

**BELVEDERE MUNICIPAL UTILITY DISTRICT
NOTICE OF MEETING**

**TO: THE BOARD OF DIRECTORS OF BELVEDERE MUNICIPAL UTILITY DISTRICT
AND TO ALL OTHER INTERESTED PERSONS:**

Notice is hereby given pursuant to V.T.C.A., Government Code Chapter 551, that the Board of Directors of Belvedere Municipal Utility District (District) will hold a regular meeting, open to the public, on Tuesday, August 15, 2023 at 6:00 p.m., within the boundaries of the District, at the Belvedere Amenity Center, 17400 Flagler Drive, Austin, Texas, for the following purposes:

Meeting materials are available at www.belvederemud.org.

1. Call meeting to order and establish a quorum.
2. Receive public comments.
3. Discuss, consider, and take action to approve revised minutes for the January 17, 2023 regular meeting of the Board of Directors and approve minutes for the June 20, 2023 regular meeting of the Board of Directors.
4. Discuss, consider, and take action as necessary regarding District budget for 2023-2024.
5. Discuss, consider, and take action as necessary regarding 2023 tax rate, including but not limited to, setting date for public hearing on the tax rate, and authorizing publication of notice of public hearing on such tax rate.
6. Discuss, consider, and take action as necessary concerning report from the District's Bookkeeper and Finance Committee, including:
 - a. Payment and ratification of invoices;
 - b. Coordination on bookkeeping matters;
 - c. TexPool investments; and
 - d. Reimbursement of costs to Belvedere HOA (HOA) pursuant to the Joint Use and Maintenance Agreement.
7. Discuss, consider, and take action regarding report from the District liaison to the HOA and from the HOA liaison to the District.
8. Discuss, consider, and take action regarding Order Amending and Restating Drainage System Rules and authorizing publication of same.
9. Discuss, consider, and take action regarding adoption of District Drainage System Issue Resolution Guidelines.
10. Discuss, consider, and take action regarding regulation, improvement, maintenance, and repair of existing and future assets owned or maintained by the District, including, but not limited to:
 - a. Report from the District's Engineer;
 - b. Budgeting for drainage facilities, including but not limited to, ditches and culverts;

- c. Potential culvert/ditch work at 8700 and 8708 Springdale Ridge;
 - d. Request for waiver for property at 8308 Verde Mesa;
 - e. Issuance of Notice of Violation concerning culvert/ditch work on property at 8316 Verde Mesa;
 - f. Trail maintenance;
 - g. Playground; and
 - h. Amenity Center Lot project, including warranty claim.
11. Discuss, consider, and take action regarding impervious cover within the District.
 12. Discuss, consider, and take action on future meeting schedule.
 13. Adjournment.

The District may meet in executive session on any item listed above as provided by the Open Meetings Act, Tex. Gov't Code §§ 551.071, 551.072, 551.073, 551.074, or 551.075.

EXECUTED this the 11th day of August, 2023.



 Attorney for the District



 Belvedere Municipal Utility District is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please call David Klein at Lloyd Gosselink, Attorney for the District, at (512) 322-5818, for information.

Agenda Item No. 3

Discuss, consider, and take action to approve revised minutes for the January 17, 2023 regular meeting of the Board of Directors and approve minutes for the June 20, 2023 regular meeting of the Board of Directors.

4. Discuss, consider, and take action concerning qualifying newly appointed director. Director Koerner introduced this Item. Director Sciaraffia recited his Statement of Officer and Oath of Office, administered by Mr. Castro, a Notary Public.
5. Discuss, consider, and take action concerning the election of new officers. Director Koerner introduced this Item. Director Clifford moved to keep the current slate of officers the same and to appoint Director Sciaraffia to the open office of Assistant Secretary. Director Ubertini seconded the Motion and the Motion passed unanimously, 5-0.
6. Receive public comments. No members of the public provided public comments.
7. Discuss, consider, and take action to approve the audit for the period ending September 30, 2022. Director Koerner introduced this Item. Mr. West addressed the Board and described the results of the audit, provided as **Exhibit “C”**. Mr. West notified the Board that his firm rendered a clean opinion on the financials, then proceeded to summarize the audit, including the highlights of what the District accomplished during the year; the balance sheet; and the five-year comparison of the general fund, revenue, and expenses. Director Clifford moved to approve the audit as presented and to authorize Lloyd Gosselink to file the audit with the Texas Commission on Environmental Quality. Director Ubertini seconded the Motion and the Motion passed unanimously, 5-0.
8. Discuss, consider, and take action to approve the minutes of the September 20, 2022, regular meeting. Director Koerner introduced this Item. Director Ubertini moved to approve the minutes of the September 20, 2022 regular meeting, as presented and provided as **Exhibit “D”**. Director Clifford seconded the Motion and the Motion passed unanimously, 5-0.
9. Discuss, consider, and take action as necessary concerning reports from the District’s Bookkeeper and Finance Committee, including:
 - a. Payment and ratification of invoices;
 - b. Coordination on bookkeeping matters;
 - c. TexPool investments; and
 - d. Reimbursement of costs to Belvedere HOA pursuant to the Joint Use and Maintenance Agreement.

Director Koerner introduced this Item. Mr. Monzingo presented his Bookkeeper’s Report which consisted of a list of invoices, and other bookkeeping matters, attached hereto as **Exhibit “E”**. He stated that the Bookkeeper’s Report included a list of invoices paid since the Board’s last meeting and requested that the Board ratify the payment of these invoices. Mr. Monzingo stated that he had met with the District’s Finance Subcommittee to review his report and list of invoices and stood for questions. He noted that the Board should add check number 1411 to the report, for \$8,061.84 to Sunscape for work performed during the months of and December 2022. Next, Director Clifford questioned specific charges invoiced by Lloyd Gosselink. Mr. Klein stated that he would review the charges and make adjustments as necessary. Director Clifford moved to ratify the payment of the invoices paid since the Board’s last meeting on September 20, 2022 and to approve the payment of current invoices, and transfers, as noted on **Exhibit “E”**. Director Parker seconded the Motion and the Motion passed unanimously, 5-0.

10. Discuss, consider, and take action regarding the report from the District liaison to the HOA and from the HOA liaison to the District. Director Koerner introduced this Item. Director Koerner stated that he had nothing to report at this time. Mr. Greene updated the Board on the following matters: (1) changes to the HOA Board of Directors; (2) repairs to the swimming pool autofill system, including a new water meter; and (3) the amenity center lot will be addressed in the upcoming months.
11. Discuss, consider, and take action regarding the appointment of a District liaison to the HOA to address drainage issues. Director Koerner introduced this Item. Director Clifford recommended that this item be postponed until the Board's next regular meeting. No action was taken.
12. Discuss, consider, and take action as necessary concerning the residential playground safety audit. Director Koerner introduced this Item. Director Clifford presented a proposal obtained by the HOA from PlaySafe, LLC ("PlaySafe") for \$1,700.00, attached hereto as **Exhibit "F"**. The proposal calls for a team of National Parks and Recreation Certified Playground Safety Inspectors to conduct the audit pursuant to the American Society for Testing and Materials standards, the Americans with Disabilities Act, and the US Consumer Product Safety Commission standards, providing an opinion regarding the structural integrity and safety of the District's playground. Director Clifford suggested that she and the HOA's General Manager meet with PlaySafe representatives upon completion of their audit to assess their findings and develop recommendations for the Board's consideration.
13. Discuss, consider, and take action as necessary concerning the management of the District's website. Director Koerner introduced this Item. Director Sciaraffia volunteered to assume the duties associated with the management of the District's website, as such duties had previously been performed by former Director Golde.
14. Discuss, consider, and take action regarding the improvement, maintenance, and repair of existing and future assets owned or maintained by the District, including:
 - a. Report from the District's Engineer;
 - b. Amenity Center Lot project, including warranty claim;
 - c. Drainage Facilities; and
 - d. Trail maintenance.

Director Koerner introduced this Item. Ms. Johnson made her presentation to the Board, attached hereto as **Exhibit "G"**. She stated that her office had conducted a drainage evaluation of the drainage channel between Verde Mesa Ridge and the Belvedere Amenity Center Pond, attached hereto as **Exhibit "H"**. Ms. Johnson stated that using the City of Austin's drainage criteria it was determined that the existing drainage channel did not satisfy the City of Austin's 25-year storm capacity requirements. She stated that her analysis provided a list of improvements to attempt to mitigate storm water over-topping this drainage channel. After extensive discussion, the Board authorized the District Engineer to undertake additional efforts to evaluate other alternative approaches to handle this storm water for further discussion at the next Board meeting.

Next, Ms. Johnson stated that an analysis had been performed to corroborate the driveway culvert sizes provided by the District's former engineer for the homes on 8304 and 8308 Verde Mesa with recommendations to control storm water runoff. She stated that her analysis had been provided to the HOA and the District's Engineering Subcommittee. She stated that this information was provided to the homebuilders and property owners of the homes in question with a request that their driveway culverts be upsized by the HOA. Ms. Johnson stated that the homeowner of 8304 Verde Mesa had asked for the District's assistance in paying for at least 50% of the \$6,002.56 cost associated with the driveway culvert upsizing. A copy of this homeowner's request is attached as **Exhibit "I"**. Director Clifford moved that the Board authorize an expenditure of \$3,000.00 to the homeowner of 8308 Verde Mesa for the upsizing of the driveway culvert at this address. Director Sciaraffia seconded the Motion and the Motion passed unanimously, 5-0. Then, Director Koerner moved to authorize Quiddity to study the culverts at the other nearby lots, up to \$5,000.00. Director Parker seconded the motion and the motion passed unanimously, 5-0.

Following up on an item from the September 2022 Board meeting, Ms. Johnson then provided a revised proposal from Sunscape to repair cracking in the flagstone portion of the trails, which total \$20,855.94, a copy of which is attached Exhibit "J". Ms. Johnson opined that this repair work was not in need of immediate attention and could be deferred. The consensus of the Board was to take no action in this regard at this time.

Director Clifford advised that the HOA's General Manager, upon the recommendation of the Amenity center pond maintenance contractor, had requested that the Board approve funds to have the Flagler drainage channel cleaned out from Lakewood Ridge to the Amenity Center driveway. The Board requested the Engineering Subcommittee to obtain a quote for this work and acknowledge that the Engineering Subcommittee could proceed with same provided the cost was within the Engineering Subcommittee's standing \$2500 authority.

Finally, Ms. Johnson stated that Fazzone Construction Company, Inc. was hesitant to replace certain plantings identified in the 1-year inspection of the Amenity Center Lot Improvements Project. She recommended that the Contractor's surety company be contacted to enforce the Contractor's Performance Bond. Mr. Klein recommended that the Board convene in executive session to discuss this matter further. The Board then took up Item 17.

After executive session, Director Clifford moved to direct the General Counsel to send a demand letter to Fazzone regarding a warranty claim concerning landscaping work for the amenity center improvement project. Director Sciaraffia seconded the motion and the motion passed unanimously, 5-0.

The Board then took up Item 15.

15. Receive legislative updates. Director Koerner introduced this Item. Mr. Klein stated that the District would be included in his firm's effort to monitor legislation affecting its political subdivision clients, including the District.

16. Discuss, consider, and take action on the future meeting schedule. The consensus of the Board was that the next meeting would be on March 21, 2023. The Board then took up Item 18.
17. The Board will meet in Executive Session to receive advice from its attorneys, in accordance with Texas Government Code § 551.071, concerning issues identified in the District Engineer's Report. Director Koerner introduced this Item. At 7:48 p.m., Director Clifford moved to enter into an executive session to receive legal advice from its attorneys under Texas Government Code § 551.071. Director Parker seconded the Motion and the Motion was approved 5-0. At 7:58 p.m., Director Koerner moved to conclude the executive session and reenter open session. Director Clifford seconded the Motion and the Motion passed unanimously, 5-0. Director Koerner stated that no action was taken by the Board during Executive Session. The Board then returned to Item 14.
18. Adjournment. Director Clifford moved to adjourn the meeting. Director Uberitini_ seconded the motion and the motion passed unanimously, 5-0. The meeting adjourned at 7:59 p.m. until further call.

PASSED, APPROVED, AND ADOPTED this 21st day of March 2023.

[DISTRICT SEAL]

Kim Clifford, Secretary

d. Reimbursement of costs to Belvedere HOA pursuant to the Joint Use and Maintenance Agreement.

Director Koerner introduced this Item. Director Ubertini presented the Bookkeeper's Report and revised cash sheet, which consisted of the list of invoices and additional documentation concerning other bookkeeping matters, all of which is attached hereto as **Exhibit "C"**. Director Koerner requested that, per the Report, the Board approve (i) transferring \$35,000.00 from the District's Money Market Account to the District's Checking Account, to pay its bills, and (ii) transferring a total of \$3,170.84 from the District's Checking Account to the District's Debt Service Account. Director Clifford noted that the District's invoice for legal fees showed a charge for the drafting of a memorandum on the topic of drainage and flooding and requested that the Board be provided with a copy of the memorandum. Mr. Klein stated that he would do so. Next, the Board requested that Mr. Klein monitor work being performed by paralegals to ensure that the District is being provided with the most cost-efficient service possible and reminded Mr. Klein that all legal work requested by Board members outside of Board meetings must be authorized by no less than two Board members.

Director Clifford moved to ratify the payment of the invoices paid since the Board's last meeting on May 5, 2023, approve the payment of current invoices, and authorize the two transfers proposed in the Bookkeepers Report. Director Sciaraffia seconded the Motion and the Motion passed unanimously, 5-0.

5. Discuss, consider, and take action regarding reports from the District liaison to the HOA and from the HOA liaison to the District. Director Koerner introduced this Item and stated that it had come to his attention that the HOA had received a request from the developers of the property located east of the District, known as the Hays-Harris Tract, for emergency access to their development through the District, across HOA property. He stated that it was his understanding that according to the HOA's legal counsel, it was not anticipated that the District would need to be involved in this project. Director Koerner added that no legal work is needed at this time and the District will contact Mr. Klein if anything changes. He also proposed that if the HOA or District incurs any expenses, including but not limited to, engineering or legal fees in evaluating and addressing this project, then such costs should be reimbursed by the developer. He stated that it was his opinion that the resident taxpayers of the District should not assume responsibility for any costs associated with this non-District project. Director Koerner opined that he had expressed his thoughts to the HOA and inquired whether the rest of the Board was in agreement with this position. After further discussion, it was the consensus of the Board that should the HOA or District incur any expenses, including but not limited to, engineering or legal fees for vetting this project, then the HOA and District be reimbursed by the developer.

Mr. Greene then provided his understanding of the project, noting that access would be through the upper common area at the old stock pond off of Flagler Drive, near the hardscape trail located in this area. He stated that the developer was asking for emergency vehicle access through a currently locked gate. Mr. Greene then indicated that the developer would construct a 25-foot access road in exchange for significant investments in the Belvedere community. He added that there would be no pedestrian access available at this emergency vehicle access point. Mr. Greene stated that the developer had proposed funding for landscaping improvements at the location, payment for water necessary to keep the pond full, and other incentives for the benefit of Belvedere residents. He reported that the HOA would take this

proposal to the Belvedere residents to gauge their interest in such a project before taking any formal action. Mr. Greene stated that should the HOA wish to proceed with this project, the developer would be required to establish an escrow account with the HOA to fund all costs associated with an analysis to determine the viability of this project. In response to an inquiry from Director Clifford, it was the consensus of the Board that Mr. Klein should not engage in activities associated with this project unless directed by the Board to do so. Mr. Klein stated that he had received a telephone call from the HOA's attorney regarding this project, reporting that the HOA's attorney would be sending him a copy of the subdivision plat for the area in question to determine what involvement, if any, the District may have in overseeing activities permitted within this drainage easement. He stated that he would await direction from the Board before investing any more time on this potential project. Next, Mr. Greene provided an update on the HOA's efforts to clean up the common areas within the subdivision and noted that cleanup efforts would not begin until July 2023.

6. Discuss, consider, and take action regarding the improvement, maintenance, and repair of existing and future assets owned or maintained by the District, including, but not limited to:
 - a. Report from the District's Engineer;
 - b. Drainage facilities, including but not limited to, culverts;
 - c. Request from the homeowner at 8304 Verde Mesa Cove;
 - d. Trail maintenance;
 - e. Playground; and
 - f. Amenity Center Lot project, including warranty claim.

Director Koerner introduced this Item. Ms. Johnson presented her report to the Board, a copy of which is attached hereto as **Exhibit "D"**. Ms. Johnson stated that her firm had conducted a survey of the drainage ditch extending from 8300 to 8308 Verde Mesa Drive to verify ditch depths and culvert sizes, and to assess the potential for regrading. She reported that her results found that drainage ditch needed to be regraded. She then stated that a survey was performed of the drainage ditch from 8300 to 8309 Lakewood Ridge Cove to evaluate the depth for draining runoff collected at the southwest corner of 8300 and to assess the capacity of the culvert installed at 8301. Ms. Johnson added that she also compared pre-development and post-development runoff conditions to develop recommendations for draining the lot with minimal impact on neighboring properties. She also said that she had met with the District's Engineering Subcommittee and representatives from the HOA to discuss grading improvements at Verde Mesa Cove. After further discussion, Ms. Johnson presented a proposal from DigDug Construction LLC ("DigDug") to address these grading improvements at 8304 Mesa Verde in the amount of \$2,100.00 with additional options totaling \$485.00, and a copy of that proposal is attached hereto as **Exhibit "E"**. Director Clifford moved to accept the above-referenced proposal from DigDug including all options, as presented. She added that this proposal should address post-development runoff conditions, including a request that the affected homeowner provide irrigation to ensure the viability of landscaping improvements. Director Ubertini seconded the Motion and the Motion passed unanimously, 5-0.

Next, Director Koerner stated that he believed that the Board should establish a guideline

concerning drainage facilities modifications due to unforeseen circumstances. The District's Engineering Subcommittee was designated to take on this task.

Then, the Board and Ms. Johnson discussed the various options available to address drainage issues at 8300 and 8301 Lakewood Ridge Cove, in light of the drainage plans provided by the HOA for those properties and Ms. Johnson's survey findings. After such discussion, it was the consensus of the Board that Ms. Johnson present her findings with the HOA and that the District's Engineering Subcommittee should get involved in this matter, if necessary. Next, Ms. Johnson stated that Fazzone Construction ("Fazzone") agreed to replace several plantings, a list of which is attached as **Exhibit "F"** under the settlement agreement between the District and Fazzone.

Then, Director Clifford provided the District's Playground Subcommittee's update to the Board. First, she reminded the Board that the District had authorized the Subcommittee to negotiate with vendors for playground maintenance and repairs in an amount not to exceed \$15,000.00. She reported that this effort was unsuccessful but she instead proposed that the repairs be could be completed by engaging multiple vendors. Director Clifford presented proposals from PlayWorks for a total of \$13,348.16, less sales tax, to remedy the majority of playground maintenance and repair issues, copies of which are attached as **Exhibit "G"**. She stated, however, that those proposals did not include mulch for the playground area; but, she suggested that the District could utilize another vendor to complete that task. Director Clifford moved to approve (i) the proposals from PlayWorks for a total of \$13,348.16, less sales tax, to remedy the majority of maintenance and repair issues at the playground, as proposed, and (ii) the purchase and installation of mulch for the playground area at a cost not to exceed \$4,500.00. Director Koerner seconded the Motion and the Motion passed unanimously, 5-0.

7. Receive legislative updates. Director Koerner introduced this Item. Mr. Klein reported that the most recent Texas Legislative Session had ended and that he would provide a memorandum of legislation of interest to the District.
8. Discuss, consider, and take action regarding impervious cover within the District. Director Koerner introduced this item. Mr. Klein recommended that the Board convene in Executive Session to receive advice from its attorneys, in accordance with Texas Government Code § 551.071, concerning impervious cover limitations within the District. At 7:21 p.m., Director Koerner moved to enter into an executive session under Texas Government Code § 551.071 to receive legal advice from its attorney on the above-referenced matter. Director Ubertini seconded the Motion, and the Motion was approved 5-0.

At 7:36 p.m., Director Koerner moved to conclude the executive session and reenter open session. Director Ubertini seconded the Motion and the Motion passed unanimously, 5-0. Director Koerner stated that no action was taken by the Board during Executive Session. The Board directed that Mr. Klein contact Travis County to obtain more information related to their inquiry concerning impervious cover requirements within the District.

9. Discuss, consider, and take action on future meeting schedules. Director Koerner introduced this Item and suggested that the next meeting date be scheduled for August 15, 2023, at 6:00 p.m. at the Belvedere Amenity Center. There was a consensus of the Board to hold the meeting at that time and location and they directed the District's consultants to take the steps necessary to schedule such meeting.

10. Adjournment. Director Clifford moved to adjourn the meeting. Director Ubertini seconded the Motion and the Motion passed unanimously, 5-0. The meeting adjourned at 7:39 pm.

PASSED, APPROVED, AND ADOPTED this 15th day of August 2023.

[DISTRICT SEAL]

Kim Clifford, Secretary

Agenda Item No. 5

Discuss, consider, and take action as necessary regarding 2023 tax rate, including but not limited to, setting date for public hearing on the tax rate, and authorizing publication of notice of public hearing on such tax rate.

Fred Castro

Subject: FW: Belvedere MUD
Attachments: 2023 TNT - Belvedere MUD (7-24-23).xlsx

From: Garry Kimball <garry@spfmuni.com>
Sent: Monday, July 24, 2023 10:03 PM
To: Fred Castro <fcastro@lglawfirm.com>; David Klein <dklein@lglawfirm.com>; jeff monzingo <jeff@jeffmcpa.com>
Cc: Jim Koerner <jimkoerner@ymail.com>; Ron Ubertini <Ron.Ubertini@wilsonart.com>; Danielle Lam <dlam@lglawfirm.com>; Chloe Daniels <chloe.daniels@lglawfirm.com>; Sage Billiot <sbilliot@lglawfirm.com>
Subject: Belvedere MUD

Attached please find our proposed Notice to Taxpayer and tax rate recommendations for 2023 for the referenced District.

Proposed 2023 Bond Tax Rate: \$0.1275

Proposed 2023 M&O Tax Rate: \$0.0775

Proposed 2023 Total Tax Rate: \$0.2050

No rollback issues would result from these proposed rates. Please let me know if there are any questions. Thanks,

Garry



SPECIALIZED PUBLIC FINANCE INC.
FINANCIAL ADVISORY SERVICES

2023 Developed Water District Tax Rate Calculations

Belvedere MUD

July 24, 2023

Instructions

These worksheets will calculate the information water districts will need prior to adopting their tax rate. It will be necessary first to enter the required data on the "Data Entry" sheet. To access that sheet, click on the Data tab located at the bottom of this window. Some data may already have been entered for you.

NOTE: All worksheets are "locked" to protect accidental changes. You may only enter items on the data entry page and only in the blue colored cells. If for some reason you need to otherwise edit any of the worksheets, the password to unlock them is "TAX". It is case sensitive.

If you have debt, when you enter the debt information, your debt rate will be calculated for you on line 12 of the data entry page. It has a provision for you to "back into" a specific debt rate if you wish.

After you have entered the required data, click on the "Notice" tab. This sheet has all the information you need to complete the "Water District Notice of Public Hearing on Tax Rate". This is a notice all water districts must publish prior to adopting their tax rate (Water Code, Section 49.236). The Tax Office cannot publish this for you.

If line 14 on the Notice tab is equal to or less than 3.5%, this paragraph does not apply and you may ignore the "Voter-Approval" tab. If line 14 on the Notice tab is more than 3.5% and you are a Developed Water District, an election must be held to determine whether to approve the maintenance and operation tax rate under Section 49.23602 of the Water Code. You are advised to seek legal counsel in this event. The VOTER-APPROVAL RATE is calculated for you on the "Voter-Approval" tab.

NOTE: Due to an anomaly in the law, it is possible that the calculated voter-approval rate will be higher than the proposed rate which generated the voter-approval rate. Although not likely, if this occurs, you should seek legal counsel. If you are a new jurisdiction or had no levy last year, line 14 of the Notice tab will display "INFINITE %" because you are dividing by zero. Again, this is a problem with the wording in the Code and you may wish to seek legal counsel as to what you need to show in your notice.

