NEW ONE STORY ADDITION AND INTERIOR REMODEL WITH 02 CAR GARAGE

ABBREVIATION LIST

ANCHOR BOLT

ASPHALT CONCRETE

AIR CONDITIONING

AND

ACOUST, ACOUSTICAL

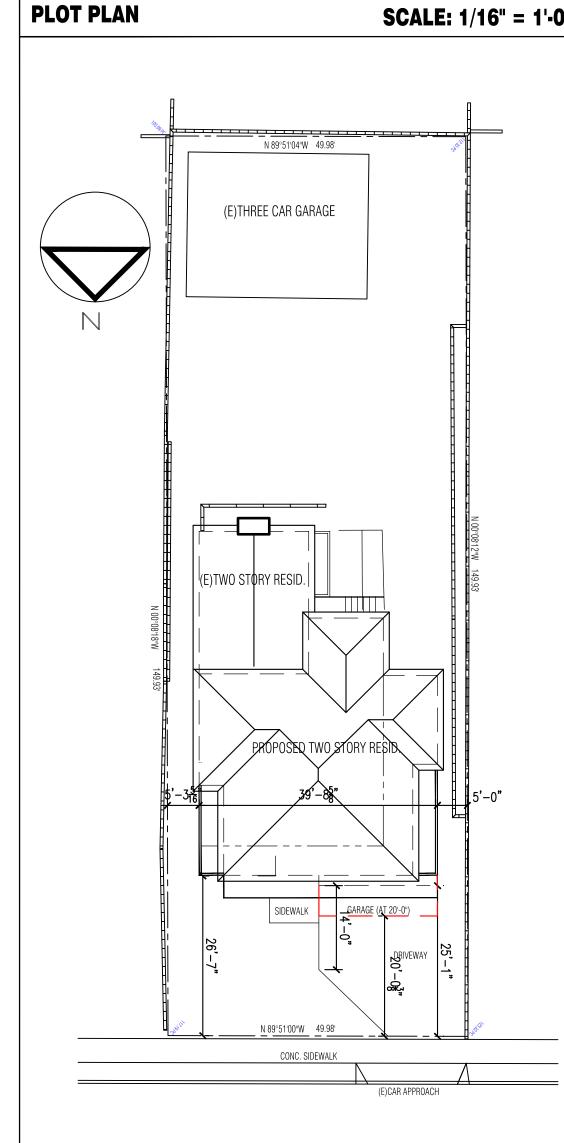
EQUIP. EQUIPMENT

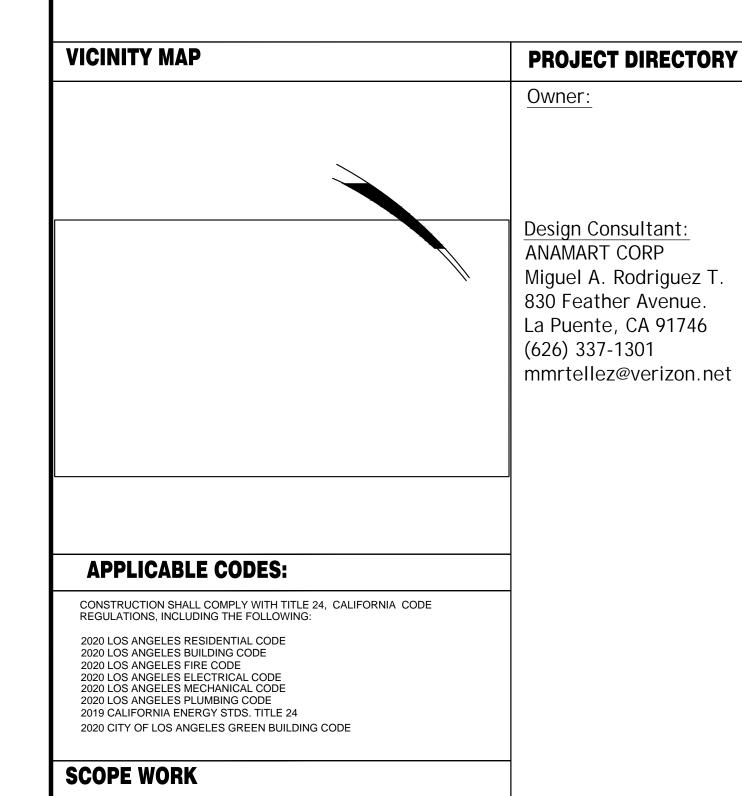
3,194.55 SQ. FT.

