

# 173 HIGH PLAIN STREET

## WALPOLE, MA

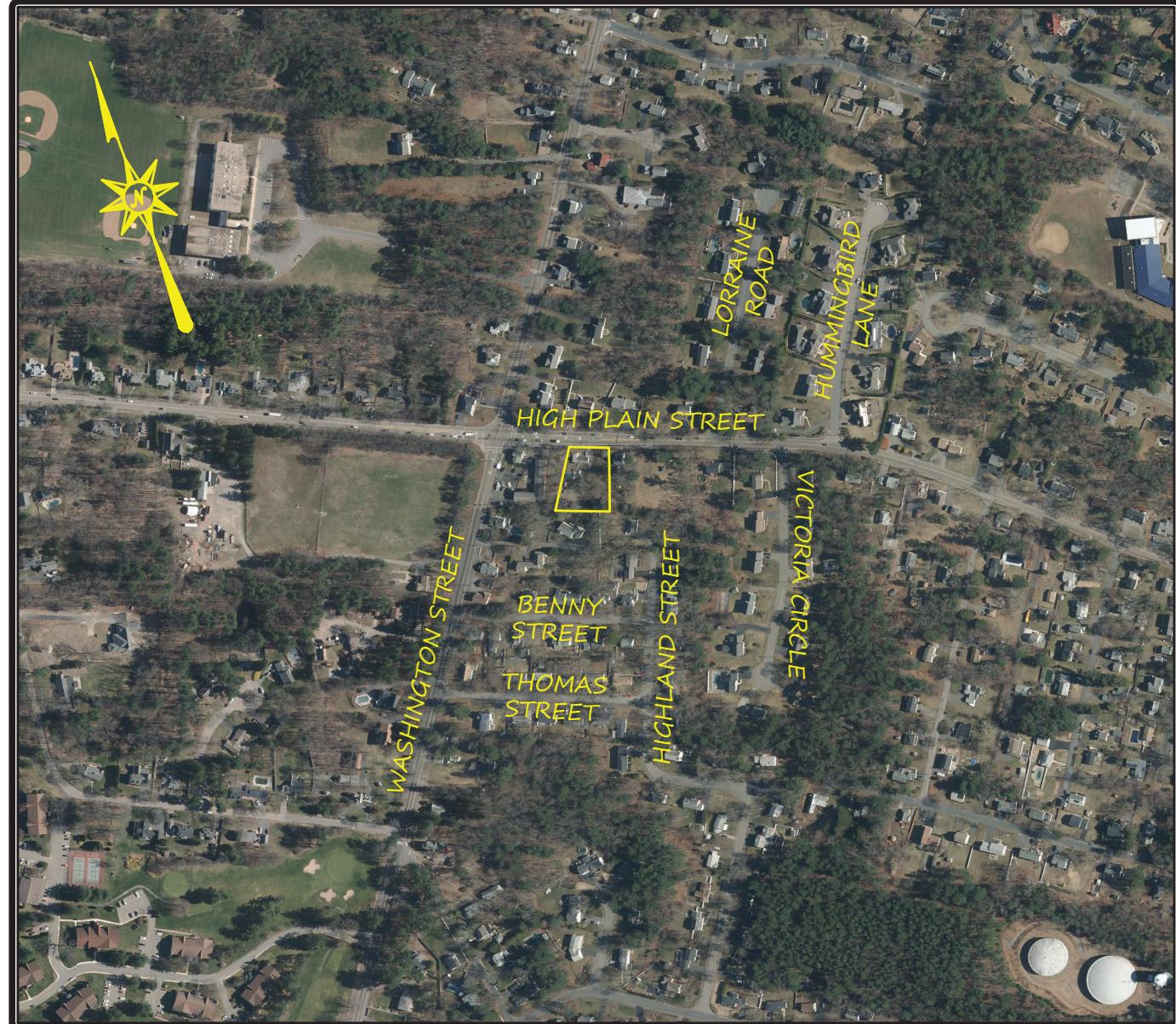
### SITE PLAN

DECEMBER 20, 2021

Latest Revision: July 15, 2024

PREPARED BY:

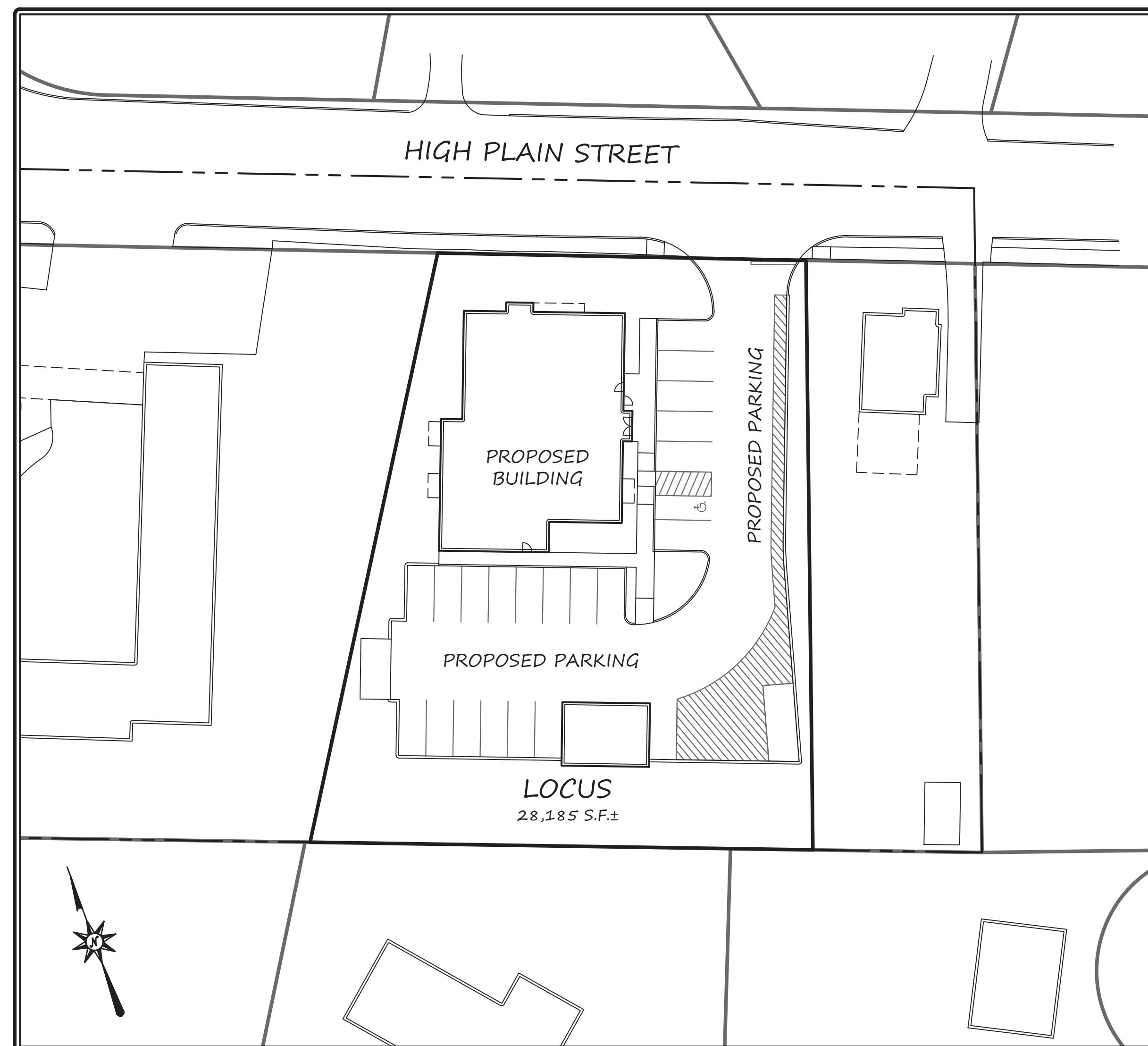
LEGACY ENGINEERING LLC  
730 MAIN STREET, SUITE 2C  
MILLIS, MA 02054



2013 MASSGIS AERIAL LOCUS  
SCALE: 1" = 500'

SITE PLAN APPROVAL STANDARD CONDITIONS:

- Endorsement of the approved Site Plan shall be sought within sixty (60) days of the expiration of the thirty (30) day appeal period or within sixty (60) days of the expiration of the twenty (20) day appeal period after final action by the Board of Appeals if appeal has been taken or within sixty (60) days after the entry of a final decree by the court sustaining the approval of the plan if appeal of the action of the Zoning Board of Appeals has been taken.
- All landscaping shall be done in accordance with the approved Site Plan. The Applicant shall maintain all required plant materials in a healthy condition and whenever necessary replaced with new plant materials to insure continued compliance with landscaping and screening requirements.
- If a fence is used, the Applicant shall permanently maintain it in good repair and in a presentable appearance. All existing fences shall be repaired before the issuance of a Certificate of Occupancy, and shall be maintained in the manner as prescribed in the Zoning Bylaw and/or in any previous conditions of approval for the site plan as they remain applicable, for the life of the site thereafter.
- All requirements of the Town's Board of Health shall be met as related to the Site Plan.
- All required parking spaces, maneuvering aisles, and driveways shall be well maintained.
- All parking spaces, aisles, driveways, loading spaces, and Fire Lanes shall be clearly marked and delineated.
- The Applicant shall further provide all commercial tenants with a copy of this Decision, as applicable.
- All artificial lighting used to illuminate parking or storage areas, maneuvering space or driveway shall be arranged and shielded to prevent direct glare from the light source into any public street or private way or onto adjacent property.
- All work shall be performed in accordance with the approved plans on file with the Planning Board.
- All design and construction shall comply with all applicable state and local codes.
- All requirements of the Walpole Fire Department shall be met as related to the Site Plan.
- All requirements of the Walpole Department of Public Works (DPW) shall be met, including but not limited to the requirement that water and electric connections, together with drainage connections, shall be made in accordance with DPW standards.
- Upon completion of this project, a complete set of the as-built Site Plan shall be submitted to the Engineering Department. Said as-built plan shall show all of the details depicted on the approved Site Plan and as required per Section 13 of the Zoning Bylaw. The Applicant shall provide the Engineering Department with as-built plans that show utility locations, including sewer manholes and water gates, and including field-determined as-built data and swing ties, both in paper and digital format (AutoCAD and PDF), for the Department's permanent files.
- All the conditions listed herein are an integral part of the Site Plan and shall be noted on the Site Plan before endorsement by the Planning Board.
- All future revisions, amendments, and/or modifications to this plan shall be submitted to the Building Commissioner and/or Planning Board, as applicable, whom shall render their decision per the provisions of Section 13, Site Plan Review of the Town's Zoning Bylaw.
- The Applicant shall complete all the proposed work within two (2) years from the date of the issuance of a building permit unless an extension of time is granted by the Board.
- The Applicant is responsible for complying with all applicable local (to include, but not limited to, the Walpole Zoning Bylaw), state, and federal rules and regulations as they may apply to this Site Plan, and thus it is the responsibility of the Applicant to seek and obtain all necessary approvals from other Town boards, commissions, and departments as applicable, and from any state and federal agencies as applicable, to construct the site as depicted on the Site Plan.
- The Applicant will be held responsible for any regulatory traffic warning signs that may be needed after the development becomes occupied as required by the Police Department.
- Alterations to existing roadways and related improvements within roadway layouts such as sidewalks and curbing or installation of new traffic control signs shall be subject to the approval of the Board of Selectmen in their capacity as Road Commissioner for roadways that are under the control of the Town of Walpole, if required, and shall be subject to the approval of the Massachusetts Department of Transportation for roadways or highways that are under the control of the Commonwealth of Massachusetts, if required.
- Construction hours, trash collection and parking lot sweeping shall be done at reasonable hours to avoid excess noise during the middle of the night, as follows:
  - During construction, no exterior work on the site shall begin before 7:00 a.m. or extend later than 6:00 p.m.
  - No mechanical sweeping of the parking lot or trash pick-up is to be permitted on the site from 10:00 P.M. through 7:00 A.M. Monday through Friday or from 9:00 P.M. through 9:00 A.M. on Saturday and Sunday.
  - Noise levels during construction shall be in accordance with state and local regulations.
  - Adequate soil erosion and sediment control measures shall be in place both during and after construction pursuant to requirements, if any, of the Conservation Commission.
  - Dust control during construction shall be in accordance with state and local regulations as applicable.



SHEET LEGEND

C-0: COVER SHEET  
C-1: EXISTING CONDITIONS PLAN  
C-2: EROSION CONTROL  
C-3: LAYOUT PLAN  
C-4: GRADING & UTILITIES PLAN  
C-5: LIGHTING PLAN  
C-6: DETAILS  
C-7: DETAILS  
C-8: DETAILS  
L-1: LANDSCAPING PLAN

NOTES:

- THIS SITE PLAN IS BEING SUBMITTED TO THE WALPOLE PLANNING BOARD FOR SITE PLAN APPROVAL UNDER SECTION 13 OF THE TOWN OF WALPOLE ZONING BYLAW AND THE ZONING BOARD OF APPEALS FOR A SPECIAL PERMIT UNDER SECTION 5-B.1.3(g).

