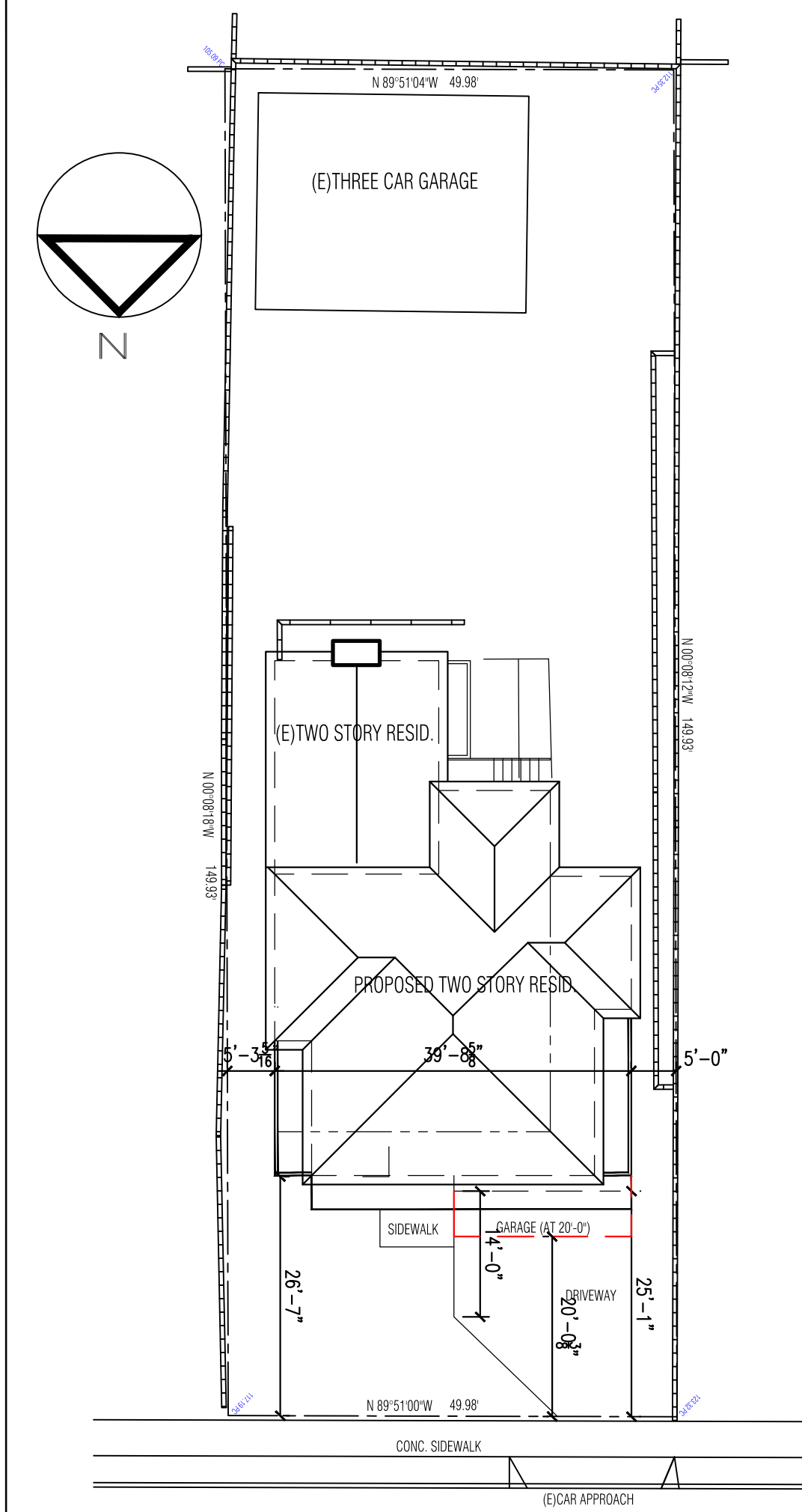


# NEW ONE STORY ADDITION AND INTERIOR REMODEL WITH 02 CAR GARAGE

## PLOT PLAN

**SCALE: 1/16" = 1'-0"**



**MIGUEL A. RODRIGUEZ**  
CAD SPECIALIST  
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RESIDENTIAL &  
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330 FEATHER AVENUE. LA PUENTE, CA 9174  
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**ENGINEER:**

OWNER

**PROJECT:**  
NEW ONE STORY ADDITION  
AND INTERIOR REMODEL  
WITH 02 CAR GARAGE

**PROJECT ADDRESS:**

	<b>REVISION</b>	
<b>NO.</b>	<b>DATE:</b>	<b>DESCRIPTION:</b>

**SHEET TITLE:**

# COVER SHEET

PROJECT NO. \_\_\_\_\_

07162023

DATE \_\_\_\_\_

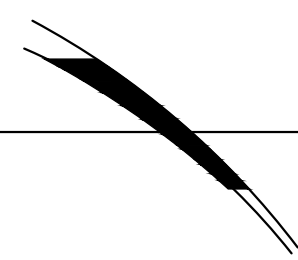
07/16/2023

NO:

# T.1

**01-04**

### VICINITY MAP



## PROJECT DIRECTORY

Owner:

Design Consultant:  
ANAMART CORP  
Miguel A. Rodriguez T.  
830 Feather Avenue.  
La Puente, CA 91746  
(626) 337-1301  
mmrtellez@verizon.net

## CODE SUMMARY

## PROPERTY INFORMATION

PROPERTY TYPE: RESIDENTIAL  
STORIES: 02 STORY  
ZONING: R1  
OCCUPANCIES: R3 SINGLE FAMILY DWELLING

CONSTRUCTION TYPE: VB

MAXIMUM HEIGHT PER CALCULATION: 140.49' MAX.

