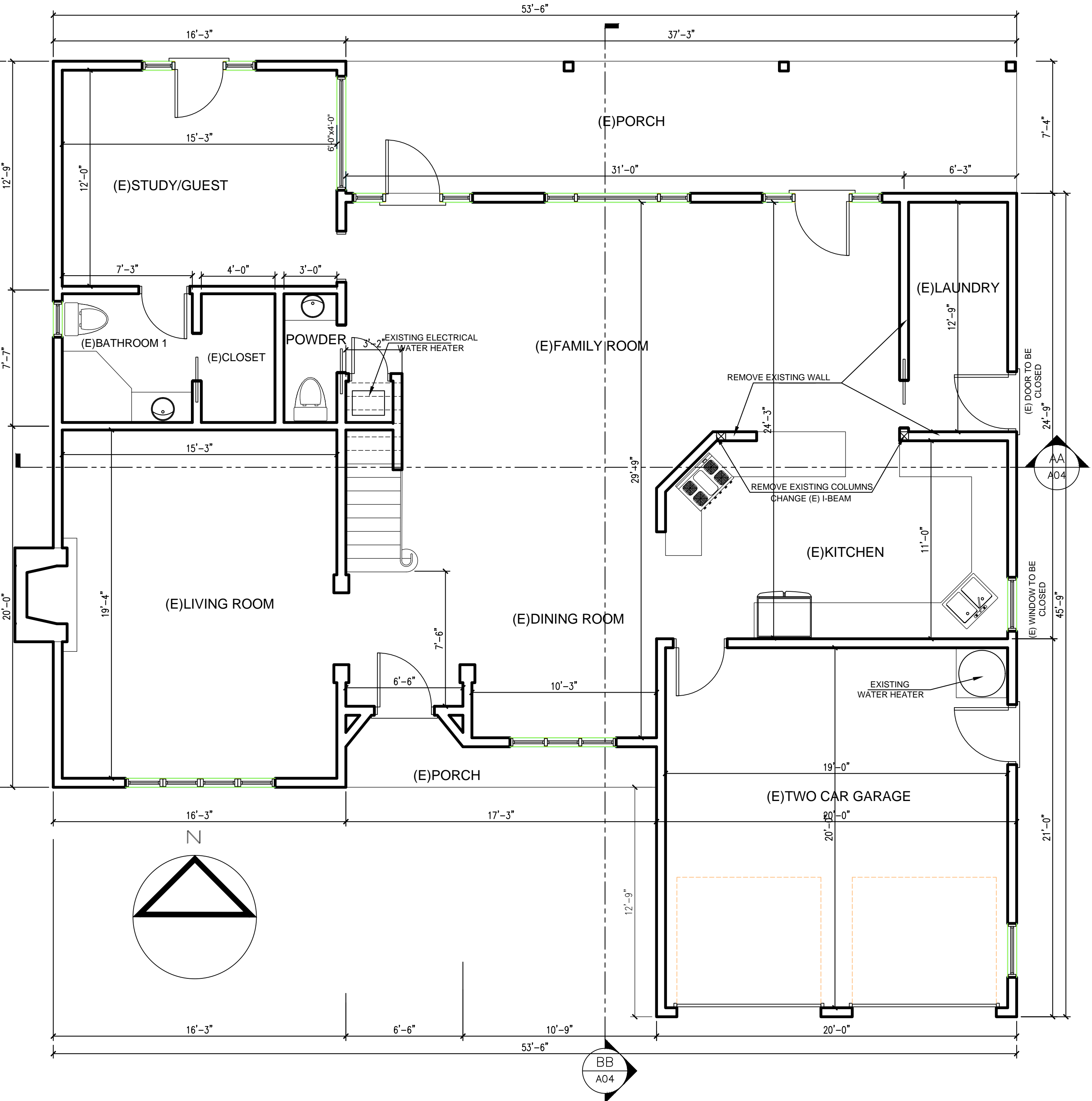
SHEET NO.

# A01

01-02

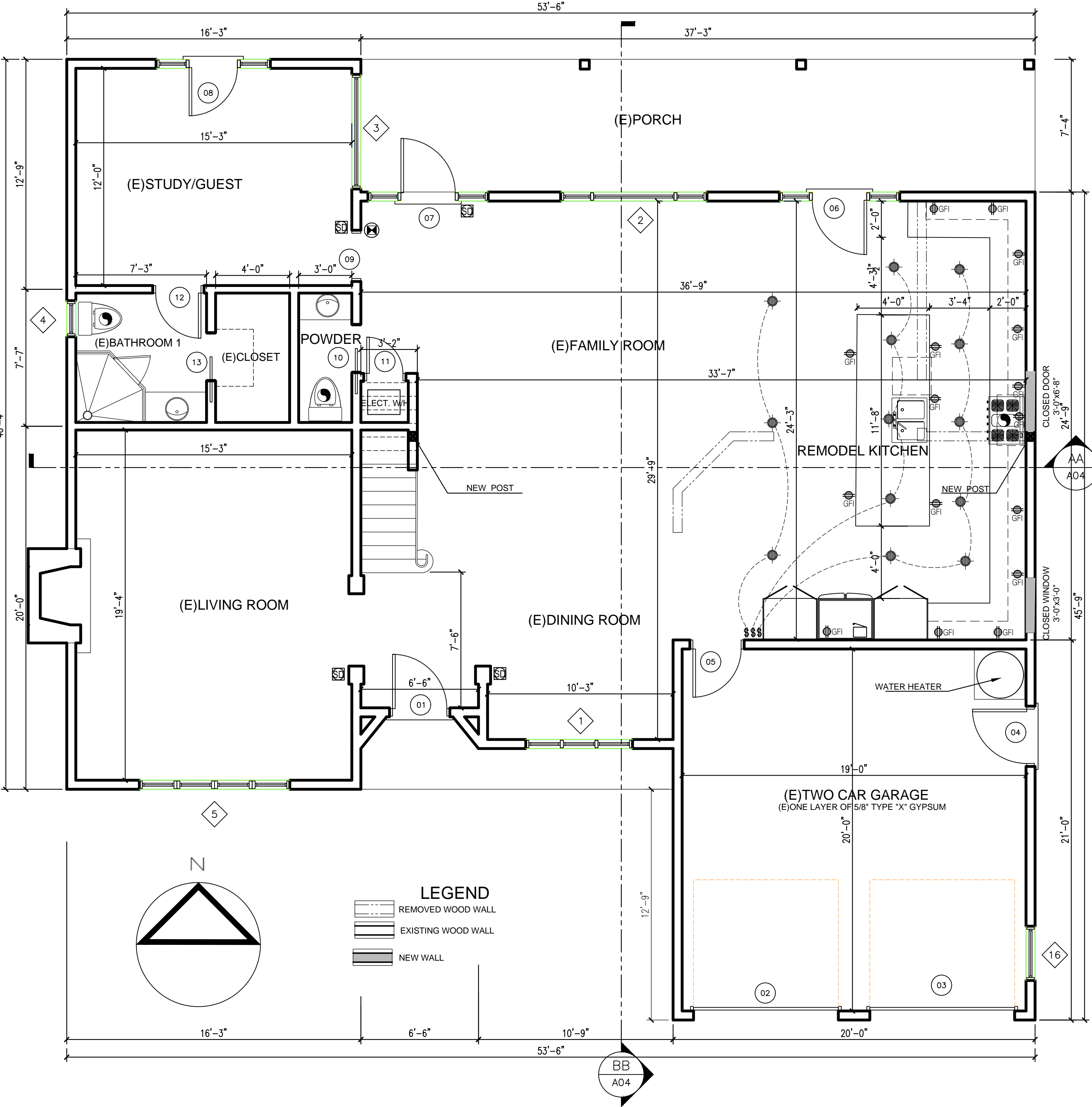
EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



DOOR-WINDOWS SCHED./ENERGY NOTES

DOOR SCHEDULE										NOTES
MARK	WD	SIZE		THK	MATL	GLAZING	FIRE RATING LABEL	U-VALUE	SHGC	
RESIDENCE	1	3'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	2	6'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	3	1'-6"	6'-8"	1 3/8"	---	---	---	---	---	
	4	2'-8"	6'-8"	1 3/8"	---	---	---	---	---	
	5	6'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	6	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	7	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	8	8'-0"	7'-0"	1 1/4"	---	---	---	---	---	
	9	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	10	2'-8"	6'-8"	1 1/4"	---	---	---	---	---	
	11	5'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	12	4'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	13	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	14	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	15	5'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	16	4'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	17	3'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	18	1'-6"	6'-8"	1 3/8"	---	---	---	---	---	
	19	2'-8"	6'-8"	1 3/8"	---	---	---	---	---	
	20	6'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	21	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	22	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	23	8'-0"	7'-0"	1 1/4"	---	---	---	---	---	
	24	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	25	2'-8"	6'-8"	1 1/4"	---	---	---	---	---	
	26	5'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	27	4'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	28	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	29	2'-8"	6'-8"	1 3/4"	---	---	---	---	---	
	30	5'-0"	6'-8"	1 3/4"	---	---	---	---	---	
	31	4'-0"	6'-8"	1 3/4"	---	---	---	---	---	

WINDOW SCHEDULE										NOTES
MARK	SIZE		GLAZING	MATERIAL	FIRE RATING LABEL	U-VALUE	SHGC			
	Width	HEIGHT								
1	6'-0"	5'-0"	---	---	---	---	---	---	EXISTING	
2	8'-0"	6'-4"	---	---	---	---	---	---		
3	6'-0"	4'-0"	---	---	---	---	---	---		
4	2'-0"	3'-0"	---	---	---	---	---	---		
5	2'-0"	5'-0"	---	---	---	---	---	---		
6	4'-0"	5'-0"	---	---	---	---	---	---		
7	3'-0"	5'-0"	---	---	---	---	---	---		
8	3'-0"	4'-0"	---	---	---	---	---	---		
9	3'-0"	4'-0"	---	---	---	---	---	---		
10	3'-0"	4'-0"	---	---	---	---	---	---		
11	2'-6"	3'-0"	---	---	---	---	---	---		
12	2'-6"	3'-0"	---	---	---	---	---	---		
13	2'-6"	3'-0"	---	---	---	---	---	---		
14	4'-0"	5'-0"	---	---	---	---	---	---		
15	8'-0"	5'-0"	---	---	---	---	---	---		
16	3'-0"	3'-0"	---	---	---	---	---	---		

NO MODIFICATION AT EXISTING DOOR AND WINDOWS.