LOCUS  
SCALE: 1" = 30'

OWNER/APPLICANT  
HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056

ZONING DISTRICT  
BUSINESS  
NOT IN WRPOD

ASSESSORS PARCEL  
35-385  
DEED REFERENCE  
BOOK 39676, PAGE 158  
WALPOLE PLANNING BOARD

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

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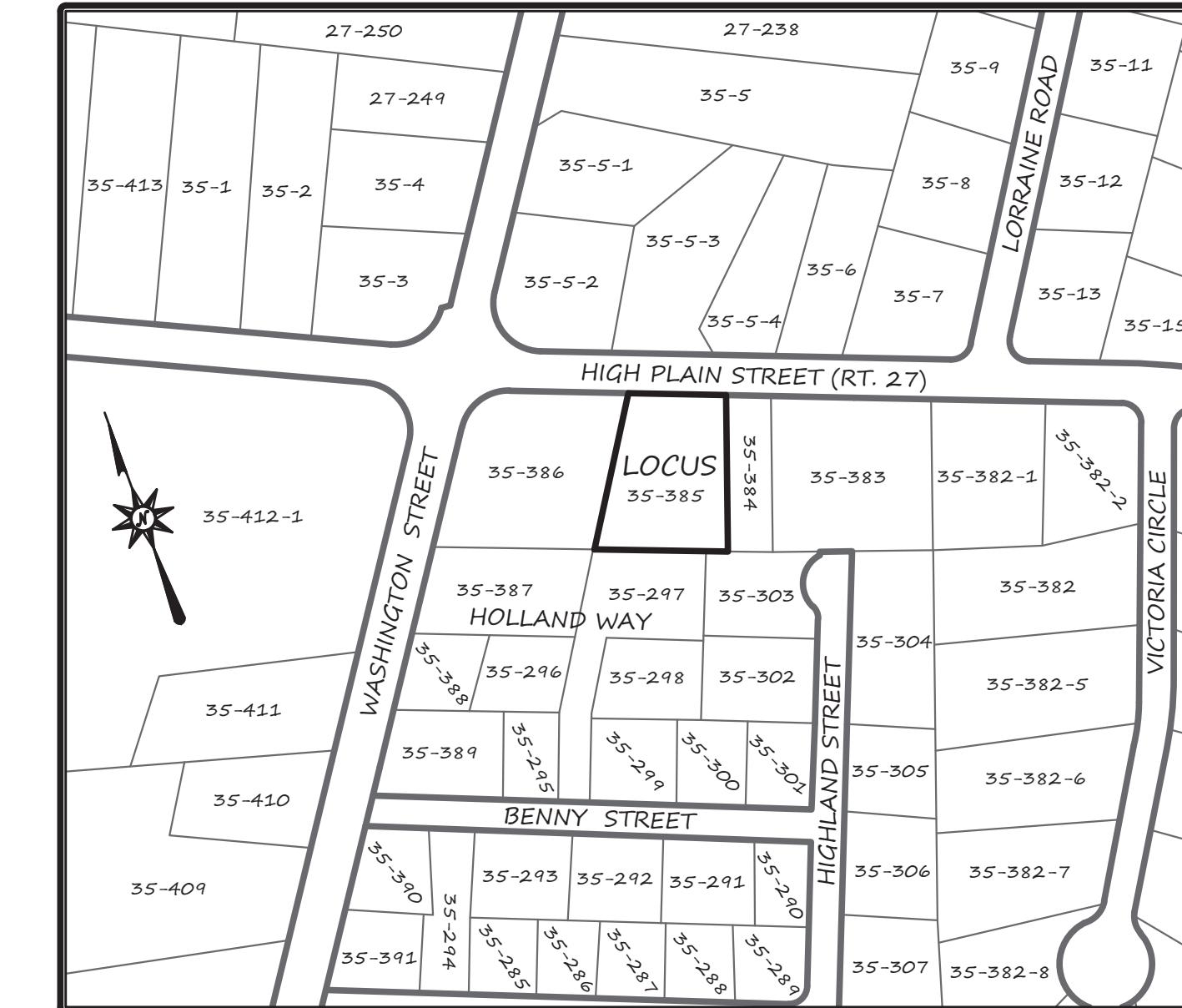
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PREPARED FOR:

HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056



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Daniel J. Merrin, P.E.  
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WALPOLE ASSESSORS LOCUS  
SCALE: 1" = 200'

SITE PLAN APPROVAL STANDARD CONDITIONS CONTINUED:

- Adequate soil erosion and sediment control measures shall be in place both during and after construction pursuant to requirements, if any, of the Conservation Commission.
- Dust control during construction shall be in accordance with state and local regulations as applicable.
- No overnight running of truck motors is to be permitted on the site. The site shall be posted accordingly. This condition shall not pertain to trucks that are making deliveries to the on-site buildings as long as the activity does not adversely affect the area.
- All on- and off-site improvements specified in this Decision and its accompanying Site Plan shall be completed and fully operational before the granting of any final Certificate of Occupancy for the building(s) that is (are) shown on the Site Plan.
- The Applicant and any subsequent owners of the property shall be responsible to adhere to standard drainage system maintenance procedures in perpetuity. This maintenance may include, but is not limited to, periodic sweeping of the parking lot and catch basin and manhole cleaning. Any changes or modifications to the drainage system shall be approved by the Planning Board and the Town Engineer.
- On-site snow storage shall be only within the designated snow storage areas shown on the Site Plan. If the amount of snow needed to be removed from parking and driveway areas shown on the Site Plan exceeds the capacity of said snow storage areas, this excess snow shall be removed from the site.
- The parking lot shall be screened from the street with suitable landscaping, shrubbery, and/or other plantings as per the approved site plan. Said plantings shall not inhibit motorists' line of sight visibility at driveway(s).
- The Applicant and/or his/her/its agent(s) shall have a copy of this letter, the endorsed Site Plan in its entirety, and a copy of the Walpole Zoning Bylaw on site at all times when performing construction activities authorized pursuant to this Site Plan Decision.
- The Applicant shall provide contact names and phone numbers for the entities responsible for site and drainage maintenance, in case abutters have problems, or in case the Town has reports of such problems, which names and phone numbers shall be affixed to the Site Plan prior to endorsement.
- The Applicant shall provide a signature block for the endorsement of the Site Plan by the Planning Board on each plan sheet.
- All issues, problems, and/or complaints relative to this Decision will be handled by:  
High Plain Holdings, LLC  
14 Old Mill Road  
Norfolk, MA 02056  
774-571-0293

SPECIAL CONDITIONS:

- Grilling is not permitted on balconies.
- Landscape plantings shall be installed and maintained so as not to interfere with emergency vehicular access.
- Dumpster gates shall be closed and locked when the dumpster is not being accessed.
- A master key system shall be utilized for all building door locks.
- Mulch shall not be installed within 18-inches of any combustible portion of the building.
- Vehicles utilized for the moving of tenants to and from the site, and the delivery of goods or package, shall be parked solely within the project site, and at all times avoid parking along High Plain Street.
- Signage and other applicable pavement markings shall be utilized within the proposed parking lot identifying and separating commercial parking spaces from residential parking spaces.
- A "no left turn" sign with restricted hours shall be placed by the entrance to the site as noted on the Plan Set. The particular restricted hours stated on the Plan Set may be revised if approved by the Town Engineer and Police Department.
- Street line painting adjacent to the limits of the project on High Plain Street shall be revised if approved by both the Town Engineer and Select Board at a later date.
- This decision is subject to the applicant obtaining an approval from the Zoning Board for the updated plans submitted and approved by the Planning Board, post ZBA decision. Plans in question are dated August 31, 2022.

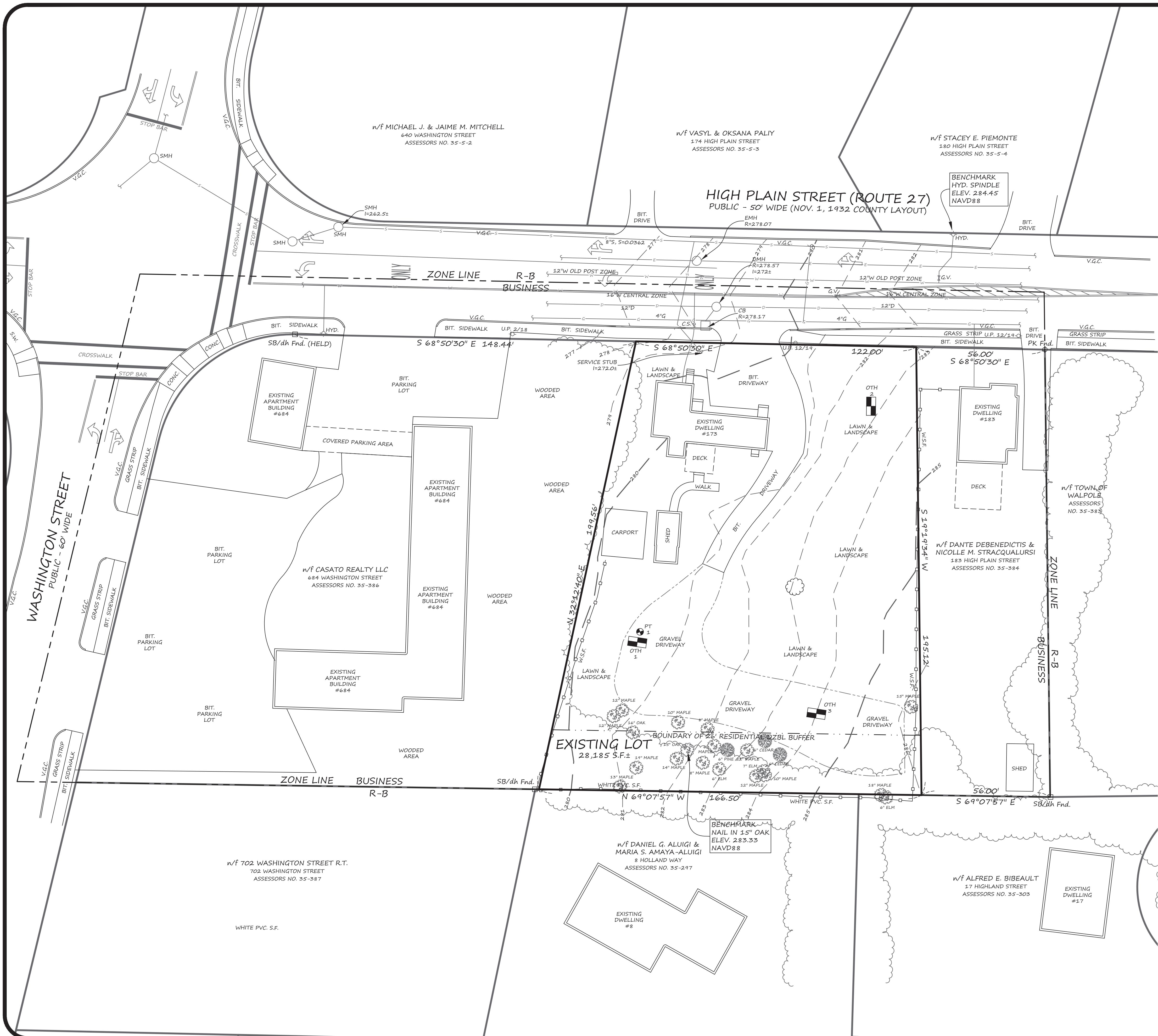
730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

C-0



173 HIGH PLAIN STREET  
COVER SHEET  
PLAN OF LAND  
IN  
WALPOLE, MA

PLAN DATE: DECEMBER 20, 2021	REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2022-04-12	DJM	
TOPOGRAPHICAL CORRECTION	2022-05-24	DJM	
REVISIONS PER TOWN COMMENTS	2022-07-14	DJM	
REVISIONS PER TOWN COMMENTS	2022-07-01	DJM	
ADDED NOTE FOR HC SIGN	2022-07-31	DJM	
ADDED GARAGE, CHANGED FRONT ENTRANCE	2024-07-15	DJM	



OWNER/APPLICANT  
HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056

ZONING DISTRICT  
BUSINESS  
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ASSESSORS PARCEL  
35-385

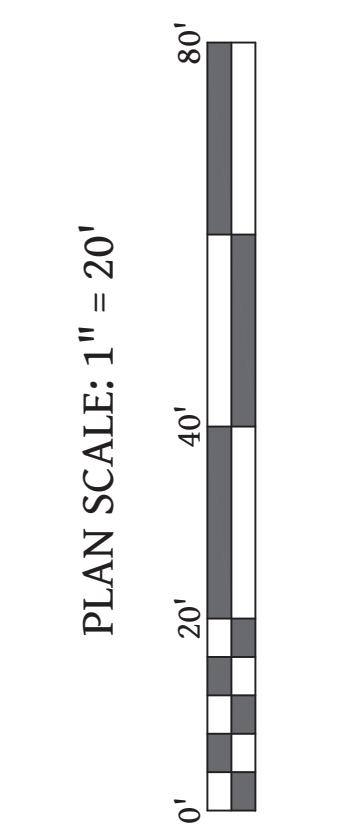
DEED REFERENCE  
BOOK 39676, PAGE 158



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Daniel J. Merrink, P.E.  
Date: 2024.07.15  
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EXISTING CONDITION NOTES:

1. THE LOCATION OF EXISTING UTILITIES IS BASED ON AVAILABLE INFORMATION SUCH AS SURFACE FEATURES AND RECORD PLANS. THE SHOWN UTILITY LOCATIONS ARE APPROXIMATE, ARE NOT WARRANTED TO BE CORRECT, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO CONDUCTING ANY EXCAVATION ON THE SITE.
3. OFFSITE FEATURES SUCH AS BUILDING, PAVING LIMITS, UTILITIES, ETC., ARE APPROXIMATE ONLY AND BASED ON MASSGAS AERIAL PHOTOGRAPHS.
4. ELEVATIONS ARE ON THE NAVD88 DATUM.



LEGEND &  
ABBREVIATIONS

CB: SINGLE-GRADE CATCH BASIN
DB: DOUBLE-GRADE CATCH BASIN
PTU: PROPRIETARY STORMWATER UNIT
ODMH: DRAIN MANHOLE
TR DR: TRENCH DRAIN
INFIL: INFILTRATION TRENCH
DR PIPE: DRAIN PIPE
RCP: REINFORCED CONCRETE PIPE
PVC: POLYVINYL CHLORIDE PIPE
OSMH: SEWER MANHOLE
X: SEWER PIPELINE
OC: SEWER SERVICE CLEANOUT
X: WATER MAIN
H: HYDRANT
W: WATER GATE VALVE
CS: WATER SERVICE CURB STOP
M.B.: WATER SERVICE METER BOX
G: GAS PIPELINE
E.C.: ELECTRIC CONDUIT
L.P.: LIGHT POLE
U.P.: UTILITY POLE
G.W.: GUY WIRE
S.P.: TRAFFIC SIGNAL POLE
252: EXISTING CONTOUR
252: PROPOSED CONTOUR
E.P.: EDGE OF PAVEMENT
C.C.B.: INTEGRAL SLOPED BIT. BERM
V.B.R.: VERTICAL BITUMINOUS BERM
S.G.C.: SLOPED GRANITE CURB
V.G.C.: VERTICAL GRANITE CURB
V.C.C.: VERTICAL CONCRETE CURB
E.C.S.: EDGECRETE CONCRETE SLAB
G.V.: GATE VALVE
C.L.F.: CHAIN LINK FENCE
W.S.F.: WOOD STOCKADE FENCE
P.P.F.: PVC PICKET FENCE
G.R.: GUARD RAIL
C.C.: HANDICAP CURB CUT

PLAN DATE: DECEMBER 20, 2021

REVISIONS PER TOWN COMMENTS

2022-04-12 DUM

2022-05-24 DUM

2022-05-31 DUM

2022-07-14 DUM

2022-07-31 DUM

## SEDIMENT & EROSION CONTROL NOTES

### GENERAL

1. IF APPLICABLE (I.E. >1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE SWPPP. OTHERWISE FOLLOW THE SITE PLAN.
2. FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.