$112.35 + 105.09 + 117.19 + 123.32 = 457.95$  4PC AVERAGE

$457.95 / 4 = 114.49$  (AVERAGE) + 26 (HEIGHT) = 140.49 MAX. HEIGHT

## LEGAL DESCRIPTION

LOT / PARCEL AREA	2,994.80	SQ. FT.
ASSESSOR'S PARCEL NUMBER:	4167-005-003	
LEGAL DESCRIPTION:	REDONDO VILLA TRACT B	
	LOT 2	BLK 35

## PROJECT DATA A

	ZONING FLOOR AREA	LIVING CONVERTED TO GARAGE		
EXISTING UNIT	1958.00 SQ. FT.	172.35 SQ. FT.	1785.00 SQ. FT.	
NEW ADDITION TO FIRST FLOOR	75.25 SQ. FT.		75.25 SQ. FT.	1,860.90 SQ. FT.
NEW ADDITION TO SECOND FLOOR	1,304.25 SQ. FT.			1,304.25 SQ. FT.
NEW TWO CAR GARAGE	441.00 SQ. FT.			
NEW DECK AREA	175.82 SQ. FT.			
EXISTING THREE CAR GARAGE	726.60 SQ. FT.			
TOTAL AREA:				3,165.15 SQ. FT.

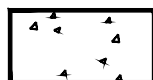
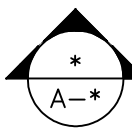






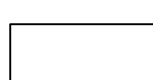




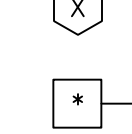
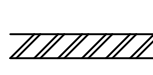
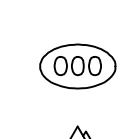
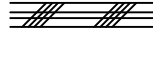



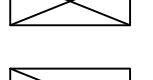

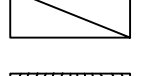



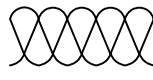

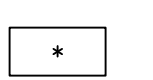



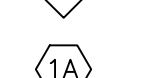






## PROJECT DATA B

	ZONING FLOOR AREA	LIVING CONVERTED TO GARAGE		
EXISTING UNIT	1958.00 SQ. FT.	172.35 SQ. FT.	1785.00 SQ. FT.	
NEW ADDITION TO FIRST FLOOR	79.77 SQ. FT.		79.77 SQ. FT.	1,864.77 SQ. FT.
NEW ADDITION TO SECOND FLOOR	1,329.78 SQ. FT.			1,329.78 SQ. FT.
NEW TWO CAR GARAGE	441.00 SQ. FT.			
NEW DECK AREA	133.73 SQ. FT.			
NEW STORAGE AREA	67.05 SQ. FT.			
EXISTING THREE CAR GARAGE	175.82 SQ. FT.			
TOTAL AREA:				3,194.55 SQ. FT.

## ABBREVIATION LIST

[illegible]