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
●	LIGHT - HIGH EFFICIENT
⬢	LIGHT - HIGH EFFICIENT-RECESSED
⚡	OUTLET W/ GROUND FAULT INTERRUPTER (GFI OR GFCI)
⚡	LIGHT SWITCH (SINGLE) - 1/2" (Dimmer)
⚡	LIGHT SWITCH (DOUBLE) - 1/2" (Dimmer)
⚡	SMOKE ALARM SHALL BE INTERCONNECTED HARDWIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
⚡	EXHAUST FAN DIRECT TO OUTSIDE FIVE AIR CHARGES PER HOUR, CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. 150 CFM
⚡	CARBON MONOXIDE ALARMS HARDWIRED INTERCONNECTED WITH BATTERY BACK UP
⚡	BELL
⚡	ELECTRICAL PANEL W/ METER

ELECTRICAL NOTES

\* Newly installed bathroom exhaust fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidistat which shall be readily accessible.

compliant and be ducted to terminate to the outside of the building.

Provide the manufacturer's cut sheet for verification.

ELECTRICAL NOTES:

Ground-Fault Circuit-Interruption (GFCI) for personnel shall be provided and installed in readily accessible location. (EC 210.8(A))

Arc-Fault Circuit-Interruption shall be installed to provide protection of the branch circuit. (EC 210.12)

Tamper-Resistant receptacles shall be installed in all areas specified in 210.52, all nonlockingtype 12-volt; 15- and 20-ampere receptacles shall be listed tamper-resistant receptacles. (EC 406.12)

All branch circuits that supply 125 volt, single phase, 15 and 20 ampere outlets installed in dwelling units shall be protected by an arc-fault circuit interrupter(s). (CEC 210.12)

Note this requirements is for entire circuit, not just the outlets.

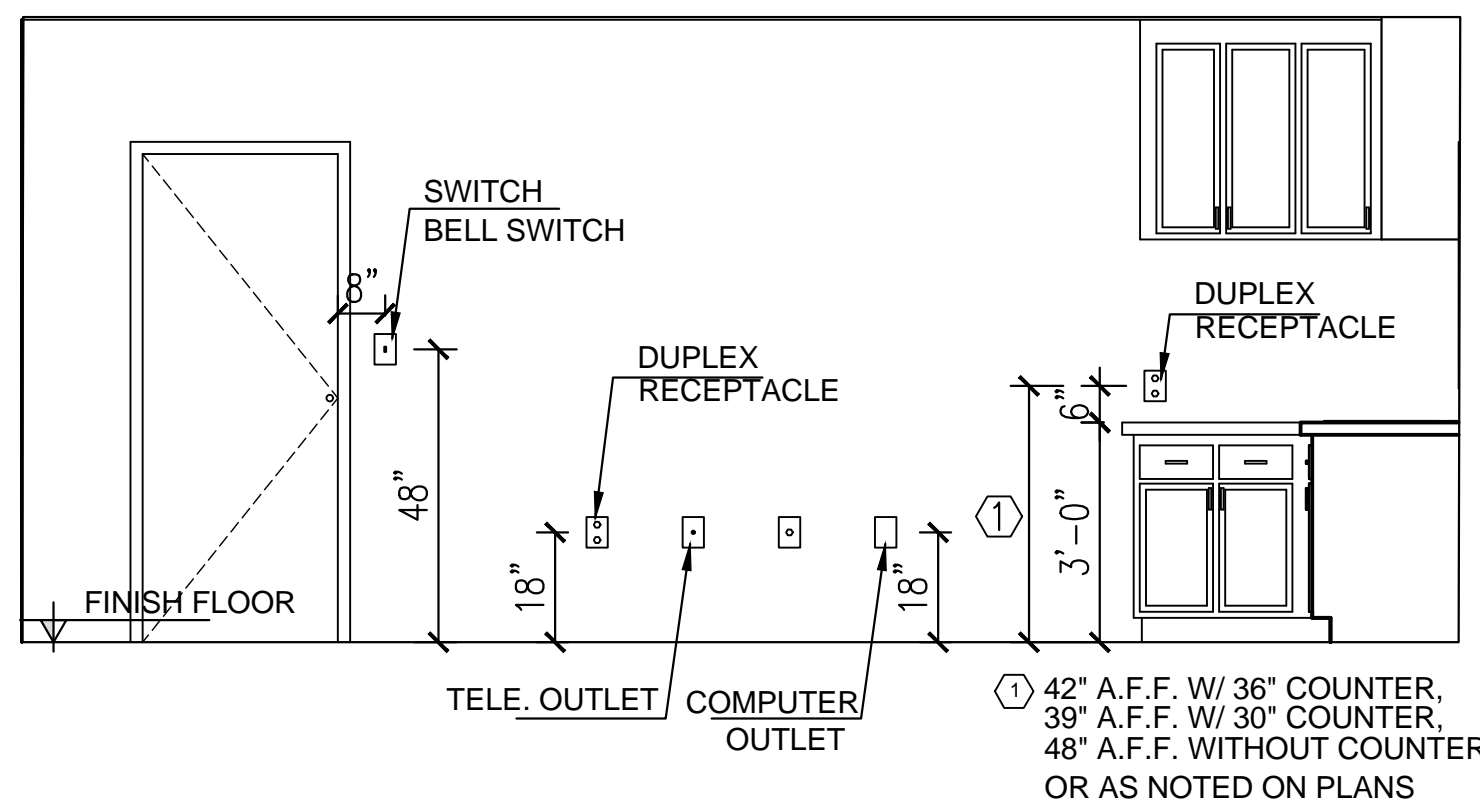
**High Efficacy Light Sources**

Luminaires manufactured, designed and rated for use with only lighting technologies in this column shall be classified as high efficacy:

- Pin-based linear fluorescent lamps or pin-based compact fluorescent lamps, provided that the ballast in the luminaire is electronic. Compact fluorescent lamps ≥ 13 watts have 4 pins for compliance with the electronic ballast requirements in §150.0(k)1D.
- Pulse-start metal halide lamps.
- High pressure sodium lamps.
- GU-24 sockets rated for LED lamps.
- GU-24 sockets rated for compact fluorescent lamps.
- Luminaires using LED light sources which have been certified to the Commission as high efficacy in accordance with Reference Joint Appendix JAB.
- Luminaire housings rated by the manufacturer for use with only LED light engines.
- Induction lamps.

Note: Adaptors which convert an incandescent lamp holder to a high-efficacy lamp holder shall not be used to classify a luminaire as high efficacy, even if the manufacturer declares that such adaptors as permanent.

MOUNTING HEIGHTS



**ANAMART CORP.**

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OWNER: *M. Espino*

PROJECT: CHANGE EXISTING I-BEAM AND REMOVE EXISTING WALL, WITH INTERIOR REMODEL ON EXISTING TWO STORY SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE:

**EXISTING FLOOR PLANS  
PROPOSED FLOOR PLAN**

PROJECT NO:

DATE

10062023

10/06/2023

SHEET NO:

**A02**

01-02

**EXISTING SECOND FLOOR PLAN**

**SCALE: 1/4" = 1'-0"**

The floor plan shows the following rooms and features:

- (E)BEDROOM 2**: 12'-9" x 16'-3"
- (E)CLOSET**: 5'-0" x 4'-0"
- (E)BATHROOM 2**: 7'-7" x 12'-9"
- (E)BEDROOM 1**: 11'-9" x 16'-10"
- (E)CLOSET**: 6'-3" x 4'-0"
- (E)BALCONY**: 33'-6" x 7'-7"
- (E)42" HIGH GUARDRAIL**: Along the balcony edge.
- (E)HALL**: 8'-0" x 7'-7"
- (E)PAWDER**: 5'-3" x 9'-3"
- (E)BEDROOM 3**: 13'-9" x 14'-3"
- (E)CLOSET**: 11'-6" x 3'-6"
- (E)HALL**: 10'-1" x 10'-1"
- (E)MASTER BATHROOM**: 10'-8" x 14'-9"
- (E)CLOSET**: 8'-0" x 12'-9"
- (E)MASTER BEDROOM**: 19'-0" x 16'-0"
- (E)BALCONY**: 20'-0" x 11'-8"
- (E)42" HIGH GUARDRAIL**: Along the balcony edge.

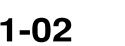
Structural elements include a 30"x54" ATTIC ACCESS LADDER, a North arrow, and section lines AA-A04 and BB-A04.

SYMBOL	DESCRIPTION
	LIGHT - HIGH EFFICIENT
	LIGHT - HIGH EFFICIENT-RECESSED
	OUTLET/UP GRANGE FAULT INTERRUPTER (GFI OR GFCI)
	LIGHT SWITCH (SINGLE) D (Dimmer) D (Dimmer) - <u>NO</u> Manual-on-off sensor
	LIGHT SWITCH (DOUBLE) D (Dimmer) D (Dimmer) - <u>NO</u> Manual-on-off sensor
	SMOKE ALARMS SHALL BE INTERCONNECTED HARDWIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72
	EXHAUST FAN DIRECT TO OUTSIDE FIVE AIR CHANGES PER HOUR, CONTROLLED BY THERMOSTAT WHICH SHALL BE READILY ACCESSIBLE - 150 CFM
	CARBON MONOXIDE ALARMS HARDWIRED INTERCONNECTED WITH BATTERY BACK UP
	BELL
	ELECTRICAL PANEL W/ METER

[illegible]