### PHASING AND CONSTRUCTION SEQUENCE

1. PHASE 1 - CONSTRUCTION SEQUENCE: STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT).
2. DEMARQUE THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA.
3. CLEAR THE PROPOSED ENTRY AREAS AND INSTALL THE CONSTRUCTION ENTRANCE APRON (IF APPLICABLE).
4. CLEAR AND GRUB THE DEVELOPMENT AREA.
5. STRIP AND STOCKPILE TOPSOIL.
6. INSTALL TEMPORARY SEDIMENT BASIN.
7. COMMENCE ROUGH GRADING TO SUB-GRADE ELEVATIONS.
8. INSTALL BUILDING FOUNDATION(S) AND BEGIN BUILDING CONSTRUCTION.
9. INSTALL NEW UTILITIES INCLUDING THE STORMWATER MANAGEMENT SYSTEM.
10. BEGIN CONSTRUCTION OF THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE.
11. PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE.
12. CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.
13. TOP COURSE PAVE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) AND REMOVE INTERIM SEDIMENT CONTROLS.
14. PROVIDE AN AS-BUILT TO THE TOWN ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL.

### PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS

1. PERIMETER EROSION AND SEDIMENT CONTROL BARRIERS WILL BE PROVIDED, INSTALLED, AND MAINTAINED DOWNSTREAM OF ALL PROPOSED CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT

CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.

2. SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.

### SITE ACCESS CONTROLS

1. CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRONS WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEP AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

### STOCKPILED SOILS

1. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.

### DUST CONTROL

1. DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.

### DISRUPTION OF STEEP SLOPES

1. CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.

### SOIL COMPACTION

1. AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTING VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS. PRIOR TO SEEDING/PLANTING OF SUCH AREAS, EXPOSED SOIL

THAT HAS BEEN COMPACTION SHALL BE LOOSENED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILLER, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.

### PROTECTION OF STORM DRAIN INLETS

1. ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.

### TEMPORARY STABILIZATION

1. FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.

### MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME THAT THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT WILL BE REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:

  1. TAKE STEPS TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE (RIP-RAP OR CRUSHED STONE APROX.).

### DEWATERING PRACTICES

1. THE FOLLOWING Dewatering PRACTICES WILL BE IMPLEMENTED:

- 1.1. IF Dewatering WATER IS NOT CONTAMINATED, IT MUST NOT CONTAIN OIL, GREASE, ETC. IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE.
- 1.2. WHEREVER POSSIBLE, DISCHARGE Dewatering WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE, DISCHARGE Dewatering WATER INTO A FILTERING AND CONFINING OF A PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS OF GEOTEXTILE. DO NOT DIRECT Dewatering WATER INTO WETLANDS WITHOUT PRIOR TREATMENT.
- 1.3. VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE APROX.).

- 1.4. WHERE APPROPRIATE, REFER TO THE SWPPP FOR INVESTIGATION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:

  - 1.1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.5 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
  - 1.2. ANY DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.

- 1.5. INSPECTIONS

1. WHERE APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:

- 1.1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.5 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.

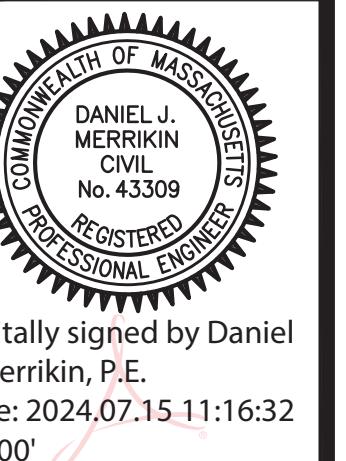
- 1.2. ANY DEFICIENCIES SHALL BE REMEDIED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.

OWNER/APPLICANT  
HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056

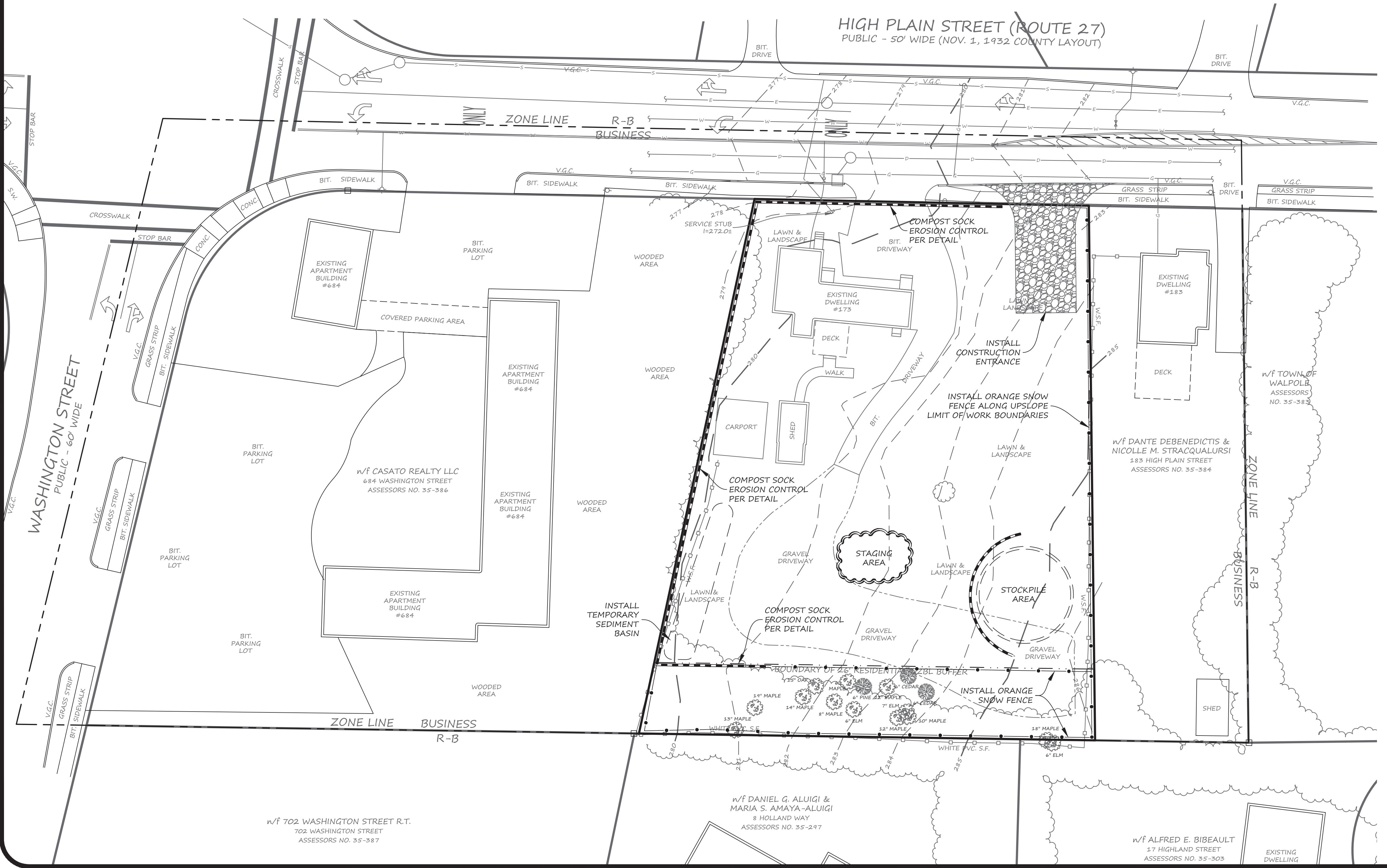
ZONING DISTRICT  
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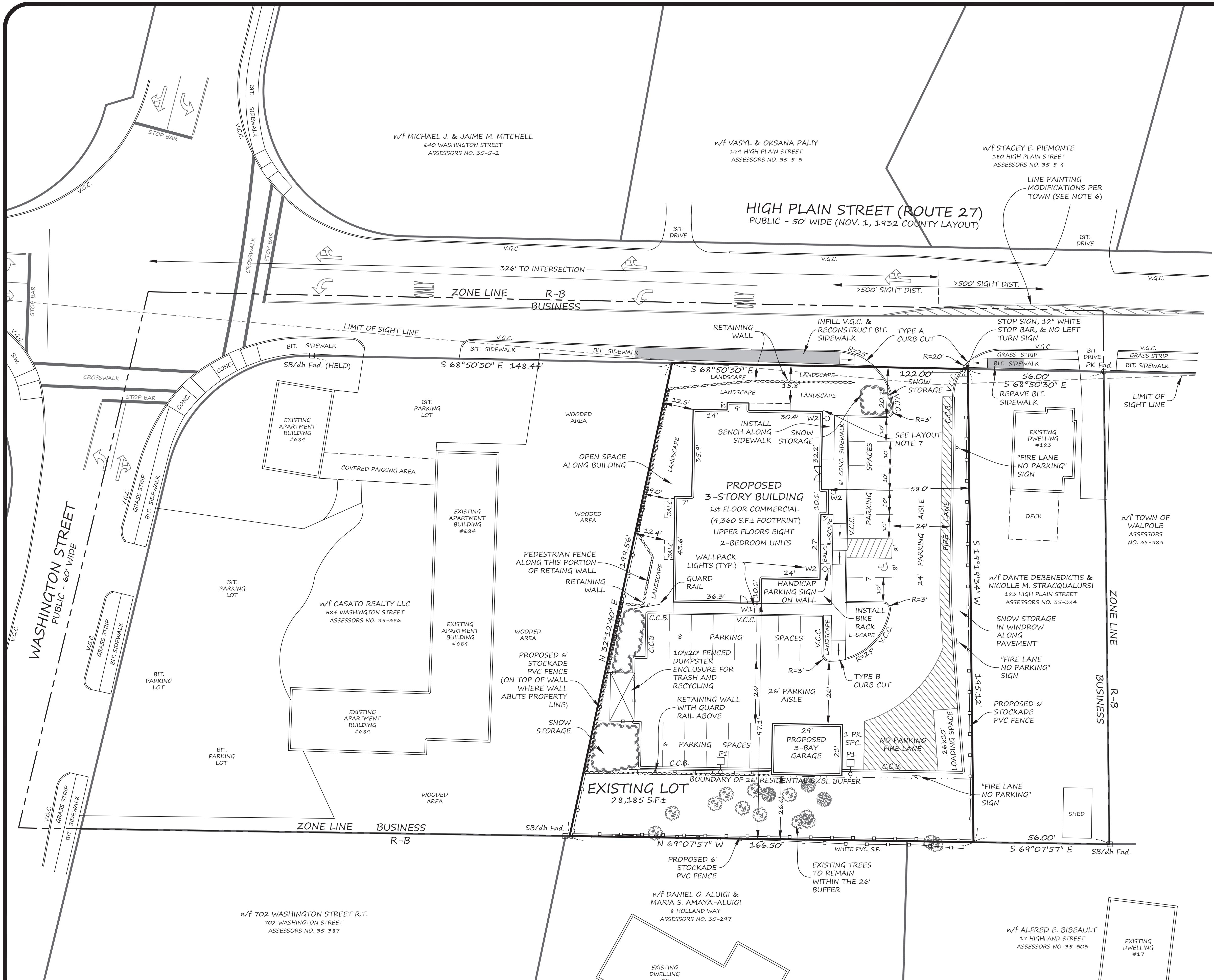
ASSESSORS PARCEL  
35-385

DEED REFERENCE  
BOOK 39676, PAGE 158



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ASSESSORS PARCEL  
35-385

DEED REFERENCE  
BOOK 39676, PAGE 158



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PARKING NOTES:

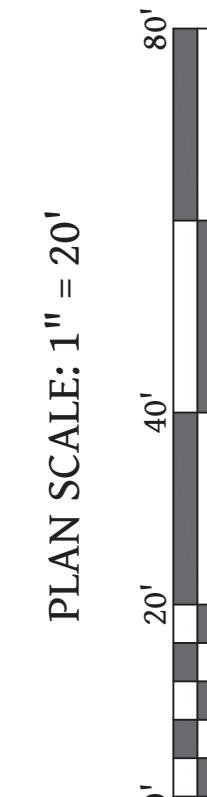
REQUIRED:  
MINIMUM: 1 PER 500 S.F. (9 SP.)  
PLUS 2 PER RES. UNIT (16 SP.)  
MAXIMUM: 1 PER 200 S.F. (22 SP.)  
PLUS 2 PER RES. UNIT (16 SP.)  
TOTAL REQUIRED: (25-38 SP.)

PROVIDED:  
25 SPACES (INCLUDING 1  
HANDICAP SPACE)

SPACES ARE TO BE 9' x 18.5' EXCEPT AS  
OTHERWISE NOTED. HANDICAP SPACES  
ARE TO BE 8' WIDE WITH AN 8' ACCESS  
AISLE.

LAYOUT NOTES:

- ALL ACCESSIBLE ROUTES SHALL BE IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.
- ACCESSIBLE PARKING SPACES SHALL BE GRADED SUCH THAT SLOPES ARE BETWEEN 1% AND 2% WITH NO AREAS EXCEEDING 2%.
- THE OPEN SPACE WITHIN AND IMMEDIATELY SURROUNDING PARKING AREAS IS APPROXIMATELY 2,700 S.F., WHICH IS 23% OF THE TOTAL PARKING AREA AT 11,500 S.F.
- GROSS FLOOR AREAS:
  - 1ST FLOOR: 4,360 S.F.
  - 2ND FLOOR: 4,381 S.F.
  - 3RD FLOOR: 4,332 S.F.
- THE NO LEFT TURN SIGN AT THE ENTRANCE SHALL BE POSTED FOR THE HOURS OF 6AM-9AM AND 3PM-6PM. THESE HOURS SHALL BE REVISED IF REQUESTED BY THE TOWN ENGINEER OR POLICE DEPARTMENT.
- IF APPROVED BY THE TOWN ENGINEER AND SELECT BOARD, APPLICANT SHALL CHANGE THE LINE PAINTING ON HIGH PLAIN STREET IN THE VICINITY OF THE SITE TO REVISE THE INTERSECTION APPROACH CONFIGURATION.
- INSTALL SIGN ON FRONT OF BUILDING "ACCESSIBLE ACCESS ON SIDE OF BUILDING" OR SIMILAR LANGUAGE.