## SIMBOLS LEGEND

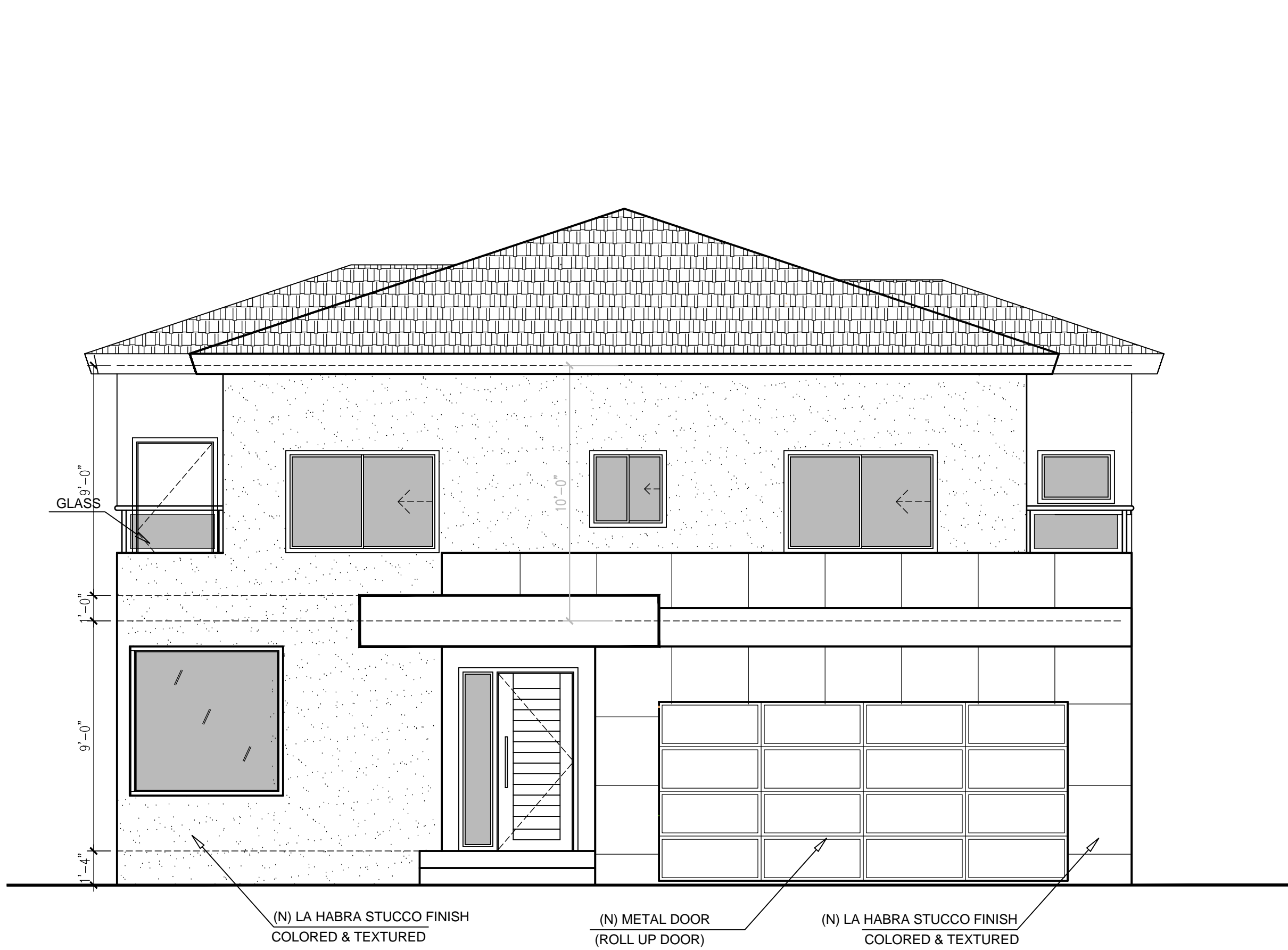
	CONCRETE		SECTION NUMBER
	CONCRETE BLOCK		SHEET WHERE SECTION IS DRAWN
	A.C. PAVING		DETAIL NUMBER
	CERAMIC TILE OR BRICK		SHEET WHERE SECTION IS DRAWN
	SAND MORTAR OR PLASTER		LOCATION NUMBER
	AGGREGATE		SHEET WHERE ENLARGED PLAN IS DRAWN
	EARTH		ELEVATION NUMBER
	METAL		SHEET WHERE ELEVATION IS DRAWN
	PLYWOOD		EQUIPMENT NUMBER
	GYPSUM BOARD		PARTITION TYPE
	WOOD FRAMING (CONT. MEMBER)		KEYNOTE
	WOOD FRAMING (BLOCKING)		REVISION NUMBER
	WOOD MEMBER (FINISHED)		MATCH LINE
	INSULATION		DATUM, WORK OR CONTROL NUMBER
	ROOM NUMBER		ANGLE
	WINDOW TYPE		DIAMETER OR ROUND
	DOOR NUMBER		PERPENDICULAR
	GRID LINE / NUMBER		POUND OR NUMBER
	GRID CENTER LINE / NUMBER		CENTERLINE
			PLATE OR PROPERTY LINE





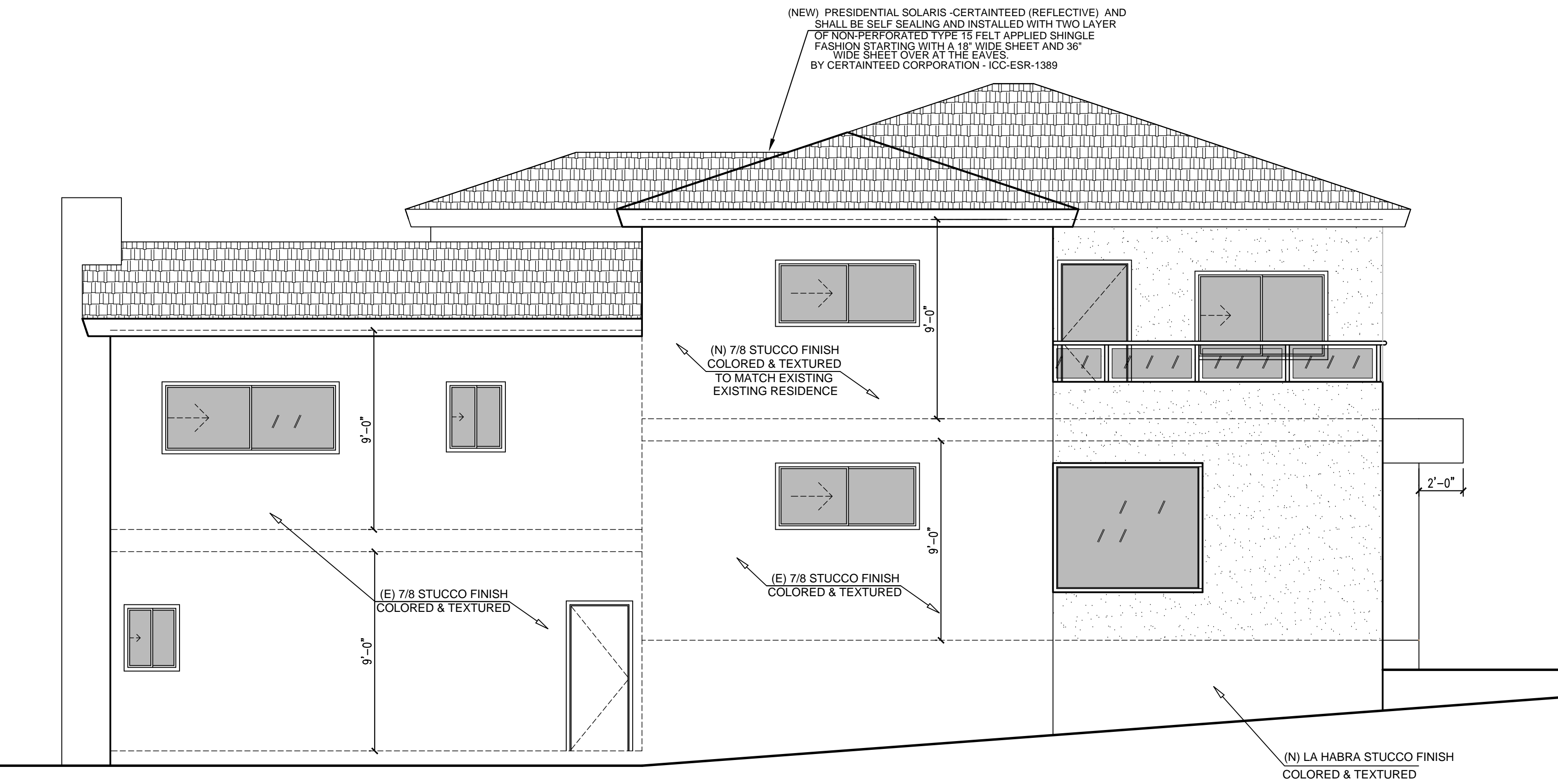
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