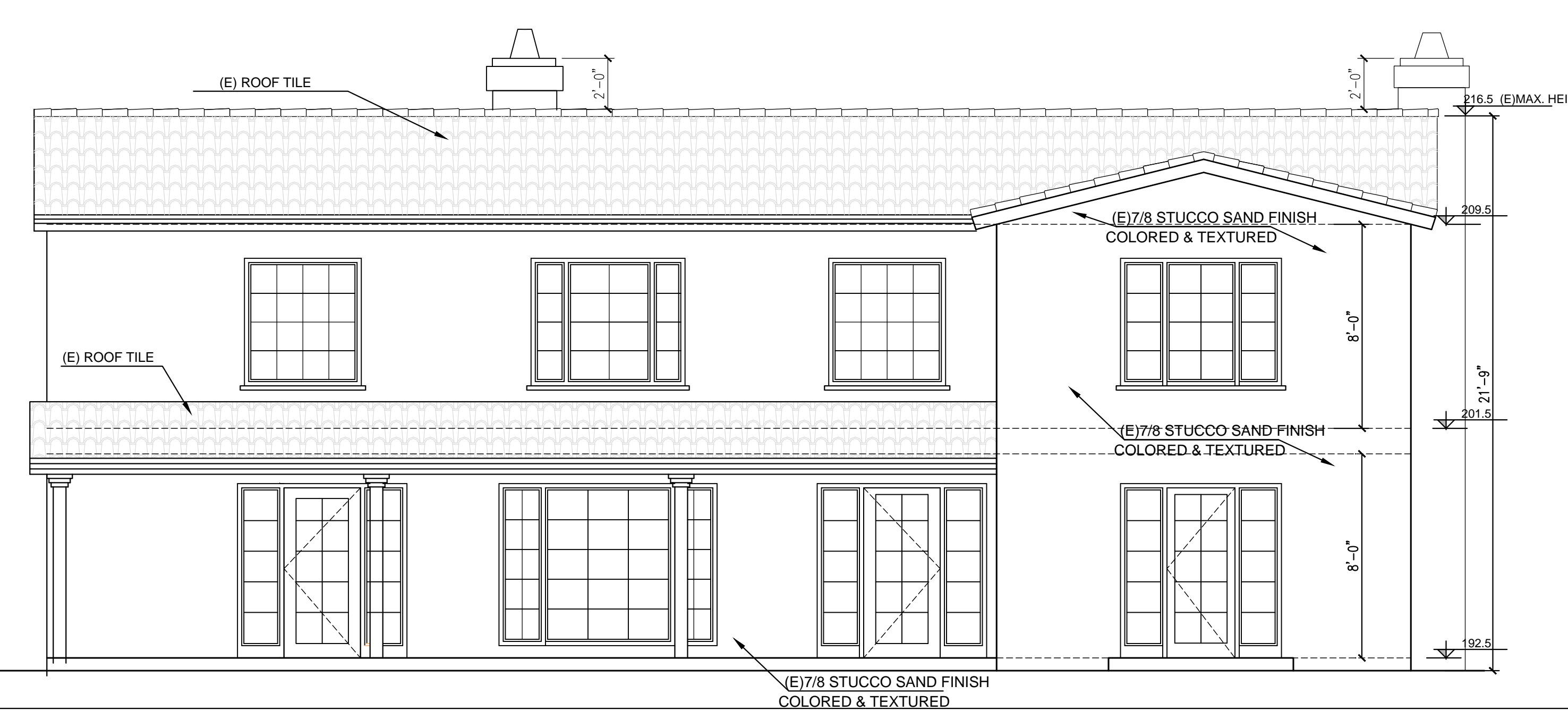
Architectural elevation drawing of a building facade. The drawing includes the following annotations and dimensions:

- Annotations:**
  - (E) MAX. HEIGHT
  - (E) ROOF TILE
  - (E)7/8 STUCCO SAND FINISH COLORED & TEXTURED
  - (E)7/8 STUCCO SAND FINISH COLORED & TEXTURED
  - (E)7/8 STUCCO SAND FINISH COLORED & TEXTURED
  - (E)7/8 STUCCO SAND FINISH COLORED & TEXTURED
  - (E) ROOF TILE
- Dimensions:**
  - 16.5
  - 21'-9"
  - 209.5
  - 201.5
  - 192.5
  - 12
  - 3
  - 2'-0"
  - 8'-0"
  - 3'-6"
  - 3'-6"
  - 8'-0"
  - 8'-0"
  - 2'-0"



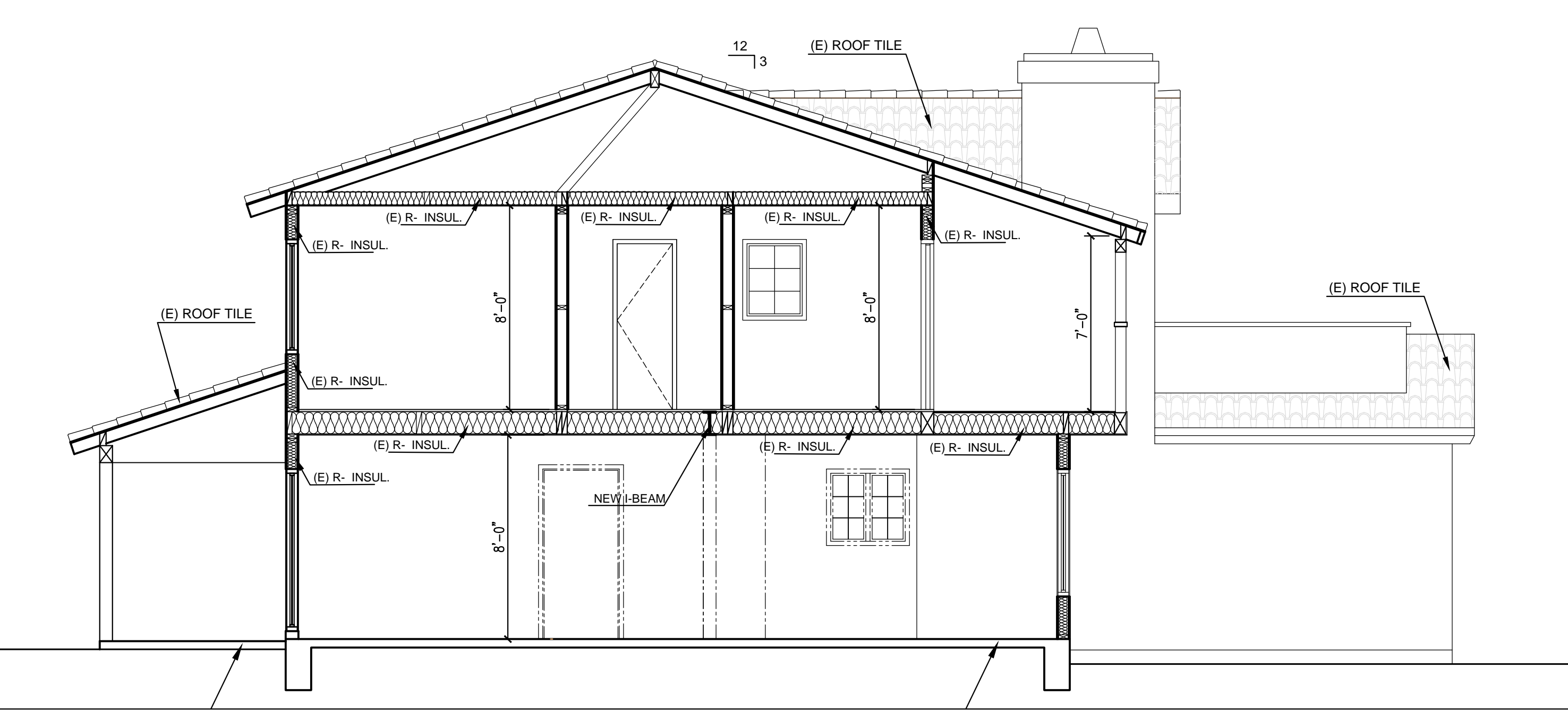
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



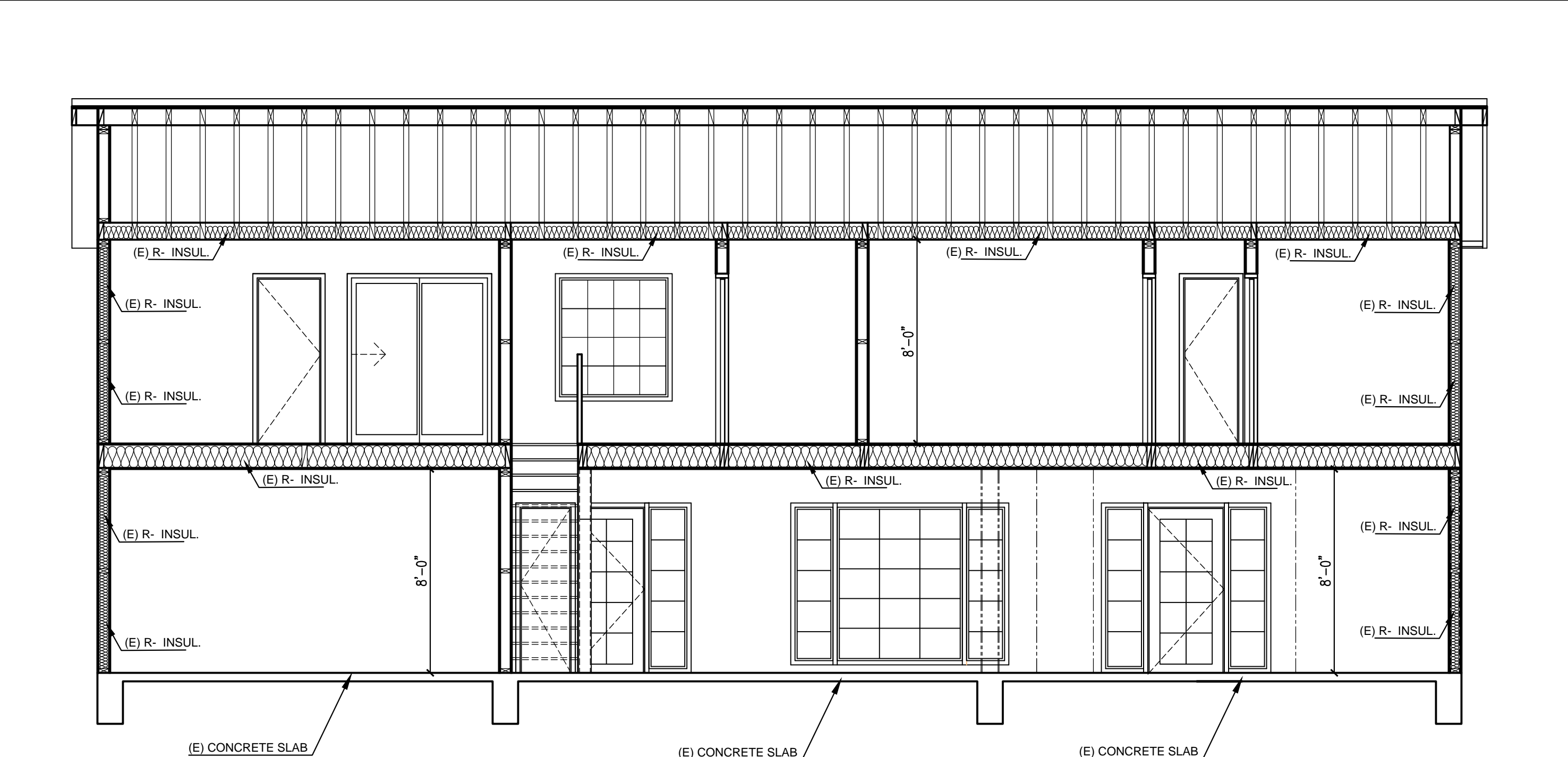
SECTION AA

SCALE: 1/4" = 1'-0"