PLAN DATE: DECEMBER 20, 2021

REVISIONS PER TOWN COMMENTS

DATE: 2022-04-12 BY DUM

REVISIONS PER TOWN COMMENTS

DATE: 2022-05-24 BY DUM

TOPOGRAPHICAL CORRECTION

REVISIONS PER TOWN COMMENTS

DATE: 2022-07-14 BY DUM

REVISIONS PER TOWN COMMENTS

DATE: 2022-07-21 BY DUM

REVISIONS PER TOWN COMMENTS

DATE: 2022-07-27 BY DUM

ADDED NOTE FOR HC SIGN

REVISIONS FOR ENDORSEMENT

DATE: 2024-07-15 BY DUM

ADDED GARAGE, CHANGED FRONT ENTRANCE

REVISIONS FOR TOWN COMMENTS

DATE: 2024-07-15 BY DUM

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_

WALPOLE PLANNING BOARD

ZONING REQUIREMENTS:

REQUIRED	EXISTING	PROPOSED
15,000 S.F.	28,185 S.F.	28,185 S.F.
100'	122.00'	122.00'
15'-25'	16.8'	15.8'
6'	9.0'	
20'	26.6'	
40'	35'	
40%	4.3%	17.6%
70%	14.8%	64.3%

ZONE: BUSINESS  
USE: RETAIL SALES & SERVICE <10,000 S.F.  
SECTION 5B.1-4.4 OR ANY OTHER USE  
ALLOWED BY RIGHT IN THE BUSINESS  
ZONE  
RESIDENTIAL DWELLING UNITS ON 2ND &  
3RD FLOOR PER SECTION 5B.1-3.g  
(SPECIAL PERMIT)

SNOW REMOVAL NOTES:

- SNOW SHALL BE PLOWED INTO WINDROWS ALONG PAVEMENT WHERE POSSIBLE AND STOCKPILED IN DESIGNATED SNOW STORAGE AREAS.
- SNOW SHALL NOT BE PILED AT THE ENTRANCE CORNERS IN SUCH A MANNER THAT IT WILL OBSTRUCT SIGHT DISTANCE.
- ICE CONTROL SHALL BE BY SAND, SODIUM CHLORIDE OR CALCIUM CHLORIDE.
- WHEN SITE STORAGE OF SNOW IS INADEQUATE, SNOW SHALL BE HAULED OFF-SITE.

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)



OWNER/APPLICANT  
HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056

**ZONING DISTRICT  
BUSINESS  
NOT IN WRPOD**

ASSESSORS PARCEL  
35-385

DEED REFERENCE  
BOOK 39676, PAGE 158

ally signed by Daniel  
rrykin, P.E.  
2024.07.15 11:17:30  
O'

PLAN SCALE: 1" = 20'

REVISION	DATE	BY
REVISIONS PER TOWN COMMENTS	2022-04-12	DJM
REVISIONS PER TOWN COMMENTS	2022-05-24	DJM
TYPOGRAPHICAL CORRECTION	2022-05-31	DJM
REVISIONS PER TOWN COMMENTS	2022-07-14	DJM
REVISIONS PER TOWN COMMENTS	2022-08-01	DJM
ADDED NOTE FOR H.C. SIGN	2022-08-31	DJM
REVISIONS FOR ENDORSEMENT	2022-10-27	DJM
ADDED GARAGE, CHANGED FRONT ENTRANCE	2024-07-15	DJM

# LIGHTING PLAN OF LAND IN WALPOLE, MA

## LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	QUANTITY	LAMP	MOUNTING TYPE	MOUNT. HEIGHT	MODEL
P1		2	(6) SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS)	POLE	12'	RAB LIGHTING INC., ALED4T105 (TYPE IV)
W1		1	(6) SIX WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS)	WALL	10'	RAB LIGHTING INC., WPLED4T105Y (TYPE IV)
W2		3	(22) WENTY-TWO WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS)	WALL	10'	RAB LIGHTING INC., SLIM57Y

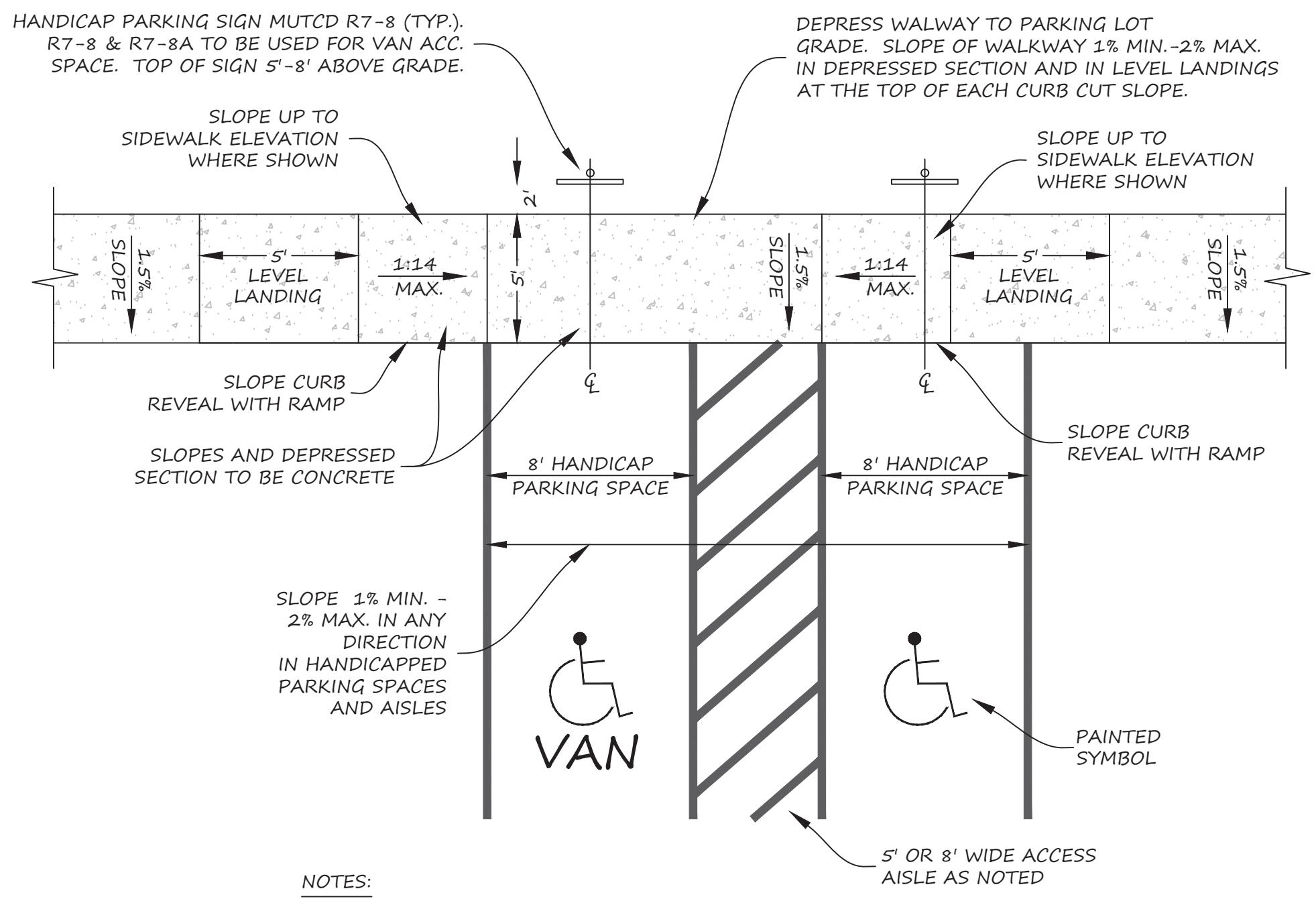
DATE APPROVED: \_\_\_\_\_

NAME \_\_\_\_\_

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## WAI PO LE PLANNING BOARD

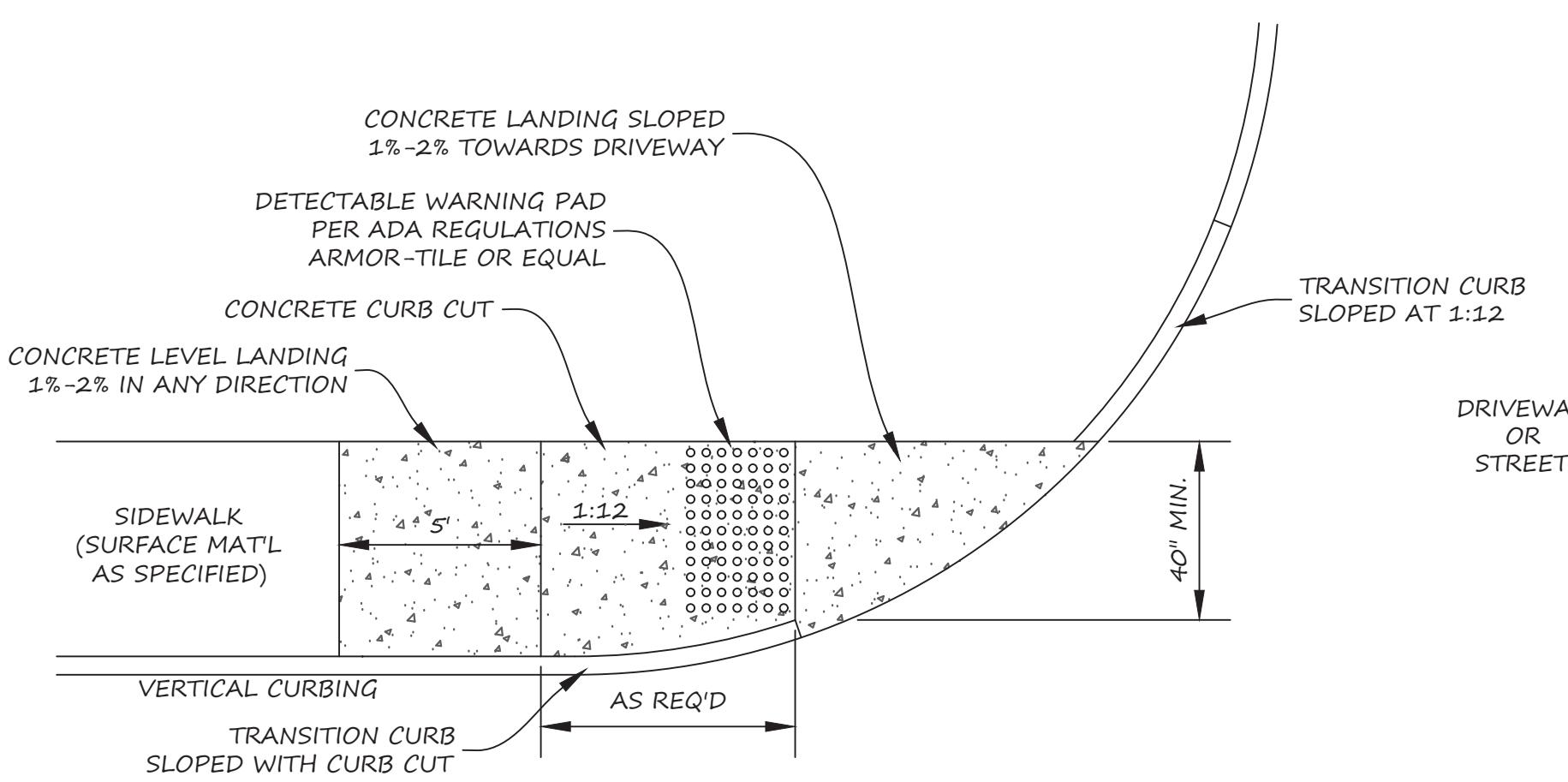
30 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)



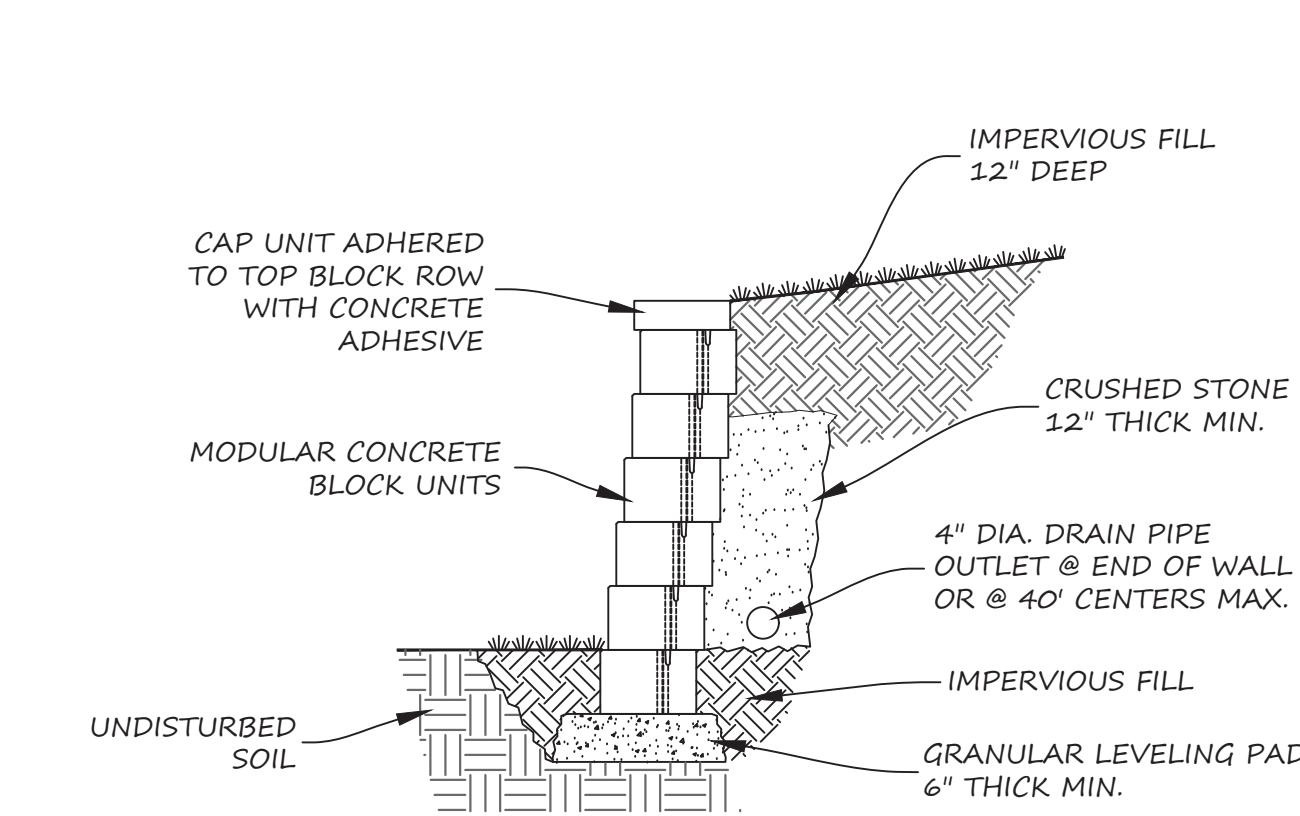
NOTES:

1. REFER TO THE LAYOUT PLAN FOR THE LOCATION, LAYOUT, AND NUMBER OF HANDICAP PARKING SPACES IN RELATION TO ADJOINING WALKWAYS.
2. HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES (CURB CUTS, RAMPS, WALKWAYS, ETC...) SHALL BE IN ACCORDANCE WITH 521 CMR.