2023 Developed Water District Tax Rate Calculations

Belvedere MUD

July 24, 2023

Data Entry Page

| | | | |
|--|----|-----------|--------|
| 1. The Districts PROPOSED 2023 Total Tax Rate | \$ | 0.2050 | /\$100 |
| 2. 2023 average appraised value of residence homestead. | \$ | 2,397,731 | |
| 3. 2023 average taxable value of residence homestead. | \$ | 1,746,198 | |
| 4. 2022 average appraised value of residence homestead. | \$ | 2,221,740 | |
| 5. 2022 average taxable value of residence homestead. | \$ | 1,571,295 | |
| 6. The district's 2022 Total Tax Rate. | \$ | 0.2225 | /\$100 |
| 7. The district's 2022 Maintenance & Operation Tax Rate. | \$ | 0.0775 | /\$100 |

Complete lines 8 thru 14 ONLY if you have qualified debt or contract service.

| | | | |
|--|----|---------------|---------------|
| 8. 2023 Net Taxable Value | \$ | 368,749,809 | |
| 9. 2023 Total Qualified Contract Service | \$ | 0.00 | |
| 10. 2023 Total Qualified Debt Service | \$ | 471,819.00 | |
| 11. SEE NOTE2 BELOW. Total amount to be applied against above Debt and Contract Service from sources other than 2023 tax levy (e.g. from fund reserves). | \$ | 1,662.99 | |
| 12. Your Final Calculated Debt Rate is: | \$ | 0.1275 | /\$100 |

NOTE1: If line 12 displays "NEG#", then the amount entered on line 11 is too high.

Use the following ONLY if you wish a specified debt rate.

NOTE2: If you have a specific TARGET DEBT RATE, enter that rate on line 13 and enter the amount that appears in line 14 into line 11. If you have done this correctly, line 12 will now equal line 13. If line 14 displays "NEG#", then your target debt rate is higher than the law permits; you may not use that target rate.

| | | | |
|---|----|----------|--------|
| 13. 2023 Target Debt Rate | \$ | 0.1275 | /\$100 |
| 14. Amount you need to enter into line 11 | \$ | 1,662.99 | |
| 15. 2022 Unused Increment Rate | \$ | 0.0000 | /\$100 |

2023 Developed Water District Tax Rate Calculations

Belvedere MUD

July 24, 2023

the format required for publication. An example of the notice is provided on the Comptroller's website at <https://comptroller.texas.gov/taxes/property-tax/truth-in-taxation/notices.php>.

Notice of Public Hearing Notice Calculations

| | | |
|--|------|-----------------|
| 1. 2022 average appraised value of residence homestead | \$ | 2,221,740 |
| 2. homestead (excluding senior citizen's or disabled person's exemptions) | - \$ | 0 |
| 3. 2022 average taxable value of residence homestead (line 1 minus line 2) | = \$ | 1,571,295 |
| 4. 2022 adopted TOTAL tax rate (per \$100 of value) | x \$ | 0.2225 /\$100 |
| 5. 2022 Total tax on average residence homestead (multiply line 3 by line 4, divide by \$100) | = \$ | 3,496.13 |
| 6. 2023 average appraised value of residence homestead | \$ | 2,397,731 |
| 7. 2023 general exemptions available for the average homestead (excluding senior citizen's or disabled person's) | - \$ | 0 |
| 8. 2023 average taxable value of residence homestead (line 8 minus line 9) | = \$ | 1,746,198 |
| 9. 2023 proposed TOTAL tax rate (per \$100 of value) | x \$ | 0.2050 /\$100 |
| 10. 2023 Total tax on average residence homestead (multiply line 8 by line 9, divide by \$100) | = \$ | 3,579.71 |
| 11. Difference in Rates per \$100 value | \$ | (0.0175) /\$100 |
| 12. Percentage increase/decrease in rates (+/-) | | -7.86% |
| 13. Annual increase/decrease in taxes if proposed tax rate is adopted | \$ | 83.58 |
| 14. percentage of increase | | 2.39% |

2023 Developed Water District Tax Rate Calculations

Belvedere MUD

July 24, 2023

| Section 1: Voter-Approval Tax Rate Worksheet | | |
|---|--|---------------------------|
| 1. | 2022 average appraised value of residence homestead | \$ 2,221,740 |
| 2. | 2022 general exemptions available for the average homestead (excluding senior citizen's or disabled person's exemptions) | - \$ 650,445 |
| 3. | 2022 average taxable value of residence homestead (line 1 minus line 2) | = \$ 1,571,295 |
| 4. | 2022 adopted M&O tax rate (per \$100 of value) | x \$ 0.0775 /\$100 |
| 5. | 2022 M&O tax on average residence homestead (multiply line 3 by line 4, divide by \$100) | = \$ 1,217.75 |
| 6. | Highest M&O tax on average residence homestead with increase (multiply line 5 by 1.035) | = \$ 1,260.37 |
| 7. | 2023 average appraised value of residence homestead | \$ 2,397,731 |
| 8. | 2023 general exemptions available for the average homestead (excluding senior citizen's or disabled person's exemptions) | - \$ 651,533 |
| 9. | 2023 average taxable value of residence homestead (line 7 minus line 8) | = \$ 1,746,198 |
| 10. | Highest 2023 M&O Tax Rate (line 6 divided by line 9, multiply by 100) | \$ 0.0721 /\$100 |
| 11. | 2023 Debt Tax Rate | + \$ 0.1275 /\$100 |
| 12. | 2023 Contract Tax Rate | + \$ 0.0000 /\$100 |
| 13. | 2022 unused increment rate (Subtract the 2022 actual tax rate and the 2022 unused increment rate from the 2022 voter-approval tax rate. If the number is less than zero, enter zero) | = \$ 0.0000 /\$100 |
| 14. | 2021 unused increment rate (If the year is prior to 2022, enter zero) | + \$ 0.0000 /\$100 |
| 15. | 2020 unused increment rate (If the year is prior to 2022, enter zero) | + \$ 0.0000 /\$100 |
| 16. | 2023 total unused increment rate (add lines 13, 14, and 15) | = \$ 0.0000 /\$100 |
| 17. | 2023 Voter-Approval Tax Rate (add lines 10, 11, 12, and 16) | = \$ 0.1996 /\$100 |

| Section 2: Mandatory Election Tax Rate | | |
|---|---|--------------------|
| 18. | 2022 average taxable value of residence homestead (enter the amount from Line 3) | = \$ 1,571,295.00 |
| 19. | 2022 adopted total tax rate | x \$ 0.2225 /\$100 |
| 20. | 2022 total tax on average residence homestead (multiply Line 18 by Line 19, divide by \$100) | = \$ 3,496.13 |
| 21. | 2023 mandatory election amount of taxes per average residence homestead (multiply Line 20 by 1.035) | = \$ 3,618.49 |
| 22. | 2023 mandatory election tax rate, before unused increment (Line 21 divided by Line 9, multiply by \$100) | = \$ 0.2072 /\$100 |
| 23. | 2023 mandatory tax election tax rate (add Line 16 and Line 22) | = \$ 0.2072 /\$100 |

Water District

Notice of Public Hearing on Tax Rate

The _____ will hold a public hearing on a proposed tax rate for the tax year _____ on _____ at _____.

Your individual taxes may increase at a greater or lesser rate, or even decrease, depending on the tax rate that is adopted and on the change in the taxable value of your property in relation to the change in taxable value of all other property. The change in the taxable value of your property in relation to the change in the taxable value of all other property determines the distribution of the tax burden among all property owners.

Visit Texas.gov/PropertyTaxes to find a link to your local property tax database on which you can easily access information regarding your property taxes, including information about proposed tax rates and scheduled public hearings of each entity that taxes your property.

FOR the proposal: _____

AGAINST the proposal: _____

PRESENT and not voting: _____

ABSENT: _____

The following table compares taxes on an average residence homestead in this taxing unit last year to taxes proposed on the average residence homestead this year.

| | Last Year | This Year |
|--|-------------------------|--------------------------|
| Total tax rate (per \$100 of value) | _____/ \$100 Adopted | _____/ \$100 Proposed |
| Difference in rates per \$100 of value | \$ _____ | / \$100 |
| Percentage increase/decrease in rates(+/-) | _____ | % |
| Average appraised residence homestead value | \$ _____ | \$ _____ |
| General homestead exemptions available (excluding 65 years of age or older or disabled person's exemptions) | \$ _____ | \$ _____ |
| Average residence homestead taxable value | \$ _____ | \$ _____ |
| Tax on average residence homestead | \$ _____ | \$ _____ |
| Annual increase/decrease in taxes if proposed tax rate is adopted (+/-) | \$ _____ | |
| and percentage of increase (+/-) | _____ | % |

If the proposed combined debt service, operation and maintenance, and contract tax rate requires or authorizes an election to approve or reduce the tax rate the _____ proposes to use the tax increase for the purpose of _____.

If the district is a district described by Section 49.23601:

NOTICE OF VOTE ON TAX RATE

If the district adopts a combined debt service, operation and maintenance and contract tax rate that would result in the taxes on the average residence homestead increasing by more than eight percent, an election must be held to determine whether to approve the operation and maintenance tax rate under Section 49.23601, Water Code.

If the district is a district described by Section 49.23602:

NOTICE OF VOTE ON TAX RATE

If the district adopts a combined debt service, operation and maintenance and contract tax rate that would result in the taxes on the average residence homestead increasing by more than 3.5 percent, an election must be held to determine whether to approve the operation and maintenance tax rate under Section 49.23602, Water Code. An election is not required if the adopted tax rate is less than or equal to the voter-approval tax rate.

If the district is a district described in by Section 49.23603

NOTICE OF TAXPAYERS' RIGHT TO ELECTION TO REDUCE TAX RATE

If the district adopts a combined debt service, operation and maintenance, and contract tax rate that would result in the taxes on the average residence homestead increasing by more than eight percent, the qualified voters of the district by petition may require that an election be held to determine whether to reduce the operation and maintenance tax rate to the voter-approval tax rate under Section 49.23603, Water Code.

The 86th Texas Legislature modified the manner in which the voter-approval tax rate is calculated to limit the rate of growth of property taxes in the state.

TRAVIS CENTRAL APPRAISAL DISTRICT

1K

BOARD OFFICERS

JAMES VALADEZ
CHAIRPERSON
THERESA BASTIAN
VICE CHAIRPERSON
NICOLE CONLEY
SECRETARY/TREASURER



MARYA CRIGLER
CHIEF APPRAISER

BOARD MEMBERS

TOM BUCKLE
DEBORAH CARTWRIGHT
OSEZUA EHIYAMEN
BRUCE ELFANT
VIVEK KULKARNI
ELIZABETH MONTOYA
BLANCA ZAMORA-GARCIA

July 24, 2023

BELVEDERE MUD

JAMES P. KOERNER, PRESIDENT
816 CONGRESS AVE, STE 1900
AUSTIN, TX 78701

In accordance with Tax Code Section 26.01(a-1) enclosed is the **2023 Certified Estimate** for your taxing unit. The values in the Certified Estimate shall be used to calculate the no-new-revenue tax rate and the voter-approval tax rate, per Tax Code Section 26.04(c-2). The value remaining under protest is reported, pursuant to Tax Code Section 26.01(c), as the owner's opinion of value or the preceding year's value, whichever is lower. Accordingly, it is a conservative estimate.

The information page included with your Certified Value is based on the last available worksheet (Tax Year 2023) and has information to assist you in completing the Truth in Taxation calculations and postings. The calculated tax rates and hearing date information should be posted to the taxing unit portal maintained by the appraisal district, as established in Tax Code Section 26.17(e). For taxing units required to comply with Tax Code Section 26.04(e), the 26.17(e) postings should be completed by August 7, 2023. Please feel free to contact me if you have any questions or need additional information.

| | |
|--------------------------------------|----------------------|
| Approved Freeze Adjusted Taxable | \$342,253,639 |
| Certification Percentage | 91% |
| Section 26.01(c) Value Under Protest | \$26,496,170 |
| Net Taxable Value | \$368,749,809 |

Sincerely,

A handwritten signature in black ink, appearing to read "Marya Crigler", is written over a light blue circular stamp.

Marya Crigler
Chief Appraiser
mcrigler@tcadcentral.org
(512) 834-9317 ext 337

Tax Rate Worksheet Information (numbering based on form 50-856)

1K

| | | |
|-----|--|---------------|
| 1 | 2022 total taxable value | \$317,495,273 |
| 2 | 2022 tax ceiling | \$ 0 |
| 4 | 2022 total adopted tax rate | 0.2225 |
| 5 | 2022 taxable value lost because of court appeals of ARB decisions reduced 2022 ARB values | |
| 5A | Original 2022 ARB Value | |
| 5B | 2022 values resulting from final court decisions | |
| 6 | 2022 taxable value subject to an appeal under Chapter 42, as of July 25 | |
| 6A | 2022 ARB certified value | |
| 6B | 2022 disputed value | |
| 9 | 2022 taxable value of property in territory the taxing unit deannexed after Jan 1, 2022 | |
| 10 | 2022 taxable value lost because a property first qualified for exemption in 2023 | |
| 10A | Absolute exemptions | \$ 0 |
| 10B | Partial exemptions and amount exempt due to an increased exemption | \$ 0 |
| 11 | 2022 taxable value lost because a property first qualified for agricultural appraisal in 2023 | |
| 11A | 2022 market value | \$ 0 |
| 11B | 2023 productivity value | \$ 0 |
| 13 | 2022 captured value of property in a TIF/TIRZ | |
| 18 | Total 2023 taxable value on the certified appraisal roll today | |
| 18A | Certified taxable | \$342,253,639 |
| 18B | Rolling Stock | |
| 18C | Pollution control and energy storage systems exemptions | |
| 18D | 2023 captured value of property in a TIF/TIRZ | |
| 19 | Total value of properties under protest or not on certified roll | |
| 19A | 2023 taxable value of properties under protest | \$26,496,170 |
| 19B | 2023 value of properties not under protest or included in certified appraisal | |
| 20 | 2023 tax ceiling | \$ 0 |
| 22 | Total 2023 taxable value of properties in territory annexed after Jan 1, 2022 | \$ 0 |
| 23 | Total 2023 taxable value of new improvements and new personal property located in new improvements | \$13,410,312 |

Notice of Public Hearing – Budget/Tax Rate Information

1K

| | |
|---|---------------|
| 2022 Average appraised value of properties with a homestead exemption | \$2,221,740 |
| 2022 Total appraised value of all property | \$422,415,487 |
| 2022 Total appraised value of all new property | \$12,463,736 |
| 2022 Average taxable value of properties with a homestead exemption | \$1,571,295 |
| 2022 Total taxable value of all property | \$317,495,273 |
| 2022 Total taxable value of all new property | \$12,463,736 |
| | |
| 2023 Average appraised value of properties with a homestead exemption | \$2,397,731 |
| 2023 Total appraised value of all property | \$474,704,160 |
| 2023 Total appraised value of all new property | \$13,410,312 |
| 2023 Average taxable value of properties with a homestead exemption | \$1,746,198 |
| 2023 Total taxable value of all property | \$368,749,809 |
| 2023 Total taxable of all new property | \$13,410,312 |

Agenda Item No. 6

Discuss, consider, and take action as necessary concerning report from the District's Bookkeeper and Finance Committee, including:

- a. Payment and ratification of invoices;
- b. Coordination on bookkeeping matters;
- c. TexPool investments; and
- d. Reimbursement of costs to Belvedere HOA (HOA) pursuant to the Joint Use and Maintenance Agreement.

Belvedere MUD Board Meeting

August 15, 2023

Financial Information

Schedule of Cash Activity

**BELVEDERE MUD
SCHEDULE OF CASH ACTIVITY
GENERAL FUND
MEETING DATE: AUGUST 15, 2023**

GENERAL FUND CHECKING ACCOUNT BALANCE **\$ 29,673.62**

Revenue:

| Deposit Date | Description | Amount |
|------------------------|----------------------------|---------------------|
| 8/15/2023 | Transfer from Money Market | \$ 35,000.00 |
| 8/15/2023 | Transfer from TexPool | \$ 25,000.00 |
| Total Deposits: | | \$ 60,000.00 |

Expenses paid since last meeting on 6/20/23

| | | | |
|----------------------------|---------------------------------|-----------------------------|---------------------|
| 1443 | Sean Canahauate & Julie Micon | Reimbursement to homeowners | \$ 3,000.00 |
| 1444 | Victor Insurance Managers | Insurance | \$ 520.00 |
| EFT | AT & T | Amenity Center Operations | \$ 152.72 |
| EFT | Pedernales Electric Cooperative | Amenity Center Operations | \$ 318.81 |
| 1445 | Sunscape Landscaping | Landscaping | \$ 4,030.92 |
| EFT | AT & T | Amenity Center Operations | \$ 152.80 |
| 1450 | Texas Disposal Systems Inc | Waste Disposal | \$ 14,472.24 |
| Total Expenditures: | | | \$ 22,647.49 |

Cash Balance Before Expenditures **\$ 67,026.13**

Expenditures:

| Check Number | Description | Amount |
|----------------------------|---------------------------|--|
| 1446 | Montoya & Monzingo LLP | Accounting Fees \$ 2,400.00 |
| 1447 | Lloyd Gosselink | Legal Fees \$ 9,437.70 |
| 1448 | Quiddity Engineering, LLC | Engineering Fees \$ 8,176.25 |
| 1449 | Quiddity Engineering, LLC | Engineering Fees - Ditch \$ 1,812.50 |
| 1451 | Sunscape Landscaping | Trail Maintenance \$ 4,030.92 |
| 1452 | Sunscape Landscaping | Trail Maintenance - storm clean up \$ 1,769.60 |
| 1453 | Manuela's Cleaning | Amenity Center Operations \$ 460.00 |
| 1454 | Victor Insurance Managers | Insurance \$ 520.00 |
| 1455 | A.T. Services LLC | Amenity Center Operations \$ 223.00 |
| 1466 | Quiddity Engineering, LLC | Engineering Fees \$ 5,868.75 |
| Transfer | Belvedere - Debt Service | Property Taxes \$ 971.00 |
| Transfer | Belvedere - Debt Service | Property Taxes \$ 6,985.92 |
| Total Expenditures: | | \$ (42,655.64) |

ENDING BALANCE - GENERAL FUND CHECKING AS OF AUGUST 15, 2023 **\$ 24,370.49**

CASH BALANCE - GENERAL FUND - MONEY MARKET ACCOUNT - UNRESERVED **\$ 40,777.16**

Transfer Transfer to checking \$ (35,000.00)

ENDING CASH BALANCE - GENERAL FUND - MONEY MARKET ACCOUNT - UNRESERVED **\$ 5,777.16**

CASH BALANCE - GENERAL FUND - TEXPOOL **\$ 476,032.34**

8/15/2023 Transfer to ABC checking \$ (25,000.00)

ENDING CASH BALANCE - GENERAL FUND - TEXPOOL **\$ 451,032.34**

TOTAL GENERAL FUND OPERATING CASH **\$ 481,179.99**

**BELVEDERE MUD
SCHEDULE OF CASH ACTIVITY
DEBT SERVICE FUND
MEETING DATE: AUGUST 15, 2023**

| | | | | |
|---|--------------------|------------------------|-------------|----------------------|
| CASH BALANCE - DEBT SERVICE FUND - MONEY MARKET | | | | \$ 44,222.46 |
| Transfer | Operating Checking | Property Taxes | \$ 971.00 | |
| Transfer | Operating Checking | Property Taxes | \$ 6,985.92 | |
| | | Total Deposits: | | <u>\$ 7,956.92</u> |
| ENDING CASH BALANCE - DEBT SERVICE FUND - MONEY MARKET | | | | \$ 52,179.38 |
| CASH BALANCE - DEBT SERVICE - TEXPOOL | | | | \$ 181,759.33 |
| TOTAL CASH BALANCE - DEBT SERVICE | | | | \$ 233,938.71 |

Budget vs Actual

Belvedere Municipal Utility District
Statement of Revenues and Expenditures Budget vs. Actual
For the Year to Date Ended August 15, 2023
Unaudited

| | Year to Date Actual | Year to Date Budget | Year to Date Variance Favorable (Unfavorable) | 2023 Annual Budget | 2023 Annual Variance Favorable (Unfavorable) |
|---|------------------------|------------------------|--|--------------------------|--|
| <u>Revenues</u> | | | | | |
| Maintenance Taxes | \$ 243,134 | \$ 244,405 | \$ (1,271) | \$ 244,405 | \$ (1,271) |
| Other Income | 1,500 | - | 1,500 | - | 1,500 |
| Interest Income | 15,693 | 5,000 | 10,693 | 6,000 | 9,693 |
| Total Revenues | 260,327 | 249,405 | 10,922 | 250,405 | 9,922 |
| <u>Expenditures</u> | | | | | |
| Solid Waste Disposal | 56,019 | 55,000 | (1,019) | 55,000 | (1,019) |
| Legal Fees | 30,661 | 36,667 | 6,006 | 40,000 | 9,339 |
| Audit Fees | 7,500 | 7,500 | - | 7,500 | - |
| Accounting Fees | 13,200 | 13,200 | - | 14,400 | 1,200 |
| Engineering Fees | 59,316 | 27,500 | (31,816) | 30,000 | (29,316) |
| Amenity Center Operations | 52,003 | 77,917 | 25,914 | 85,000 | 32,997 |
| Drainage and Trail Maintenance | 16,010 | 21,083 | 5,073 | 23,000 | 6,990 |
| Insurance | 4,132 | 3,667 | (465) | 4,000 | (132) |
| Tax Appraisal and Collection Fees | 2,263 | 5,500 | 3,237 | 6,000 | 3,737 |
| Bank Charges | 10 | 183 | 173 | 200 | 190 |
| Other Fees | - | 92 | 92 | 100 | 100 |
| Newspaper notices | - | 1,833 | 1,833 | 2,000 | 2,000 |
| Website | - | 458 | 458 | 500 | 500 |
| Total Expenditures | 241,114 | 250,600 | 9,486 | 267,700 | 26,086 |
| Projected Excess Revenue Over Expenditures | \$ 19,213 | \$ (1,195) | \$ 20,408 | \$ (17,295) | \$ 36,508 |

Financial Statements

Belvedere Municipal Utility District
Balance Sheet
As of August 15, 2023

| | <u>Aug 15, 23</u> |
|---------------------------------------|-------------------|
| ASSETS | |
| Current Assets | |
| Checking/Savings | |
| Checking Account - ABC Bank | 24,370.49 |
| Money Market - ABC Bank | 5,777.16 |
| TexPool | 451,032.34 |
| Total Checking/Savings | 481,179.99 |
| Accounts Receivable | |
| Taxes Receivable | 3,168.76 |
| Total Accounts Receivable | 3,168.76 |
| Other Current Assets | |
| Prepaid Insurance | 2,134.13 |
| Total Other Current Assets | 2,134.13 |
| Total Current Assets | 486,482.88 |
| TOTAL ASSETS | 486,482.88 |
| LIABILITIES & EQUITY | |
| Liabilities | |
| Current Liabilities | |
| Other Current Liabilities | |
| Deferred Revenue | 3,168.76 |
| Total Other Current Liabilities | 3,168.76 |
| Total Current Liabilities | 3,168.76 |
| Total Liabilities | 3,168.76 |
| Equity | |
| Unassigned | 464,101.33 |
| Net Income | 19,212.79 |
| Total Equity | 483,314.12 |
| TOTAL LIABILITIES & EQUITY | 486,482.88 |