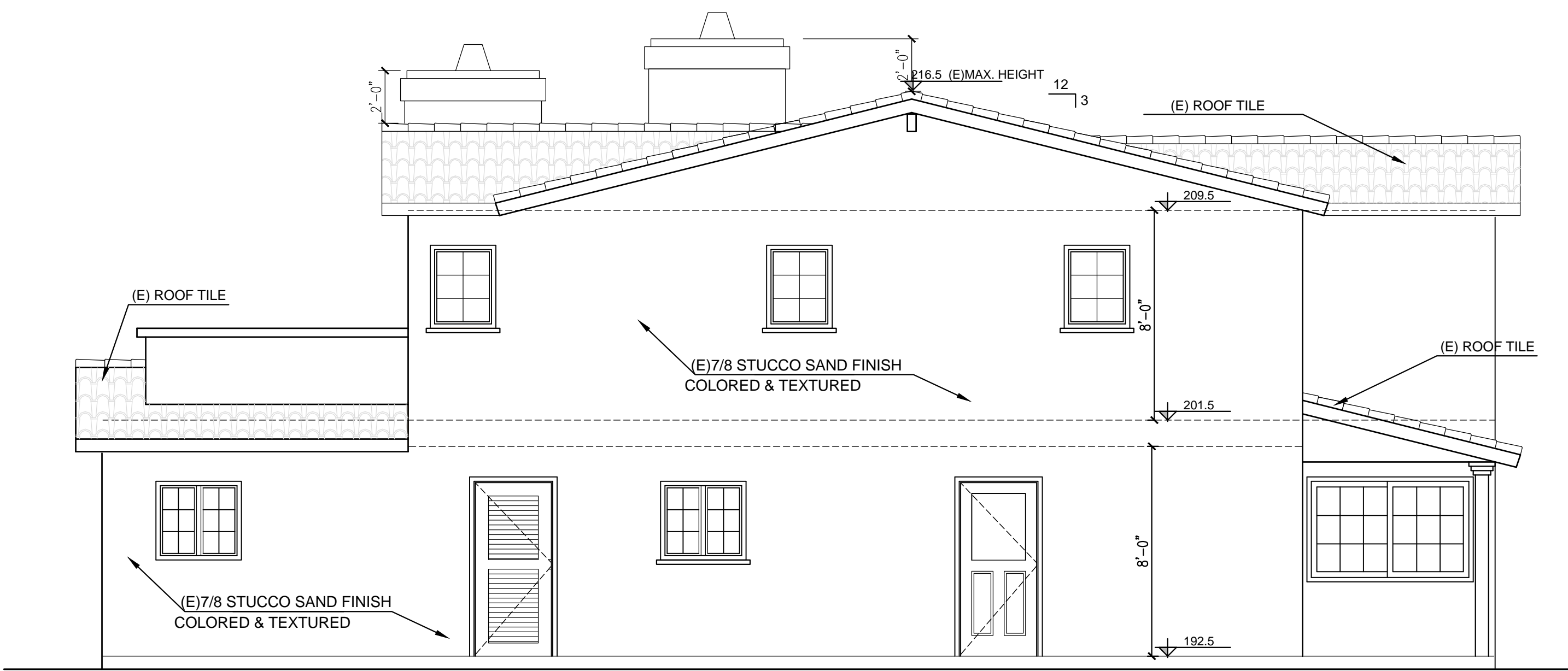
SECTION BB

SCALE: 1/4" = 1'-0"

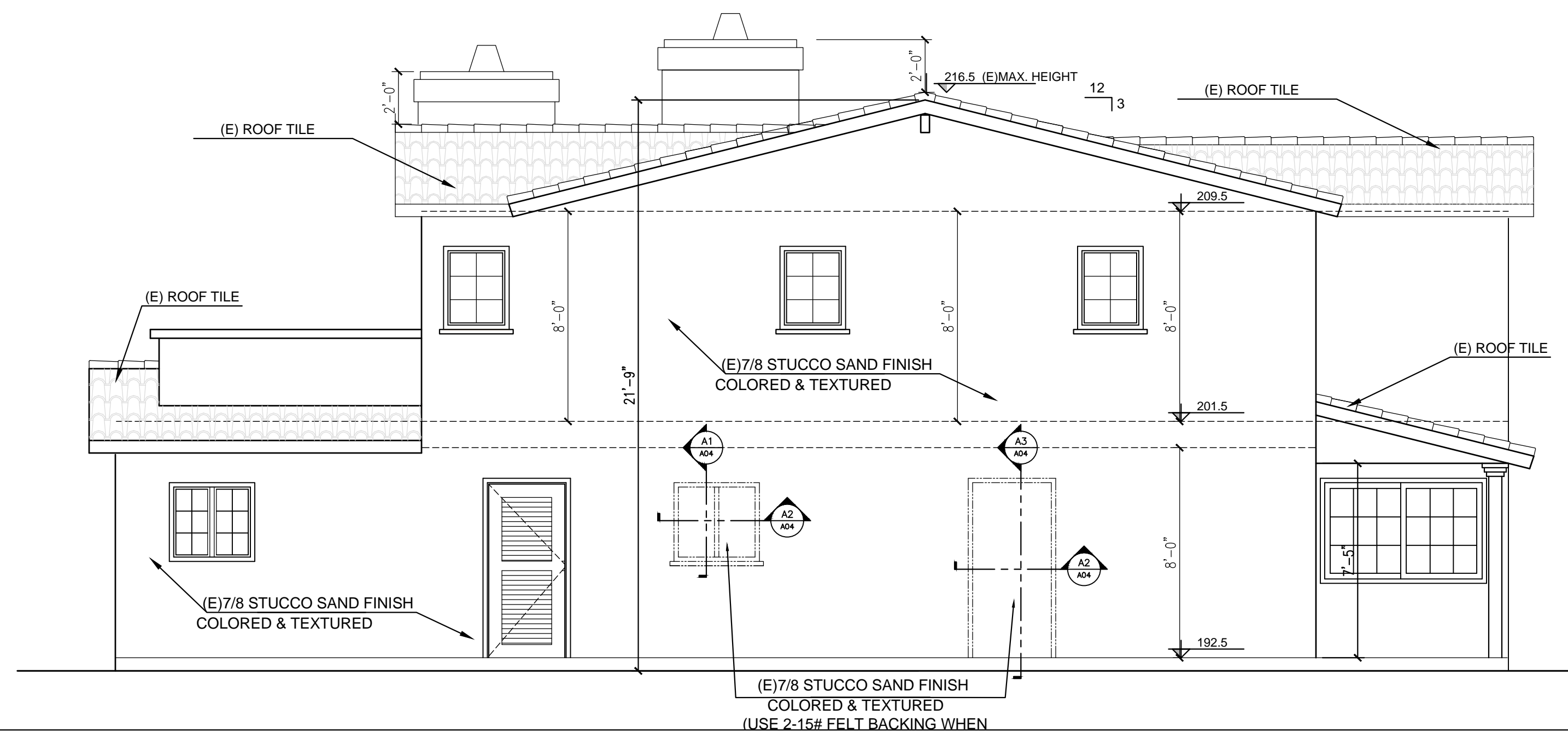


EXISTING EAST ELEVATION

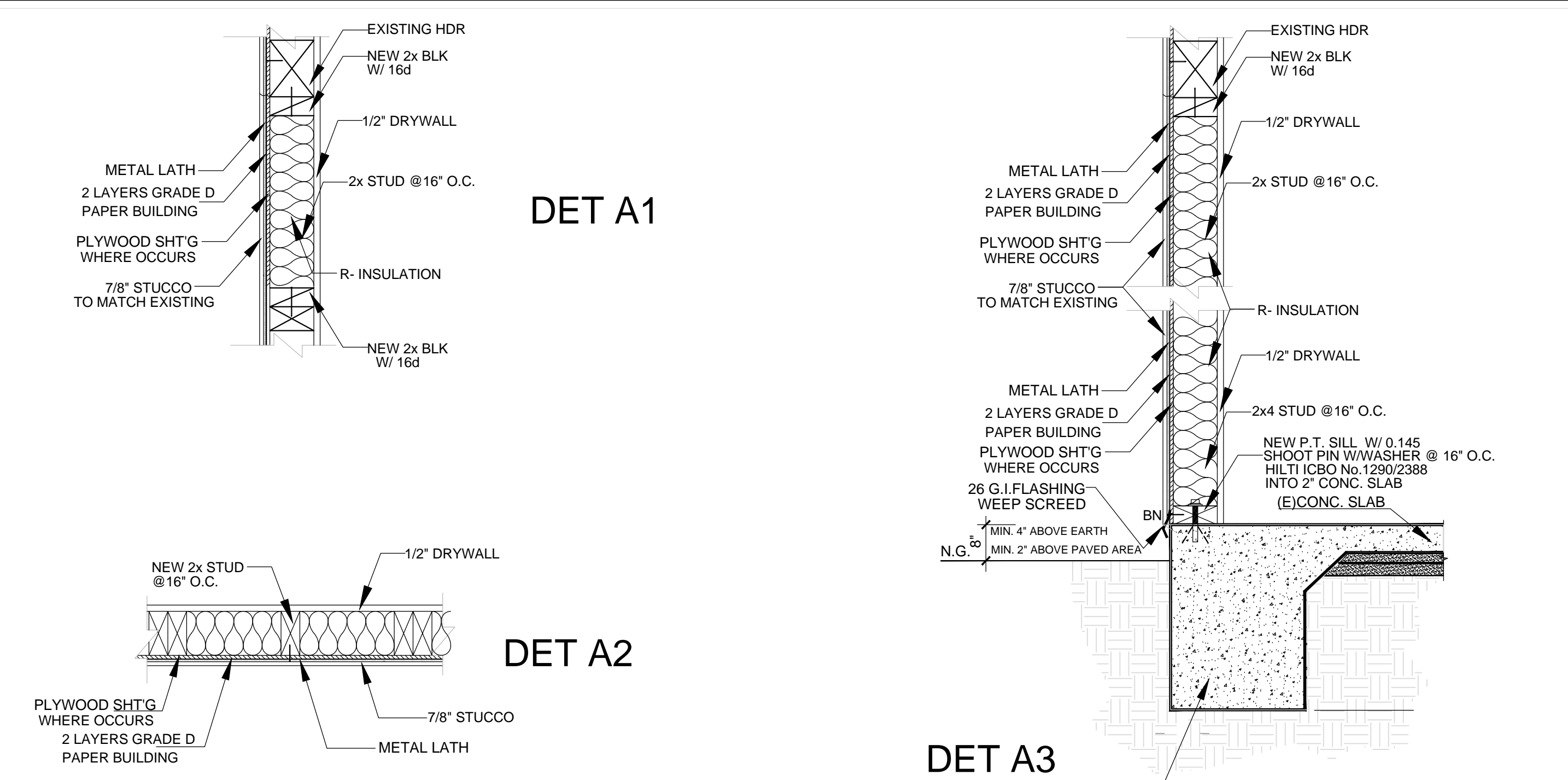
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION



DETAILS - CLOSE WINDOWS & DOOR



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OWNER: *M. Espino*

PROJECT:  
CHANGE EXISTING I-BEAM AND  
REMOVE EXISTING WALL WITH  
INTERIOR REMODEL ON EXISTING  
TWO STORY SINGLE FAMILY RESIDENCE  
PROJECT ADDRESS:

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE:  
**EXISTING ELEVATIONS  
PROPOSED ELEVATIONS  
SECTIONS: AA / BB**

PROJECT NO:

DATE: **10062023**

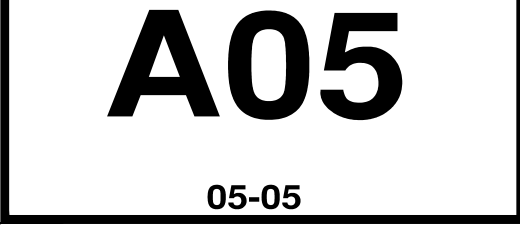
10/06/2023

SHEET NO:

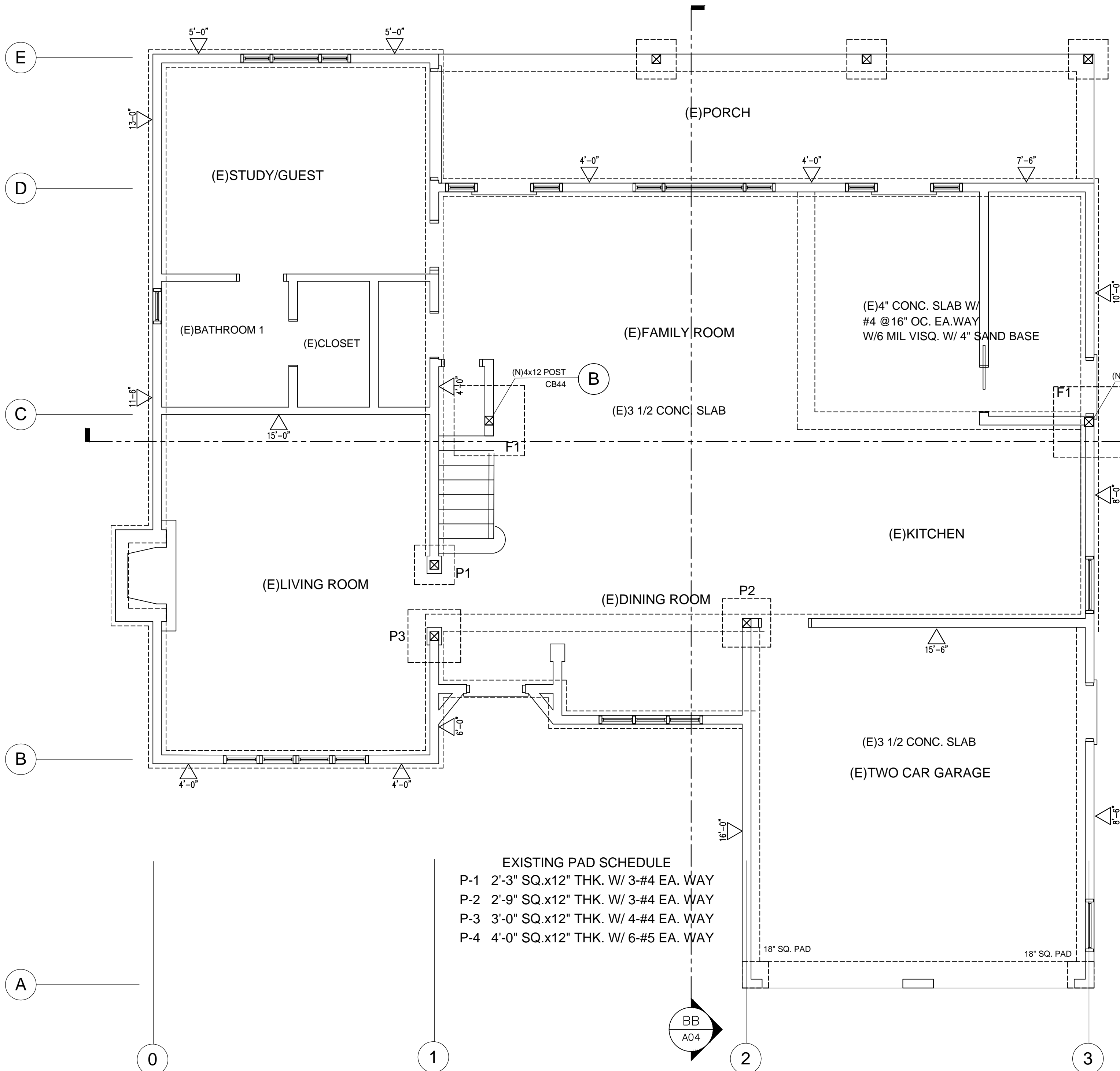
**A04**

02-05

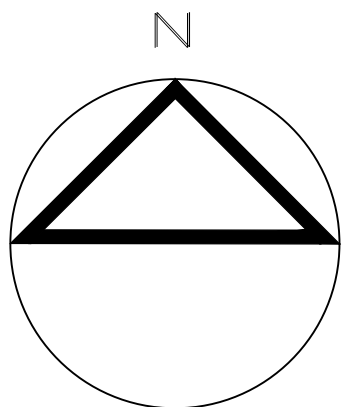
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE					
RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)					
Y	NA	RESPON PARTY		Y	NA RESPON PARTY
			<b>CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL</b>		
			<b>301.1 SCOPE.</b> Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.		
			<b>301.1.1 Additions and alterations. [HCD]</b> The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.		
			The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.106.4.3 for application.		
			<b>Note:</b> Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing lighting fixtures are not considered alterations for the purpose of this section.		
			<b>Note:</b> On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.		
			<b>301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD]</b> The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.		
			<b>SECTION 302 MIXED OCCUPANCY BUILDINGS</b>		
			<b>302.1 MIXED OCCUPANCY BUILDINGS.</b> In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. <b>Exceptions:</b> 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall comply with Chapter 4 and Appendix A4, as applicable. 2. [HCD] For purposes of CALGreen, livework units, complying with Section 419 of the California Building Code, shall not be considered mixed occupancies. LiveWork units shall comply with Chapter 4 and Appendix A4, as applicable.		
			<b>DIVISION 4.1 PLANNING AND DESIGN</b>		
			<b>ABBREVIATION DEFINITIONS:</b> HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety CSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New		
			<b>CHAPTER 4 RESIDENTIAL MANDATORY MEASURES</b>		
			<b>SECTION 4.102 DEFINITIONS</b> <b>4.102.1 DEFINITIONS</b> The following terms are defined in Chapter 2 (and are included here for reference) <b>FRENCH DRAIN.</b> A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. <b>WATTLES.</b> Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material straped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls. <b>4.106 SITE DEVELOPMENT</b> <b>4.106.1 GENERAL.</b> Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section. <b>4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION.</b> Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency. 3. Compliance with a lawfully enacted storm water management ordinance. <b>Note:</b> Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html) <b>4.106.3 GRADING AND PAVING.</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: 1. Swales 2. Water collection and disposal systems 3. French drains 4. Water retention gardens 5. Other water measures which keep surface water away from buildings and aid in groundwater recharge. <b>Exception:</b> Additions and alterations not altering the drainage path. <b>4.106.4 Electric vehicle (EV) charging for new construction.</b> New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. <b>Exceptions:</b> 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate power. 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional local utility infrastructure design requirements, directly related to the implementation of Section 4.106.4, may adversely impact the construction cost of the project. 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities. <b>4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages.</b> For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. <b>Exception:</b> A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in accordance with the California Electrical Code. <b>4.106.4.1.1 Identification.</b> The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".		
			<b>4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities.</b> When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging space shall count as at least one standard automobile parking space only for the purpose of complying with any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 for further details. <b>4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less than 20 sleeping units or guest rooms.</b> The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section. <b>1.EV Capable.</b> Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. <b>Exceptions:</b> 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of EV capable spaces. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. <b>Notes:</b> a.Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. <b>2.EV Ready.</b> Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. <b>Exception:</b> Areas of parking facilities served by parking lifts. <b>4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms.</b> The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to this section. <b>1.EV Capable.</b> Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at a minimum of 40 amperes. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. <b>Exception:</b> When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed over the five (5) percent required. <b>Notes:</b> a.Construction documents shall show locations of future EV spaces. b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or EV chargers are installed for use. <b>2.EV Ready.</b> Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per dwelling unit when more than one parking space is provided for use by a single dwelling unit. <b>Exception:</b> Areas of parking facilities served by parking lifts. <b>3.EV Chargers.</b> Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. Where common use parking is provided, at least one EV charger shall be located in the common use parking area and shall be available for use by all residents or guests. <b>Note:</b> When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, an automatic load management system (ALMS) may be used to reduce the maximum required electrical capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical capacity to the required EV capable spaces. <b>4.106.4.2.2.1 Electric vehicle charging stations (EVCS).</b> Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1. <b>Exception:</b> Electric vehicle charging stations serving public accommodations, public housing, motels and hotels shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable requirements. <b>4.106.4.2.2.1.1 Location.</b> EVCS shall comply with at least one of the following options: 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2.The charging space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building. <b>Exception:</b> Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.1		