TYPICAL HANDICAP PARKING DETAIL  
(NO SCALE)

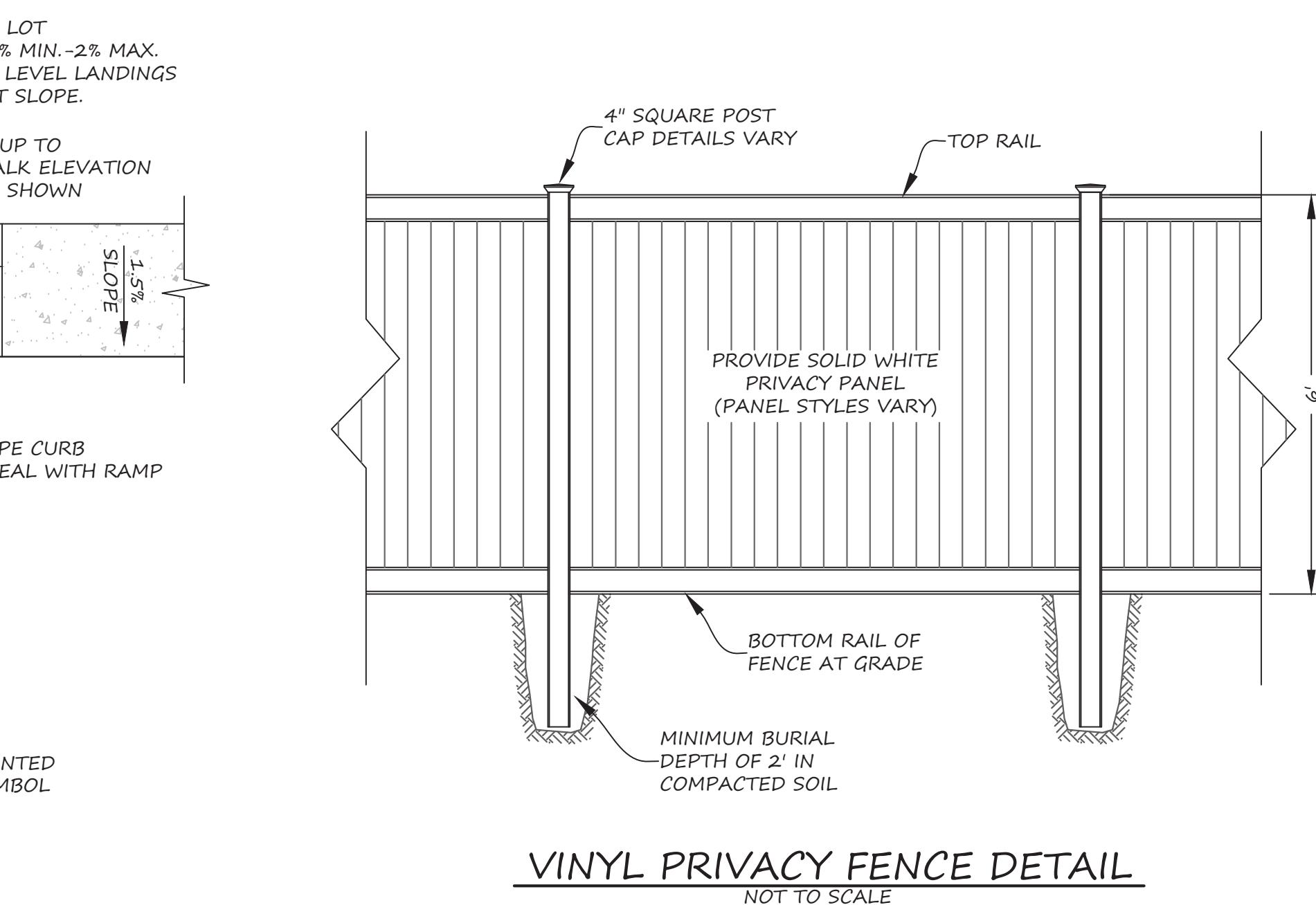


TYPICAL "TYPE A" ACCESSIBLE CURB CUT DETAIL  
NOT TO SCALE

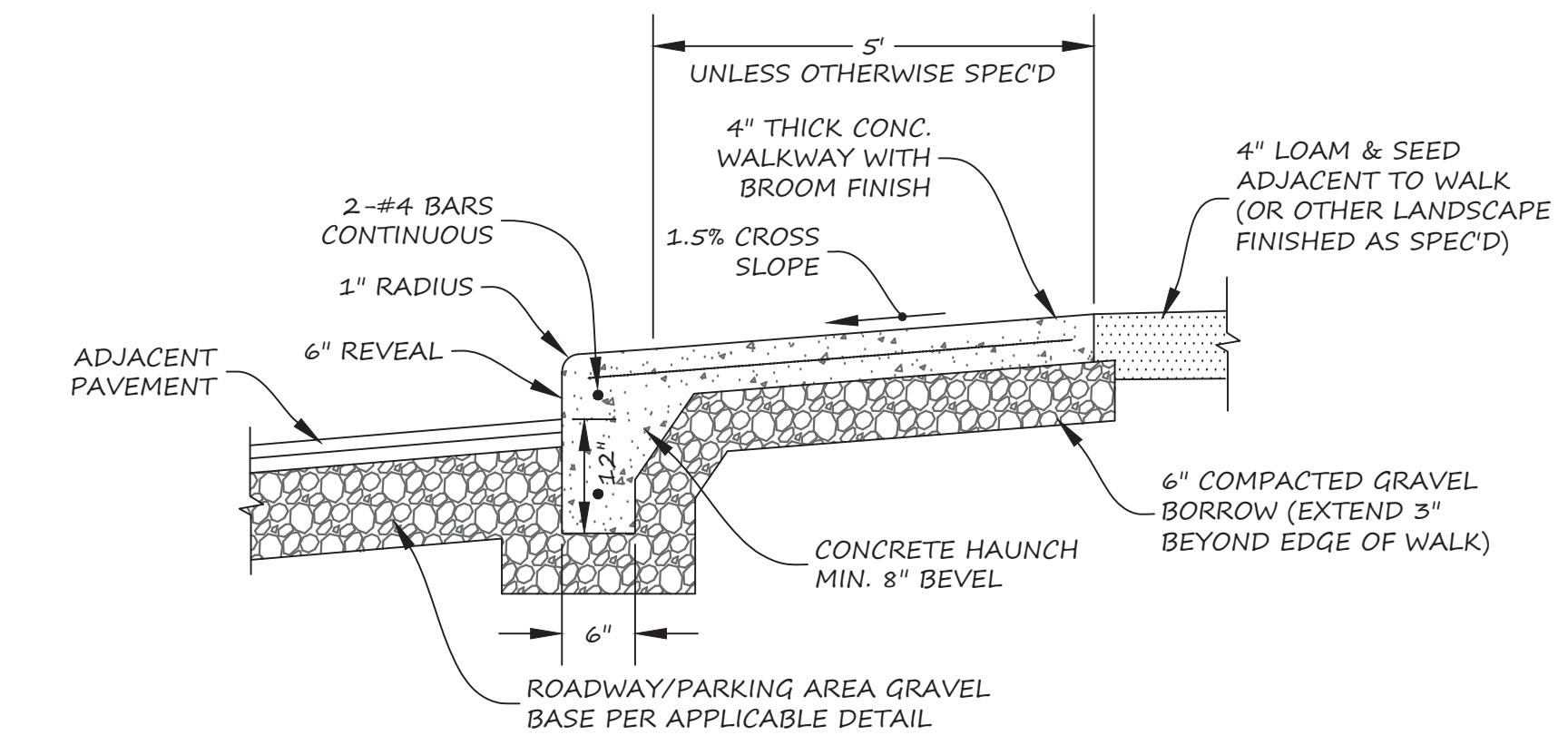


1. SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
2. WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
3. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL  
NOT TO SCALE



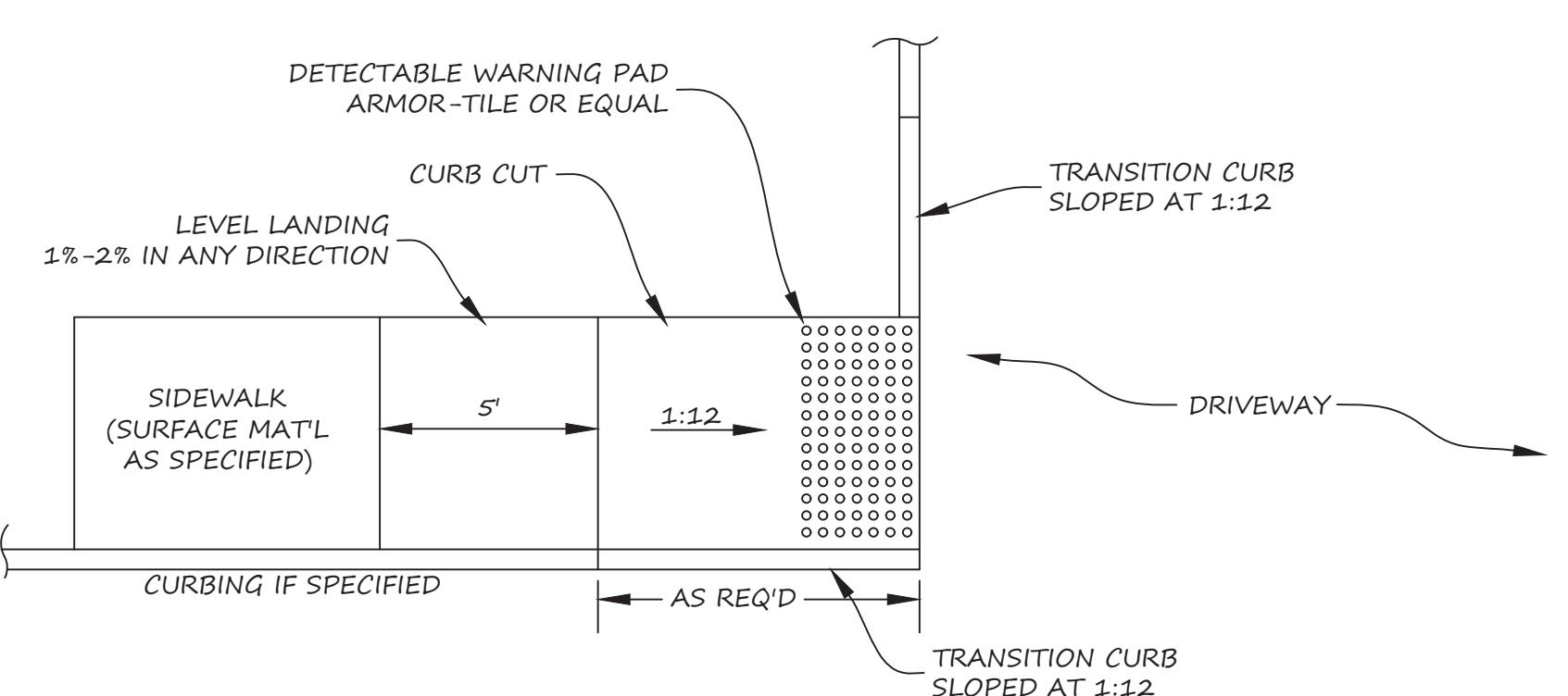
VINYL PRIVACY FENCE DETAIL  
NOT TO SCALE



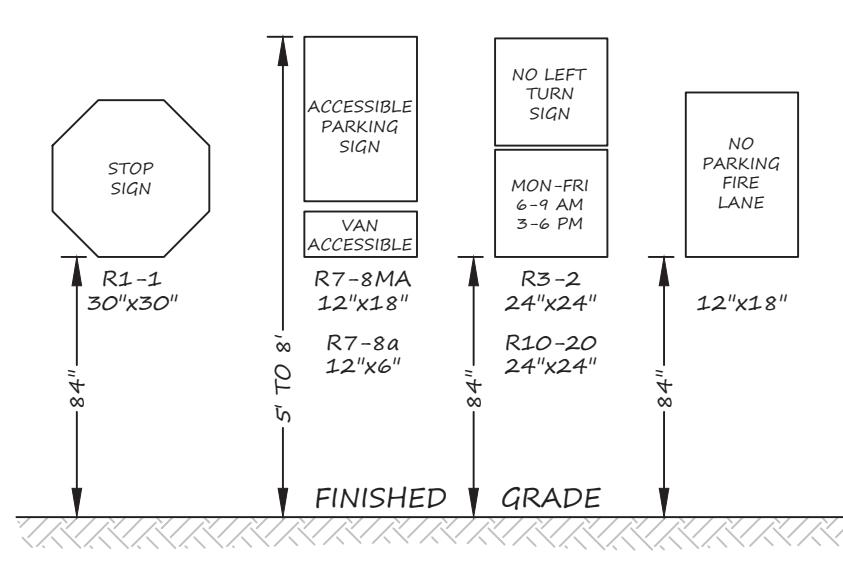
NOTES:

1. FOLLOW THIS DETAIL WHEREVER A CONCRETE SIDEWALK IS IMMEDIATELY ADJACENT TO A CURB.
2. ALL ASPECTS OF WALKWAY/SIDEWALK CONSTRUCTION SHALL BE IN FULL COMPLIANCE WITH 521 CMR.
3. PROVIDE CONTROL JOINTS EVERY 5' MIN.
4. PROVIDE PREMOLDED JOINT FILL EVERY 30' MIN.
5. PROVIDE 6X6 W1.4 X W1.4 - WELDED WIRE REINFORCEMENT MESH AT MIDDLE OF SLAB THICKNESS.