Belvedere Municipal Utility District

Profit & Loss

October 1, 2022 through August 15, 2023

| | <u>Oct 1, '22 - Aug 15, 23</u> |
|-------------------------------|--------------------------------|
| Ordinary Income/Expense | |
| Income | |
| Interest Income | 15,692.62 |
| Income | |
| Property Taxes | <u>243,134.27</u> |
| Total Income | <u>243,134.27</u> |
| Total Income | 258,826.89 |
| Expense | |
| Amenity Center Operations | 52,003.23 |
| Trail Repairs | |
| Trail General Maintenance | 11,241.27 |
| Major Trail Repair | <u>1,769.60</u> |
| Total Trail Repairs | 13,010.87 |
| Audit Fees | 7,500.00 |
| Bank Service Charges | 10.00 |
| Bookkeeping Fees | 13,200.00 |
| Engineering | |
| District Engineering | <u>59,316.25</u> |
| Total Engineering | 59,316.25 |
| Insurance | |
| Liability Insurance | <u>4,131.55</u> |
| Total Insurance | 4,131.55 |
| Legal Fees | 30,660.74 |
| Miscellaneous | 3,000.00 |
| Collection and Appraisal Fees | 2,262.87 |
| Waste Disposal | <u>56,018.59</u> |
| Total Expense | <u>241,114.10</u> |
| Net Ordinary Income | 17,712.79 |
| Other Income/Expense | |
| Other Income | |
| Other Income-Drainage Ditch | <u>1,500.00</u> |
| Total Other Income | <u>1,500.00</u> |
| Net Other Income | 1,500.00 |
| Net Income | <u><u>19,212.79</u></u> |

Belvedere MUD-Debt Service Fund
Balance Sheet
As of August 15, 2023

| | <u>Aug 15, 23</u> |
|---------------------------------------|--------------------------|
| ASSETS | |
| Current Assets | |
| Checking/Savings | |
| MUD Debt Service Fund | 52,179.38 |
| TexPool | <u>181,759.33</u> |
| Total Checking/Savings | 233,938.71 |
| Accounts Receivable | |
| Taxes Receivable | <u>5,928.81</u> |
| Total Accounts Receivable | 5,928.81 |
| Total Current Assets | <u>239,867.52</u> |
| TOTAL ASSETS | <u>239,867.52</u> |
| LIABILITIES & EQUITY | |
| Liabilities | |
| Current Liabilities | |
| Other Current Liabilities | |
| Deferred Revenue | <u>5,928.81</u> |
| Total Other Current Liabilities | 5,928.81 |
| Total Current Liabilities | <u>5,928.81</u> |
| Total Liabilities | 5,928.81 |
| Equity | |
| Restricted | 235,996.25 |
| Net Income | <u>-2,057.54</u> |
| Total Equity | 233,938.71 |
| TOTAL LIABILITIES & EQUITY | <u>239,867.52</u> |

Belvedere MUD-Debt Service Fund
Profit & Loss
October 1, 2022 through August 15, 2023

| | <u>Oct 1, '22 - Aug 15, 23</u> |
|-------------------------|--------------------------------|
| Ordinary Income/Expense | |
| Income | |
| Tax Revenue | 454,878.36 |
| Total Income | 454,878.36 |
| Expense | |
| Bank Service Charges | 108.00 |
| Bond Principal | 305,000.00 |
| Interest Expense | 160,618.76 |
| Paying Agent Fee | 1,200.00 |
| Total Expense | 466,926.76 |
| Net Ordinary Income | -12,048.40 |
| Other Income/Expense | |
| Other Income | |
| Interest Income | 9,990.86 |
| Total Other Income | 9,990.86 |
| Net Other Income | 9,990.86 |
| Net Income | <u><u>-2,057.54</u></u> |

Investment Report

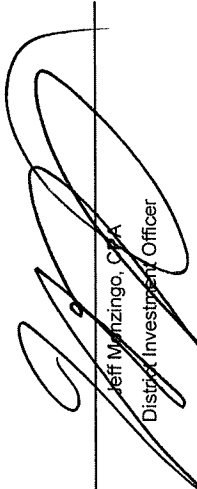
Belvedere Municipal Utility District
Investments as of June 30, 2023

| Fund | Financial Institution | Investment | Account Number | Book Value Ending 5/31/23 | Market Value Ending 5/31/23 | Book Value Ending 6/30/23 | Market Value Ending 6/30/23 | Yield | Income for Month | Purchase Date | Purchase Price | Maturity date |
|--------------|-----------------------|----------------------------------|----------------|---------------------------|-----------------------------|---------------------------|-----------------------------|-------|------------------|---------------|----------------|---------------|
| Operating | ABC Bank | Money Market Deposit Account | XXXX5091 | \$ 75,607.76 | \$ 75,607.76 | \$ 40,727.00 | \$ 40,727.00 | 1.96% | \$ 119.24 | N/A | N/A | N/A |
| Operating | TexPool | Local Government Investment Pool | XXXXXXXX0002 | \$ 474,062.98 | \$ 474,062.98 | \$ 476,032.34 | \$ 476,032.34 | 5.05% | \$ 1,969.36 | N/A | N/A | N/A |
| Operating | ABC Bank | Public Funds Checking | XXXX4251 | \$ 16,847.27 | \$ 16,847.27 | \$ 49,672.23 | \$ 49,672.23 | N/A | | N/A | N/A | N/A |
| Debt Service | ABC Bank | Money Market Deposit Account | XXXX4278 | \$ 425,387.36 | \$ 425,387.36 | \$ 429,472.97 | \$ 429,472.97 | 2.48% | \$ 914.77 | N/A | N/A | N/A |
| Debt Service | TexPool | Local Government Investment Pool | XXXXXXXX0001 | \$ 181,007.38 | \$ 181,007.38 | \$ 181,759.33 | \$ 181,759.33 | 5.05% | \$ 751.95 | N/A | N/A | N/A |

Total investment return for the quarter ending June 30, 2023 was \$ 1,017.23 and is in line with budgetary expectations.

There are no changes to market, economic, and investment conditions that would require any changes to investment strategy.

This report is submitted in accordance with the Public Funds Investment Act and the District's investment policy.


Jeff Manzingo, CPA
District Investment Officer

Property Tax Statement

RECEIVABLE BALANCE 'R' REPORT
 ALL OTHERS

| YEAR | UIK | BEGINNING TAX BALANCE | TAX ADJ | BASE TAX COLLECTED | REVERSALS | NET BASE TAX COLLECTED | PERCENT COLLECTED | ENDING TAX BALANCE | P & I COLLECTED | P & I REVERSALS | LRP OTHER PENALTY COLLECTED | TOTAL DISTRIBUTED |
|------|------------------|-----------------------|----------|--------------------|-----------|------------------------|-------------------|--------------------|-----------------|-----------------|-----------------------------|-------------------|
| 2006 | -- BELVEDERE MUD | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2007 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2008 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2009 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2010 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2011 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2012 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2013 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2014 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2015 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2016 | | .60 | .01 | .00 | .00 | .00 | 1.64 % | .60 | .00 | .00 | .00 | .01 |
| 2017 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2018 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2019 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2020 | | .00 | .00 | .00 | .00 | .00 | .00 % | .00 | .00 | .00 | .00 | .00 |
| 2021 | | .00 | 599.16- | .00 | 599.16 | 599.16-100.00 % | | .00 | .00 | .00 | .00 | 599.16- |
| TOTL | | .60 | 599.15- | .01 | 599.16 | 599.15-100.10 % | | .60 | .00 | .00 | .00 | 599.15- |
| 2022 | | 715052.57 | 8625.58- | 701579.08 | 4249.06 | 697330.02 | 98.71 % | 9096.97 | 2708.09 | .00 | .00 | 700038.11 |

| ENTITY | TOTL | 715053.17 | 9224.73- | 701579.09 | 4848.22 | 696730.87 | 98.71 % | 9097.57 | 2708.09 | .00 <th>.00 <th>699438.96</th> </th> | .00 <th>699438.96</th> | 699438.96 |
|--------|------|-----------|----------|-----------|---------|-----------|---------|---------|---------|--------------------------------------|------------------------|-----------|
|--------|------|-----------|----------|-----------|---------|-----------|---------|---------|---------|--------------------------------------|------------------------|-----------|

Outstanding property tax receivable

Debt Service
 2016 = .31
 2022 = 5928.50
5928.81

Operating
 2016 = .29
 2022 = 3168.47
3168.76

Current tax rate

Operating: .0775
 Debt service: .145

Total: .2225

Current Invoices for Approval

Montoya & Monzingo, LLP

P.O. Box 2029
Pflugerville, TX 78691
(512) 251-5668

Invoice

| Date | Invoice # |
|----------|-----------|
| 7/6/2023 | 30445 |

| Bill To |
|--|
| Belvedere MUD P.O. Box 2029 Pflugerville, TX 78691 |

| Description | Amount |
|--------------------------------|-------------------------|
| July 2023 accounting services. | 1,200.00 |
| Thank you for your business. | Total \$1,200.00 |

Montoya & Monzingo, LLP

P.O. Box 2029
Pflugerville, TX 78691
(512) 251-5668

Invoice

| Date | Invoice # |
|----------|-----------|
| 8/2/2023 | 30464 |

| Bill To |
|--|
| Belvedere MUD P.O. Box 2029 Pflugerville, TX 78691 |

| Description | Amount |
|----------------------------------|-------------------------|
| August 2023 accounting services. | 1,200.00 |
| Thank you for your business. | Total \$1,200.00 |



816 Congress Avenue, Suite 1900
Austin, Texas 78701
Telephone: (512) 322-5800
Facsimile: (512) 472-0532
www.lglawfirm.com

June 26, 2023

Belvedere Municipal Utility District
Attn Jeff Monzingo
Montoya & Monzingo LLP
P.O. Box 2029
Pflugerville, TX USA 78691-2029

Invoice: 97542073
Client: 2364
Matter: 0
Billing Attorney: DJK

Tax ID # 74-2308445

INVOICE SUMMARY

For professional services and disbursements rendered through May 31, 2023:

RE: Belvedere Community

| | |
|---------------------------|--------------------|
| Professional Services | \$ 1,801.50 |
| Total Disbursements | <u> .00</u> |
| TOTAL THIS INVOICE | \$ 1,801.50 |



816 Congress Avenue, Suite 1900
Austin, Texas 78701
Telephone: (512) 322-5800
Facsimile: (512) 472-0532
www.lglawfirm.com

July 31, 2023

Belvedere Municipal Utility District
Attn Jeff Monzingo
Montoya & Monzingo LLP
P.O. Box 2029
Pflugerville, TX USA 78691-2029

Invoice: 97542555
Client: 2364
Matter: 0
Billing Attorney: DJK
Tax ID # 74-2308445

INVOICE SUMMARY

For professional services and disbursements rendered through June 30, 2023:

RE: Belvedere Community

| | |
|---------------------------|--------------------|
| Professional Services | \$ 7,603.00 |
| Total Disbursements | <u>\$ 33.20</u> |
| TOTAL THIS INVOICE | \$ 7,636.20 |

Lloyd Gosselink Rochelle & Townsend PC
is committed to offering a more secure, and convenient option to pay your bill using:
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A convenience fee applies.

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QUIDDITY

Invoice Total **\$8,176.25**

Invoice #: ARIV1001261
Invoice date: 6/30/2023
Project Number: 16654-0900-23

Belvedere Municipal Utility District
Jeff Monzingo
c/o Montoya & Monzingo
203 N. Railroad Avenue
Pflugerville, TX 78660

| PLEASE NOTE OUR REMIT INFO | |
|--|-------------------------|
| REMIT ADDRESS: | ACH INFORMATION: |
| Quiddity Engineering, LLC | Truist Bank |
| P.O. Box 664080 | Account #: 76722129 |
| Dallas, TX 75266-4080 | Routing #: 021052053 |
| Please send remittance advice to: AccountsReceivable@Quiddity.com | |
| Payment Terms: Due upon Receipt | |

For professional services from 22-Apr-2023 through 31-May-2023

16654-0900-23 2023 General Consultation (Belvedere MUD)

16654-0900-23.001 - District Operations

| Role | Hours | Rate | Amount |
|---------------------------|--------------|-------------|-----------------|
| 2-Person Field Crew | 6.00 | 195.00 | 1,170.00 |
| Design Engineer I | 1.25 | 125.00 | 156.25 |
| Design Engineer II | 28.50 | 145.00 | 4,132.50 |
| Professional Engineer III | 9.50 | 225.00 | 2,137.50 |
| Project Surveyor III | 4.00 | 145.00 | 580.00 |
| Survey Crew Member | 6.00 | 0.00 | 0.00 |
| Subtotal | 55.25 | | 8,176.25 |

| | |
|------------------|------------------------|
| Invoice subtotal | <u>8,176.25</u> |
| Total | <u><u>8,176.25</u></u> |

Services Include: Verde Mesa and Lakewood Ridge Survey and data analysis, hydraulic & hydrologic updates/modeling, in District meetings and field visits.



QUIDDITY

Invoice Total \$1,812.50

Invoice #: ARIV1001260
Invoice date: 6/30/2023
Project Number: 16654-0005-00

Belvedere Municipal Utility District
Jeff Monzingo
c/o Montoya & Monzingo
203 N. Railroad Avenue
Pflugerville, TX 78660

| PLEASE NOTE OUR REMIT INFO | |
|--|-------------------------|
| REMIT ADDRESS: | ACH INFORMATION: |
| Quiddity Engineering, LLC | Truist Bank |
| P.O. Box 664080 | Account #: 76722129 |
| Dallas, TX 75266-4080 | Routing #: 021052053 |
| Please send remittance advice to: AccountsReceivable@Quiddity.com | |
| Payment Terms: Due upon Receipt | |

For professional services from 22-Apr-2023 through 31-May-2023

16654-0005-00 Belvedere Flagler Ditch Analysis
16654-0005-00.100 - Capacity Analysis

| Role | Hours | Rate | Amount |
|--------------------|--------------|-------------|-----------------|
| Design Engineer II | 12.50 | 145.00 | 1,812.50 |
| Subtotal | 12.50 | | 1,812.50 |

| | |
|-------------------------|------------------------|
| Invoice subtotal | <u>1,812.50</u> |
| Total | <u><u>1,812.50</u></u> |

Services Include: Revised Flagler Ditch Memo and updated exhibits.



SUNSCAPE
LANDSCAPING

INVOICE

Invoice: 18373
Invoice Date: 08/01/2023

BILL TO **PROPERTY ADDRESS**

Belvedere Municipal Utility District
C/O Montoya & Monzingo, LLP
P.O. Box 2029
Pflugerville, TX 78691

Belvedere Municipal Utility District
17400 Flagler Drive
Austin, TX 78738

Phone: 512-251-5668 x25

INVOICE **TERMS** **ACCOUNT MANAGER**

08/01/2023 Net 30 Greg Alford

DESCRIPTION **PRICE**

| | |
|---|-------------------------|
| #23747 - Trail Maintenance Contract August 2023 | \$4,030.92 |
| Trail Maintenance \$1,021.93 | Subtotal: \$4,030.92 |
| HOA /MUS Contract \$3,008.96 | Sales Tax (.00%) \$0.00 |

INVOICE TOTAL: \$4,030.92
Pay This Amount: \$4,030.92

As of 11/1/2022, per the request of Belvedere MUD and Belvedere HOA, the full amount invoiced to MUD and HOA was split 50/50 between MUD and HOA.

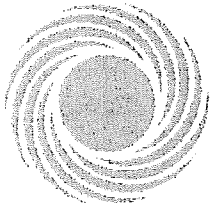
Belvedere MUD is paying \$3,008.96 per month for services performed at Belvedere HOA.

We now offer ACH payment options. Please visit our portal at <https://sunscape.propertyserviceportal.com/> or contact us at AP@Sunscapeaustin.com for more information.

Please use the new remittance address listed below when submitting payment:

Sunscape Landscaping • PO Box 423 • Pflugerville, TX 78660

Thank you for your business!!



SUNSCAPE

LANDSCAPING

INVOICE

Invoice: 17728
Invoice Date: 05/22/2023

BILL TO

Belvedere Municipal Utility District
C/O Montoya & Monzingo, LLP
P.O. Box 2029
Pflugerville, TX 78691

Phone: 512-251-5668 x25

PROPERTY ADDRESS

Belvedere Municipal Utility District
17400 Flagler Drive
Austin, TX 78738

INVOICE

05/22/2023

TERMS

Net 30

ACCOUNT MANAGER

Greg Alford

DESCRIPTION

PRICE

#25661 - 2023 ICE Storm Cleanup / Trails / Ph1

\$1,769.60

Initial clean up of trails within the community making them passable. Phase (2) to follow shortly which is chipping all debris that was moved during the initial clean up.

Subtotal: \$1,769.60
Sales Tax (.00%) \$0.00
INVOICE TOTAL: \$1,769.60
Pay This Amount: \$1,769.60

Please use the new remittance address listed below when submitting payment:

SunScape Landscaping • PO Box 423 • Pflugerville, TX 78660

Thank you for your business!!



Manuela's Cleaning Services

Residential/Commercial Cleaning

11122 West Cave Blvd
Dripping Springs, Texas 78620
Phone: 512-203-2228

Belvedere

Invoice 129

Send payment to:

For:

Manuela's Cleaning Services
11122 West Cave Blvd
Dripping Springs, TX 78620

Belvedere Amenity Center
Payment is due upon receipt
of this invoice

DESCRIPTION

The following cleaning services were performed at the Amenity Center (MUD) on the following dates:

June 3

June 10

June 17

June 24

Labor -4 Days @ 115.00

Totals: \$ 460.00

Please make payments to Manuela's Cleaning Services and mail to the address above. If you have any questions concerning this invoice, contact Manuela Bigley @ 512-203-2228, or e-mail at mlbigley1@yahoo.com. Thank you for your prompt payment.



Victor Insurance Managers
 500 Dallas St., Ste. 1400
 Houston, TX 77002
 301-961-9800

REMINDER INVOICE

Page No. 1

RECEIVED

AUG 07 2023

Invoice Number: SI1110177

Lloyd Gosselink

000008 - 000191

Bill To:

Belvedere MUD
 816 Congress Ave, Ste 1900
 Austin, TX 78701

Invoice Date: 07/30/23

Account # 43860



000008

Victor Insurance Managers
 Victor Insurance Services in MN

DBA in CA and NY: Victor Insurance Services | CA Ins. Lic. # 0156109

301-961-9800 • info.us@victorinsurance.com • 7700 Wisconsin Avenue, Suite 400, Bethesda, MD 20814

Policy Number: 61BSBHM9257
 Insured: Belvedere MUD
 Policy Period: 08/10/23 to 08/10/26
 Installment No.: 0
 Installment Period: 08/10/23 to 08/10/26
 Type of Coverage: BONDS
 State: TX

Due Date 08/10/23 or the date on the binder

| Item/Description | Total Price |
|------------------|-------------|
| Premium-Policy | 520.00 |
| Net Invoice Due | 520.00 |

*Insurance = 86.66
 Prepaid insurance = 433.34*

F.I.D. 36-2668272

Please detach and return this portion to assure proper credit.

Remit To:

Amount of Remittance

\$

Victor Insurance Managers
 14288 Collections Center Drive
 Chicago, IL 60693

Invoice Number: SI1110177
 Invoice Amount: 520.00
 Account #: 43860
 Condensed Name (ACCT): Victor Insurance Managers
 ISN: CI1368363
 Insured: Belvedere MUD
 Policy #: 61BSBHM9257
 Program Code: 4550
 Billing Period: 08/10/23 to 08/10/26
 Location Code: HOUSTON
 Installment No: 0



A.T.Services, LLC
P.O. Box 700
Spicewood, Tx 78669

Invoice

| | |
|----------|-----------|
| Date | Invoice # |
| 7/3/2023 | 5567 |

Email- mark@atserviceshvac.com

| |
|--|
| Bill To |
| Belvedere 17400 Flagler Dr. Austin, Tx 78738 |

TACLA00040532E

| | | |
|----------|--------|----------------------|
| P.O. No. | Terms | Project |
| | Net 30 | Right Unit in closet |

| Quantity | Description | Rate | Amount |
|----------|---|-------------------------|----------|
| 1.5 | 6-22-23- Reported AC system dripping water. Found drain line restricted. Cleaned drain line with Nitrogen and started up unit to ensure water was draining properly. Reference work order 2823. | 105.00 | 157.50T |
| 1 | Nitrogen Charge | 10.50 | 10.50T |
| 1 | Truck Charge | 55.00 | 55.00T |
| | | Sales Tax (0.0%) | \$0.00 |
| | | Total | \$223.00 |

A.T. Services, LLC

Commercial A/C & Heating

TACLA00040532E

405 Dunkeld Drive; Briarcliff, TX 78669

Cell: (512) 981-9305 - Office (512) 264-2490 - Fax (512) 284-8187

SERVICE REPORT

| | | | | | |
|------------------------|------------------|------------------|----------------------|-----|----------|
| DATE | 6/22 | CUSTOMER CONTACT | 512 750 8160 | PO# | 2823 |
| CUSTOMER NAME | Megan Belvedere | | | | |
| ADDRESS | 17400 Flagler Dr | | | | |
| PHONE # | 512 694 2977 | TECH | M/C | | |
| EQUIPMENT MANUFACTURER | TRANE | | | | |
| MODEL# | | SERIAL# | Right unit in closet | | UNIT ID# |

| | | | | | | |
|---|---|--------|--|-----|--|------------------|
| TM: | J | QUOTE: | | PM: | | WORK DESCRIPTION |
| customer had water dripping in return duct due to improper draining. I poured water in the pan and it didn't flow which tells me there was a clog right at the unit. I shot a good amount of pressure in the drain and watched it all quickly drain out hearing that clog clear. unit is properly draining great. | | | | | | |

| LABOR SUMMARY - NAME | DATE | REG | OT | DT |
|----------------------|------|-------|----|----|
| M/C | 6/22 | 1 1/2 | | |
| | | | | |
| | | | | |

| QUANTITY | DESCRIPTION | UNIT PRICE | TOTAL PRICE | CHARGE |
|----------|-------------|------------|-------------|-------------------------|
| | | | | TRUCK CHARGE |
| | | | | RECOVERY CHARGE |
| | | | | VACUUM CHARGE |
| | | | | MISC SUPPLIES |
| | | | | TOTAL |
| | | | | TOTAL LABOR COST |
| | | | | TOTAL MATERIALS |
| | | | | TOTAL EQUIPMENT RENTALS |
| | | | | SALES TAX @ % |
| | | | | TOTAL PRICE |

Receipt of Above Listed Labor Hours and Equipment Rental Hours and Material Verified By:

Customer's Signature _____

Megan Maedgen @FSresidential.com
Customer (Print Name)



QUIDDITY

Invoice Total **\$5,868.75**

Invoice #: ARIV1002844
Invoice date: 8/10/2023
Project Number: 16654-0900-23

Belvedere Municipal Utility District
Jeff Monzingo
c/o Montoya & Monzingo
203 N. Railroad Avenue
Pflugerville, TX 78660

| PLEASE NOTE OUR REMIT INFO | |
|--|-------------------------|
| REMIT ADDRESS: | ACH INFORMATION: |
| Quiddity Engineering, LLC | Truist Bank |
| P.O. Box 664080 | Account #: 76722129 |
| Dallas, TX 75266-4080 | Routing #: 021052053 |
| Please send remittance advice to: AccountsReivable@Quiddity.com | |
| Payment Terms: Due upon Receipt | |

For professional services from 01-Jun-2023 through 30-Jun-2023

16654-0900-23 2023 General Consultation (Belvedere MUD)

16654-0900-23.001 - District Operations

| Role | Hours | Rate | Amount |
|---------------------------|--------------|--------|-----------------|
| Design Engineer I | 1.75 | 125.00 | 218.75 |
| Design Engineer II | 2.50 | 145.00 | 362.50 |
| Professional Engineer III | 23.50 | 225.00 | 5,287.50 |
| Subtotal | 27.75 | | 5,868.75 |

| | |
|-------------------------|------------------------|
| Invoice subtotal | 5,868.75 |
| Total | <u>5,868.75</u> |

Services include: Meeting attendance, drainage consultation, site visits and coordination with contractors and consultants.

Outstanding invoices

| Invoice | Date | Balance |
|-------------|-----------|----------|
| ARIV1001261 | 6/30/2023 | 8,176.25 |

Invoices Paid Between Board Meetings

From: clifford8309@att.net
Sent: Friday, July 14, 2023 3:36 PM
To: 'Jeff Monzingo'; 'Fred Castro'
Cc: 'Odalys C. Johnson PE'; 'Vito Sciaraffia'; elyssa.gonzalez@fsresidential.com
Subject: Belvedere MUD Reimbursement

Flag Status: Flagged

Jeff:

In response to a request from Sean Canahuate, one of the property owners at 8308 Verde Mesa dated October 6, 2022, the Belvedere MUD Board approved (at its January 17, 2023 meeting) reimbursing the property owners in the amount of \$3000. I have excerpted the relevant portion of the Board minutes for your reference.