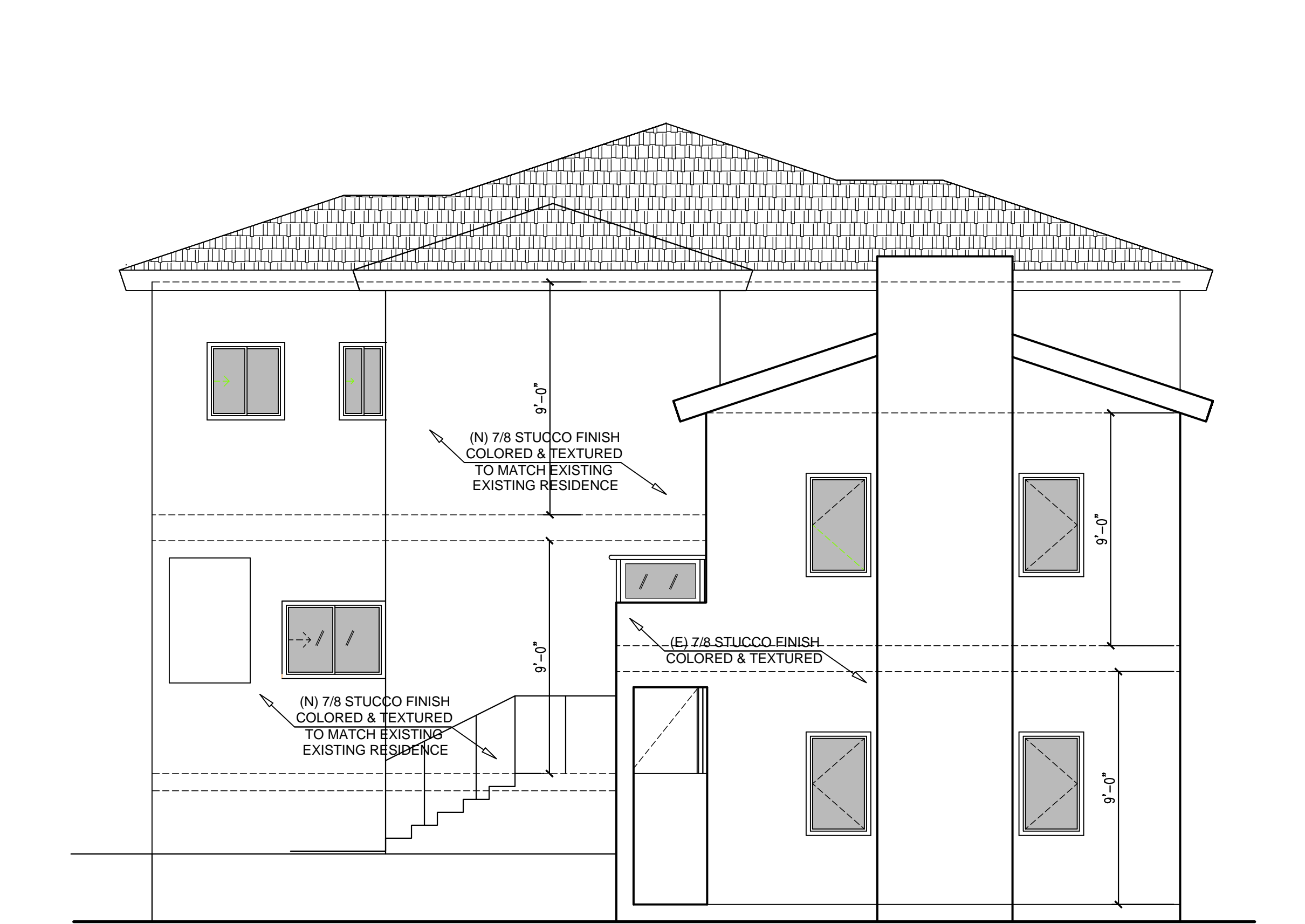
EAST ELEVATION

SCALE: 1/4" = 1'-0"