EACH WAY

EXPANSION

EXTERIOR





NEW ONE STORY ADDITION

AND INTERIOR REMODEL WITH 02 CAR GARAGE

CODE SUMMARY				
PROPERTY INFORMATION:				
SITE ADDRESS: PROPERTY TYPE: RESIDENTIAL STORIES: 02 STORY ZONING: R1 OCCUPANCIES: R3 SINGLE FAMILY DWELLING CONSTRUCTION TYPE: VB MAXIMUM HEIGHT PER CALCULATION: 140.49' MAX. 112.35 + 105.09 + 117.19 + 123.32 = 457.95				
LEGAL DESCRIPTION	:			
LOT / PARCEL AREA		2,994.80 SQ. FT.		
ASSESSOR'S PARCEL NUM	IBER:	4167-005-003		
LEGAL DESCRIPTION: REDON!		/ILLA TRACT B		
	LOT 2	BLK 35		

LOT / PARCEL AREA	2,994.00 SQ	. г.			
ASSESSOR'S PARCEL NUMBER: 4167-005-003					
LEGAL DESCRIPTION: REDONDO	O VILLA TRACT B				
LOT 2	BL	< 35			
PROJECT DATA A					
	ZONING FLOOR AREA	LIVING CONVERTED TO GARAGE			
EXISTING UNIT	1958.00 SQ. FT.	172.35 SQ. FT.	1785.00 SQ. FT.	4 000 00 00 FT	
NEW ADDITION TO FIRST FLOOR	75.25 SQ. FT.		75.25 SQ. FT.	1,860.90 SQ. FT.	
NEW ADDITION TO SECOND FLOOR	1,304.25 SQ. FT.			1,304.25 SQ. FT.	
NEW TWO CAR GARAGE	441.00 SQ. FT.				
NEW DECK AREA	175.82 SQ. FT.				
EXISTING THREE CAR GARAGE	726.60 SQ. FT.				
TOTAL AREA:				3,165.15 SQ. FT.	
PROJEC	T DATA B				
	ZONING FLOOR AREA	LIVING CONVERTED TO GARAGE			
EXISTING UNIT	1958.00 SQ. FT.	172.35 SQ. FT.	1785.00 SQ. FT.	1,864.77 SQ. FT.	
NEW ADDITION TO FIRST FLOOR	79.77 SQ. FT.		79.77 SQ. FT.		
NEW ADDITION TO SECOND FLOOR	1,329.78 SQ. FT.			1,329.78 SQ. FT.	
NEW TWO CAR GARAGE	441.00 SQ. FT.				
NEW DECK AREA	133.73 SQ. FT.				

67.05 SQ. FT.

175.82 SQ. FT.

NEW STORAGE AREA

TOTAL AREA:

EXISTING THREE CAR GARAGE

	ACOUST,	ACOUSTICAL	F.E.	FIRE EXTINGUISHER	N.1.5.	NOT TO SCALE
	ADJ.	ADJUSTABLE	F.H.W,S.	FLAT HEAD WOOD		0
	A. F. F.	ABOVE FINISH FLOOR		SCREW	O.C.	ON CENTER
	ALUM.	ALUMINUM	FIN,	FINISH	O.D.	OUTSIDE DIAMETER
	APPROX,	APPROXIMATE	F.L.	FLOW LINE	O.H.	OVERHEAD OR
	ARCH.	ARCHITEC(URAL)	FLR.	FLOOR	OPNG.	OPENING
	/ " (0 / 11	,	FLS'G	FLASHING	OPNG. OPP.	OPPOSITE
	l	B;	FLUOR.	FLUORESCENT		
	BD.	BOARD	F.O.C.	FACE OF CONCRETE	O/	OVER
	BLDG.	BUILDING	F.O.F.			Р
	BLK.	BLOCK	F.O.M.	FACE OF MASONRY	RL.	PROPERTY LINE
	BLKG.	BLOCKING	ROW.	FACE OF WALL	P.LAM.	PLASTIC LAMINATE
	BM.	BEAM	F.P.	FIREPROOF	PLYWD.	PLYWOOD
•	B.M.	BENCH MARK	F.R.P.	FIBERGLASS	P.M.	PRESSED METAL
	ВТТМ.	BOTTOM		REINFORCED PANEL	P.M.F.	RRESSED METAL FRAM
•	B.U.R.	BUILT UP ROOFING	EOS	FACE OF STUD	PNL.	PANEL
		C;	F.S.D.	FIRE SMOKE DAMPER	P.O.C.	POINT OF CONNECTION
	C.I.	CAST IRON	FT.	FOOT OR FEET	PR.	PAIR
	C.J.	CONSTRUCTION JOINT	FTG.	FOOTING	PROP.	PROPERTY
	CLF.	CHAIN LINK FENCE	F.V.	FIELD VERIFY	P.S.F.	POUNDS PER SOUARE
	CLG.	CEILING	1 . V .	TILLE VEINI T	1 .0.1 .	FOOT
	CLC.	CLEAR		G	P.S.I.	POUNDS PER SOUARE
	CLKG.	CAULKING	GA.	GAUGE	1 .0.1.	INCH
	CNTR.	COUNTER	GALV.	GALVANIZED	P.T.	PRESSURE TREATED
	C.O.	CLEAN OUT	G.C.	GENERAL CONTRACTOR	Г.І.	
	COL.	COLUMN	G.I.	GALVANIZED IRON		Q-R
	COL.	CONCRETE	GLU-LAM	GLUE LAMINATE	Q.T.	QUARRY TILE
	CONC.	CONCRETE	GND.	GROUND	RAD.	RADIUS
	COND.	CONSTRUCTION	GYP. BD.	GYPSUM WALLBOARD	R.D.	ROOF DRAIN
				Н	R.E.	RIM ELEVATION
	CONT.	CONTINUOUS	H.B.	HOSE BIB	REBAR	REINFORCING BAR
	C.O.T.G.	CLEAN OUT TO GRADE	H.C.	HOLLOW CORE	REF.	REFERENCE
	CTOK		HDWD.	HARDWOOD	REQ'D.	REQUIRED
	CTSK.	COUNTERSUNK	HDBD,	HARDBOARD	RM.	ROOM
		D:	HDWE.	HARDWARE	R.O.	ROUGH OPENING
	DBL.	DOUBLE	H.M.	HOLLOW METAL	RWD.	REDWOOD
	D.F.	DRINKING FOUNTAIN	HORIZ.	HORIZONTAL	R.W.L.	RAIN WATER LEADER
	DEPT.	DEPARTMENT	HR.	HOUR		S
	DTL.	DETAIL	HT.	HEIGHT	C	SOUTH
	D.I.	DROP INLET	111.	TILIGITI	S. S.D.	
	DIAG.	DIAGONAL		I - J - K - L	S.D. S.C.	STORM DRAIN SOLID CORE
	DIM.	DIMENSION	I.D.	INSIDE DIAMETER	S.C. SCHED.	SCHEDULE
	DN.	DOWN	I.E.	INVERT ELEVATION	SECT.	
	DR.	DOOR	ISA	INTERNATIONAL SYMBOL	SECT. SHT.	SECTION SHEET
	D.S.	DOWN SPOUT		OF ACCESSIBILITY	SHT. SHTG.	
	D.S.P.	DRY STANDPIPE	INSUL.	INSULATION		SHEATHING
	DWG.	DRAWING	LAV.	LAVATORY	SIM.	SIMILAR SHEET METAL
			LT.	LIGHT	S.M.	SHEET METAL SHEET METAL SCREW
		E			S.M.S.	
	E	EAST		M	SPEC'S	SPECIFICATIONS
	(E)	EXISTING	MAX.	MAXIMUM	SQ.	SQUARE
	EA.	EACH	MECH.	MECHANICAL	S.STL.	STAINLESS STEEL
	E.F.	EXHAUST FAN	MEMB.	MEMBRANE	STD,	STANDARD
	E.J.	EXPANSION JOINT	MFR.	MANUFACTURER	STL.	STEEL
	ELEC.	ELECTRICAL	M.H.	MANHOLE	STRUCT.	STRUCTURAL
	ELEV.	ELEVATION	MIN.	MINIMUM	S,T,S,M,S.	SELF TAPPING SHEET
	EQ.	EQUAL	M.I.	MALLEABLE IRON	0.0	METAL SCREW
	Leous	FOLUDIATION	MICC	MICCELLANIECLIC	SS	SANITARY SEWER

MISCELLANEOUS

METAL

MASONRY OPENING

M.O.

MTL.

FIRE ALARM

FLOOR DRAIN

FOUNDATION

FINISH FACE

FIRE EXTINGUISHER

FDN.

NEW

N.T.S.

S.S. SUSP.

SYM.