“Next, Ms. Johnson stated that an analysis had been performed to corroborate the driveway culvert sizes provided by the District’s former engineer for the homes on 8304 and 8308 Verde Mesa with recommendations to control storm water runoff. She stated that her analysis had been provided to the HOA and the District’s Engineering Subcommittee. She stated that this information was provided to the homebuilders and property owners of the homes in question with a request that their driveway culverts be upsized by the HOA. Ms. Johnson stated that the homeowner of 830[8] Verde Mesa had asked for the District’s assistance in paying for at least 50% of the \$6,002.56 cost associated with the driveway culvert upsizing. A copy of this homeowner’s request is attached as Exhibit “I”. Director Clifford moved that the Board authorize an expenditure of \$3,000.00 to the homeowner of 830[8] Verde Mesa for the upsizing of the driveway culvert at this address. Director Sciaraffia seconded the Motion and the Motion passed unanimously, 5-0. Then, Director Koerner moved to authorize Quiddity to study the culverts at the other nearby lots, up to \$5,000,00. Director Parker seconded the motion and the motion passed unanimously, 5-0.”

We have delayed sending you a request to issue a check for this payment in order to ensure that the property owners cooperated with the ditch re-grading on this property that was found to be necessary by the District Engineer. That work has now been completed without any issue. Accordingly, please issue a District check for \$3000 made payable to Sean Canahuate and Julie Micon, the property owners of record, and then mail same to their attention at 8308 Verde Mesa Cove, Austin, TX 78738. Please send a copy of the check to the addressees on this email as well as to Fred in order that he can retain it along with a copy of this email for retention in the District’s records. If you need anything further in this regard, please advise.

Fred: Note that the minutes inadvertently made reference to the wrong address, which I have shown with the [] in the excerpted language. Please advise if you recommend that we correct these minutes at the August Board meeting.

Have a great weekend.

Kim Clifford
713-818-7100

*Paid check 1443
7/19/23*



Victor Insurance Managers
 500 Dallas St., Ste. 1400
 Houston, TX 77002
 301-961-9800

INVOICE

Page No. 1

Invoice Number: SI1110177

000016 - 000134

Bill To:



Belvedere MUD
 816 Congress Ave, Ste 1900
 Austin, TX 78701

Invoice Date: 07/17/23

Account # 43860



000016

Victor Insurance Managers
 Victor Insurance Services In MN

DBA in CA and NY: Victor Insurance Services | CA Ins. Lic. # 0156109
 301-961-9800 • info.us@victorinsurance.com • 7700 Wisconsin Avenue, Suite 400, Bethesda, MD 20814

Policy Number: 61BSBHM9257
 Insured: Belvedere MUD
 Policy Period: 08/10/23 to 08/10/26
 Installment No.: 0
 Installment Period: 08/10/23 to 08/10/26
 Type of Coverage: BONDS
 State: TX

Due Date 08/10/23 or the date on the binder

| Item/Description | Total Price |
|------------------|-------------|
| Premium-Policy | 520.00 |
| Net Invoice Due | 520.00 |

*Paid check #1444
8/2/23*

F.I.D. 36-2668272

Please detach and return this portion to assure proper credit.

Remit To:

Amount of Remittance

\$

Victor Insurance Managers
 14288 Collections Center Drive
 Chicago, IL 60693

Invoice Number: SI1110177
 Invoice Amount: 520.00
 Account #: 43860
 Condensed Name (ACCT): Victor Insurance Managers
 ISN: CI1368363
 Insured: Belvedere MUD
 Policy #: 61BSBHM9257
 Program Code: 4550
 Billing Period: 08/10/23 to 08/10/26
 Location Code: HOUSTON
 Installment No. 0





BELVEDERE MUD
 PO BOX 2029
 PFLUGERVILLE TX 78691-2029

Page: 1 of 3
 Issue Date: Jun 22, 2023
 Account Number: 312935378

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Managing your AT&T bills, products, and services on the go? It's a snap with myAT&T. Go to att.com/myatt to sign in or sign up.

Total due



\$152.72

AutoPay is scheduled for:
Jul 16, 2023

Account summary

| | |
|------------------------------|---------------|
| Your last bill | \$152.72 |
| Payment, Jun 13 - Thank you! | -\$152.72 |
| Remaining balance | \$0.00 |

Service summary

| | | |
|---|---------------|-----------------|
|  Internet | <i>Page 2</i> | \$86.02 |
|  Phone | <i>Page 2</i> | \$66.70 |
| Total services | | \$152.72 |

*Paid 7/4/23
Paid EFT 7/16/23*

Total due **\$152.72**

AutoPay is scheduled to debit your bank account on Jul 16, 2023

Ways to pay and manage your account:

 **myAT&T app**
iPhone and Android

 **att.com/pay**

 **Ordering, billing or support**
800.321.2000
TTY: 800.651.5111



Questions? Call 888-554-4732
 Monday through Friday, 8 a.m. – 5:30 p.m.
 Report an outage: 888-883-3379
 pec.coop Se habla Español

Member-owned since 1938
 nonprofit

Account #: 3001549599
 Member Name: BELVEDERE MUD
 Director District: 5
 Bill Date: 06/28/2023

AUTOPAY AMOUNT

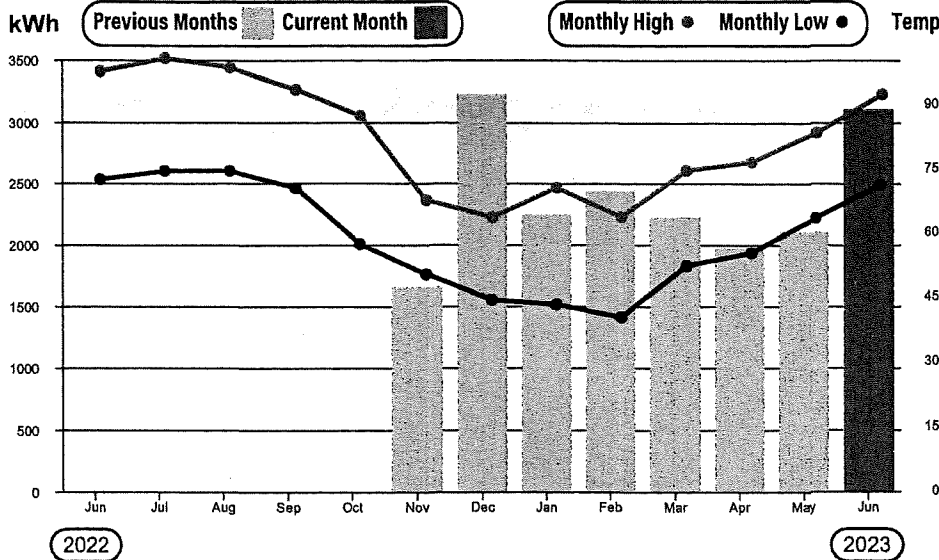
\$318.81

Paid By Bank Draft
 07/18/2023

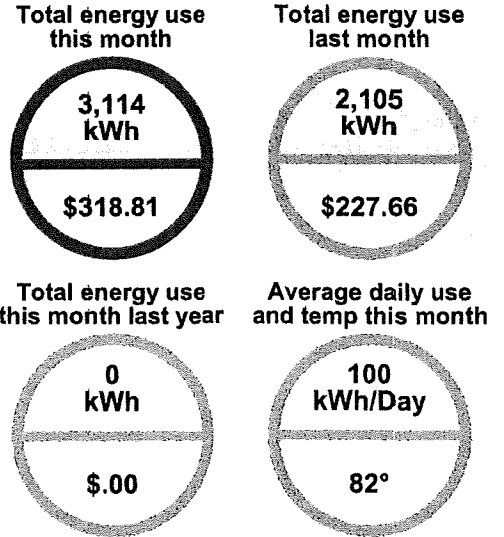
Service Address: 17400 FLAGLER DRIVE

This bill does not reflect payments after 06/28/2023.
 Charge detail found on the back of this page.

Monthly energy use



Energy comparison



IMPORTANT MEMBER INFORMATION

What would you give to make a change? For less than \$1 a month, you can support local nonprofits by rounding up your bill through the PEC Power of Change Program. Enroll today at pec.coop/change.

*Rec'd 7/3/23
 Paid EFT 7/18/23*

KEEP THIS STATEMENT FOR YOUR RECORDS
 PLEASE DETACH AND RETURN BOTTOM PORTION WITH YOUR PAYMENT - WHEN PAYING IN PERSON BRING ENTIRE STATEMENT



Pedernales Electric Cooperative
 PO Box 1 • Johnson City, TX 78636

Bill Date: 06/28/2023
 Account #: 3001549599
 AutoPay Amount - DO NOT PAY: \$318.81
 Bank Draft on 07/18/2023

Check this box to opt in to PEC Power of Change! PEC Secure Pay Station barcode

One time donation Recurring donation _____



Mail payment to:

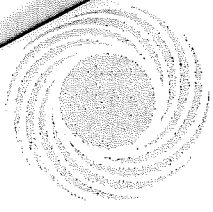
Pedernales Electric Cooperative, Inc.
 PO Box 1
 Johnson City, TX 78636-0001

7693 1 AB 0.507
 BELVEDERE MUD
 PO BOX 2029
 PFLUGERVILLE TX 78691-2029

5 7693
 C-30



460763001549599000031881000035069062820234



SUNSCAPE

LANDSCAPING

INVOICE

Invoice: 18068
Invoice Date: 07/01/2023

BILL TO PROPERTY ADDRESS

Belvedere Municipal Utility District
C/O Montoya & Monzingo, LLP
P.O. Box 2029
Pflugerville, TX 78691

Belvedere Municipal Utility District
17400 Flagler Drive
Austin, TX 78738

Phone: 512-251-5668 x25

INVOICE TERMS ACCOUNT MANAGER

07/01/2023 Net 30 Greg Alford

DESCRIPTION PRICE

#23747 - Trail Maintenance Contract July 2023 \$4,030.92

| | | |
|------------------------------|-------------------------|-------------------|
| Trail Maintenance \$1,021.93 | Subtotal: | \$4,030.92 |
| HOA /MUS Contract \$3,008.96 | Sales Tax (.00%) | \$0.00 |
| | INVOICE TOTAL: | \$4,030.92 |
| | Pay This Amount: | \$4,030.92 |

As of 11/1/2022, per the request of Belvedere MUD and Belvedere HOA, the full amount invoiced to MUD and HOA was split 50/50 between MUD and HOA.

Belvedere MUD is paying \$3,008.96 per month for services performed at Belvedere HOA.

*Paid check #1445
8/2/23*

Please use the new remittance address listed below when submitting payment:

Sunscape Landscaping • PO Box 423 • Pflugerville, TX 78660

Thank you for your business!!



BELVEDERE MUD
 PO BOX 2029
 PFLUGERVILLE TX 78691-2029

Page: 1 of 3
 Issue Date: Jul 22, 2023
 Account Number: 312935378

Want to stop receiving paper bills and enjoy the convenience of paperless billing? Enroll at att.com/paperless

Managing your AT&T bills, products, and services on the go? It's a snap with myAT&T. Go to att.com/myatt to sign in or sign up.

Total due

\$152.80

AutoPay is scheduled for:
 Aug 13, 2023

Account summary

| | |
|------------------------------|---------------|
| Your last bill | \$152.72 |
| Payment, Jul 16 - Thank you! | -\$152.72 |
| Remaining balance | \$0.00 |

Service summary

| | | |
|-----------------------|---------------|-----------------|
| Internet | <i>Page 2</i> | \$86.02 |
| Phone | <i>Page 2</i> | \$66.78 |
| Total services | | \$152.80 |

Total due **\$152.80**

AutoPay is scheduled to debit your bank account on Aug 13, 2023

*Paid BFT 8/13/23
 Rec'd 7/31/23*

Ways to pay and manage your account:

myAT&T app
 iPhone and Android

att.com/pay

Ordering, billing or support
800.321.2000
 TTY: 800.651.5111



TEXAS DISPOSAL SYSTEMS, INC.

PO BOX 674090 • Dallas, TX 75267-4090
1 (800) 375-8375 PHONE • (512) 421-1344 FAX
www.texasdisposal.com

INVOICE

| | |
|-------------------|---------------------|
| ACCOUNT #: | 1 -0114386 3 |
| ACCOUNT NAME: | BELVEDERE MUD |
| INVOICE DATE: | 07/01/2023 |
| INVOICE #: | 7346587 |
| PAY THIS AMOUNT: | 14,472.24 |
| SERVICE LOCATION: | VARIOUS RESIDENTIAL |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|---------|--|------|------|--------------|
| 7/01/23 | ** Sub Acct: 1 - 6836 BARNES 8509 SPRINGDALE RIDGE DR 96G TRASH@CURB+3 BAGS Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 7595 HARGROVE 8100 BELLANCIA DR 96G TRASH@CURB+3 BAGS Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 8065 ATCHLEY 8817 BELLANCIA DR 96G TRASH@CURB+3 BAGS Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 9881 NUGENT 8401 LAKEWOOD RIDGE CV 96G TRASH@CURB+3 BAGS Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 13827 COLEY, JAMIE 8324 VERDE MESA CV 96G TRASH@CURB+3 BAGS Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 14993 SCHICKEL/SARKODI 8508 ROLLINS DR 96G TRASH@CURB+3 BAGS Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 15794 GOFORTH | | | |

IMPORTANT MESSAGE:

PAYMENT DUE UPON RECEIPT

PLEASE REMIT BOTTOM PORTION WITH YOUR PAYMENT

| INVOICE DATE | INVOICE # | DUE DATE |
|--------------|------------|--------------|
| 07/01/2023 | 7346587 | UPON RECEIPT |
| ACCT. # | AMOUNT DUE | |
| 1 -0114386 3 | 14,472.24 | |



TEXAS DISPOSAL SYSTEMS, INC.

PO BOX 17126
AUSTIN, TX 78760-7126

41599-4FDK

PAGE: 1 of 14


RETURN SERVICE REQUESTED



Please check if address is incorrect and indicate change on reverse side.



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 BELVEDERE MUD
 JEFF MONZINGO
 P.O. BOX 2029
 PFLUGERVILLE, TX 78691-2029

Pay bill online @ texasdisposal.com
41599-4FDK*TN10040IE000024

655898E (PC2)

0101143863734658700014472249

TEXAS DISPOSAL SYSTEMS, INC.
PO BOX 674090
DALLAS, TX 75267-4090



SERVICE LOCATION BELVEDERE MUD VARIOUS RESIDENTIAL
AUSTIN TX 78738

JEFF MONZINGO

TEXAS DISPOSAL SYSTEMS

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| | 8325 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 16317 EVANS | | | |
| | 18309 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114414 MENAKOFF | | | |
| | 7900 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114415 KOERNER | | | |
| | 7824 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114416 SCHNEEBERGER | | | |
| | 7816 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114417 BLOSSER | | | |
| | 7808 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114418 SIMPSON | | | |
| | 7732 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114419 MARSHALL | | | |
| | 7709 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114420 FOSSUM | | | |
| | 18032 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114421 BRANDT | | | |
| | 18000 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114422 DATTA | | | |
| | 18033 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114423 ROTH | | | |
| | 17929 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114424 TOSCHIK | | | |
| | 18128 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114425 TRICKETT | | | |
| | 8017 MAGNOLIA RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 114646 BELVEDERE AMENIT | | | |
| | 17400 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | 96G RES TRASH XTRA CART | 1.00 | | 16.89 |



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|------|---|------|------|--------------|
| | Total | | | 91.02 |
| | ** Sub Acct: 1 - 114849 HOLM 7716 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 115034 MILLER 7901 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 117497 DINGER 18041 GLENVILLE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 117762 BRADSHAW 7825 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 117860 KOESTER 17945 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 118368 KUCHLER 7817 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 120319 RIEGER 8000 CARLTON RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 121009 FALDYN 18025 GLENVILLE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 121996 KAPOOR 7800 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 122287 POLON 8133 MAGNOLIA RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 123909 SHULTZ 8016 MAGNOLIA RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 124090 UBERTINI 8401 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 124149 COCAVESSIS 18109 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 124668 CROCKETT 8001 MAGNOLIA RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 124718 WILES 18432 FLAGLER DR | | | |

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| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|------|--|------|------|--------------|
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 125352 ROBERTS 8025 CARLTON RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 125687 BECKER 7717 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 125826 KELLY 8041 CARLTON RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 126478 PALMER 17937 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 126666 RUNKLE 7708 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 127961 GUZIEJKA 18016 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 128525 WEST 18200 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 128597 HARRIMAN 17736 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 128625 O'BRIEN 18308 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 135928 WALDRIP 8416 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 136483 LINDEN 17813 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 136802 DAVIS 8408 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 138176 RENNELL 18425 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 139416 JARVIS 17737 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 140184 PERRY | | | |



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| | 7809 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 140185 MILLSAP, PAUL | | | |
| | 8305 VERDE MESA CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 141679 RACHAL | | | |
| | 18317 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 142850 WILSON | | | |
| | 18417 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 143066 HAMMOND | | | |
| | 17901 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 144327 RUSSELL | | | |
| | 18441 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 145046 SMITH | | | |
| | 18301 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 145047 HUNTOON | | | |
| | 18449 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 145098 ADAY | | | |
| | 17701 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 145134 KELLY | | | |
| | 18029 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 145712 SKUTTA | | | |
| | 18201 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 145784 LUECHENOFF | | | |
| | 17725 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 146541 WHITE | | | |
| | 18208 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 146898 CRANE | | | |
| | 8317 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 148421 LILLY | | | |
| | 8200 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |

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| | ** Sub Acct: 1 - 148645 BILBERY 18209 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 148734 HOOVER 8809 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 149206 BAKSI 17217 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 150155 SCHWAMB 8601 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 152178 GOLDE 8301 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 152188 DUCHALA 7724 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 152605 SARTAIN 8300 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 152967 DOLCH 18416 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 152990 VILLAREAL 8301 VERDE MESA CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 153797 KEIPER 17113 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 154017 NIEVES 18225 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 154025 BRUNNER 8617 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 154422 NORRIS 8701 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 154825 BIRDWELL 17201 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | 74.13 | |
| | ** Sub Acct: 1 - 154883 VOLESKO,JUSTYN 8109 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |



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| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 155125 PRESTI 17600 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 155644 ODOM 17801 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 156612 AUGUSTINE 8724 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 157108 ABDALLAH 8201 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 157135 DAVEY 8808 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 157312 JONES 8524 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 157647 SNODGRASS 18045 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 157803 GREENE 17100 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 157903 RUDY 7619 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 158456 DUNCAN 17117 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 158457 GLASSMAN 8517 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 159588 WARREN 17212 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 160500 VEDROS 8101 MAGNOLIA RIDGE CV 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 161437 ZIMMERMAN 8716 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 161438 WILLIAMS 8125 MAGNOLIA RIDGE CV | | | |

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|------|---|------|------|--------------|
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 161439 DE ROSA 8300 VERDE MESA CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 162027 DONOVAN 8616 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 164736 POTTS 8024 CARLTON RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 164738 ATKINS 8308 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 164739 FREZON 8324 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 165327 YOUNG 18325 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 166651 TRAWICK 8000 MAGNOLIA RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 167567 GUERRERO 18216 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 172769 DECARDENAS 8117 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 174625 LAOSA 8317 VERDE MESA CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 175287 GOLDE 8217 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 175927 BLACK 8321 VERDE MESA CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 175934 NEALON 18217 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 175961 CASSARA 8312 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 177001 BRYSON | | | |



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| 1 -0114386 3 | 07/01/2023 | 7346587 | 9 of 14 |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|------|---------------------------------------|------|------|--------------|
| | 17108 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 177431 KATHY | | | |
| | 8313 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 177433 RODRIGUEZ | | | |
| | 8717 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 177783 CHRISTIAN | | | |
| | 17612 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 179123 BALDWIN | | | |
| | 8101 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 179509 SHVETZ | | | |
| | 8100 MAGNOLIA RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 180872 LOEPER | | | |
| | 8501 ROLLINS DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 182870 HUMPHRIES | | | |
| | 8800 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 182871 BELISLE | | | |
| | 8517 ROLLINS DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 182872 FORD | | | |
| | 8404 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 183091 GLASS | | | |
| | 8304 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184705 DULTON, JAMES | | | |
| | 17837 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184707 SALVAGGIO | | | |
| | 17800 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184709 GREENBERG | | | |
| | 17713 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184711 MILLER | | | |
| | 8400 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |

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TEXAS DISPOSAL SYSTEMS

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| 1 -0114386 3 | 07/01/2023 | 7346587 | 10 of 14 |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|------|--|------|------|--------------|
| | ** Sub Acct: 1 - 184712 CARMEN 8600 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184713 SCIARAFFIA 8312 VERDE MESA CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184785 BEASELY 17700 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 184786 CHRISTIAN 17724 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 185163 POULIN 8700 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 185754 SORRENTINO 8509 ROLLINS DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 186369 LEONARD 17204 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 187509 BLANTON CLIFFORD 8309 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 188883 SCRANAGE 8609 ROLLINS DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 188889 SETH 8516 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 189075 HUFF 7700 LYNCHBURG DR 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 189077 MICKLE 8116 MAGNOLIA RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 195982 DANIEL 8317 LAKEWOOD RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 195983 OBRIEN 17500 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 196521 ALAGNA 18401 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |



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TEXAS DISPOSAL SYSTEMS

| ACCOUNT # | INVOICE DATE | INVOICE # | PAGE |
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| 1 -0114386 3 | 07/01/2023 | 7346587 | 11 of 14 |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|------|---|------|------|--------------|
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 196989 LAWSON 8320 VERDE MESA CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 197499 HARWELL 8309 VERDE MESA CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 198517 SANDERS 8316 LAKEWOOD RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 198654 ZERBY 8801 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 198783 TURLINGTON 17525 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 198785 BENNETT 18009 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 199798 MCNIVEN 8508 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 202639 RIVERS, DAVID 17912 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 207424 VOGT 8609 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 207834 SOUTH 8500 BELLANCIA DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 209764 SALOMON 8400 LAKEWOOD RIDGE CV 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 210006 CRANE 8040 CARLTON RIDGE CV 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 212414 LOERCH 8508 SPRINGDALE RIDGE DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 216417 MORELAND 17112 FLAGLER DR 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 217885 RITCHER 8600 ROLLINS DR | | | |

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TEXAS DISPOSAL SYSTEMS

| ACCOUNT # | INVOICE DATE | INVOICE # | PAGE |
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| 1 -0114386 3 | 07/01/2023 | 7346587 | 12 of 14 |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|------|---|------|------|--------------|
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 221576 MCLAUGHLIN 17513 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 222200 ALTMAN 8309 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 224902 HUDLER 8608 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 228357 TURNER 8413 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 228358 PETRO 17613 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 228771 LUNDERSTEDT 18001 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 229947 AUGUSTINE 17824 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 232343 FRIED 17601 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 237748 MAJOR 8709 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 237989 COZART 18024 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 240979 EICHLER 18008 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 243661 LEE 8313 VERDE MESA CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 243973 SPENCER 18409 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 244163 POLK 8516 ROLLINS DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 245981 GRAFT | | | |



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TEXAS DISPOSAL SYSTEMS

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| 1 -0114386 3 | 07/01/2023 | 7346587 | 13 of 14 |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|------|---------------------------------|------|------|--------------|
| | 18017 GLENVILLE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 246735 ALLISON | | | |
| | 8321 LAKEWOOD RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 252761 JAMESON | | | |
| | 7909 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 253598 BERGER | | | |
| | 7908 LYNCHBURG DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 257247 JEFFERS | | | |
| | 18224 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 257664 HILTON | | | |
| | 8308 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 258469 ROGERS | | | |
| | 8601 ROLLINS DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 261884 KREISEL | | | |
| | 18333 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 268254 DALL | | | |
| | 8117 MAGNOLIA RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 269762 ROBERTS | | | |
| | 8116 MAGNOLIA RIDGE CV | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 270369 HARVEY | | | |
| | 8816 BELLANCIA DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 270370 FABRE | | | |
| | 8609 SPRINGDALE RIDGE DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 272354 GARDNER | | | |
| | 17913 FLAGLER DR | | | |
| | 96G TRASH@CURB+3 BAGS | 2.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 273994 LUCAS | | | |
| | 8617 SPRINGDALE RIDGE DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 275808 JONES | | | |
| | 8516 SPRINGDALE RIDGE DR | | | |
| | 96G TRASH@CURB+3 BAGS | 1.00 | | 74.13 |
| | Total | | | 74.13 |