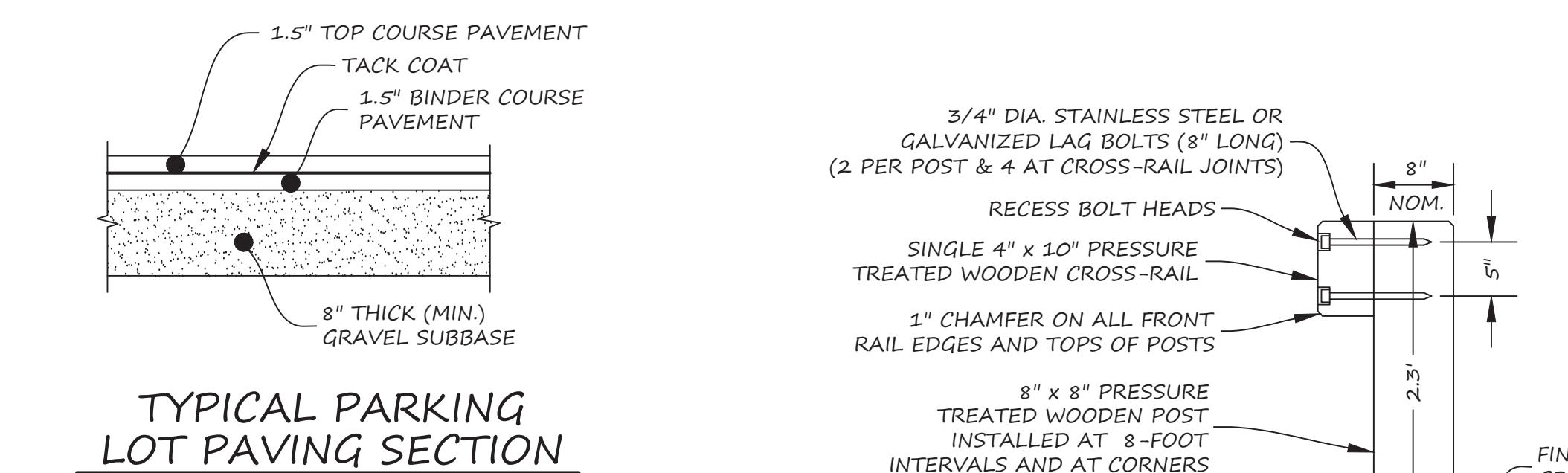
CONCRETE SIDEWALK WITH INTEGRAL CURB  
(NO SCALE)



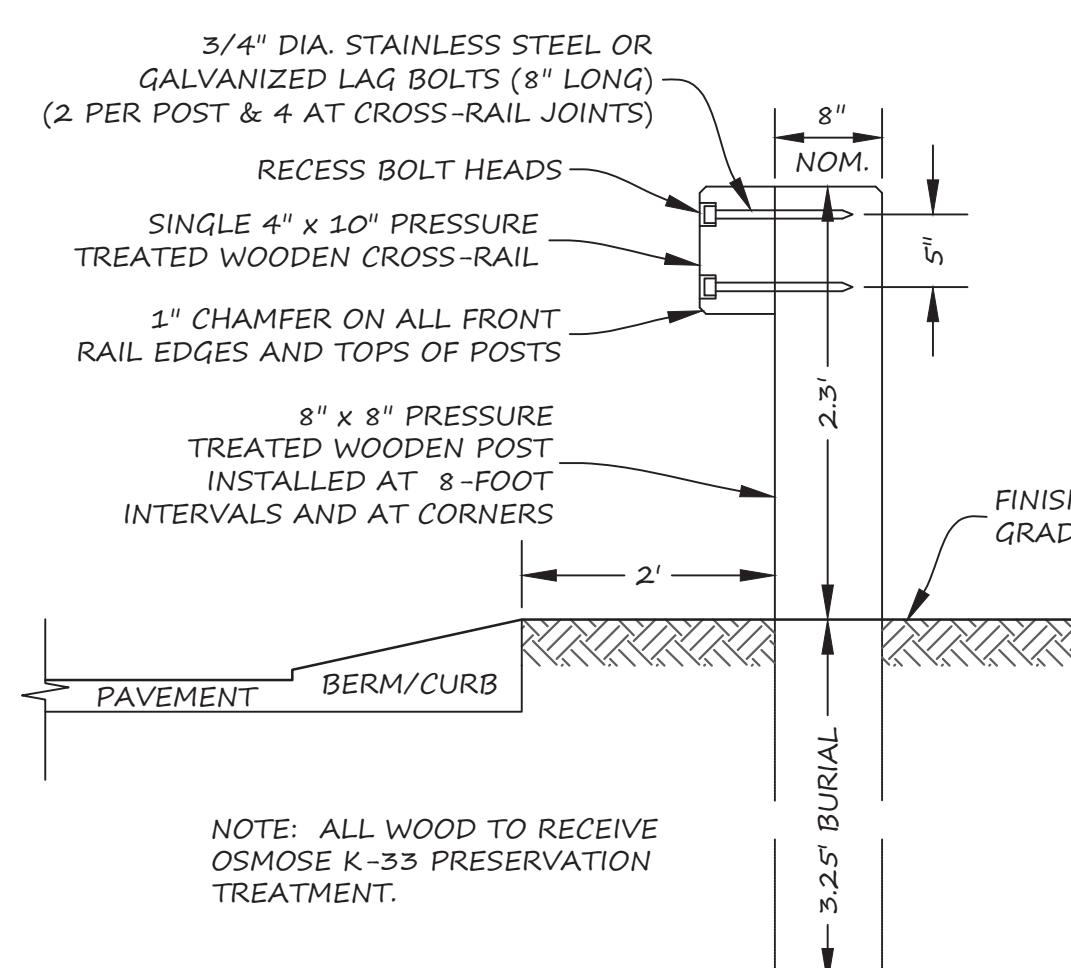
TYPICAL "TYPE B" ACCESSIBLE CURB CUT DETAIL  
NOT TO SCALE



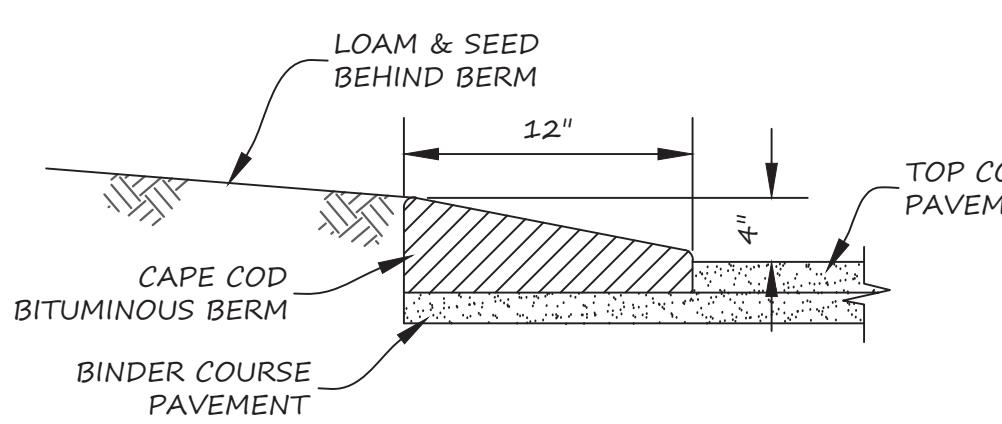
TRAFFIC SIGN SCHEDULE  
NOT TO SCALE



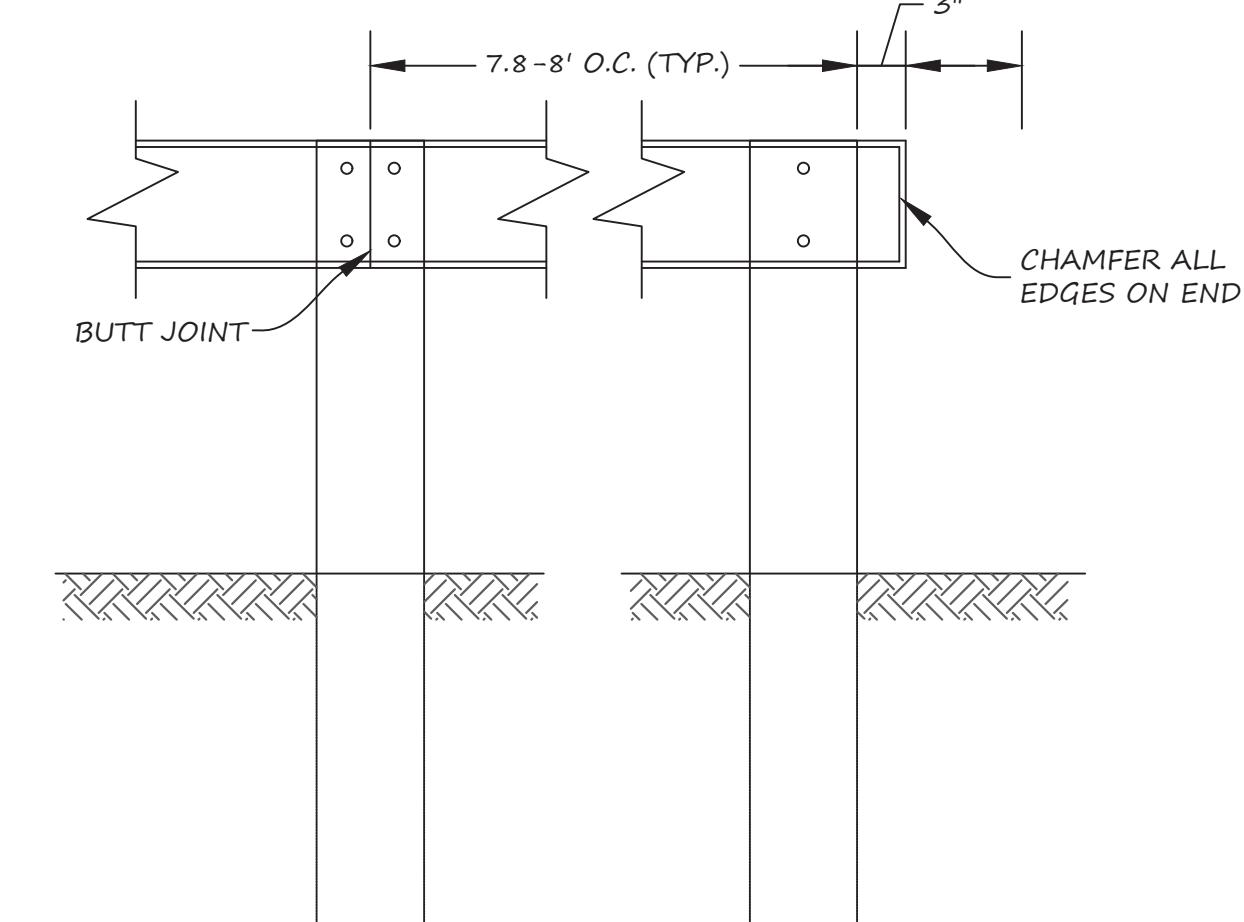
TYPICAL PARKING LOT PAVING SECTION  
NOT TO SCALE



SIDE SECTIONAL VIEW



CAPE COD BERM DETAIL  
(NO SCALE)

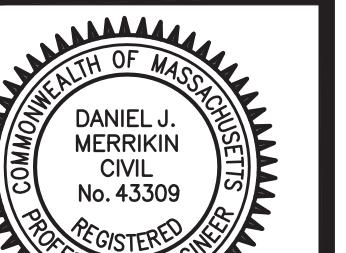


FRONT VIEW & TYPICAL END SECTION

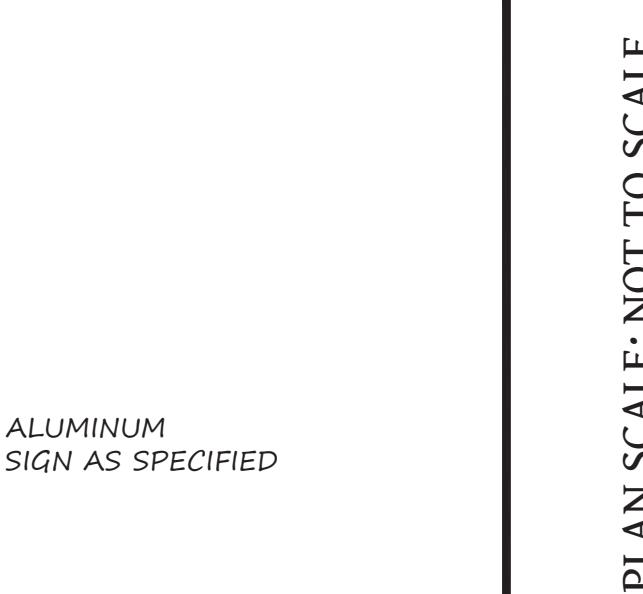
WOOD GUARD RAIL DETAIL  
NOT TO SCALE

OWNER/APPLICANT  
HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056

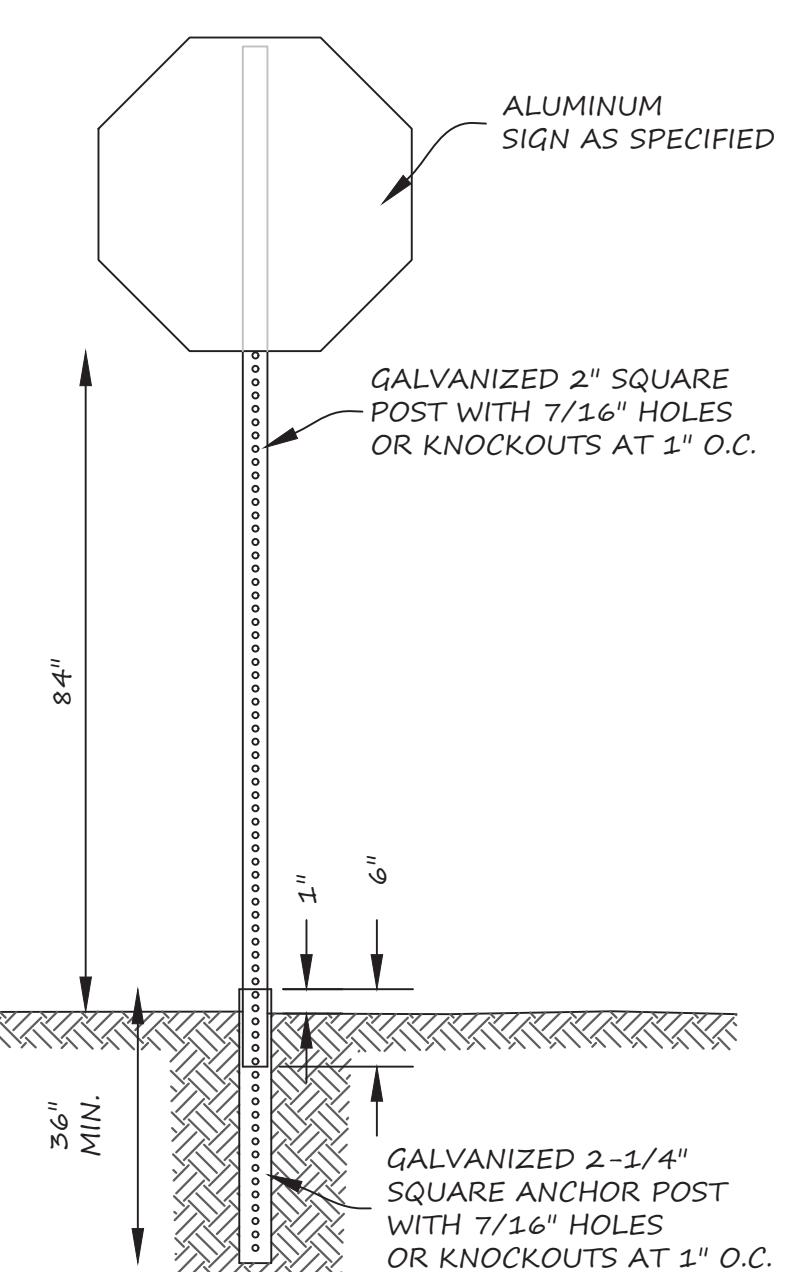
ZONING DISTRICT  
BUSINESS  
NOT IN WRPO  
ASSESSORS PARCEL  
35-385  
DEED REFERENCE  
BOOK 39676, PAGE 158