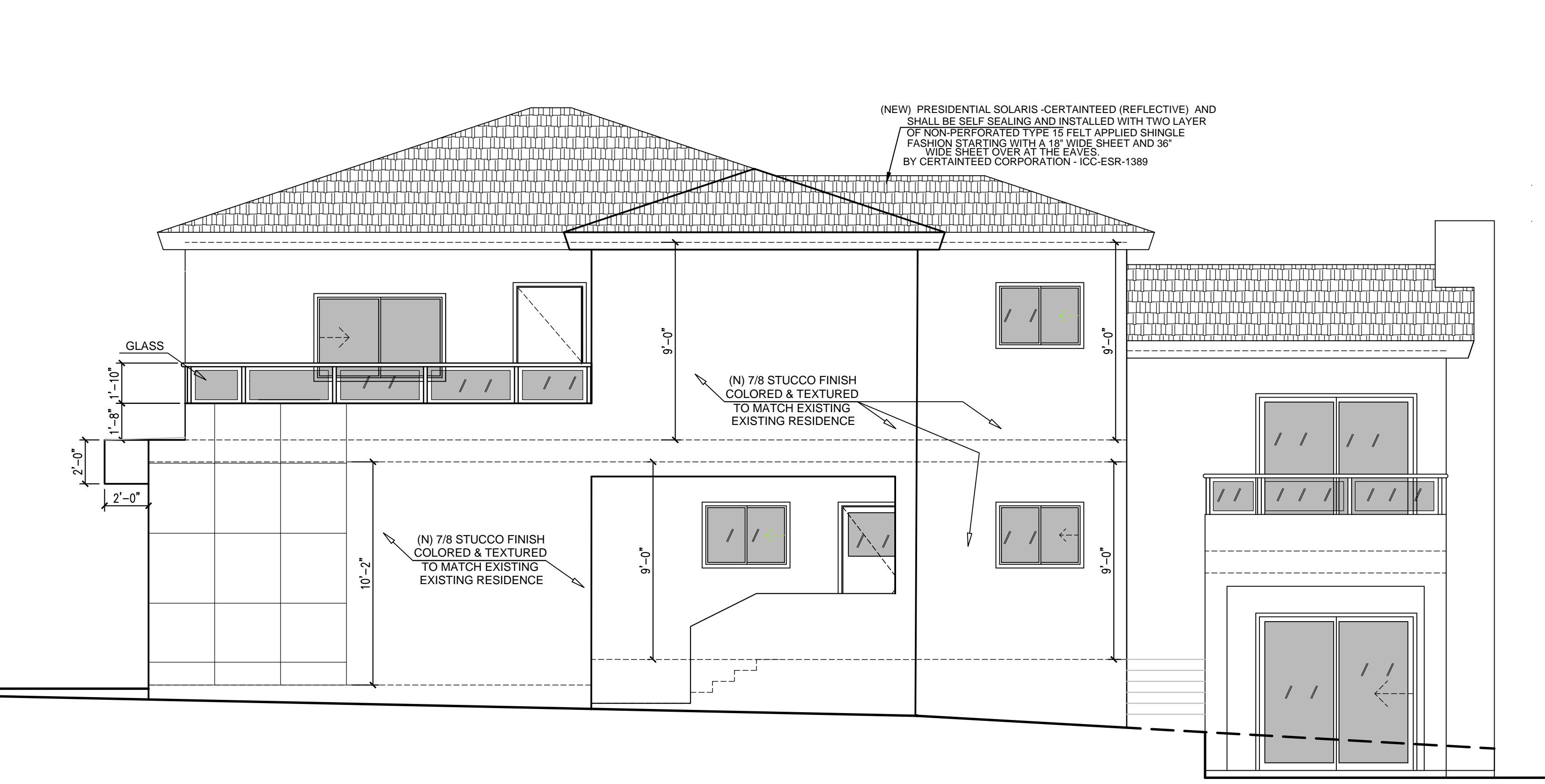
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



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ENGINEER:

OWNER:

PROJECT:  
NEW ONE STORY ADDITION  
AND INTERIOR REMODEL  
WITH 02 CAR GARAGE

PROJECT ADDRESS:

REVISION		
NO.	DATE:	DESCRIPTION:

SHEET TITLE:

ELEVATIONS

PROJECT NO:

07162023

DATE

07/16/2023

SHEET NO:

A-02

02-05

**SCALE: 1/4" = 1'-0"**



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ENGINEER: \_\_\_\_\_

OWNER \_\_\_\_\_

PROJECT: NEW ONE STORY ADDITION  
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WITH 02 CAR GARAGE

PROJECT ADDRESS:

REVISION		
NO.	DATE:	DESCRIPTION:

**SHEET TITLE:**

**FIRST FLOOR PLAN**  
**SECOND FLOOR PLAN**

PROJECT NO: \_\_\_\_\_

07162023

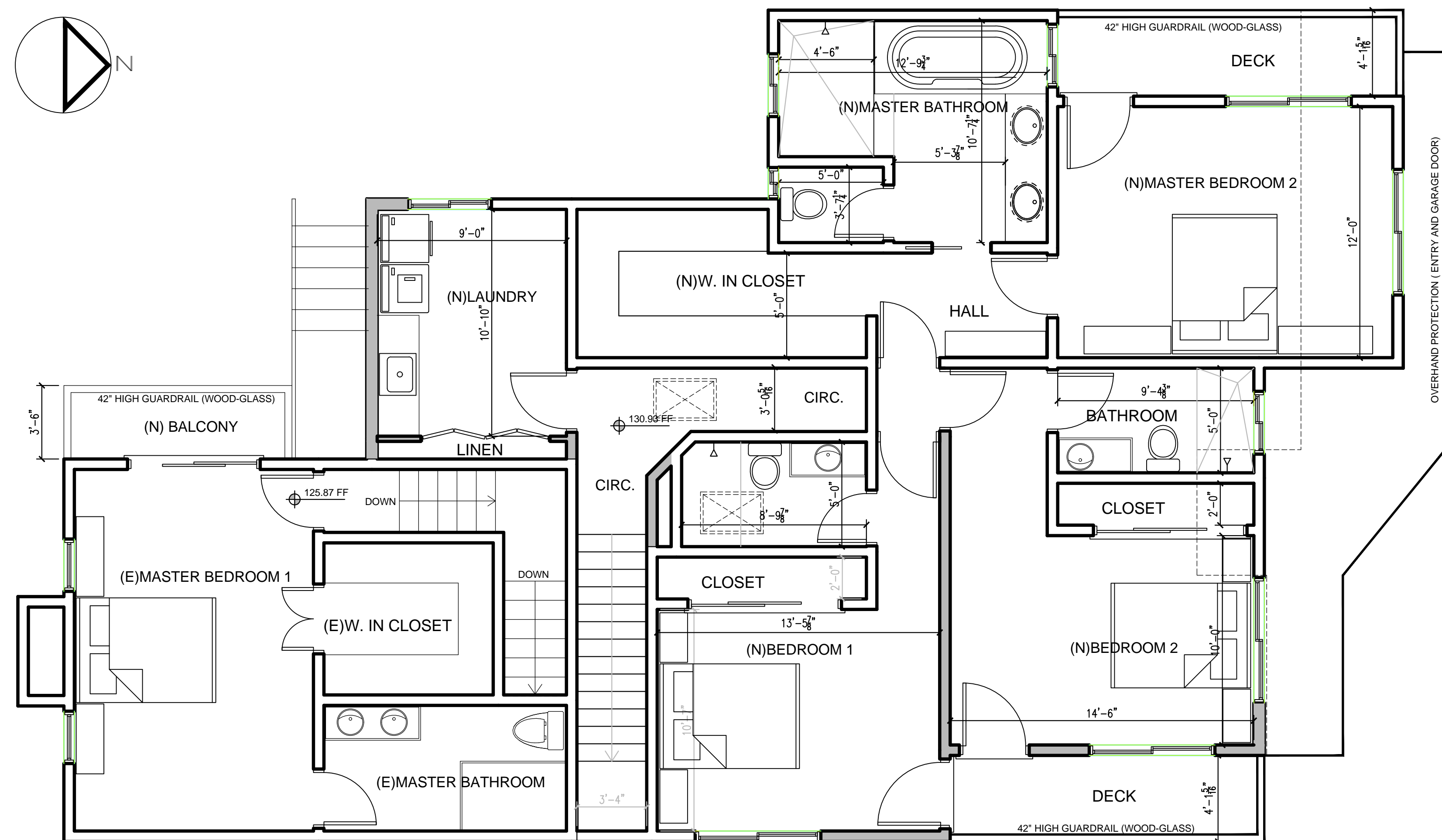
07/16/2023

SHEET NO:

**A-03**

03-04

**SCALE: 1/4" = 1'-0"**



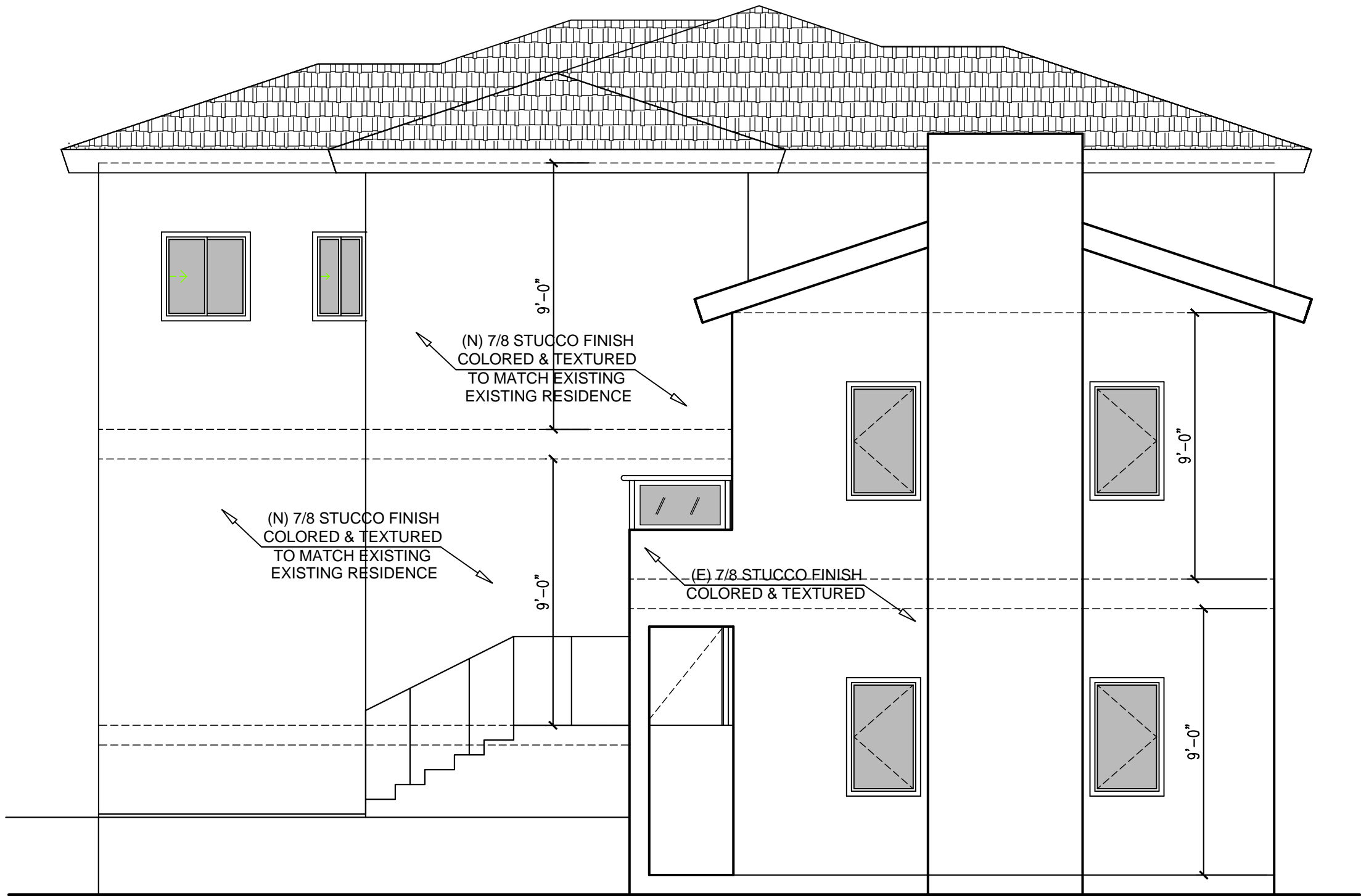
NORTH ELEVATION (B)

SCALE: 1/4" = 1'-0"



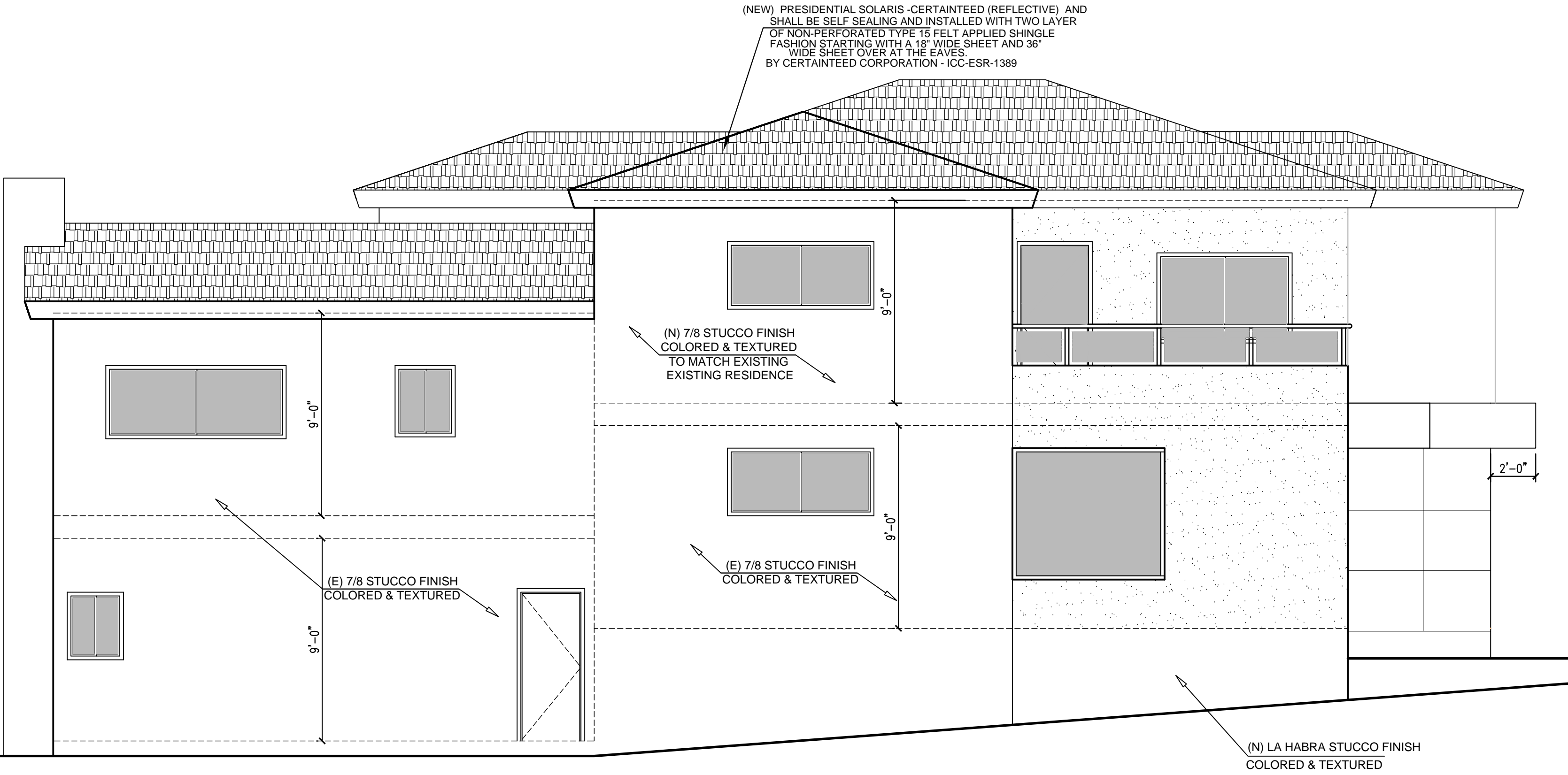
SOUTH ELEVATION (B)