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TEXAS DISPOSAL SYSTEMS

| ACCOUNT # | INVOICE DATE | INVOICE # | PAGE |
|--------------|--------------|-----------|----------|
| 1 -0114386 3 | 07/01/2023 | 7346587 | 14 of 14 |

| DATE | DESCRIPTION | QTY. | RATE | TOTAL AMOUNT |
|---------|---|------|------|--------------|
| | ** Sub Acct: 1 - 280598 BEARD 8616 SPRINGDALE RIDGE DR 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 288630 MILKIEWICZ 8601 SPRINGDALE RIDGE DR 96G TRASH@CURB+3 BAGS | | | |
| 3/31/23 | | 1.00 | | 24.71 |
| 4/30/23 | | 1.00 | | 24.71 |
| 5/31/23 | | 1.00 | | 24.71 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 290021 STARR 17208 FLAGLER DR 96G TRASH@CURB+3 BAGS | | | |
| 7/01/23 | | 1.00 | | 74.13 |
| | Total | | | 74.13 |
| | ** Sub Acct: 1 - 292099 HALL 8608 SPRINGDALE RIDGE DR 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 292118 SMITH 18433 FLAGLER DR 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 293380 SAUNDERS 8124 MAGNOLIA RIDGE CV 96G TRASH@CURB+3 BAGS | | | |
| | Total | 2.00 | | 74.13 |
| | ** Sub Acct: 1 - 293382 CANAHUATE 8308 VERDA MESA CV 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 293775 KAUACHI 17104 FLAGLER DR 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 297356 8325 VERDE MESA 8325 VERDE MESA CV 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 297359 MAXEY 8216 BELLANCIA DR 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 299503 WALTERS 8301 LAKEWOOD RIDGE CV 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |
| | ** Sub Acct: 1 - 300579 SAMPSON 8316 VERDA MESA CV 96G TRASH@CURB+3 BAGS | | | |
| | Total | 1.00 | | 74.13 |

Total Invoice: 14,472.24 14,472.24



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ABC Bank Statements

TexPool Statements



Drawer 9
Wolfforth, Texas 79382-0009

www.theabcbank.com

3598799
Belvedere Municipal Utility District
General Funds
PO Box 2029
Pflugerville TX 78691

Date 7/31/23 Page 1
Primary Account XXXXXXXXXXXX [REDACTED]

* Please help us keep your contact information updated. In the event of fraud or other related issues, it is important for us to be able to contact you. *

Checking Account

Account Title: Belvedere Municipal Utility District
General Funds

| | | | |
|--|-------------------|------------------------------|-----------|
| Business Checking Public Funds | Enclosures/Images | 9 | |
| Account Number XXXXXXXXXXXX [REDACTED] | Statement Dates | 7/03/23 thru 7/31/23 | |
| Previous Balance | 49,672.23 | Days in the Statement Period | 29 |
| 4 Deposits/Credits | 12,330.54 | Average Ledger Balance | 26,815.90 |
| 10 Checks/Debits | 32,800.68 | Average Collected | 26,718.59 |
| Service Charge Amount | .00 | | |
| Interest Paid | .00 | | |
| Current Balance | 29,202.09 | | |

Deposits and Other Credits

| Date | Description | Amount |
|------|----------------------|----------|
| 7/19 | Deposit | 111.00 |
| 7/19 | Deposit | 1,500.00 |
| 7/27 | PPD F746000192 | 9,152.30 |
| 7/28 | CONS PAY PT CLEARING | |
| | PPD F746000192 | 1,567.24 |
| | CONS PAY PT CLEARING | |

Debits

| Date | Description | Amount |
|------|---------------------------|---------|
| 7/10 | PPD 0000358635 | 113.77- |
| 7/18 | SPECTRUM SPECTRUM | |
| | PPD 9864031004 | 152.72- |
| | Payment ATT | |
| 7/19 | CCD 2740828412 | 318.81- |
| | ELEC_BILL Pedernales_Elec | |





Date 7/31/23 Page 2
 Primary Account XXXXXXXXXXXX [REDACTED]

Belvedere Municipal Utility District
 General Funds
 PO Box 2029
 Pflugerville TX 78691

Business Checking Public Funds XXXXXXXXXXXX [REDACTED] (Continued)

| Date | Description | Debits | Amount |
|------|-------------|--------|--------|
| | 3001549599 | | |

| Date | Check No. | Amount | Date | Check No. | Amount |
|------|-----------|----------|------|-----------|-----------|
| 7/12 | 1434 | 4,030.92 | 7/12 | 1440 | 4,030.92 |
| 7/05 | 1436* | 2,400.00 | 7/10 | 1441 | 16,970.50 |
| 7/05 | 1438* | 3,568.75 | 7/05 | 1442 | 460.00 |
| 7/07 | 1439 | 754.29 | | | |

Daily Balance Information

| Date | Balance | Date | Balance | Date | Balance |
|------|-----------|------|-----------|------|-----------|
| 7/03 | 49,672.23 | 7/10 | 25,404.92 | 7/19 | 18,482.55 |
| 7/05 | 43,243.48 | 7/12 | 17,343.08 | 7/27 | 27,634.85 |
| 7/07 | 42,489.19 | 7/18 | 17,190.36 | 7/28 | 29,202.09 |

End Of Statement



Belvedere Municipal Utility District
Reconciliation Detail
Checking Account - ABC Bank, Period Ending 07/31/2023

| Type | Date | Num | Name | Clr | Amount | Balance |
|---------------------------------------|------------|------|----------------------|-----|-------------------|------------------------|
| Beginning Balance | | | | | | 49,672.23 |
| Cleared Transactions | | | | | | |
| Checks and Payments - 10 Items | | | | | | |
| Check | 05/18/2023 | 1434 | Sunscape Lands... | X | -4,030.92 | -4,030.92 |
| Check | 06/20/2023 | 1441 | Lloyd Gosselink ... | X | -16,970.50 | -21,001.42 |
| Check | 06/20/2023 | 1440 | Sunscape Lands... | X | -4,030.92 | -25,032.34 |
| Check | 06/20/2023 | 1438 | Quiddity Engineer... | X | -3,568.75 | -28,601.09 |
| Check | 06/20/2023 | 1436 | Montoya & Monzi... | X | -2,400.00 | -31,001.09 |
| Check | 06/20/2023 | 1439 | Travis Central Ap... | X | -754.29 | -31,755.38 |
| Check | 06/20/2023 | 1442 | Manuela's Cleani... | X | -460.00 | -32,215.38 |
| Check | 07/10/2023 | EFT | Spectrum Business | X | -113.77 | -32,329.15 |
| Check | 07/16/2023 | EFT | AT & T | X | -152.72 | -32,481.87 |
| Check | 07/18/2023 | EFT | Pedernales Electr... | X | -318.81 | -32,800.68 |
| Total Checks and Payments | | | | | -32,800.68 | -32,800.68 |
| Deposits and Credits - 4 items | | | | | | |
| Deposit | 07/19/2023 | | | X | 111.00 | 111.00 |
| Deposit | 07/19/2023 | | | X | 1,500.00 | 1,611.00 |
| Deposit | 07/27/2023 | | | X | 9,152.30 | 10,763.30 |
| Deposit | 07/28/2023 | | | X | 1,567.24 | 12,330.54 |
| Total Deposits and Credits | | | | | 12,330.54 | 12,330.54 |
| Total Cleared Transactions | | | | | -20,470.14 | -20,470.14 |
| Cleared Balance | | | | | -20,470.14 | 29,202.09 ^W |
| Uncleared Transactions | | | | | | |
| Checks and Payments - 1 item | | | | | | |
| Check | 07/19/2023 | 1443 | Sean Canahauat... | | -3,000.00 | -3,000.00 |
| Total Checks and Payments | | | | | -3,000.00 | -3,000.00 |
| Total Uncleared Transactions | | | | | -3,000.00 | -3,000.00 |
| Register Balance as of 07/31/2023 | | | | | -23,470.14 | 26,202.09 |
| New Transactions | | | | | | |
| Checks and Payments - 4 items | | | | | | |
| Check | 08/02/2023 | 1445 | Sunscape Lands... | | -4,030.92 | -4,030.92 |
| Check | 08/02/2023 | 1444 | Victor Insurance ... | | -520.00 | -4,550.92 |
| Check | 08/13/2023 | EFT | AT & T | | -152.80 | -4,703.72 |
| Check | 08/18/2023 | EFT | Pedernales Electr... | | -402.19 | -5,105.91 |
| Total Checks and Payments | | | | | -5,105.91 | -5,105.91 |
| Total New Transactions | | | | | -5,105.91 | -5,105.91 |
| Ending Balance | | | | | -28,576.05 | 21,096.18 |



Drawer 9
Wolfforth, Texas 79382-0009

www.theabcbank.com

3597919
Belvedere Municipal Utility District
Operating Money Market
PO Box 2029
Pflugerville TX 78691

Date 7/31/23 Page 1
Primary Account XXXXXXXXXXXX [REDACTED]

5

* Please help us keep your contact information updated. In the event of fraud or other related issues, it is important for us to be able to contact you. *

Checking Account

Account Title: Belvedere Municipal Utility District
Operating Money Market

| | | | |
|--------------------------|-------------------------|--------------------------------|----------------------|
| Money Market Public Fund | | Enclosures/Images | 0 |
| Account Number | XXXXXXXXXXXX [REDACTED] | Statement Dates | 7/03/23 thru 7/31/23 |
| Previous Balance | 40,727.00 | Days in the Statement Period | 29 |
| Deposits/Credits | .00 | Average Ledger Balance | 40,727.00 |
| Checks/Debits | .00 | Average Collected | 40,727.00 |
| Service Charge Amount | .00 | Interest Earned | 50.16 |
| Interest Paid | 50.16 | Annual Percentage Yield Earned | 1.56% |
| Current Balance | 40,777.16 | 2023 Interest Paid | 489.78 |

Deposits and Other Credits

| Date | Description | Amount |
|------|------------------|--------|
| 7/31 | Interest Deposit | 50.16 |

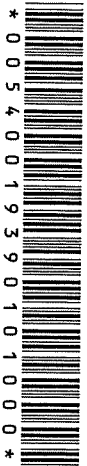
Daily Balance Information

| Date | Balance | Date | Balance |
|------|-----------|------|-----------|
| 7/03 | 40,727.00 | 7/31 | 40,777.16 |

INTEREST RATE SUMMARY

| Date | Rate |
|------|-----------|
| 7/02 | 1.550000% |

End of Statement



Belvedere Municipal Utility District
Reconciliation Detail
Money Market - ABC Bank, Period Ending 07/31/2023

| Type | Date | Num | Name | Clr | Amount | Balance |
|-----------------------------------|------------|-----|------|-----|--------|--------------------|
| Beginning Balance | | | | | | 40,727.00 |
| Cleared Transactions | | | | | | |
| Deposits and Credits - 1 item | | | | | | |
| Deposit | 07/31/2023 | | | X | 50.16 | 50.16 |
| Total Deposits and Credits | | | | | 50.16 | 50.16 |
| Total Cleared Transactions | | | | | 50.16 | 50.16 |
| Cleared Balance | | | | | 50.16 | 40,777.16 |
| Register Balance as of 07/31/2023 | | | | | 50.16 | 40,777.16 |
| Ending Balance | | | | | 50.16 | 40,777.16 <i>m</i> |

TexPool Participant Services
 1001 Texas Avenue, Suite 1150
 Houston, TX 77002



Participant Statement

BELVEDERE MUD
 GENERAL FUND
 ATTN JEFF MONZINGO
 PO BOX 2029
 PFLUGERVILLE TX 78691-2029

Statement Period **06/01/2023 - 06/30/2023**

Page 1 of 2

Customer Service **1-866-TEX-POOL**
 Location ID **[REDACTED]**
 Investor ID **[REDACTED]**

TexPool Update

Keep up to date with the latest market talk from our portfolio managers and strategists by visiting the Insights page of TexPool.com.

TexPool Summary

| Pool Name | Beginning Balance | Total Deposits | Total Withdrawals | Total Interest | Current Balance | Average Balance |
|--|---------------------|----------------|-------------------|-------------------|---------------------|-------------------|
| Texas Local Government Investment Pool | \$474,062.98 | \$0.00 | \$0.00 | \$1,969.36 | \$476,032.34 | \$474,128.63 |
| Total Dollar Value | \$474,062.98 | \$0.00 | \$0.00 | \$1,969.36 | \$476,032.34 | [REDACTED] |

Portfolio Value

| Pool Name | Pool/Account | Market Value (06/01/2023) | Share Price (06/30/2023) | Shares Owned (06/30/2023) | Market Value (06/30/2023) |
|--|--------------|---------------------------|--------------------------|---------------------------|---------------------------|
| Texas Local Government Investment Pool | [REDACTED] | \$474,062.98 | \$1.00 | 476,032.340 | \$476,032.34 |
| Total Dollar Value | | \$474,062.98 | | | \$476,032.34 |

Interest Summary

| Pool Name | Pool/Account | Month-to-Date Interest | Year-to-Date Interest |
|--|--------------|------------------------|-----------------------|
| Texas Local Government Investment Pool | [REDACTED] | \$1,969.36 | \$10,951.41 |
| Total | | \$1,969.36 | \$10,951.41 |



Transaction Detail

Texas Local Government Investment Pool

Participant: BELVEDERE MUD

Pool/Account: XXXXXXXXXX

| Transaction Date | Settlement Date | Transaction Description | Transaction Dollar Amount | Share Price | Shares This Transaction | Shares Owned |
|--------------------------------|-----------------|-------------------------|---------------------------|-------------|-------------------------|--------------|
| 06/01/2023 | 06/01/2023 | BEGINNING BALANCE | \$474,062.98 | \$1.00 | | 474,062.980 |
| 06/30/2023 | 06/30/2023 | MONTHLY POSTING | \$1,969.36 | \$1.00 | 1,969.360 | 476,032.340 |
| Account Value as of 06/30/2023 | | | \$476,032.34 | \$1.00 | | 476,032.340 |



Belvedere Municipal Utility District
Reconciliation Detail
 TexPool, Period Ending 06/30/2023

| Type | Date | Num | Name | Clr | Amount | Balance |
|--|------------|-----|------|-----|-----------------|-----------------------------|
| Beginning Balance | | | | | | 474,062.98 |
| Cleared Transactions | | | | | | |
| Deposits and Credits - 1 Item | | | | | | |
| Deposit | 06/30/2023 | | | X | 1,969.36 | 1,969.36 |
| Total Deposits and Credits | | | | | 1,969.36 | 1,969.36 |
| Total Cleared Transactions | | | | | 1,969.36 | 1,969.36 |
| Cleared Balance | | | | | 1,969.36 | 476,032.34 |
| Register Balance as of 06/30/2023 | | | | | 1,969.36 | 476,032.34 |
| Ending Balance | | | | | <u>1,969.36</u> | <u>476,032.34</u> <i>ms</i> |



Drawer 9
Wolfforth, Texas 79382-0009

www.theabcbank.com

3597917
Belvedere Municipal Utility District
Debt Services
PO Box 2029
Pflugerville TX 78691

Date 7/31/23 Page 1
Primary Account XXXXXXXXXXXXX

* Please help us keep your contact information updated. In the event of fraud or other related issues, it is important for us to be able to contact you. *

Checking Account

Account Title: Belvedere Municipal Utility District
Debt Services

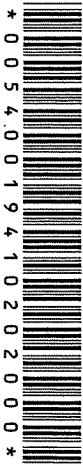
| | | | |
|--------------------------|--------------|--------------------------------|----------------------|
| Money Market Public Fund | | Enclosures/Images | 0 |
| Account Number | XXXXXXXXXXXX | Statement Dates | 7/03/23 thru 7/31/23 |
| Previous Balance | 429,472.97 | Days in the Statement Period | 29 |
| Deposits/Credits | .00 | Average Ledger Balance | 362,927.55 |
| 6 Checks/Debits | 385,963.38 | Average Collected | 362,927.55 |
| Service Charge Amount | .00 | Interest Earned | 712.87 |
| Interest Paid | 712.87 | Annual Percentage Yield Earned | 2.50% |
| Current Balance | 44,222.46 | 2023 Interest Paid | 4,114.58 |

Deposits and Other Credits

| Date | Description | Amount |
|------|------------------|--------|
| 7/31 | Interest Deposit | 712.87 |

Debits

| Date | Description | Amount |
|------|---------------------|-------------|
| 7/27 | Wire Transfer Fee | 18.00- |
| 7/27 | Wire Transfer Fee | 18.00- |
| 7/27 | Wire Transfer Fee | 18.00- |
| 7/27 | Wire Transfer Debit | 47,493.75- |
| 7/27 | Wire Transfer Debit | 60,340.63- |
| 7/27 | Wire Transfer Debit | 278,075.00- |



Date 7/31/23 Page 2
 Primary Account XXXXXXXXXXXXX [REDACTED]

Belvedere Municipal Utility District
 Debt Services
 PO Box 2029
 Pflugerville TX 78691

Money Market Public Fund

XXXXXXXXXXXX [REDACTED] (Continued)

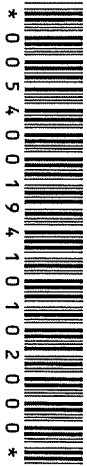
Daily Balance Information

| Date | Balance | Date | Balance | Date | Balance |
|------|------------|------|-----------|------|-----------|
| 7/03 | 429,472.97 | 7/27 | 43,509.59 | 7/31 | 44,222.46 |

INTEREST RATE SUMMARY

| Date | Rate |
|------|-----------|
| 7/02 | 2.450000% |
| 7/17 | 2.550000% |
| 7/27 | 1.550000% |

End of Statement



Belvedere MUD-Debt Service Fund
Reconciliation Detail
MUD Debt Service Fund, Period Ending 07/31/2023

| Type | Date | Num | Name | Clr | Amount | Balance |
|--|------------|------|---------------------|-----|--------------------|---------------------------|
| Beginning Balance | | | | | | 429,472.97 |
| Cleared Transactions | | | | | | |
| Checks and Payments - 6 items | | | | | | |
| Check | 07/25/2023 | Wire | BOKF, NA | X | -278,075.00 | -278,075.00 |
| Check | 07/25/2023 | Wire | BOKF, NA | X | -60,340.63 | -338,415.63 |
| Check | 07/25/2023 | Wire | BOKF, NA | X | -47,493.75 | -385,909.38 |
| Check | 07/27/2023 | EFT | American Bank of... | X | -18.00 | -385,927.38 |
| Check | 07/27/2023 | EFT | American Bank of... | X | -18.00 | -385,945.38 |
| Check | 07/27/2023 | EFT | American Bank of... | X | -18.00 | -385,963.38 |
| Total Checks and Payments | | | | | -385,963.38 | -385,963.38 |
| Deposits and Credits - 1 item | | | | | | |
| Deposit | 07/31/2023 | | | X | 712.87 | 712.87 |
| Total Deposits and Credits | | | | | 712.87 | 712.87 |
| Total Cleared Transactions | | | | | -385,250.51 | -385,250.51 |
| Cleared Balance | | | | | -385,250.51 | 44,222.46 |
| Register Balance as of 07/31/2023 | | | | | -385,250.51 | 44,222.46 |
| Ending Balance | | | | | <u>-385,250.51</u> | <u>44,222.46</u> <i>m</i> |



Participant Statement

BELVEDERE MUD
 DEBT SERVICE FUND
 ATTN JEFF MONZINGO
 PO BOX 2029
 PFLUGERVILLE TX 78691-2029

Statement Period 06/01/2023 - 06/30/2023

Page 1 of 2

Customer Service 1-866-TEX-POOL
Location ID 000079665
Investor ID 000025723

TexPool Update

Keep up to date with the latest market talk from our portfolio managers and strategists by visiting the Insights page of TexPool.com.

TexPool Summary

| Pool Name | Beginning Balance | Total Deposits | Total Withdrawals | Total Interest | Current Balance | Average Balance |
|--|---------------------|----------------|-------------------|-----------------|---------------------|-----------------|
| Texas Local Government Investment Pool | \$181,007.38 | \$0.00 | \$0.00 | \$751.95 | \$181,759.33 | \$181,032.45 |
| Total Dollar Value | \$181,007.38 | \$0.00 | \$0.00 | \$751.95 | \$181,759.33 | |

Portfolio Value

| Pool Name | Pool/Account | Market Value (06/01/2023) | Share Price (06/30/2023) | Shares Owned (06/30/2023) | Market Value (06/30/2023) |
|--|----------------|---------------------------|--------------------------|---------------------------|---------------------------|
| Texas Local Government Investment Pool | 449/7966500001 | \$181,007.38 | \$1.00 | 181,759.330 | \$181,759.33 |
| Total Dollar Value | | \$181,007.38 | | | \$181,759.33 |

Interest Summary

| Pool Name | Pool/Account | Month-to-Date Interest | Year-to-Date Interest |
|--|----------------|------------------------|-----------------------|
| Texas Local Government Investment Pool | 449/7966500001 | \$751.95 | \$4,181.54 |
| Total | | \$751.95 | \$4,181.54 |



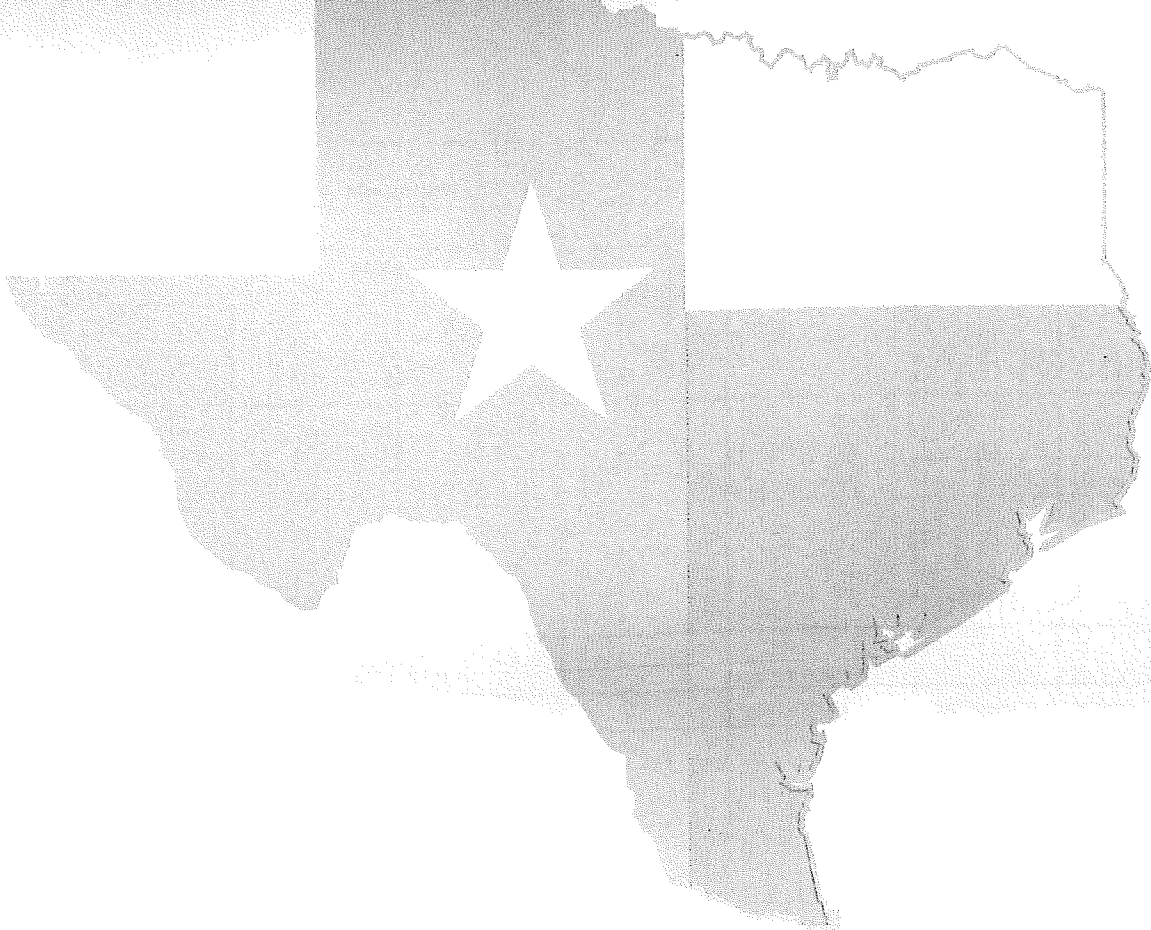
Transaction Detail

Texas Local Government Investment Pool

Participant: BELVEDERE MUD

Pool/Account: ██████████

| Transaction Date | Settlement Date | Transaction Description | Transaction Dollar Amount | Share Price | Shares This Transaction | Shares Owned |
|---------------------------------------|-----------------|-------------------------|---------------------------|---------------|-------------------------|--------------------|
| 06/01/2023 | 06/01/2023 | BEGINNING BALANCE | \$181,007.38 | \$1.00 | | 181,007.380 |
| 06/30/2023 | 06/30/2023 | MONTHLY POSTING | \$751.95 | \$1.00 | 751.950 | 181,759.330 |
| Account Value as of 06/30/2023 | | | \$181,759.33 | \$1.00 | | 181,759.330 |



Belvedere MUD-Debt Service Fund
Reconciliation Detail
 TexPool, Period Ending 06/30/2023

| Type | Date | Num | Name | Clr | Amount | Balance |
|-----------------------------------|------------|-----|------|-----|--------|------------|
| Beginning Balance | | | | | | 181,007.38 |
| Cleared Transactions | | | | | | |
| Deposits and Credits - 1 item | | | | | | |
| Deposit | 06/30/2023 | | | X | 751.95 | 751.95 |
| Total Deposits and Credits | | | | | 751.95 | 751.95 |
| Total Cleared Transactions | | | | | 751.95 | 751.95 |
| Cleared Balance | | | | | 751.95 | 181,759.33 |
| Register Balance as of 06/30/2023 | | | | | 751.95 | 181,759.33 |
| Ending Balance | | | | | 751.95 | 181,759.33 |

Agenda Item No. 9

Discuss, consider, and take action regarding adoption of District Drainage System Issue Resolution Guidelines.