Digitally signed by Daniel J.  
Merrin, P.E.  
Date: 2024.07.15 11:17:51  
04'00'



PLAN SCALE: NOT TO SCALE



TYPICAL SIGN POST DETAIL  
NOT TO SCALE

DATE APPROVED: \_\_\_\_\_  
DATE ENDORSED: \_\_\_\_\_  
WALPOLE PLANNING BOARD

REVISIONS PER TOWN COMMENTS	DATE
TYPOGRAPHICAL CORRECTION	2022-07-27 D.U.M.
REVISIONS PER TOWN COMMENTS	2022-07-27 D.U.M.
REVISIONS PER TOWN COMMENTS	2022-07-27 D.U.M.
ADDED NOTE FOR HC SIGN	2022-07-27 D.U.M.
REVISIONS FOR ENDORSEMENT	2022-07-27 D.U.M.
ADDED GARAGE, CHANGED FRONT ENTRANCE	2022-07-27 D.U.M.

173 HIGH PLAIN STREET  
DETAIL  
PLAN OF LAND  
IN  
WALPOLE, MA

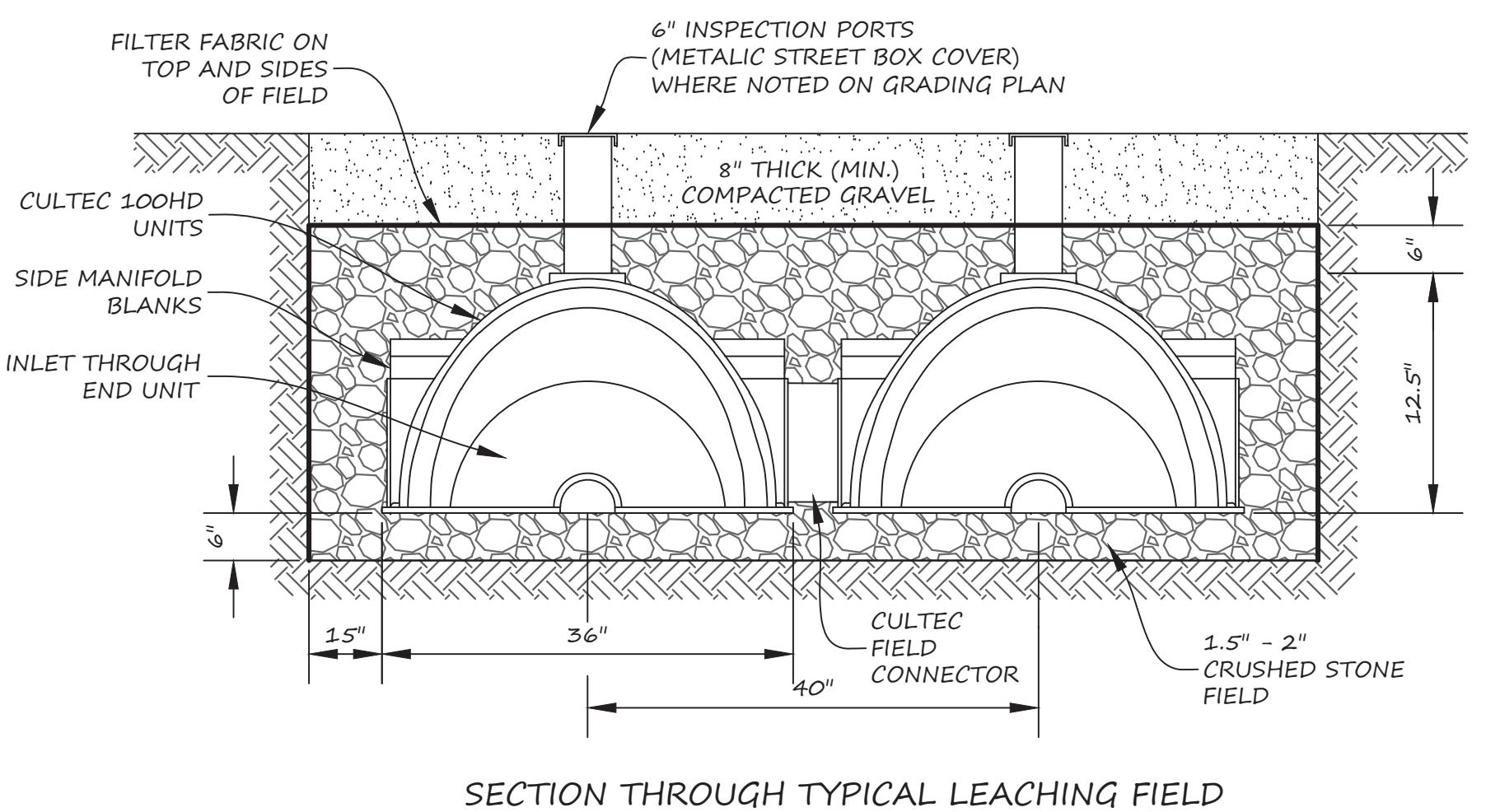
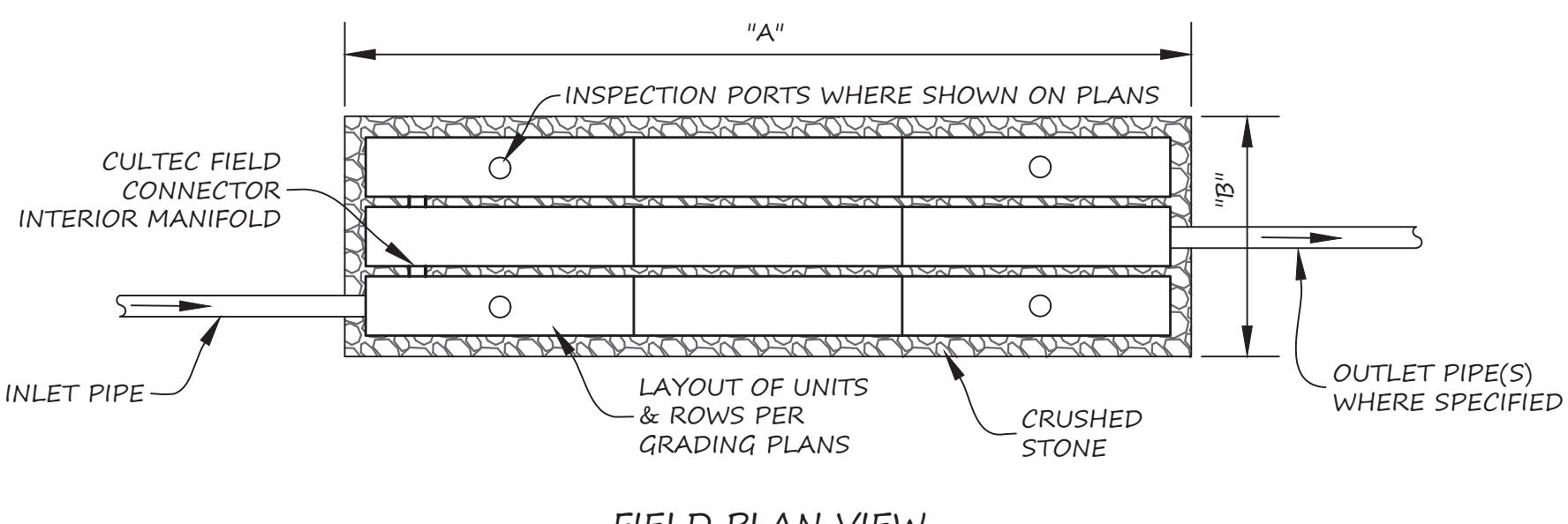
730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

OWNER/APPLICANT  
HIGH PLAIN HOLDINGS, LLC  
14 OLD MILL ROAD  
NORFOLK, MA 02056

ZONING DISTRICT  
BUSINESS  
NOT IN WRPO  
ASSESSORS PARCEL  
35-385  
DEED REFERENCE  
BOOK 39676, PAGE 158



Digitally signed by Daniel J. Merrikin, P.E.  
Date: 2024.07.15 11:18:36  
04'00'

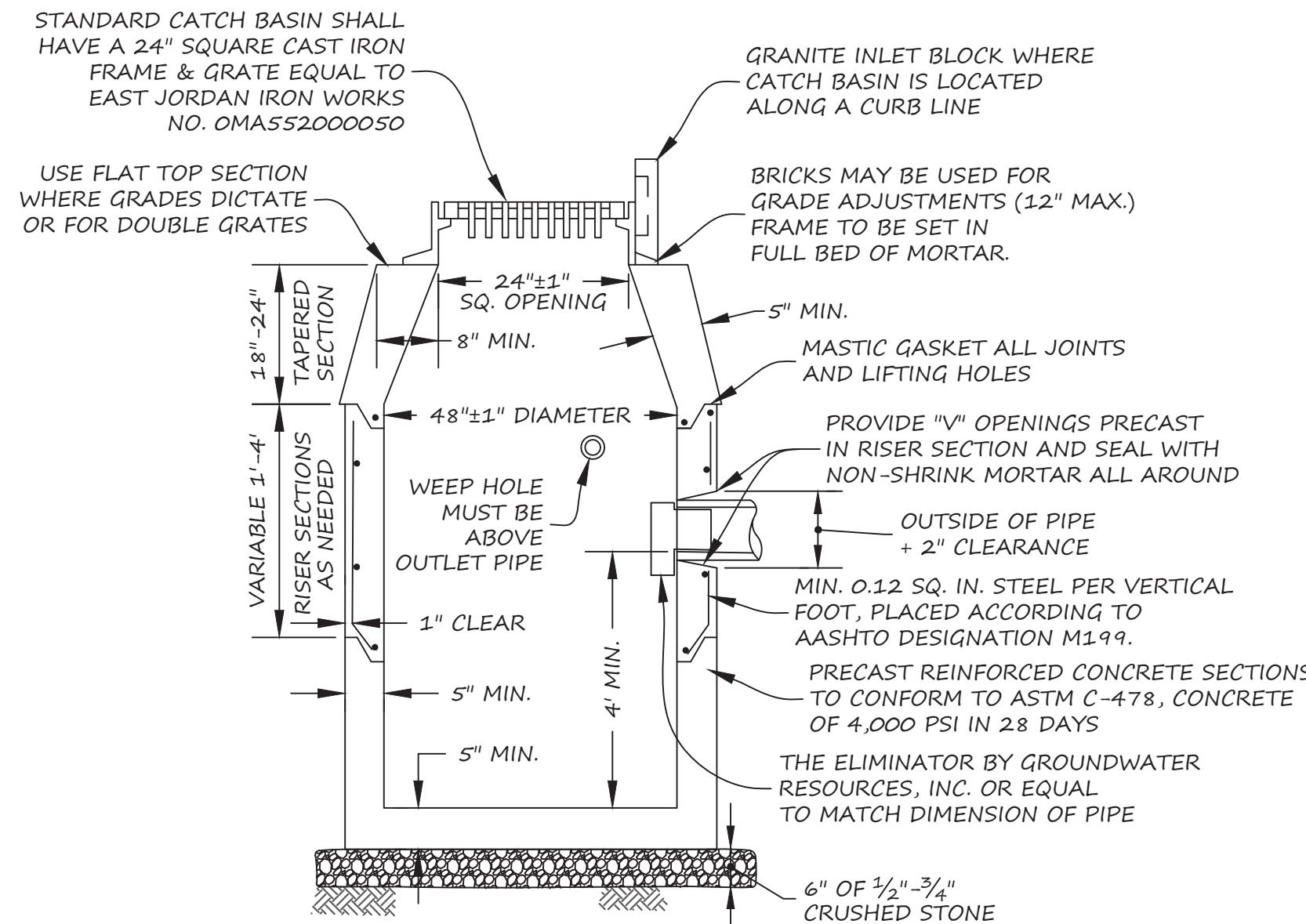


NOTES:

- INFILTRATION TRENCH UNITS TO BE RECHARGER 100HD AS MANUFACTURED BY CULTEC, INC., 878 FEDERAL ROAD, BROOKFIELD, CT 06804, OR APPROVED EQUAL. APPROVED EQUALS MUST CONTAIN AT LEAST THE SAME TOTAL SYSTEM STORAGE VOLUME AND BOTTOM AREA.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- TWO-TRENCH SYSTEM CROSS-SECTION SHOWN. MULTIPLE TRENCHES WOULD USE THE SAME EXTERIOR STONE THICKNESS AND INTERIOR CHAMBER SEPARATION VALUES.
- INFILTRATION TRENCH UNITS SHALL BE ABLE TO WITHSTAND H-20 LOADINGS.