SANITARY SEWER

SUSPENDED

SYMMETRICAL

NOMINAL

NOT IN CONTRACT

NOT TO SCALE

		_	
SIMBOLS LE	GEND		
4 4 A	CONCRETE	*	SECTION NUMBER
4 *		A-*	SHEET WHERE SECTION IS DRAWN
	CONCRETE BLOCK	*	DETAIL NUMBER
	A.C. PAVING	A-*	SHEET WHERE SECTION IS DRAWN
	CERAMIC TILE *		LOCATION NUMBER
	OR BRICK *	SHEET WHERE ENLARGE PLAN IS DRAWN	
	SAND MORTAR	*	ELEVATION NUMBER
	OR PLASTER	A-*	SHEET WHERE ELEVATION IS DRAWN
	AGGREGATE	X	EQUIPMENT NUMBER
	EARTH	*	PARTITION TYPE
	METAL	000	KEYNOTE
	PLYWOOD	1	REVISION NUMBER
	GYPSUM BOARD		
	WOOD FRAMING (CONT. MEMBER)		MATCH LINE
	WOOD FRAMING (BLOCKING)	4	DATUM, WORK OR
	WOOD MEMBER	~	CONTROL NUMBER
	(FINISHED)	/	ANGLE
	INSULATION		
*	ROOM NUMBER	Ø	DIAMETER OR ROUND

WINDOW TYPE

DOOR NUMBER

GRID CENTER

LINE / NUMBER

GRID LINE / NUMBER

PERPENDICULAR

CENTERLINE

PLATE OR

PROPERTY LINE

POUND OR NUMBER

THERMOSTAT

TONGUE & GROOVE

TOP OF CURB

TELEPHONE

TOP OF WALL

TYPICAL

TOP OF PAVING

UNLESS NOTED OTHERWISE

UNFINISHED

VERTICAL

WATER HEATER

WATER RESISTANT

WELDED WIRE FABRIC

WATERPROOF

MEMBRANE WITHOUT

WEIGHT

WEST WITH WOOD

STRUCTURAL TUBE

VINYL COMPOSITION

TEMPERATURE TOP OF CONCRETE

TOP OF FRAMING TOP OE STEEL

T&G

TEMP. T.O.C. T.O.F. T.O.S.

T.O.W.

TYP.

U.N.O.

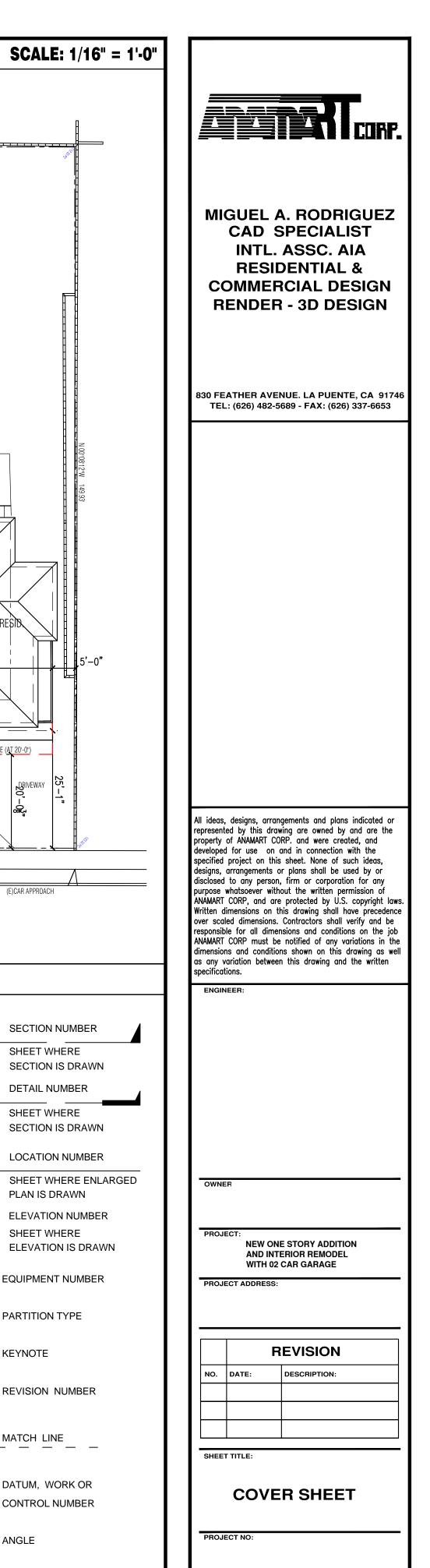
VERT.

WD.

W.H.

W.M.

W.W.F.



07162023

07/16/2023

01-04