Belvedere Municipal Utility District Drainage System Issue Resolution Guidelines

The Belvedere Municipal Utility District (District) owns and operates the drainage facilities serving the District. Design Criteria and Requirements for the District's Drainage System (DDC&R) are as established by the District's Engineer. The District Engineer shall monitor the proper operation and maintenance of the District's drainage facilities for the benefit and protection of District residents and property [owners]. The Board shall from time to time approve updates to the DDC&R including, but not limited to additions or alterations to the District's Drainage System due to erosion, flooding, variation in expected water flows or changes in water pathways, as recommended by the District Engineer.

A lot owner is responsible for conveying off-site run-off through adjoining lots as intended in the District's development plans. Consistent therewith, a lot owner shall direct rainwater and/or irrigation runoff from his or her lot to appropriate drainage areas or easements so as to minimize the impact of the runoff on neighboring lots. If an issue regarding runoff is brought to the attention of the Board, the Board (with guidance from the District Engineer) may, in its sole discretion, seek to help facilitate identification of the source of any problem and/or recommend a resolution thereof. However, resolution of any such matter shall remain the responsibility of the relevant lot owners.

A lot owner is also responsible for ensuring that all Improvements on his or her lot are in compliance with the DDC&R. If changes are made to the DDC&R, the lot owner shall be responsible for bringing any lot Improvements into compliance. The Board (with guidance from the District Engineer) shall provide guidance to the lot owner with regards to what is required to come into compliance. However, any additional costs incurred by the Board (including legal and engineering fees) to bring an Improvement into compliance will be the responsibility of the lot owner. Notwithstanding the foregoing, if a change to the DDC&R for a given lot is caused by Improvements on or topography changes to one or more lots and/or common areas other than the lot where the change is required or is attributed to environmental changes, the Board (with guidance from the District Engineer) shall assist in determining/determine the party (or parties including potentially the District) responsible for implementing the required changes and the extent to which each party shall bear the costs thereof.

If changes to the DDC&R are located on common areas within the District or caused by alterations to the topography directly attributable to acts undertaken by the District or environmental changes, the District shall bear (i) the responsibility for implementing the changes to the DDC&R and (ii) all of the cost thereof.

[Vito suggests deleting.]

Vito suggested language/Kim suggested language

Odalys suggests including.

Kim suggests including

Agenda Item No. 10

Discuss, consider, and take action regarding regulation, improvement, maintenance, and repair of existing and future assets owned or maintained by the District, including, but not limited to:

- a. Report from the District's Engineer;
- b. Budgeting for drainage facilities, including but not limited to, ditches and culverts;
- c. Potential culvert/ditch work at 8700 and 8708 Springdale Ridge;
- d. Request for waiver for property at 8308 Verde Mesa;
- e. Issuance of Notice of Violation concerning culvert/ditch work on property at 8316 Verde Mesa;
- f. Trail maintenance;
- g. Playground; and
- h. Amenity Center Lot project, including warranty claim.



3100 Alvin Devane Boulevard, Suite 150
Austin, Texas 78741
Tel: 512.441.9493
www.quiddity.com

August 11, 2023

Board of Directors
Belvedere Municipal Utility District
c/o Lloyd Gosselink Rochelle & Townsend, P.C.
816 Congress Ave., Suite 1900
Austin, TX 78701

Re: Monthly Status Report
Belvedere MUD Regular Board Meeting of August 15, 2023

Dear Directors:

1. Drainage Facilities

- a. Flagler Ditch – No report at this time.
- b. Verde Mesa – The ditch improvement at 8300-8304 Verde Mesa was completed by DigDug.
- c. Lakewood Ridge Cove- Provided guidance to the HOA regarding erosion controls and drainage solutions for the homes at 8300 and 8301 Lakewood Ridge Cove.
- d. Culver Tables – Revised culvert tables for publication on the HOA website have been completed. The updated tables are attached.
- e. Ditch lining evaluations – Evaluated requests from three residents to line the ditches with rock. Provided feedback on distribution notices. Also assessed an unpermitted ditch modification at a home in Verde Mesa.
- f. Drainage System Issue Resolution Guidelines – Collaborated with the engineering subcommittee to develop these guidelines.

2. Trail Facilities

- a. Maintenance – No report at this time.
- b. Amenity Center Lot Improvements – Fazzone’s landscaping contractor completed replacing the plants on July 12th.

Should you have any questions or need additional information, please notify us.

Sincerely,

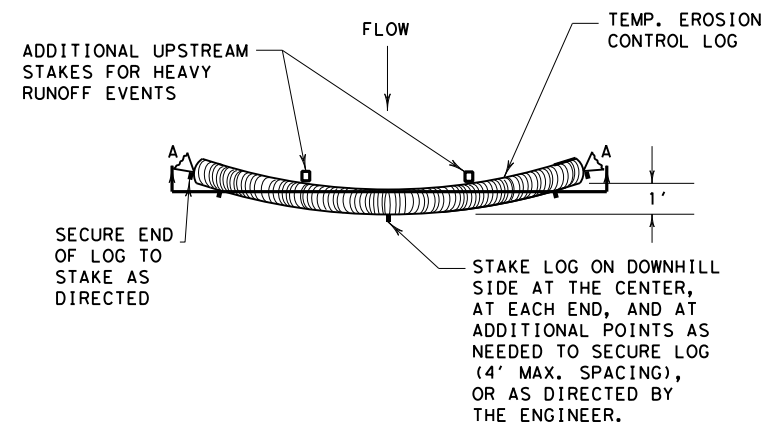
A handwritten signature in black ink, appearing to read "Odalys C. Johnson".

Odalys C. Johnson, P.E.

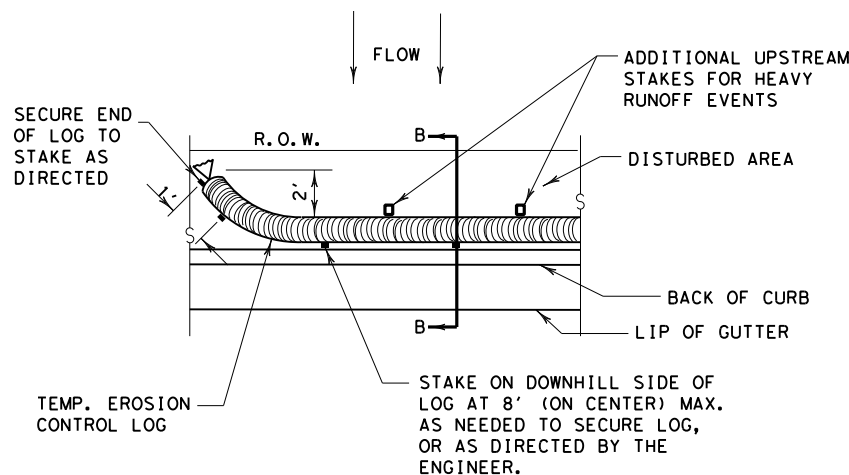
OCJ/ocj

K:\16654\16654-0900-23 2023 General Consultation (Belvedere MUD\Meeting Files>Status Reports>Status Report for Belvedere 20230620.docx

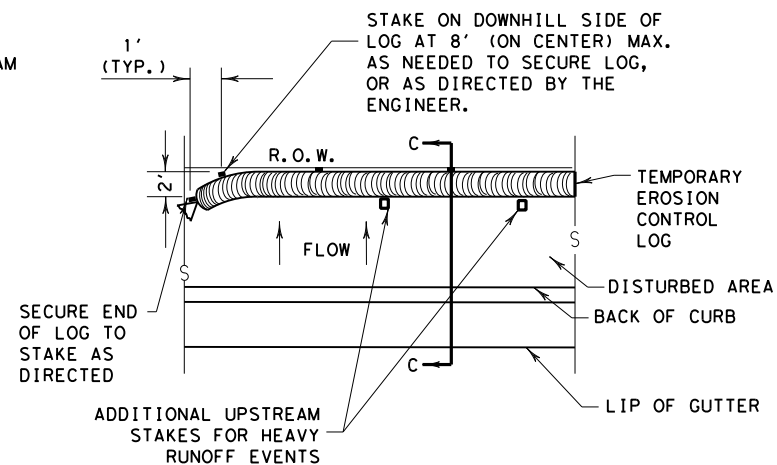
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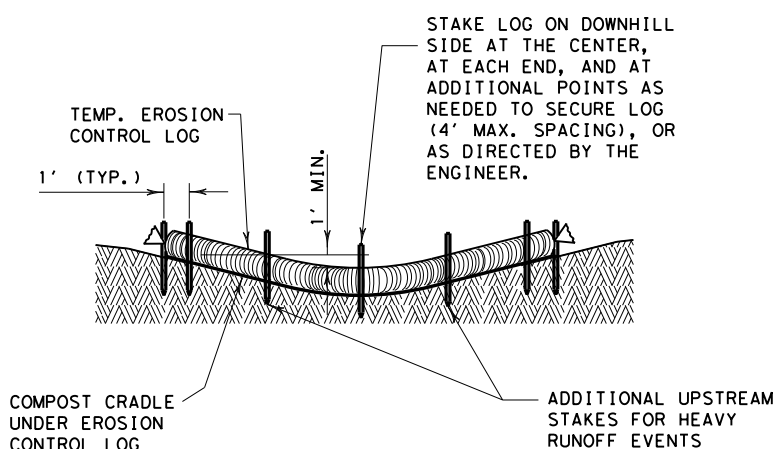
PLAN VIEW



PLAN VIEW



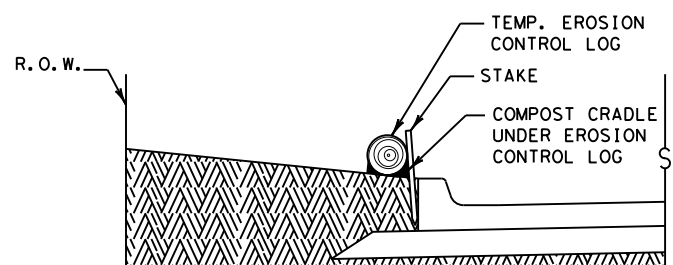
PLAN VIEW



SECTION A-A

EROSION CONTROL LOG DAM

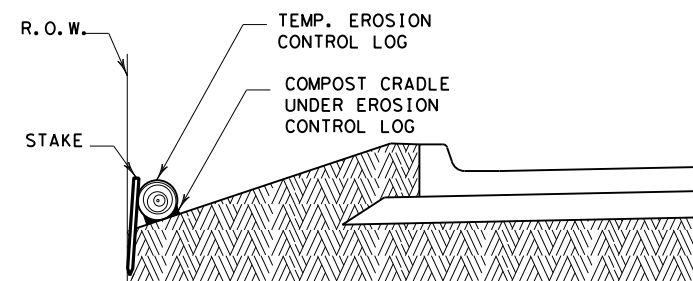
CL-D



SECTION B-B

EROSION CONTROL LOG AT BACK OF CURB

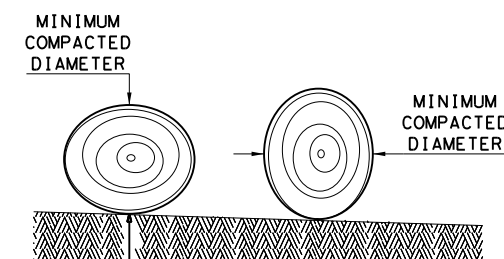
CL-BOC



SECTION C-C

EROSION CONTROL LOG AT EDGE OF RIGHT-OF-WAY

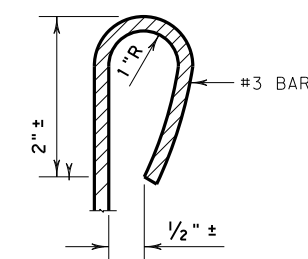
CL-ROW



DIAMETER MEASUREMENTS OF EROSION CONTROL LOGS SPECIFIED IN PLANS

SHEET 1 OF 3

- LEGEND**
- CL-D EROSION CONTROL LOG DAM
 - CL-BOC EROSION CONTROL LOG AT BACK OF CURB
 - CL-ROW EROSION CONTROL LOG AT EDGE OF RIGHT-OF-WAY
 - CL-SST EROSION CONTROL LOGS ON SLOPES STAKE AND TRENCHING ANCHORING
 - CL-SSL EROSION CONTROL LOGS ON SLOPES STAKE AND LASHING ANCHORING
 - CL-DI EROSION CONTROL LOG AT DROP INLET
 - CL-CI EROSION CONTROL LOG AT CURB INLET
 - CL-GI EROSION CONTROL LOG AT CURB & GRATE INLET



REBAR STAKE DETAIL

SEDIMENT BASIN & TRAP USAGE GUIDELINES

An erosion control log sediment trap may be used to filter sediment out of runoff draining from an unstabilized area.

Log Traps: The drainage area for a sediment trap should not exceed 5 acres. The trap capacity should be 1800 CF/Acre (0.5" over the drainage area).

Control logs should be placed in the following locations:

1. Within drainage ditches spaced as needed or min. 500' on center
2. Immediately preceding ditch inlets or drain inlets
3. Just before the drainage enters a water course
4. Just before the drainage leaves the right of way
5. Just before the drainage leaves the construction limits where drainage flows away from the project.

The logs should be cleaned when the sediment has accumulated to a depth of 1/2 the log diameter.

Cleaning and removal of accumulated sediment deposits is incidental and will not be paid for separately.

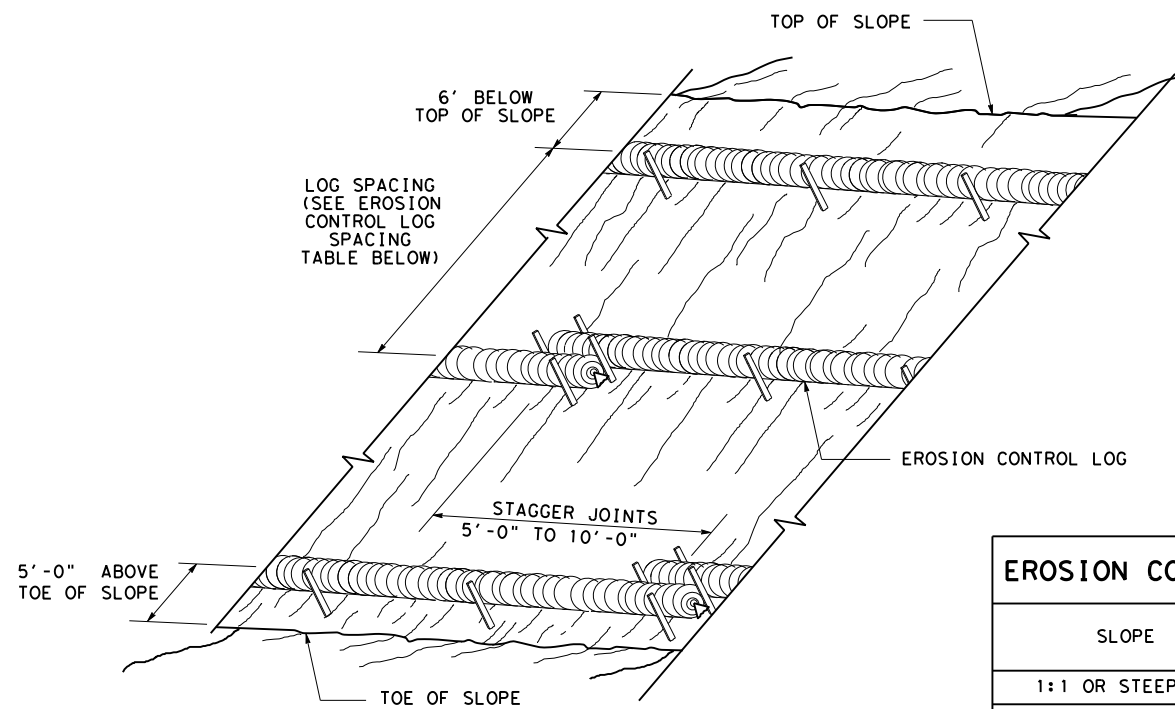
GENERAL NOTES:

1. EROSION CONTROL LOGS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, OR AS DIRECTED BY THE ENGINEER.
2. LENGTHS OF EROSION CONTROL LOGS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS REQUIRED FOR THE PURPOSE INTENDED.
3. UNLESS OTHERWISE DIRECTED, USE BIODEGRADABLE OR PHOTODEGRADABLE CONTAINMENT MESH ONLY WHERE LOG WILL REMAIN IN PLACE AS PART OF A VEGETATIVE SYSTEM. FOR TEMPORARY INSTALLATIONS, USE RECYCLABLE CONTAINMENT MESH.
4. FILL LOGS WITH SUFFICIENT FILTER MATERIAL TO ACHIEVE THE MINIMUM COMPACTED DIAMETER SPECIFIED IN THE PLANS WITHOUT EXCESSIVE DEFORMATION.
5. STAKES SHALL BE 2" X 2" WOOD OR #3 REBAR, 2'-4' LONG, EMBEDDED SUCH THAT 2" PROTRUDES ABOVE LOG, OR AS DIRECTED BY THE ENGINEER.
6. DO NOT PLACE STAKES THROUGH CONTAINMENT MESH.
7. COMPOST CRADLE MATERIAL IS INCIDENTAL & WILL NOT BE PAID FOR SEPARATELY.
8. SANDBAGS USED AS ANCHORS SHALL BE PLACED ON TOP OF LOGS & SHALL BE OF SUFFICIENT SIZE TO HOLD LOGS IN PLACE.
9. TURN THE ENDS OF EACH ROW OF LOGS UPSLOPE TO PREVENT RUNOFF FROM FLOWING AROUND THE LOG.
10. FOR HEAVY RUNOFF EVENTS, ADDITIONAL UPSTREAM STAKES MAY BE NECESSARY TO KEEP LOG FROM FOLDING IN ON ITSELF.

| | | | |
|--|-----------|---------------------------------|-----------|
| | | <i>Design Division Standard</i> | |
| <p>TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES</p> <p>EROSION CONTROL LOG</p> <p>EC (9) - 16</p> | | | |
| FILE: ec916 | DN: TxDOT | CK: KM | DW: LS/PT |
| © TxDOT: JULY 2016 | CONT | SECT | JOB |
| REVISIONS | | | HIGHWAY |
| | DIST | COUNTY | SHEET NO. |

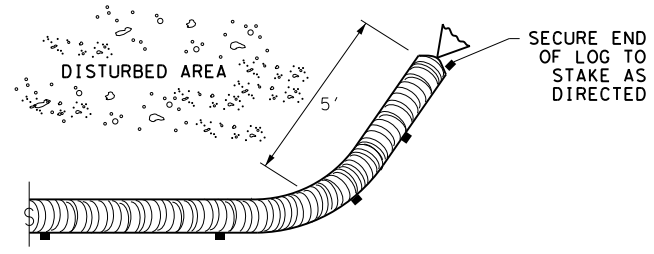
DATE: FILE:

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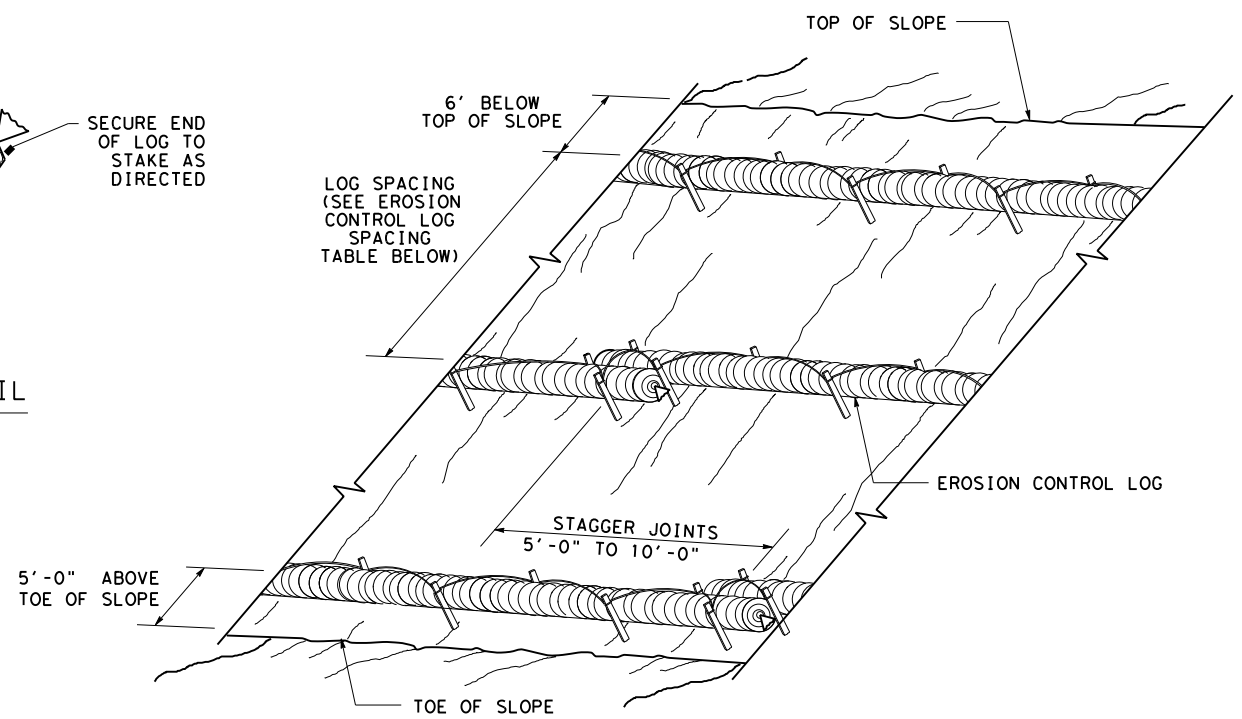