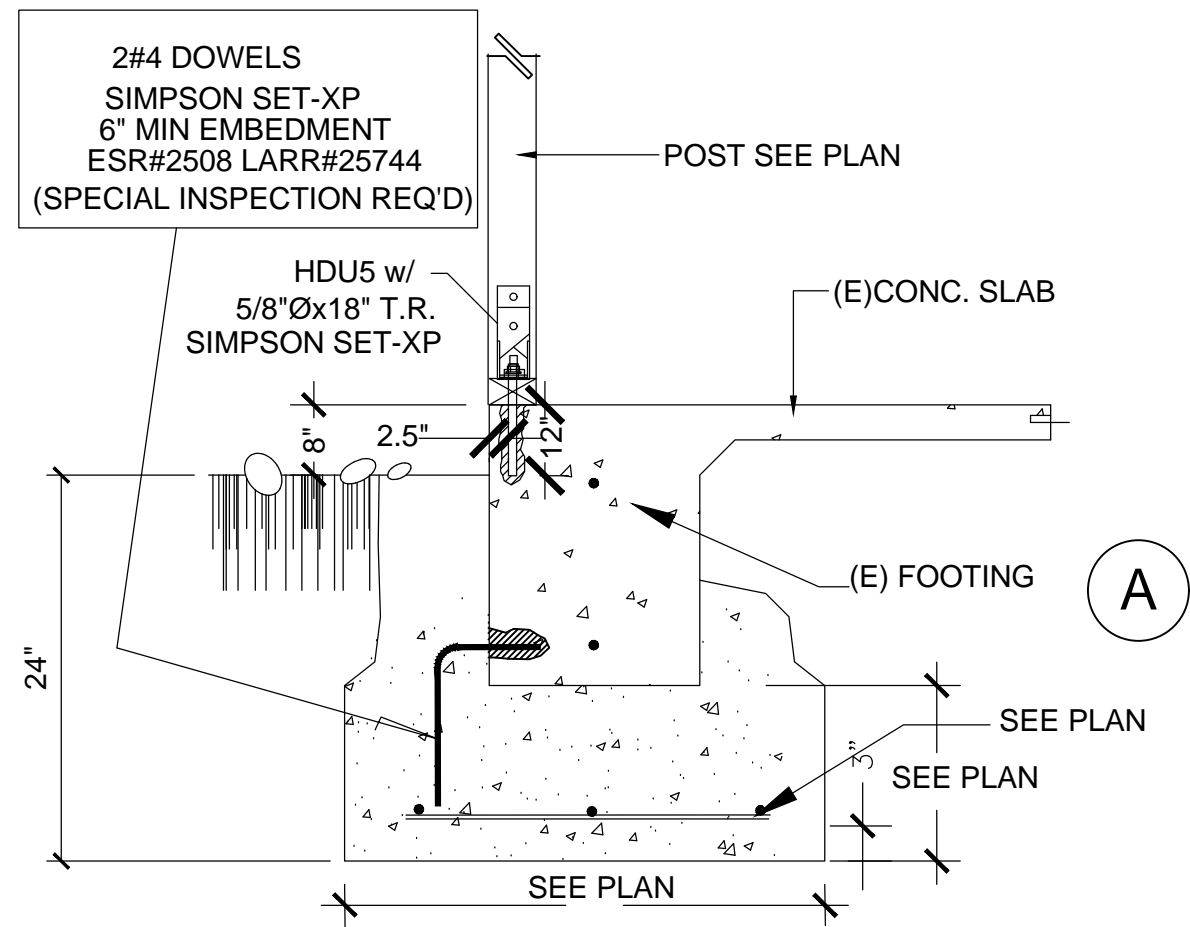




**Foundation Plan**  
Scale: 1/4" = 1'-0"



TYPE	SQ	DEEP	REINF
F <sub>1</sub>	4'-0"	24"	5 # 5 EA. WAY



LIVE LOADS:  
ROOF = 20 psf as per 2022 CBC table 1607 A.1  
CEILING = 10 psf as per 2022 CBC table 1607 A.1  
FLOOR = 40 psf as per 2022 CBC table 1607 A.1  
BALCONY = 60 or 100 psf as per 2022 CBC table 1607 A.1

FOUNDATIONS:  
Allowable soil bearing value = 1500 psf as per 2022 CBC table 1806.2

WIND:  
 $\lambda$  Kzt ps30  
 $P_s = 1.00 \times 1.00 \times 25.8 = 25.8$  psf (28.5-3)(Simplified procedure)  
 $\lambda = A$  as per table in Fig. 28.5-1 ASCE 7-16  
 $K_{zt} = 1.00$  as per ASCE 7-16 section 26.8.2

V=110 mph  
Exposure B  
pitch 4:12

	A	B	C	D	E	F	G	H
ps30	25.8	7.0	17.7	3.8	22.1	16.8	16.0	12.2

EARTHQUAKE:  
SS 1.602 MCER ground motion, (for 0.2 second period)  
S1 0.574 MCER ground motion, (for 1.0s period)  
SMS 1.923 Site-modified spectral acceleration value  
SM1 null -See Section 11.4.8 Site-modified spectral acceleration value  
SDS 1.282 Numeric seismic design value at 0.2 second SA  
SD1 null -See Section 11.4.8 Numeric seismic design value at 1.0 second SA

SEISMIC DESIGN CATEGORY = D  
SITE CLASS = D  
SEISMIC IMPORTANCE FACTOR = 1.0  
RISK CATEGORY = II  
BASIC SEISMIC FORCE RESISTING SYSTEM=LIGHT FRAMED WALLS  
DESIGN BASE SHEAR  $V = F_x S_d s W / R$   
Cs = N/A

F	Fa	Ss	P
V=1.1x2/3x1.20x1.602x1.3	6.50	6.50	6.50
	6.50	6.50	6.50

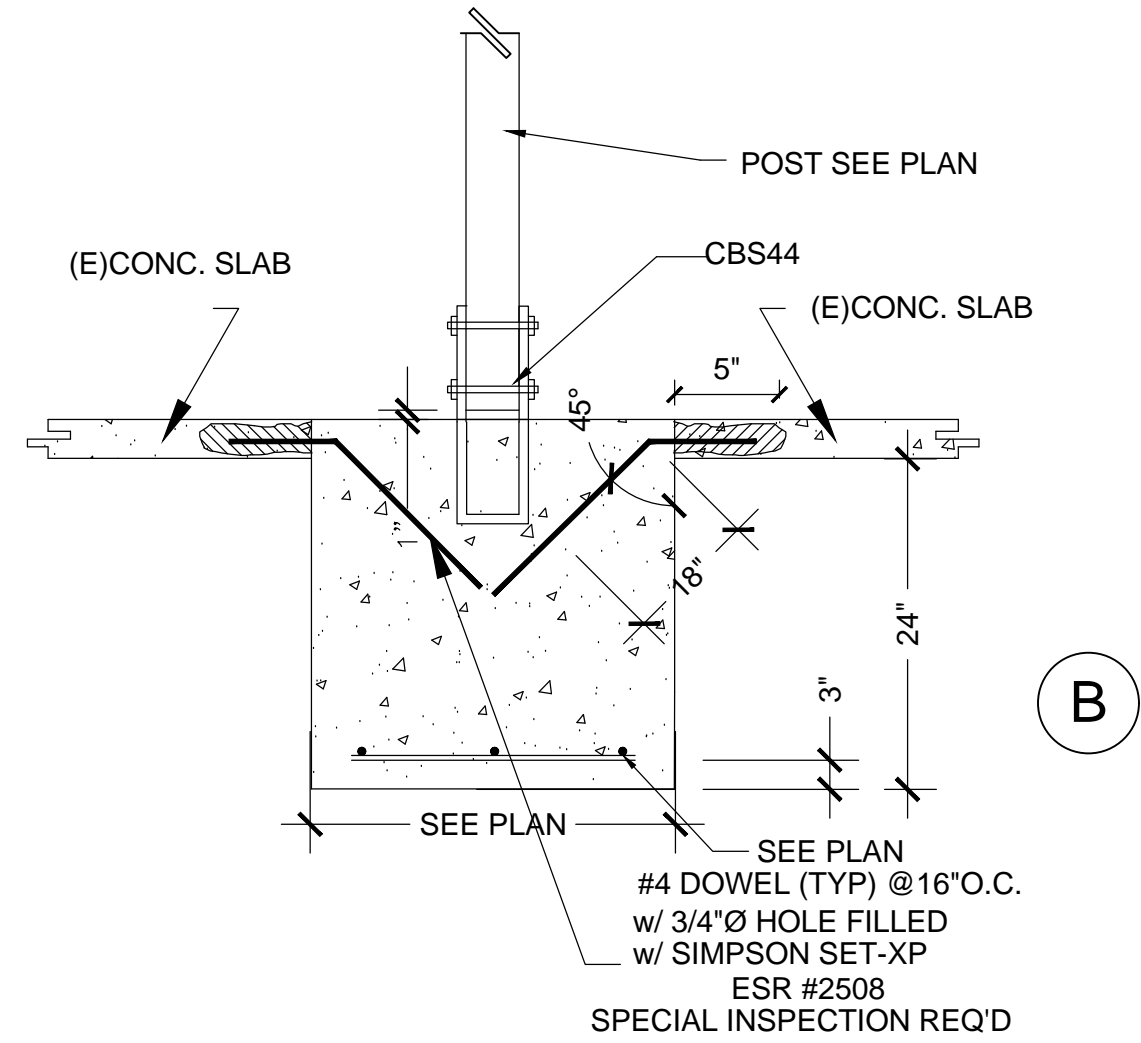
W = Building weight  
F = 1.1 for 2 story building as per ASCE 7-16 section 12.14.8.1  
Fa = 1.2  
R = 6.5 & J = 3.0 for wood shearwalls as per ASCE 7-16 TABLE 12.2-1  
 $\rho = 1.3$  as per requirements of ASCE 7-16 section 12.3.4.2

BASIC COMBINATION FOR STRENGTH DESIGN  
7. (0.9-0.2xsds) D + P QE + 1.6H

## DESIGN CRITERIA

TIMBER: DOC 2.0 DOUGLAS FIR LARCH ( PER GRADING RULES 16 )  
2" X 4" AND 4" X 4" STANDARD GRADE ( VERTICAL MEMBERS ) No 2 GRADE ( HORIZONTAL MEMBERS )  
2" X 6" AND LARGER .....No. 2 GRADE ( HORIZONTAL AND REPETIVE USES ) VERTICAL MEMBERS )  
4" X 6" AND LARGER .....No 1 GRADE (VERTICAL AND ( BEAMS AND STRINGERS) HORIZONTAL MEMBERS)  
2.0E PARALLAM PSL Headers & Beams :ESR-1387  
TIMBER: MAXIMUM MOISTURE CONTENT 19%