SCALE: 1/4" = 1'-0"



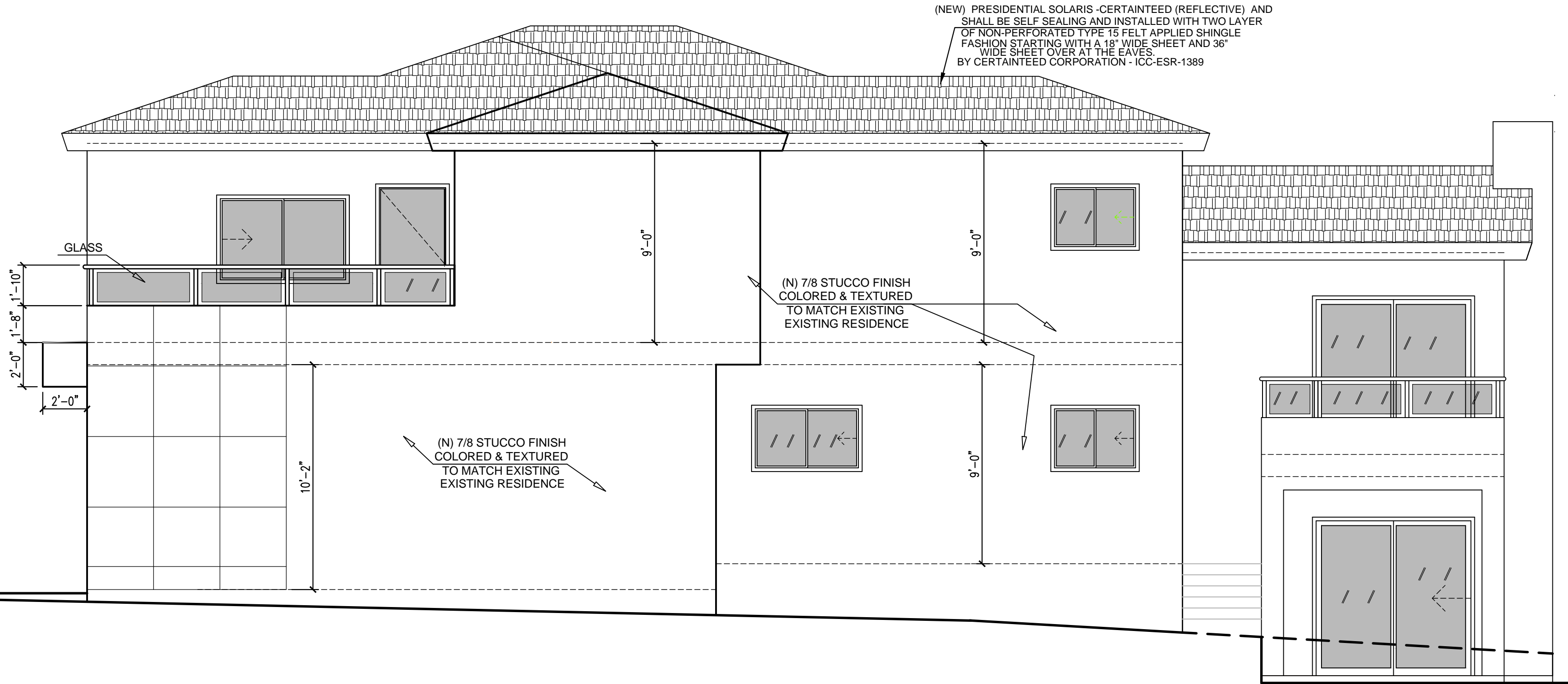
EAST ELEVATION (B)

SCALE: 1/4" = 1'-0"



WEST ELEVATION (B)

SCALE: 1/4" = 1'-0"



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ELEVATIONS

PROJECT NO:

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DATE

07/16/2023

SHEET NO:

A-04

04-04