**EROSION CONTROL LOGS ON SLOPES
STAKE AND TRENCHING ANCHORING**

CL-SST



END SECTION RAP DETAIL

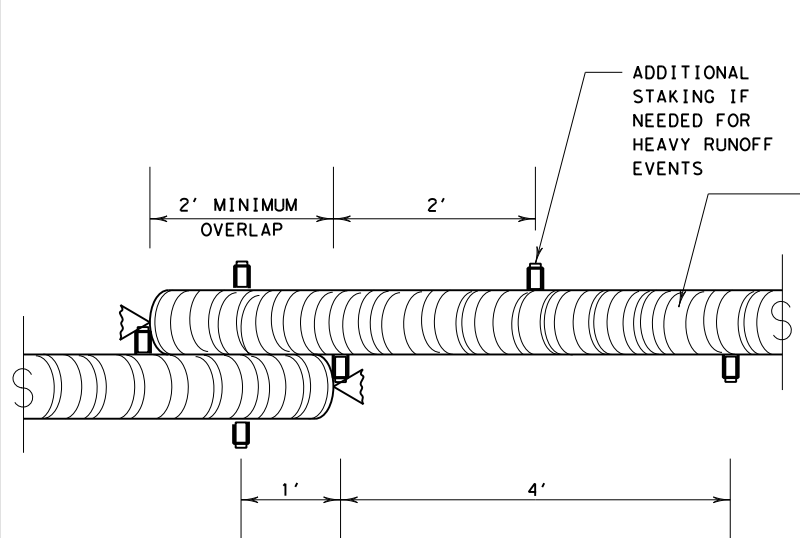


**EROSION CONTROL LOGS ON SLOPES
STAKE AND LASHING ANCHORING**

CL-SSL

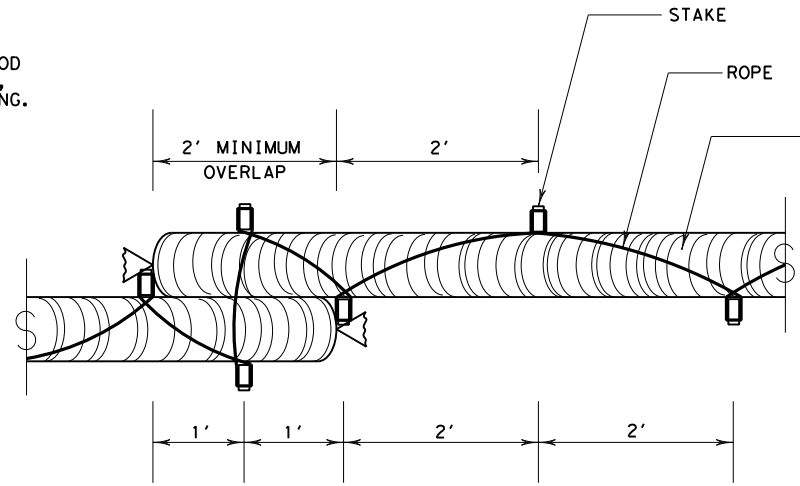
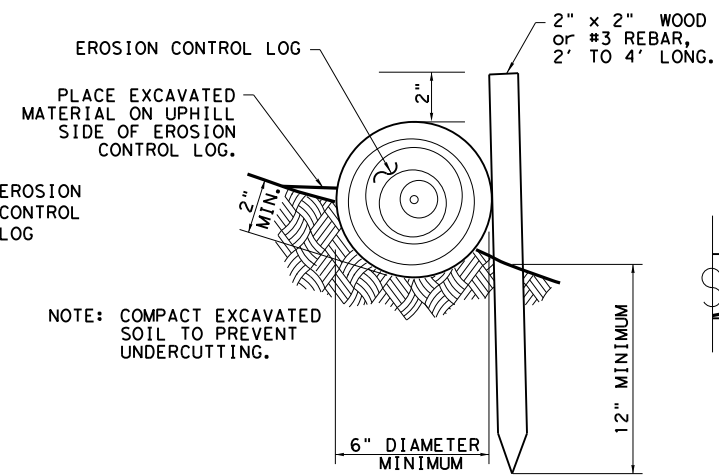
| SLOPE | LOG DIAMETER | | | |
|----------------|--------------|-----|-----|-----|
| | 6" | 8" | 12" | 18" |
| 1:1 OR STEEPER | 5' | 10' | 15' | 20' |
| 2:1 | 10' | 20' | 30' | 40' |
| 3:1 | 15' | 30' | 45' | 60' |
| 4:1 OR FLATTER | 20' | 40' | 60' | 80' |

* ADJUSTMENTS CAN BE MADE FOR SOIL TYPE:
SOFT, LOAMY SOILS-ADJUST ROWS CLOSER TOGETHER;
HARD, ROCKY SOILS- ADJUST ROWS FARTHER APART



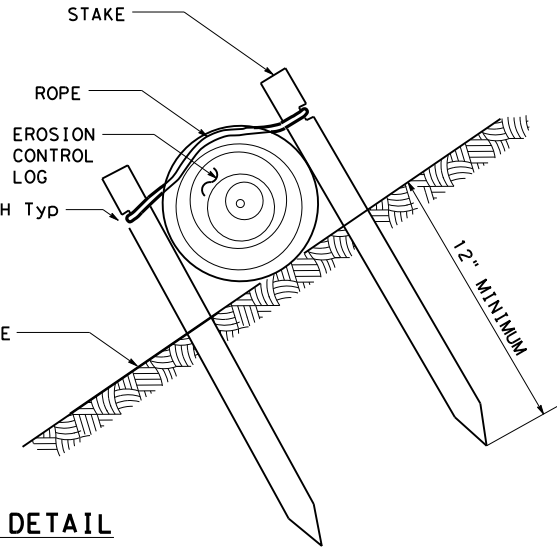
STAKE AND TRENCHING ANCHORING DETAIL

CL-SST



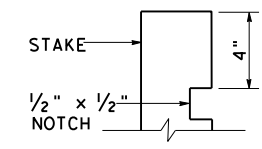
STAKE AND LASHING ANCHORING DETAIL

CL-SSL



| LOG DIAMETER | DEPTH |
|--------------|-------|
| 6" | 2" |
| 8" | 3" |
| 12" | 4" |
| 18" | 5" |

TRENCH DEPTH TABLE



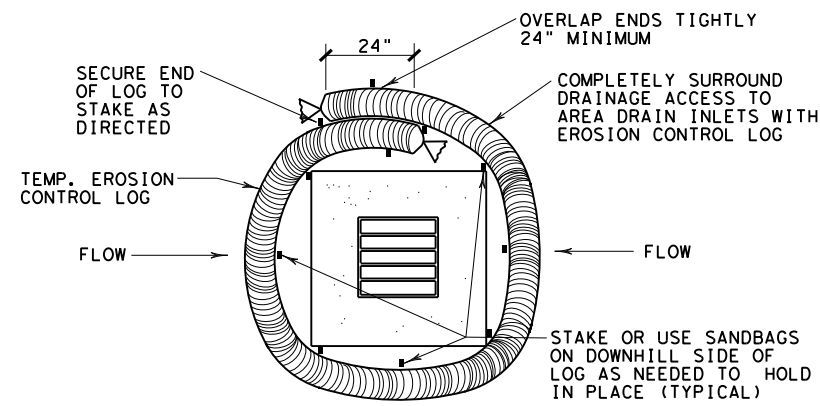
STAKE NOTCH DETAIL

SHEET 2 OF 3

| | | | |
|---|-----------|--------------------------|-----------|
| | | Design Division Standard | |
| TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES EROSION CONTROL LOG EC (9) - 16 | | | |
| FILE: ec116 | DN: TxDOT | CK: KM | DW: LS/PT |
| © TxDOT: JULY 2016 | CONT | SECT | JOB |
| REVISIONS | | HIGHWAY | |
| DIST | | COUNTY | SHEET NO. |

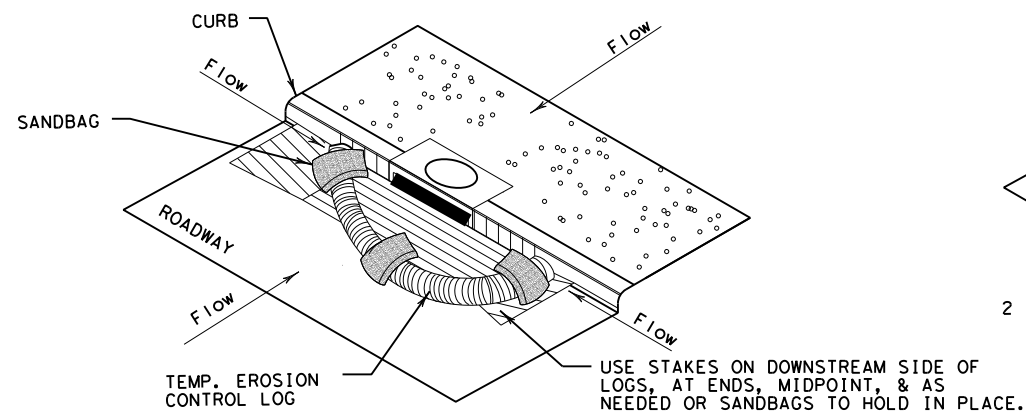
DATE:
FILE:

DISCLAIMER: This standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.



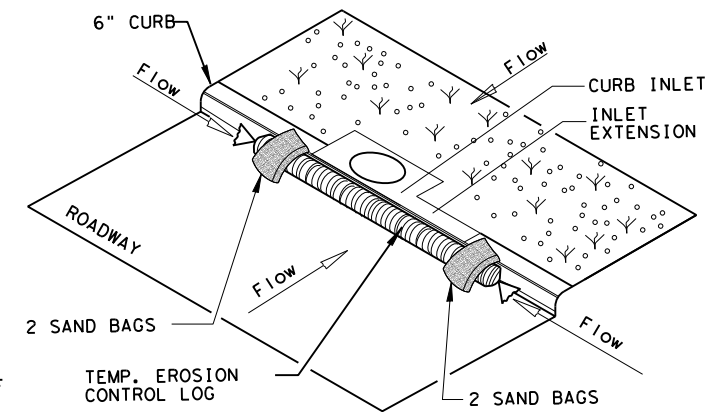
EROSION CONTROL LOG AT DROP INLET

CL-DI



EROSION CONTROL LOG AT CURB INLET

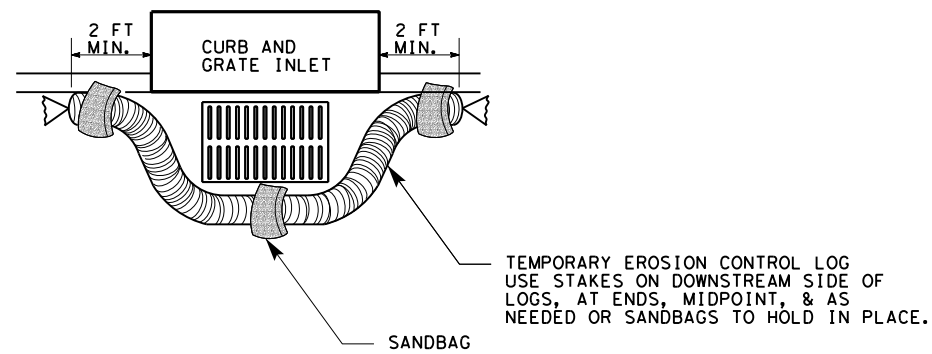
CL-CI



EROSION CONTROL LOG AT CURB INLET

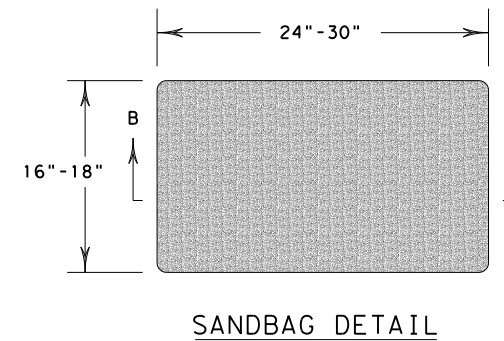
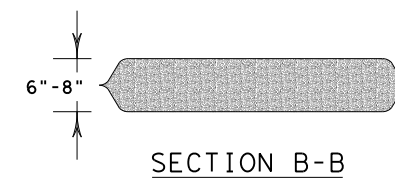
CL-CI

NOTE:
EROSION CONTROL LOGS USED AT CURB INLETS SHOULD ONLY BE USED IF THEY WILL NOT IMPEDE TRAFFIC OR FLOOD THE ROADWAY OR WHEN THE STORM SEWER SYSTEM IS NOT FULLY FUNCTIONAL.



EROSION CONTROL LOG AT CURB & GRADE INLET

CL-GI



SANDBAG DETAIL

SHEET 3 OF 3

| | | | |
|---|-----------|---------------------------------|-----------|
| | | <i>Design Division Standard</i> | |
| TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES EROSION CONTROL LOG EC (9) - 16 | | | |
| FILE: ec916 | DN: TxDOT | CK: KM | DW: LS/PT |
| © TxDOT: JULY 2016 | CONT | SECT | JOB |
| REVISIONS | | HIGHWAY | |
| DIST | | COUNTY | SHEET NO. |

DATE:
FILE:

G. **Silt Fence.** (See Standard Specifications manual item 642S and Standards manual 642S-1 for details)

1. **Description.**

Silt Fence is a temporary barrier made of non-woven polypropylene, polyethylene, or polyamide material that is trenched or sliced into the ground and supported by posts on the downstream side of the fabric. Silt fence works by intercepting sheet flow from slopes, causing the runoff to pond behind the fence, thereby promoting deposition of sediment on the uphill side of the fence. They are most effective when designed to provide comprehensive water and sediment control throughout a construction site and if used in conjunction with erosion control practices.

A common misconception among many designers is that the silt fence actually "filters" suspended particles from runoff. The effectiveness of silt fence is primarily derived from its ability to pond water behind the fence. This ponding action allows suspended particles to settle out on the uphill side of the fence. Particles are not removed by filtering the runoff through the fabric.

2. **Purpose.**

Used to control sheet flow runoff from disturbed land, silt fencing may also be used to create a sediment trap for removal of suspended particles from low volume concentrated flows. The removal efficiency of silt fencing depends mainly on the detention time of the runoff behind the control. The detention time is controlled by the geometry of the upstream pond, hydraulic properties of the fabric, and maintenance of the control (Barrett et al., 1998).

3. **Conditions Where Practice Applies.**

Silt fence is used during the period of construction near the perimeter of a disturbed area to intercept sediment. This fence shall remain in place until the disturbed area is permanently stabilized. Silt fence should not be used where there is a concentration of water in a channel or drainage way or where soil conditions prevent a minimum toe-in depth of six (6) inches or installation of support post to a minimum depth of 12 inches. If concentrated flow occurs after installation, corrective action must be taken such as placing rock berms in the areas of concentrated flow.

4. **Design Criteria.**

Silt fence is typically constructed near the perimeter of a disturbed site within the developing area. It is not to be constructed outside the property lines without obtaining a legal easement from the affected adjacent property owners.

The following criteria shall be observed:

- Drainage Area - Consult Table 1.4.5.G.1 for maximum drainage area allowed for a specific slope category. If the drainage area to the silt fence exceeds this value, additional silt fence should be installed to break up the runoff into multiple storage areas.
- Height - 24 inch minimum height measured from the existing or graded ground.

For Design purposes use the following criteria:

- Assume a construction Total Suspended Solids (TSS) concentration = 3000 mg/L.
- Use a target removal of sediment particle equal to or greater than diameter (d) = 20 microns.

- Use the Influent Particle size distribution of the solids suspended in runoff shown in Figure 1.4.5.G (Barrett et al., 1998).

A. Overland flow:

1. General guidelines. Silt fence for sediment and slope control should be installed along the contour of the slope (i.e. the entire length should be at the same elevation). The maximum drainage area to the silt fence should not exceed those shown on Table 1.4.5.G.1. The spacing criterion is based on the maximum drainage area, in square feet, above a 100 foot wide section of silt fencing. At each end of the silt fence, a minimum 20-foot segment shall be turned uphill to create a "J" hook (see "J"-hook detail) to prevent ponded water from flowing around the ends of the silt fence. Individual sections of silt fence should be limited to 200-foot lengths. This limits the impact if a failure occurs, and prevents large volumes of water from accumulating and flowing to one end of the installation, which may cause damage to the fence.
2. Sediment control. When used for sediment control, silt fence should be located to provide the storage volume behind the fence that will contain the runoff from the 2 year storm. Table 1.4.5.G.1 provides the spacing on uniform slopes necessary to achieve this storage volume. If the designer proposed an alternative configuration, it must be demonstrated that 2 year storm runoff volume is contained and released in a manner such that the effluent concentration does not exceed effluent standards of City of Austin Code Title 6, Article 5 as well as the baseline TSS conditions in ECM 1.6.9.3 Table 1-10. The design presumptions are stated above.

Larger storage volumes increase the sediment removal efficiency of the silt fence, and decrease the required replacement/clean-out intervals.

A common location to place silt fence for sediment control is at the toe of a slope. When used for this application, the silt fence should be located at least five (5) feet from the toe of the slope to ensure that a large storage volume is available for runoff and sediment.

For sediment control applications, the maximum drainage area to the silt fence should not exceed those shown on Table 1.4.5.G.1. If the contributing area exceeds this value, additional silt fence should be installed to break up the runoff into multiple storage areas. When used as a velocity control measure for sheet flow on long slopes of disturbed ground, silt fence should be placed at the spacing interval and not exceed the drainage area to the fence stated in the table below:

3. Slope control. Silt fence can be installed on a slope to reduce the effective slope length and limit the velocity of runoff flowing down the slope (see Table 1.4.5.G.1). Silt fence also helps prevent concentrated flows from developing, which can cause rill and gully erosion. As a secondary benefit, silt fence installed on slopes can remove suspended sediment from runoff that results from any erosion that has occurred. For slopes that receive runoff from above, a silt fence should be placed at the top of the slope to control the velocity of the flow running onto the slope, and to spread the runoff out into sheet flow.

| Table 1.4.5.G.1: Maximum spacing between silt fences on slopes | | |
|---|------------------------------|--------------------------------|
| Slope | Spacing Interval (ft) | Max. Drainage Area (sf) |
| 100:1 to 50:1 (1-2%) | 500 | 25,000 |
| 50:1 to 30:1 (2-3.3%) | 250 | 15,000 |
| 30:1 to 25:1 (3.3-4%) | 150 | 12,000 |
| 25:1 to 20:1 (4-5%) | 120 | 10,000 |
| 20:1 to 10:1 (5-10%) | 100 | 5,000 |
| 10:1 to 5:1 (10-20%) | 50 | 2,500 |
| 5:1 to 2:1 (20-50%) | 10 | 1,000 |

4. Perimeter control. Silt fence is commonly used as a perimeter control along streets or adjacent to water bodies to prevent polluted water from leaving the site. When a diversion or perimeter control silt fence is installed in the direction of a slope, a 20-foot length of fence should be turned in, across the slope, at regular intervals (100 feet) to create a "J"-hook (see "J" hook detail).

These "J"-hooks act as check dams, controlling the velocity of the diverted runoff as it travels along the fence.

- B. Concentrated flow. Not allowed

- C. Diversion. Silt fence can also be utilized as a synthetic diversion structure to redirect clean water around a site and intercept sediment-laden runoff and transport it to a sediment removal practice. Must demonstrate additional BMPs designed to prevent rill/gully erosion due to concentrated flow along the perimeter of the silt fence.

5. Materials Specifications.

See City of Austin Standard Specifications 642S for material specification and installation details.

6. Troubleshooting

- Inspect BMPs prior to forecast rain, daily during extended rain events, after rain events, weekly during the rainy season, and at two-week intervals during the non-rainy season.
- Repair undercut silt fences.

- Repair or replace split, torn, slumping, or weathered fabric. The lifespan of silt fence fabric is generally 5 to 8 months.
- Silt fences that are damaged and become unsuitable for the intended purpose should be removed from the site of work, disposed of, and replaced with new silt fence barriers.
- Sediment that accumulates in the silt fence must be periodically removed in order to maintain silt fence effectiveness. Sediment should be removed when the sediment accumulation reaches approximately one-half of the fence height (one foot) on the silt fence. Sediment removed during maintenance may be incorporated into earthwork on the site or disposed at an appropriate location. Upon removal of silt fence, accumulated sediment must also be removed and disposed of properly.
- Silt fences should be left in place until the upstream area is permanently stabilized. Until then, the silt fence must be inspected and maintained.
- Holes, depressions, or other ground disturbance caused by the removal of the silt fences should be backfilled and repaired.

Figure 1.4.5.G Influent Particle Size Distribution of the Suspended Solids in Runoff.