PLYWOOD: Doc PS-1or PS2 PER APA STANDARD. Pl. 32/16  
GLUE LAMINATED: 24-V4 DF/DF. PER AITC STANDARDS.  
Fb = 2400 PSI. Fv = 165 psi. W = 1,800,000  
STRUCTURAL STEEL: ASTM A-36 STEEL Per AISC STANDARDS  
PIPE AND TUBING GRADE B TYPE E OR TYPE S, ASTM A501  
WELDING: AWS-E70XX Per AMERICAN WELDING SOCIETY STANDARDS  
CONCRETE: ( STRENGTH @ 28 DAYS ) PER ACI 318 SPECIFICATIONS.  
FOUNDATIONS  $f_c = 2,500$  psi  
REINFORCING STEEL: ASTM A - 615 PER CRSI STANDARDS  
# 4 AND SMALLER GRADE 40  
# 5 AND LARGER GRADE 60  
SOIL: ALLOWABLE SOIL BEARING VALUE ( Fbrg ) = 1,500 PSF  
PER SOILS REPORT BY: 2022 CBC TABLE 1806.2



## STEEL NOTES:

- ALL WORK SHALL CONFORM TO MINIMUM STANDARDS OF 2022 CBC
- STRUCTURAL STEEL & CHEQUERED PL. SHALL CONFORM TO A.S.T.M. A.36 (FY. 36,000)STRUCTURAL PIPE SHALL CONFORM TO A.S.T.M. A.46 GRADE B (FY=46,000) LIGHT GAGE STEEL SHALL CONFORM TO A.S.T.M. A 570.70 GRACE B (FY. 42,000).
- ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS UNDER THE SUPERVISION OF A SPECIAL INSPECTOR OR IN THE SHOP OF AND APPROVED FABRICATOR
- ALL FIELD WELDS ARE DESIGNED FOR HALF STRESSES INSPECTION REQUIRED.
- ALL BOLTS, SHALL CONFORM TO A.S.T.M. A.307.
- CONCRETE FOR FOOTING SHALL BE STANDARD 2500 (FC = 2500 P.S.I.).
- DESIGN SOIL BEARING VALUE = 1500 PSF @ 24" DEEP AS PER TABLE 1806-2
- WELDING ELECTRODES SHALL BE AS FOLLOWS  
A. A.35 STL. AWS AS I.E. 70  
B. LT GA. STL. ASTM A 233 F.60
- A CERTIFICATION OF FABRICATION FROM THE SHOP PERFORMING THE WELDING OR A REPORT FROM THE SPECIAL INSPECTOR MUST BE FURNISHED TO THE BUILDING INSPECTOR PRIOR TO FRAMING APPROVAL

CITY OF PALOS VERDES ESTATES  
340 PALOS VERDES DRIVE WEST  
PALOS VERDES ESTATES CA 90274  
STRUCTURAL OBSERVATION REPORT FORM

### STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: \_\_\_\_\_ PERMIT APPL. NO.: \_\_\_\_\_  
Description of Work: \_\_\_\_\_  
Owner: \_\_\_\_\_ Architect: \_\_\_\_\_ Engineer: **MANUEL A. ESPINO**

STRUCTURAL OBSERVATION (only checked items are required)			
Firm or Individual to be responsible for the Structural Observation: Name: _____ Phone: ( ) _____ Calif. Registration: _____			
FOUNDATION	WALL	FRAME	DIAPHRAGM
<input type="checkbox"/> Footing, Stem Walls, Piers	<input type="checkbox"/> Concrete	<input type="checkbox"/> Steel Moment Frame	<input type="checkbox"/> Concrete
<input type="checkbox"/> Mat Foundation	<input type="checkbox"/> Masonry	<input type="checkbox"/> Steel Braced Frame	<input type="checkbox"/> Steel Deck
<input type="checkbox"/> Caisson, Piles, Grade Beams	<input type="checkbox"/> Wood	<input type="checkbox"/> Concrete Moment Frame	<input type="checkbox"/> Wood
<input type="checkbox"/> Stepp g/Retain g Foundation, Hillside Special Anchors	<input type="checkbox"/> Others:	<input type="checkbox"/> Masonry Wall Frame	<input type="checkbox"/> Others:
<input type="checkbox"/> Others:		<input checked="" type="checkbox"/> Others: Steel Beam & Wood Posts	

#### DECLARATION BY OWNER

I, the Owner of the project, declare that the above listed firm or individual is hired **by me** to be the Structural Observer.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**DECLARATION BY ARCHITECT OR ENGINEER OF RECORD** (required if the Structural Observer is different from the Architect or Engineer of Record)

I, the Architect or Engineer of record for the project, declare that the above listed firm or individual is designated by me to be responsible for the Structural Observation.

Signature: **M Espino** License No. 055526 Date: \_\_\_\_\_



**MIGUEL A. RODRIGUEZ**  
CAD SPECIALIST  
INTL. ASSC. AIA  
RESIDENTIAL &  
COMMERCIAL DESIGN  
RENDER - 3D DESIGN

830 FEATHER AVENUE, LA PUENTE, CA 91746  
TEL: (626) 482-5689 - mig12te16@gmail.com

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ENGINEER: **Manuel A. Espino**  
CIVIL ENGINEER RCE 55526  
12109 Woodruff Ave. \* Downey, CA 90241  
(323) 379-6216 (562) 622-6927



OWNER: \_\_\_\_\_

PROJECT: **CHANGE EXISTING I-BEAM AND REMOVE EXISTING WALL WITH INTERIOR REMODEL ON EXISTING TWO STORY SINGLE FAMILY RESIDENCE**

PROJECT ADDRESS: \_\_\_\_\_

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE:

**FOUNDATION PLAN  
STRUCTURAL DETAILS  
STRUCTURAL NOTES**

PROJECT NO:

**10062023**

DATE

**10/06/2023**

SHEET NO:

**S1**

02-02

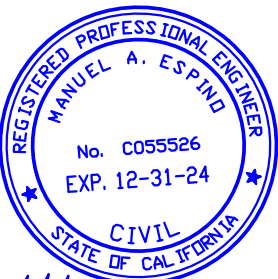


MIGUEL A. RODRIGUEZ  
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ENGINEER: **Manuel A. Espino**  
CIVIL ENGINEER RCE 55526  
12109 Woodruff Ave. \* Downey, CA 90241  
(323) 379-6216 (562) 622-6927



OWNER: *M. Espino*

PROJECT: **CHANGE EXISTING I-BEAM AND REMOVE EXISTING WALL WITH INTERIOR REMODEL ON EXISTING TWO STORY SINGLE FAMILY RESIDENCE**

PROJECT ADDRESS:

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE:

**FLOOR FRAMING PLAN  
STRUCTURAL DETAILS**

PROJECT NO:

**10062023**

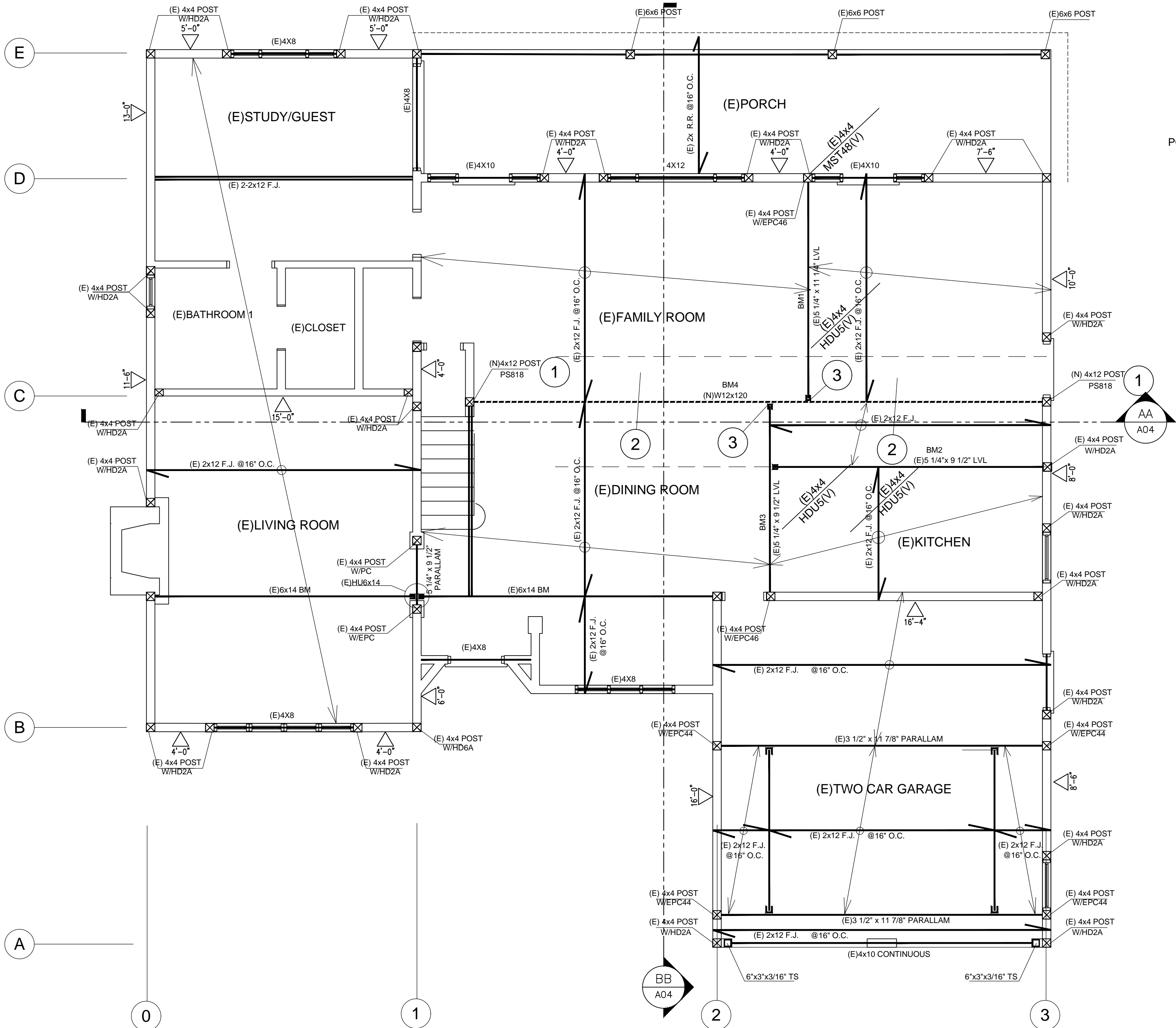
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**10/06/2023**