#### INFILTRATION TRENCH/FIELD DETAIL

NOT TO SCALE

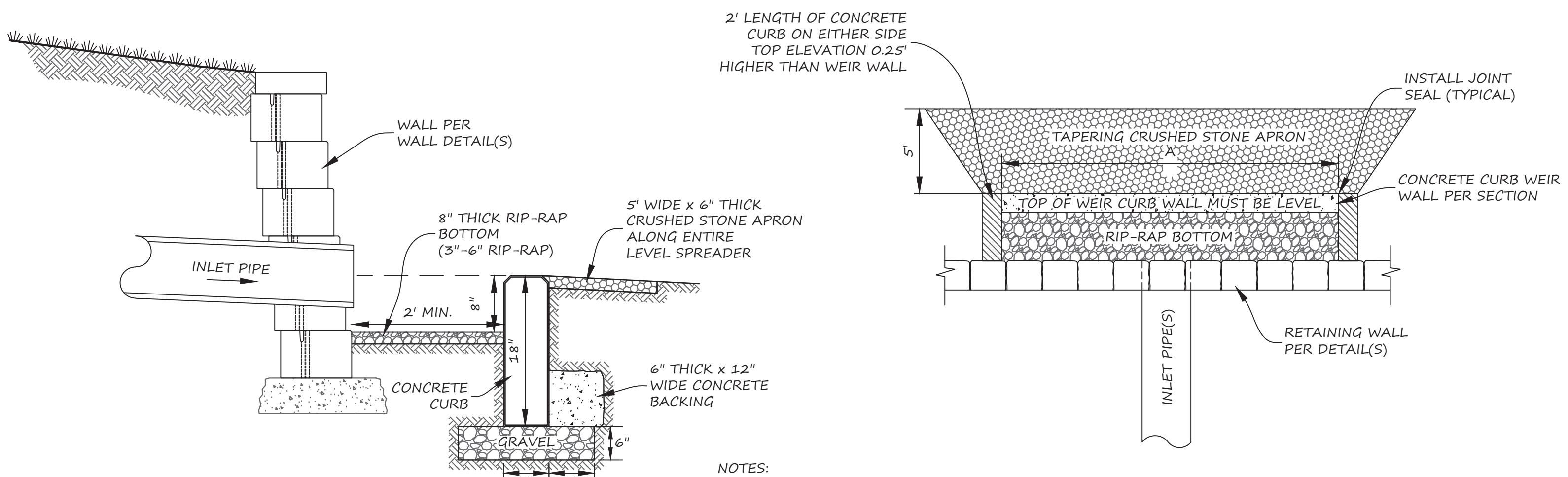


NOTES:

- NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.
- SUBSTITUTE FRAME AND GRATE SHALL BE MADE IN USA AND SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT OR PLANNING BOARD PRIOR TO CONSTRUCTION.
- PROVIDE 5" DIAMETER STRUCTURE WITH FLAT TOP WITH RECTANGULAR OPENING FOR DOUBLE GRATES, WHICH SHALL BE EAST JORDAN IRON WORKS NO. OMAS44000002 WITH GRATES EQUAL TO ABOVE-SPECIFICATION.

#### PRECAST CONCRETE CATCH BASIN

NOT TO SCALE



#### TYPICAL SECTIONAL VIEW

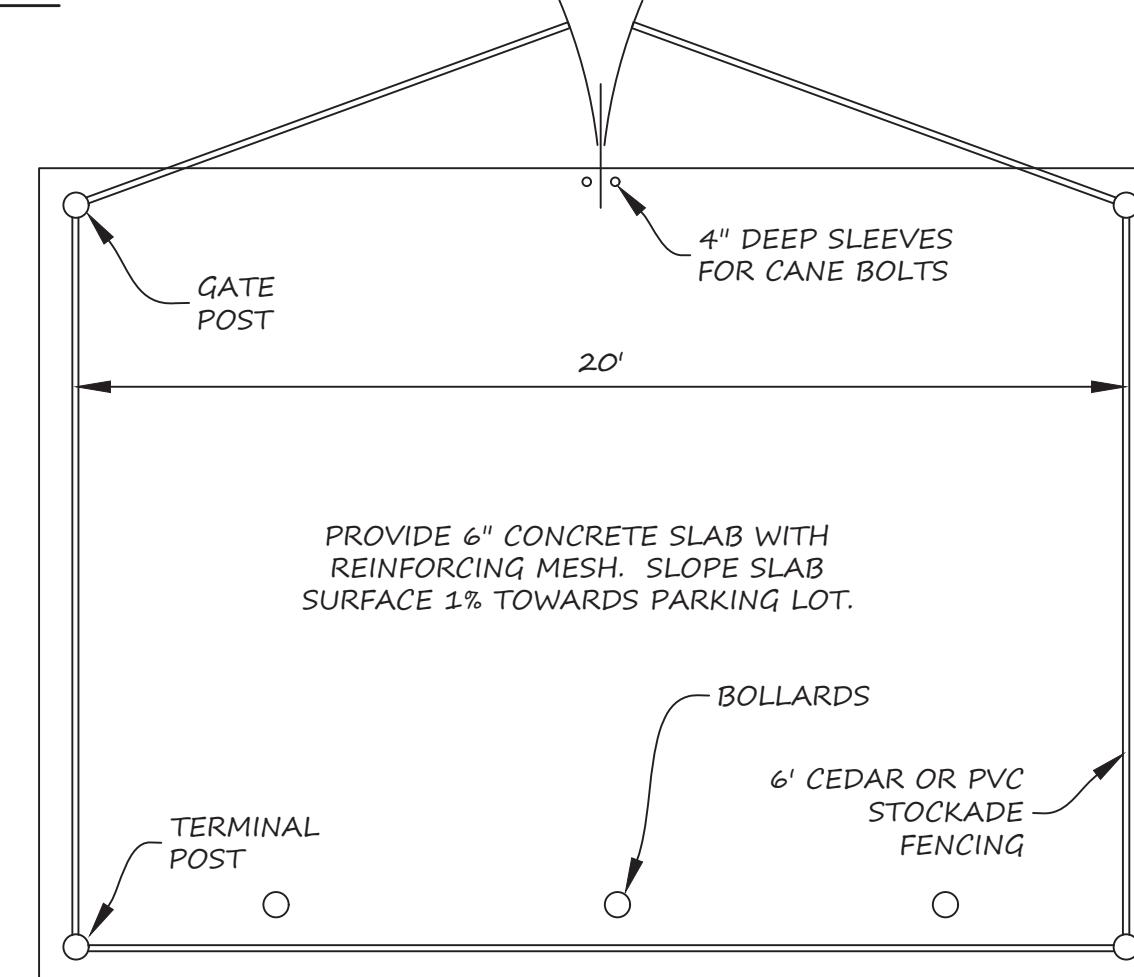
NOTES:

- WEIR LENGTH (A) SHALL BE AS SPECIFIED ON THE GRADING AND/OR PROFILE SHEETS.
- WEIR LIP SHALL FOLLOW EXISTING GRADES AS CLOSELY AS POSSIBLE.

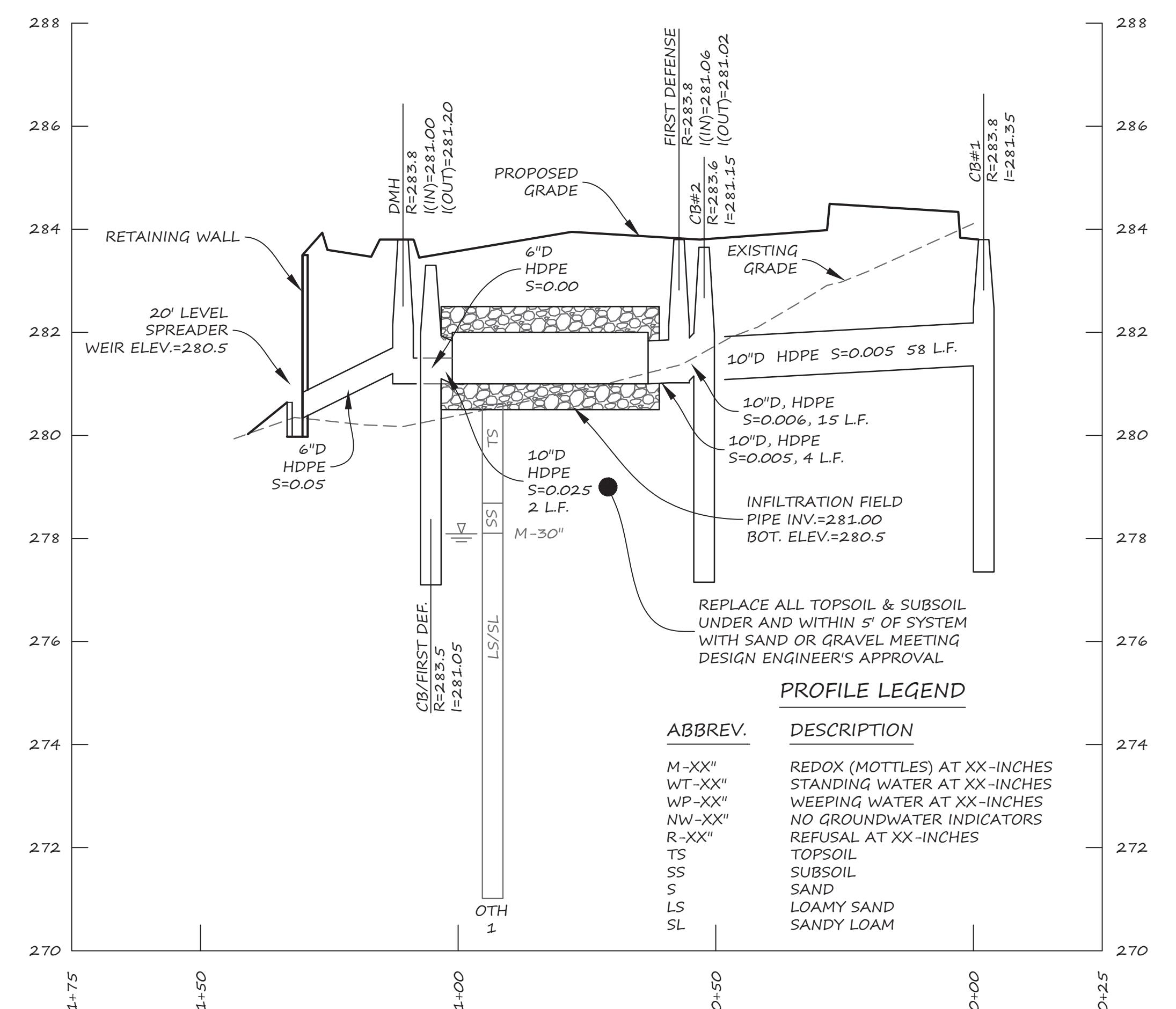
#### LEVEL SPREADER DETAIL

NOT TO SCALE

#### PLAN VIEW



PLAN SCALE: NOT TO SCALE



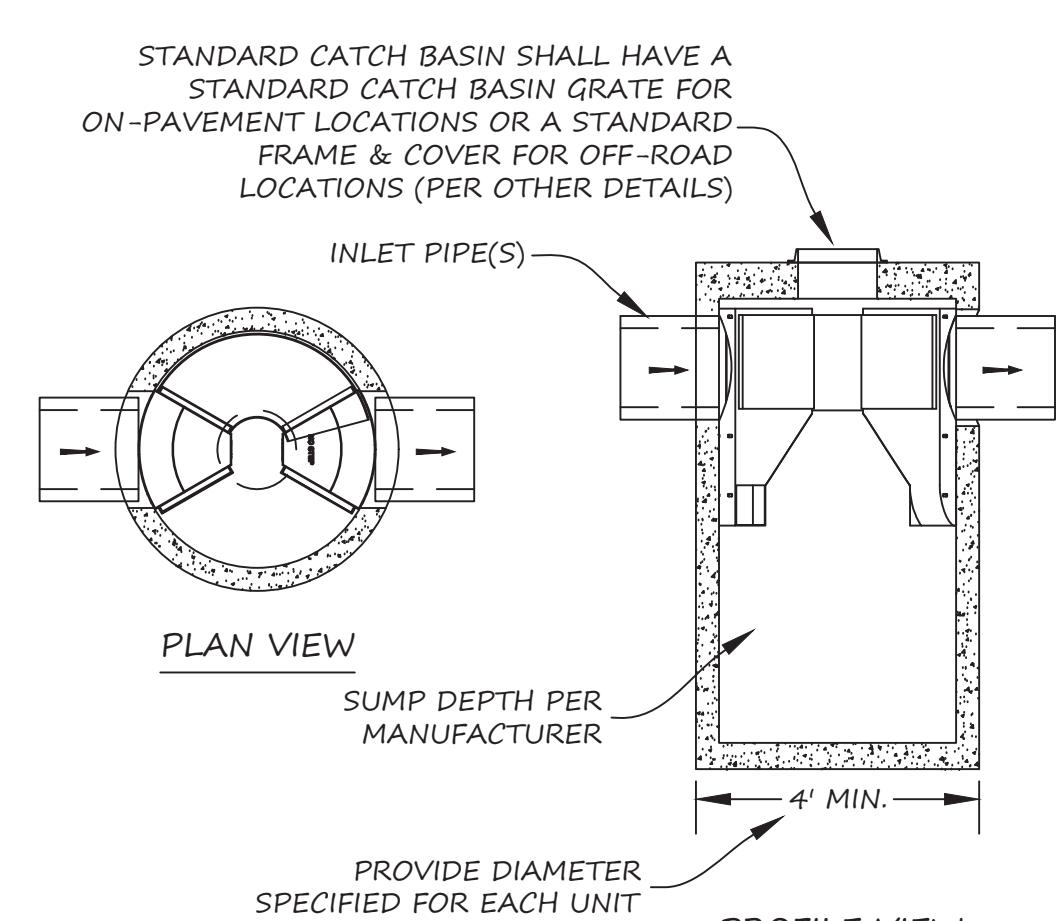
#### DRAIN PROFILE

HORIZONTAL SCALE: 1"-20'

VERTICAL SCALE: 1"-2'

#### DUMPSTER ENCLOSURE PAD & FENCING DETAIL

(NO SCALE)



PLAN DATE: DECEMBER 20, 2021

REVISIONS PER TOWN COMMENTS	DATE	BY
TYPOGRAPHICAL CORRECTION	2022-04-12	DJM
	2022-05-31	DJM
	2022-07-14	DJM
	2022-09-30	DJM
	2022-10-27	DJM
	2024-07-15	DJM

#### 173 HIGH PLAIN STREET DETAIL PLAN OF LAND IN WALPOLE, MA

#### FIRST DEFENSE TREATMENT UNIT

NOT TO SCALE

WALPOLE PLANNING BOARD

DATE APPROVED: \_\_\_\_\_

DATE ENDORSED: \_\_\_\_\_

WALPOLE PLANNING BOARD

730 MAIN STREET  
SUITE 2C  
MILLIS, MA 02054  
508-376-8883(o)