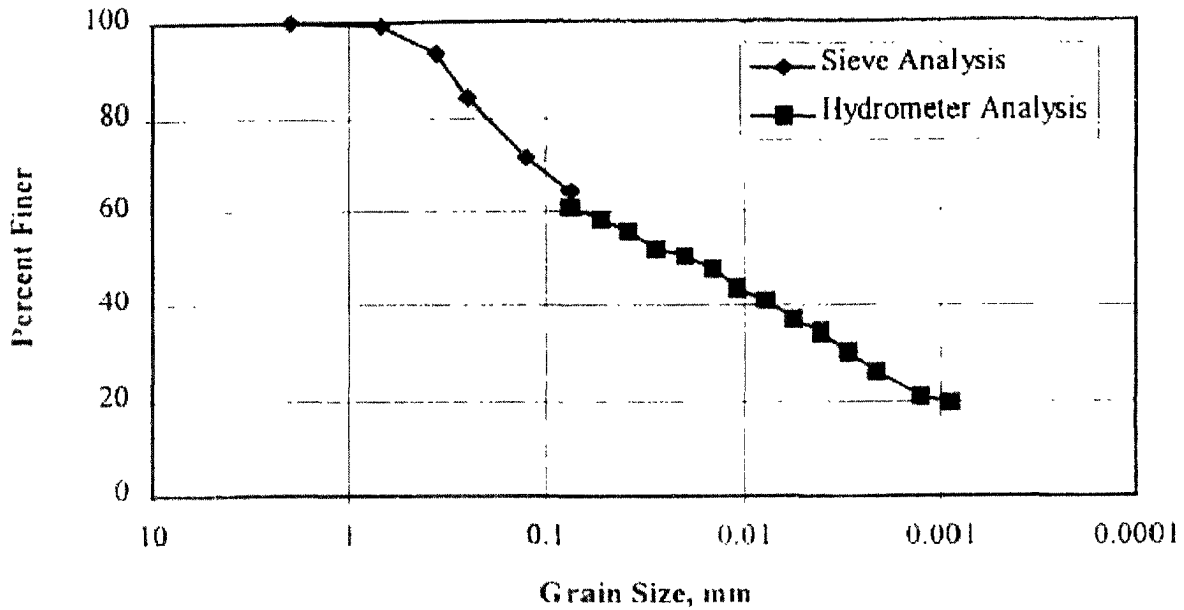


Figure 1.4.5.G.1 Silt Fence Installation

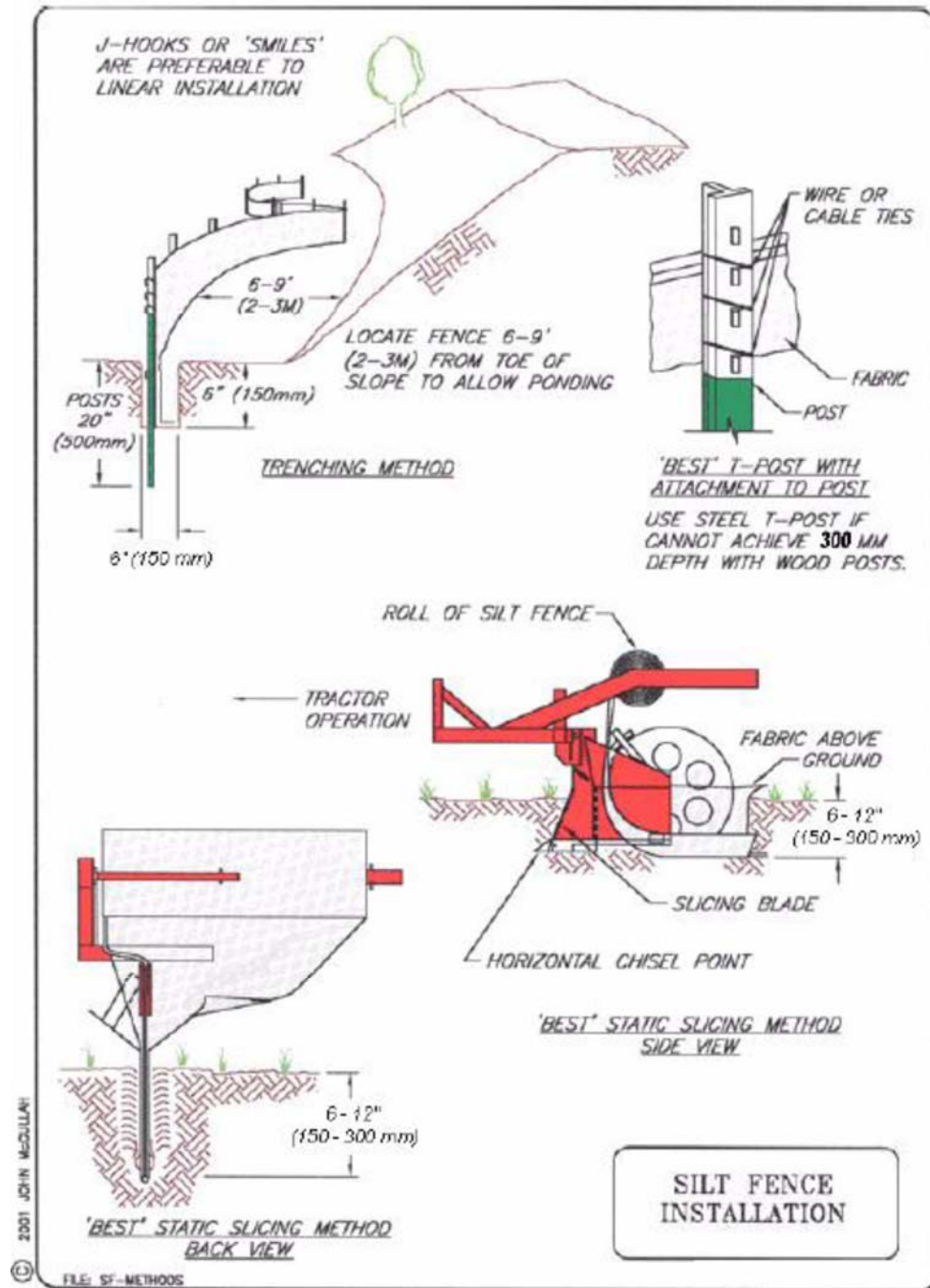


Figure 1.4.5.G.2 Silt Fence Placement — One Slope

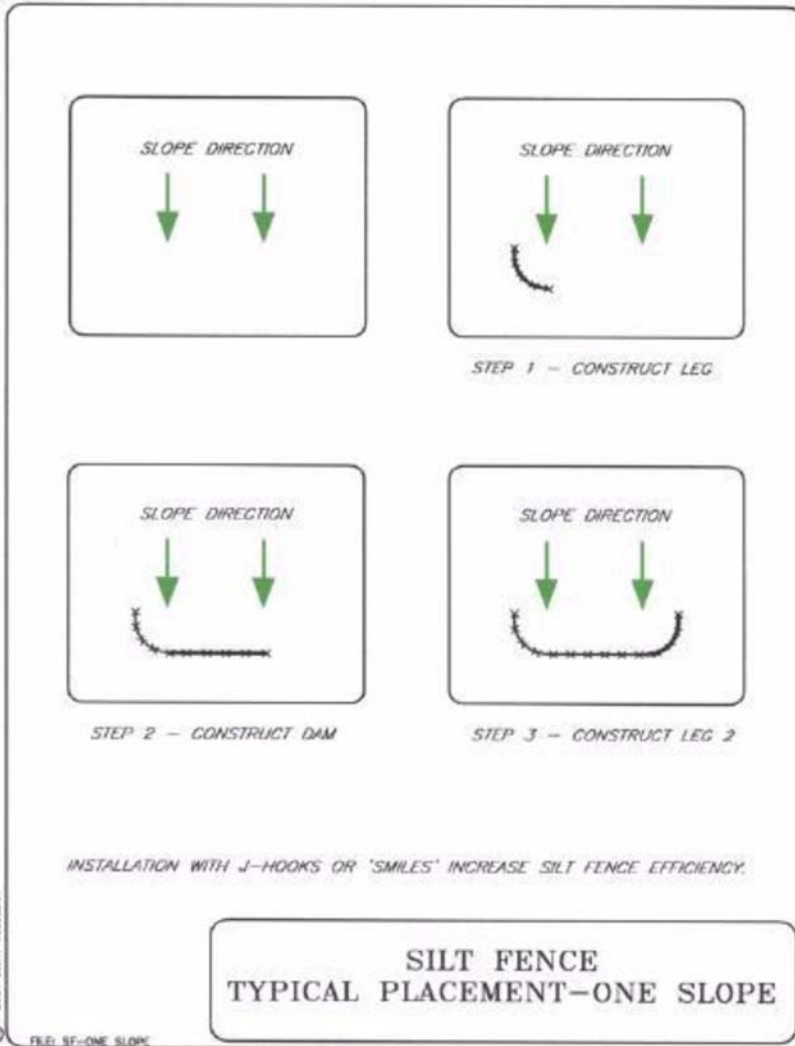


Figure 1.4.5.G.3 Silt Fence Placement for Perimeter Control

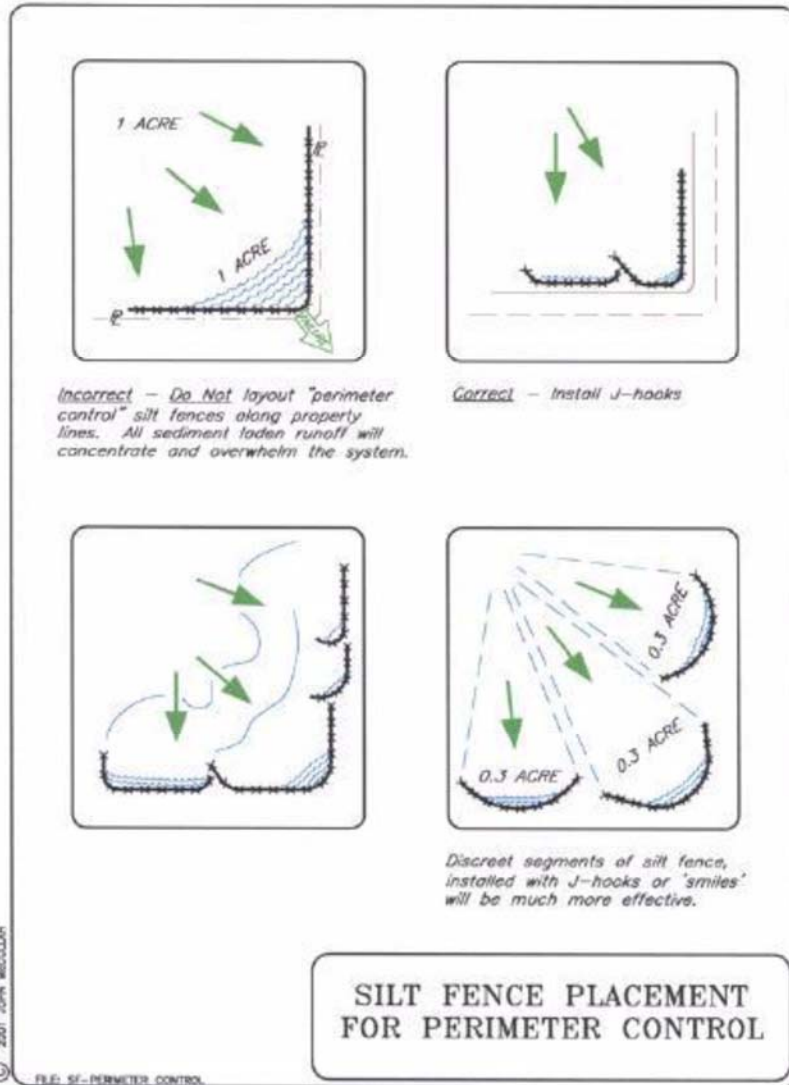
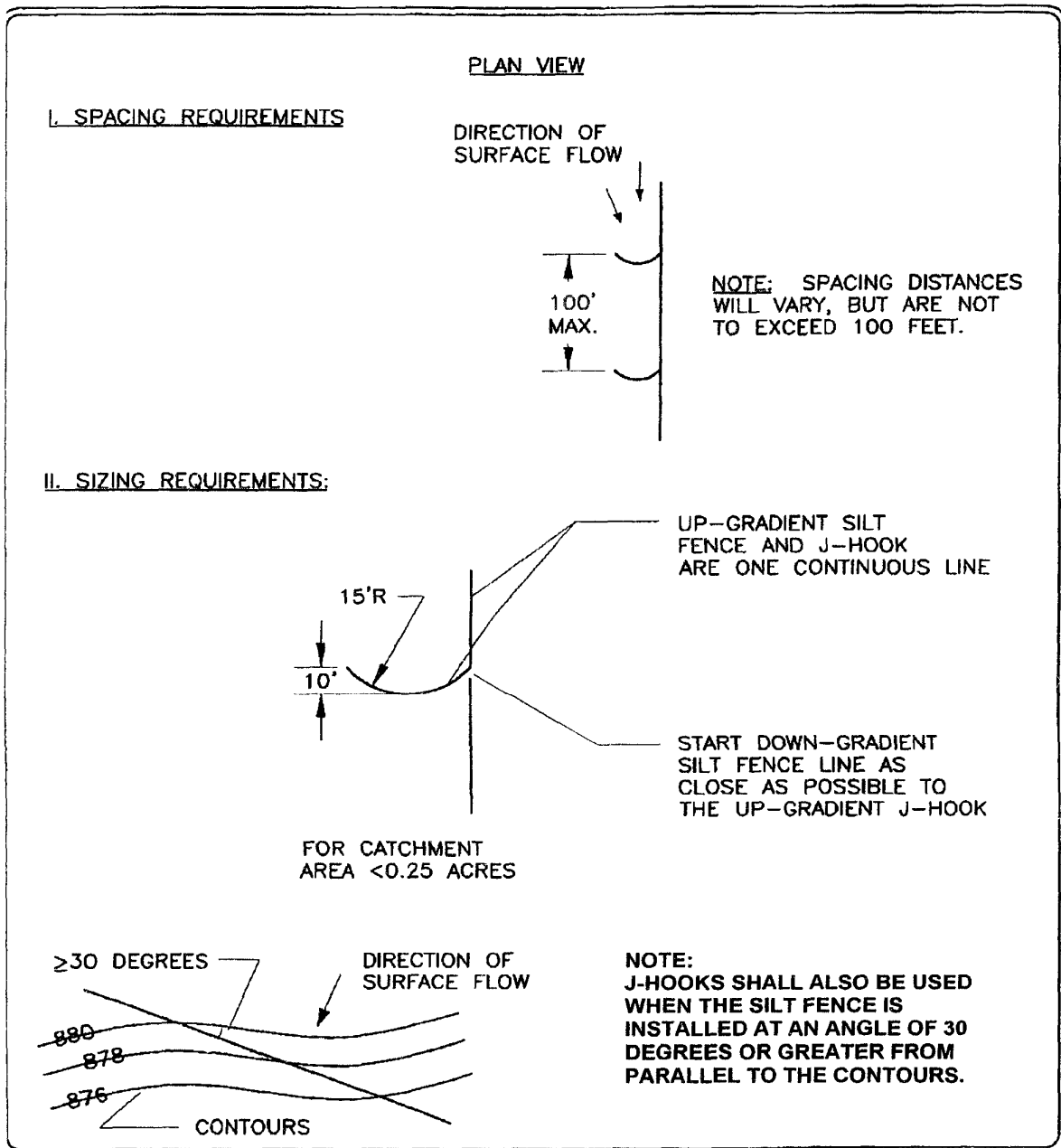


Figure 1.4.5.G.4 Silt Fence J - Hook Detail



**Belvedere Phase I
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | STREET NUMBER | STREET | CULVERT SIZE | CULVERT SLOPE | RECOMMENDED DITCH WORK |
|-------|-----|------------|---------------|-----------------|--------------|---------------|------------------------|
| D | 39 | 17.9 | 17900 | Flagler Drive | 24" | | |
| D | 42 | 11.3 | 18032 | Flagler Drive | 18" | | |
| D | 53 | 3.7 | 18018 | Flagler Drive | 18" | | |
| D | 54 | 4 | 18128 | Flagler Drive | 18" | | |
| A | 66 | *14.9 | 7916 | Lynchburg Drive | 24" | 3.0% | N/A |
| A | 67 | 9.8 | 7908 | Lynchburg Drive | 18" | | |
| A | 68 | 6.7 | 7900 | Lynchburg Drive | 18" | | |
| A | 69 | 10.4 | 7824 | Lynchburg Drive | 18" | | |
| A | 70 | 11 | 7816 | Lynchburg Drive | 18" | | |
| A | 71 | 7.1 | 7808 | Lynchburg Drive | 18" | | |
| A | 72 | 4 | 7800 | Lynchburg Drive | 18" | | |
| A | 75 | 2.4 | 7724 | Lynchburg Drive | 18" | | |
| A | 76 | 5.3 | 7716 | Lynchburg Drive | 18" | | |
| A | 77 | 6.6 | 7708 | Lynchburg Drive | 18" | | |
| A | 78 | 8 | 7700 | Lynchburg Drive | 18" | | |
| A | 79 | *8.2 | 7701 | Lynchburg Drive | 18" | 2.0% | N/A |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.

**Belvedere Phase II
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | STREET NUMBER | STREET | CULVERT SIZE | CULVERT SLOPE | RECOMMENDED DITCH WORK |
|-------|-----|------------|---------------|-----------------|--------------|---------------|------------------------|
| A | 40 | 3.0 | 8300 | Bellancia Drive | 18" | | |
| A | 46 | 32.6 | 18416 | Flagler Drive | 24" | | |
| A | 47 | 12.9 | 18432 | Flagler Drive | 24" | | |
| A | 48 | *1.4 | 18440 | Flagler Drive | 18" | 1.9% | N/A |
| A | 56 | 7.2 | 18333 | Flagler Drive | 18" | | |
| A | 57 | 2.2 | 18325 | Flagler Drive | 18" | | |
| A | 58 | 8.7 | 18317 | Flagler Drive | 18" | | |
| A | 59 | 14.9 | 18309 | Flagler Drive | 24" | | |
| A | 60 | 30.5 | 18301 | Flagler Drive | 3' x 2' | | |
| A | 62 | 8.6 | 18225 | Flagler Drive | 18" | | |
| A | 63 | 3.6 | 18217 | Flagler Drive | 18" | | |
| A | 64 | 7.9 | 18209 | Flagler Drive | 18" | | |
| A | 65 | 6.0 | 18201 | Flagler Drive | 18" | | |
| A | 65 | 17.6 | | Lynchburg Drive | 24" | | |
| D | 56 | 2.9 | 18208 | Flagler Drive | 18" | | |
| D | 57 | 3.4 | 18216 | Flagler Drive | 18" | | |
| D | 58 | 8.4 | 18224 | Flagler Drive | 18" | | |
| D | 59 | 3.4 | 18308 | Flagler Drive | 18" | | |
| D | 60 | 1.3 | 8101 | Bellancia Drive | 18" | | |
| D | 65 | 4.0 | 8217 | Bellancia Drive | 18" | | N/A |
| D | 66 | 5.8 | 8301 | Bellancia Drive | 18" | | |
| D | 67 | 12.5 | 8309 | Bellancia Drive | 18" | | |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.

**Belvedere Phase III
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | STREET NUMBER | STREET | CULVERT SIZE | RECOMMENDED DITCH WORK |
|-------|-----|------------|---------------|-----------------|----------------|--|
| A | 33 | 2.4 | 8500 | Bellancia Drive | 18" | |
| A | 34 | 1.7 | 8420 | Bellancia Drive | 18" | N/A |
| A | 35 | 1 | 8416 | Bellancia Drive | 18" | N/A |
| A | 36 | 0.55 | 8412 | Bellancia Drive | 18" | |
| D | 70 | 30.2 | 17100 | Flagler Drive | 3' x 2' | |
| D | 71 | 6.6 | 17104 | Flagler Drive | 18" | |
| D | 72 | 28.9 | 17108 | Flagler Drive | 3' x 2' | |
| D | 73 | 42.3 | 17112 | Flagler Drive | 4' x 2' | |
| D | 74 | 66.3 | 8324 | Verde Mesa | 4' x 2' | |
| D | 75 | 60.1 | 8320 | Verde Mesa | 4' x 2' | |
| D | 76 | 43.9 | 8316 | Verde Mesa | 4' x 2' | |
| D | 77 | 25.8 | 8312 | Verde Mesa | 2 x 24" | |
| D | 79 | 12.1* | 8304 | Verde Mesa | 2-24" or 4'x2' | Extend the defined 2' bottom width ditch |
| D | 78 | 18.6* | 8308 | Verde Mesa | 2-24" | N/A |
| D | 88 | 87.8 | 17204 | Flagler Drive | 4' x 2' | |
| D | 89 | 92.0 | 17208 | Flagler Drive | 4' x 2' | |
| D | 90 | 97.5 | 17212 | Flagler Drive | 4' x 2' | |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.

**Belvedere Phase IV
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | STREET NUMBER | STREET | CULVERT SIZE | CULVERT SLOPE | RECOMMENDED DITCH WORK |
|-------|-----|------------|---------------|-----------------|--------------|---------------|------------------------|
| A | 23 | 10.3 | 8724 | Bellancia Drive | 18" | | |
| A | 24 | 9.6 | 8716 | Bellancia Drive | 18" | | |
| A | 25 | *10.2 | 8708 | Bellancia Drive | 18" | 3.0% | N/A |
| A | 26 | 7.5 | 8700 | Bellancia Drive | 18" | | |
| A | 27 | 6.9 | 8616 | Bellancia Drive | 18" | | |
| A | 28 | 6.1 | 8608 | Bellancia Drive | 18" | | |
| A | 29 | 5 | 8600 | Bellancia Drive | 18" | | |
| A | 30 | 4.7 | 8524 | Bellancia Drive | 18" | | |
| A | 31 | 4 | 8516 | Bellancia Drive | 18" | | |
| A | 32 | 3.3 | 8508 | Bellancia Drive | 18" | | |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.

**Belvedere Phase V
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | STREET NUMBER | STREET | CULVERT SIZE |
|-------|-----|------------|---------------|---------------|--------------|
| A | 113 | 15.9 | 17713 | Flagler Drive | 18" |
| A | 114 | 21.3 | 17701 | Flagler Drive | 18" |
| A | 115 | 24.9 | 17613 | Flagler Drive | 24" |

**Belvedere Phase VI
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | SLOPE | STREET NUMBER | STREET | CULVERT SIZE | CULVERT SLOPE | RECOMMENDED DITCH WORK |
|-------|-----|------------|-------|---------------|---------------------|--------------|---------------|----------------------------------|
| D | 13 | *3.7 | | 8301 | Lakewood Ridge Cove | 24" | 4.2% | 1' bottom width, 2' deep channel |
| D | 14 | 20.7 | | 8309 | Lakewood Ridge Cove | 24" | | |
| D | 15 | 24.1 | | 8313 | Lakewood Ridge Cove | 24" | | |
| D | 16 | 35.1 | | 8317 | Lakewood Ridge Cove | 3' x 2' | | |
| D | 18 | 22.8 | | 8321 | Lakewood Ridge Cove | 3' x 2' | | |
| D | 19 | 11.1 | | 8325 | Lakewood Ridge Cove | 24" | | |
| D | 20 | 10.9 | | 8401 | Lakewood Ridge Cove | 24" | | |
| D | 21 | *13.6 | | 8405 | Lakewood Ridge Cove | 24" | 3.0% | N/A |
| D | 23 | 24.0 | | 8413 | Lakewood Ridge Cove | 3' x 2' | | |
| D | 24 | *11.5 | | 8417 | Lakewood Ridge Cove | 24" | 1.0% | N/A |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.

**Belvedere Phase VII
Driveway Culvert Table**

| BLOCK | LOT | FLOW (CFS) | STREET NUMBER | STREET | CULVERT SIZE | CULVERT SLOPE | RECOMMENDED DITCH WORK |
|-------|-----|------------|---------------|---------------|--------------|---------------|---|
| B | 7 | 7.8 | 8501 | Rollins Drive | 24" | | |
| B | 6 | 2.0 | 8509 | Rollins Drive | 18" | | |
| B | 5 | 5.2 | 8517 | Rollins Drive | 18" | | |
| B | 4 | 12 | 8601 | Rollins Drive | 18" | | |
| B | 3 | 24.6 | 8609 | Rollins Drive | 24" | | |
| B | 2 | *17.6 | 8701 | Rollins Drive | 2 x 24" | 5.5% | 2' bottom width, 2' deep channel that extends to the cul-de-sac |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.

**Belvedere Phase VII-B
Driveway Culvert Table**

| BLOCK | LOT | FLOW | STREET NUMBER | STREET | CULVERT SIZE** | CULVERT SLOPE | RECOMMENDED DITCH WORK |
|-------|-----|------|---------------|------------------------|----------------|---------------|---|
| A | 119 | | 8501 | Springdale Ridge Drive | N/A | | N/A |
| A | 120 | | 8509 | Springdale Ridge Drive | N/A | | |
| A | 121 | | 8517 | Springdale Ridge Drive | N/A | | |
| A | 122 | | 8601 | Springdale Ridge Drive | N/A | | |
| A | 123 | | 8609 | Springdale Ridge Drive | 18" | | |
| A | 124 | | 8617 | Springdale Ridge Drive | 18" | | |
| A | 125 | *3.2 | 8701 | Springdale Ridge Drive | 18" | 5.0% | 2' bottom width, 2' deep channel |
| A | 126 | *0.6 | 8709 | Springdale Ridge Drive | 18" | 5.0% | 2' bottom width, 2' deep channel that extends to the cul-de-sac |
| B | 8 | | 8500 | Springdale Ridge Drive | N/A | | |
| B | 9 | | 8508 | Springdale Ridge Drive | N/A | | |
| B | 10 | | 8516 | Springdale Ridge Drive | 18" | | |
| B | 11 | | 8608 | Springdale Ridge Drive | 18" | | |
| B | 12 | | 8616 | Springdale Ridge Drive | 18" | | |
| B | 13 | *3.6 | 8700 | Springdale Ridge Drive | 18" | 5.0% | 2' bottom width, 2' deep channel |
| B | 14 | *1.8 | 8708 | Springdale Ridge Drive | 18" | 5.0% | 2' bottom width, 2' deep channel that extends to the cul-de-sac |

*Note: Flow was updated in 2023 using Atlas-14 rainfall intensities.



BELVEDERE MUD DITCH LINING EVALUATIONS

| Address | Existing Pipe | 100-YR Flow [CFS] | Manning's n-Value | | US HGL | Critical Elevation | Channel Velocity [FPS] | | Negative Impact due to Rock Lining |
|-----------------------|---------------|-------------------|-------------------|------|---------|--------------------|------------------------|------|------------------------------------|
| | | | Grass | Rock | | | Grass | Rock | |
| 8516 Springdale Ridge | 18" CMP | 2 | 0.04 | 0.07 | 1169.23 | 1169.86 | 1.98 | 1.75 | No |
| 8508 Springdale Ridge | 18" CMP | 2 | 0.04 | 0.07 | 1160.92 | 1161.70 | 2.06 | 1.76 | No |
| 8301 Lakewood Ridge | 24" CMP | 9 | 0.04 | 0.07 | 1183.49 | 1183.79 | 4.02 | 3.43 | No |

Manning's n values based on data published in the USGS "Guide for Selecting Manning's Roughness Coefficients for Natural Channels and Flood Plains"