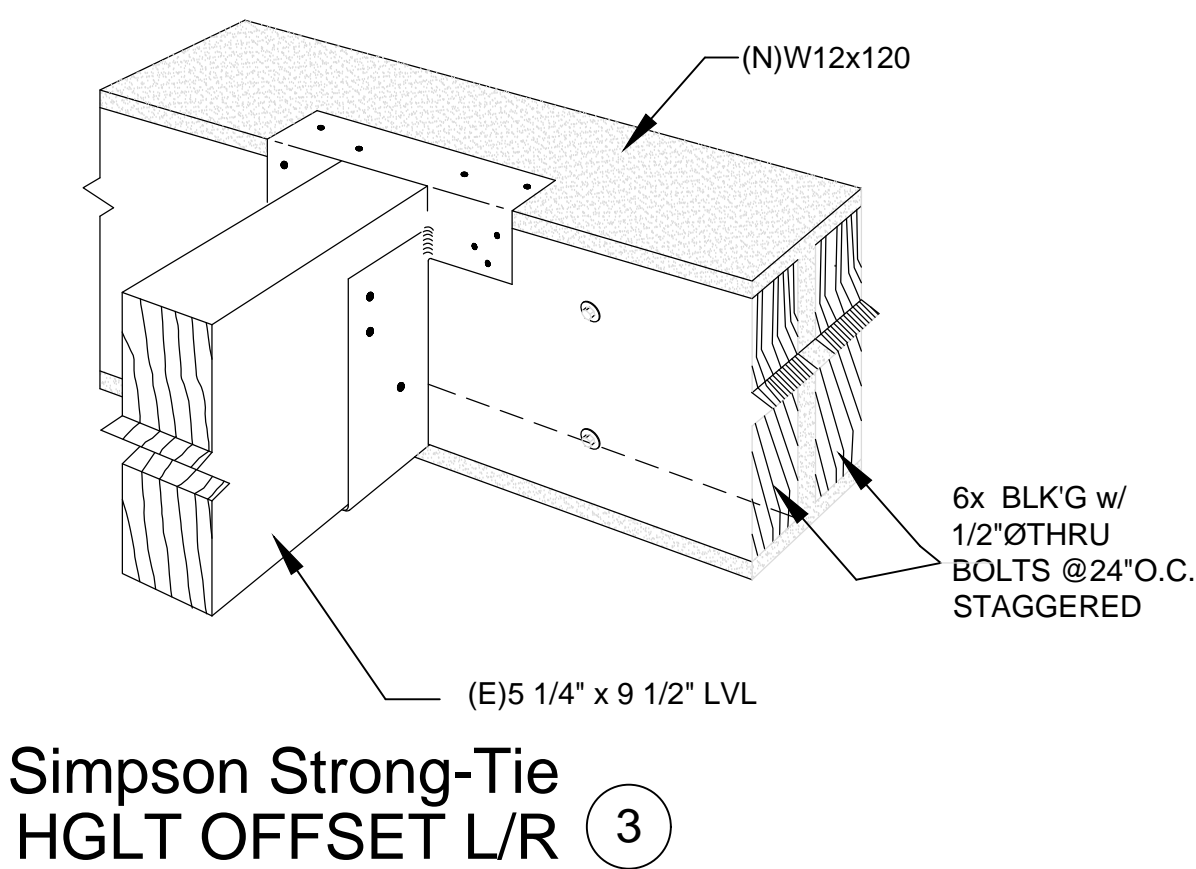
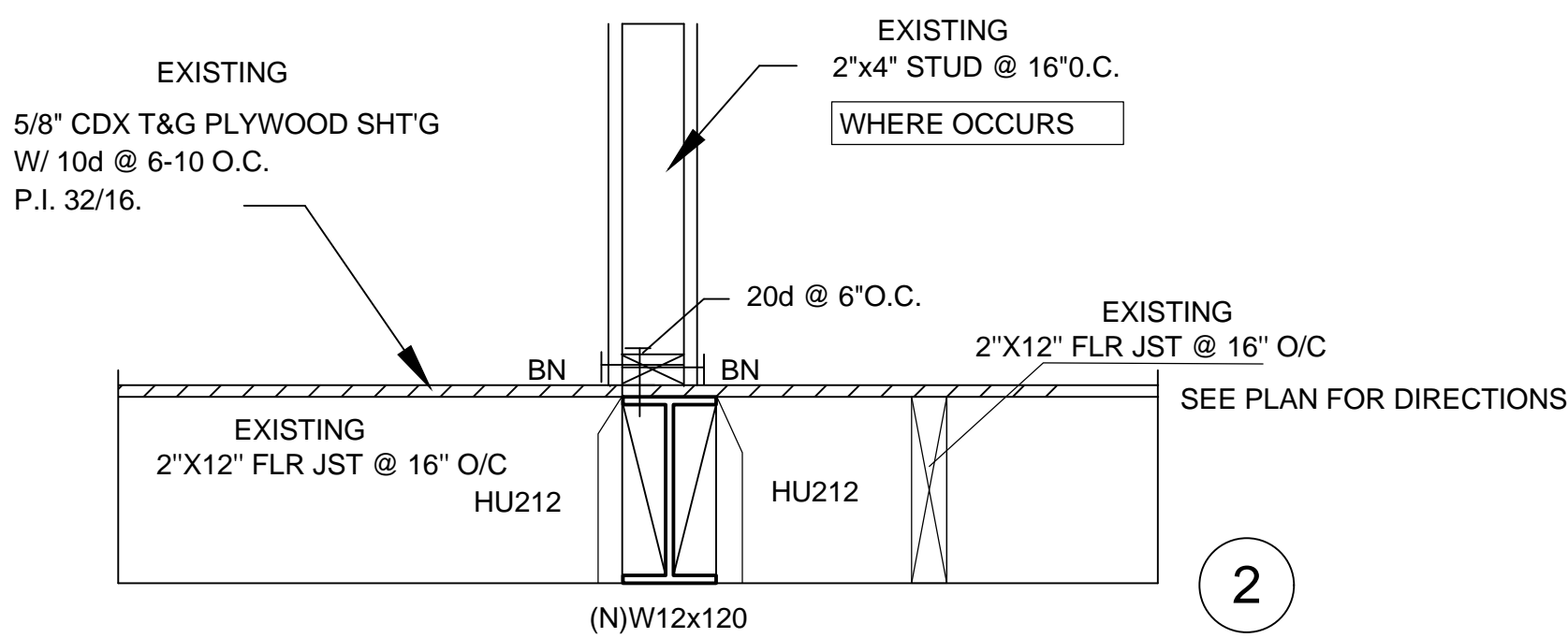
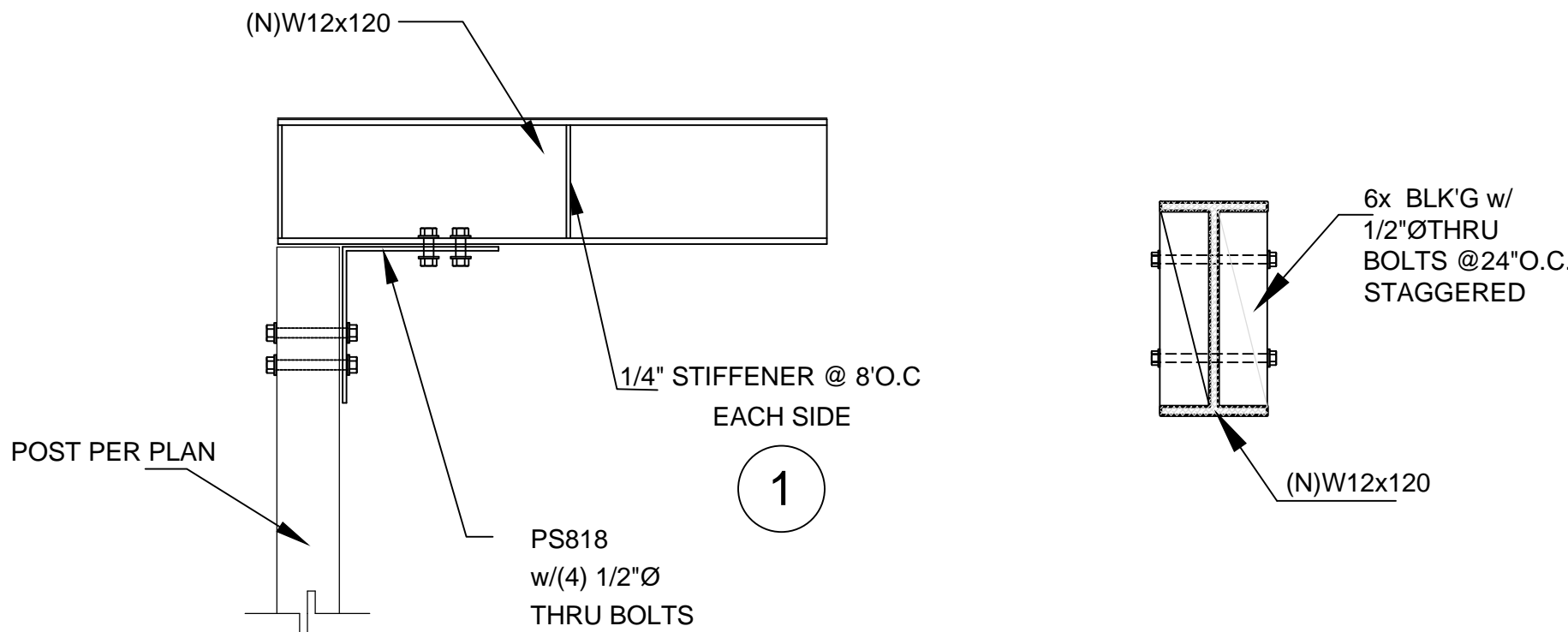
SHEET NO:

**S-2**

02-03



**Floor Framing Plan**  
Scale: 1/4" = 1'-0"





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**PROJECT:**  
CHANGE EXISTING I-BEAM AND  
REMOVE EXISTING WALL WITH  
INTERIOR REMODEL ON EXISTING  
TWO STORY SINGLE FAMILY RESIDENCE

**PROJECT ADDRESS:**

REVISION		
NO.	DATE:	DESCRIPTION:

## ROOF FRAMING PLAN

PROJECT NO:

0062023

DATE \_\_\_\_\_

0/06/2023

SHEET NO:

# S-3

3-03

