



# Fouries Home Inspection

*Know before you Buy*

COMPLETE HOME INSPECTION  
Prepared Exclusively For: Sample Report

1234 Somewhere, County, TX,



Inspected by Paul Fourie, Lic.#: 22325 on 04/14/2018  
Phone: (972)989-2479, Email: paul@fourieshomeinspection.com

## PROPERTY INSPECTION REPORT

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**Prepared For:** Sample Report  
(Name of Client)

**Concerning:** 1234 Somewhere, County, TX  
(Address or Other Identification of Inspected Property)

**By:** Paul Fourie, Lic #22325 04/14/2018  
(Name and License Number of Inspector) (Date)

\_\_\_\_\_  
(Name, License Number of Sponsoring Inspector)

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### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous

or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

**INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.**

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

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**NOTICE: THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE EXCLUSIVELY. THIS REPORT IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT AND IS NOT TRANSFERABLE.**

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The inspection report provided by Fouries Home Inspection will contain the good faith opinions of the inspector concerning the observable need, if any, on the day of the inspection, for the repair, replacement, or further evaluation by experts of the items inspected. **A home inspection is not an exhausting report of defects.**

Unless, specifically stated, this report will not include and should not be read to indicated opinions as to the environmental conditions such as the presence of mold, radon or lead base paint, the presence of toxic or hazardous waste or substances, presence of termite or wood-destroying organisms, or compliance with codes, ordinances, statutes or restrictions, or the insurability, efficiency, quality, durability, future life, or future performance of any item inspected. This report is good for the day of the inspection only and is not to be used for Real Estate Disclosure Documents, Home Warranties or Insurance Underwriting purposes.

There are many factors which determine the life expectancy of a system or component. It is not possible to determine these factors during a one time visual inspection. Some systems of components may perform beyond their typical life expectancy while others may require repair or replacement sooner.

A Summary Report may be provided at the end of the inspection report document. The summary lists deficiencies discovered at the subject property. The summary is not a replacement for the inspection report.

This report is prepared using a computer and infrequently a word or sentence may be accidentally deleted or altered. Should you encounter such a condition, please contact Fouries Home Inspection to make the necessary correction and provide you with replacement pages. If you do not understand certain comments or recommendations please call Fouries Home Inspection prior to closing on your transaction for clarification.

All items to be inspected must be accessible at the time of the inspection. Locked and or inaccessible components will not be inspected. As stated in the inspection agreement, notices sent prior to the inspection and the current Texas Real Estate Commission Texas Standards of Practice, the inspector is to inspect listed items which are visible and accessible at the time of the inspection. A re-inspection fee will apply for return trips to inspect inaccessible items.

Whenever a defect (deficiency) of any kind is noted in a system or aspect of the house, we recommend that a qualified (licensed) technician inspect and service the entire system. Sometimes noted defects are symptoms of other, sometimes more serious, defects. It is also recommended that the buyer walks through the property the day before closing to assure conditions have not changed since inspection. All items listed in the home inspection report are inspected according to today's [Texas Standards of Practice](#) and the most current local building standards.

This report contains technical information. You are encouraged to read and understand the entire inspection report. If you do not understand or are unclear about any of the information in the report, please call Fouries Home Inspection (972 989 2479) for a verbal consultation and report review.

**INACCESSIBLE OR OBSTRUCTED AREAS**

Sub Flooring - Viewed From Accessible Areas	Attic Space is Limited - Viewed from Accessible Areas
Floors Covered	Crawl Space is limited - Viewed From Accessible Areas
Walls/Ceilings Covered or Freshly Painted	Plumbing Areas - Only Visible Plumbing Inspected
Behind/Under Furniture and/or Stored Items	Siding Over Older Existing Siding

- Mold/Mildew investigations are NOT included with this report; it is beyond the scope of this inspection. Any reference of water intrusion is recommended that a professional investigation be obtained.
- If the property has been renovated or remodeled, you should request documentation that should include permits and any warranties or guarantees that might be applicable, latent defects could exist.
- If additions have been made to this property, you should request documentation that should include permits and any warranties or guarantees that might be applicable. Latent defects could exist.

**This report was prepared for a buyer, seller or property owner in accordance with the client's requirements. The report addresses a single system, component or thermal imaging and is not intended as a substitute for a complete standard inspection of the property. Standard inspections performed by a license holder and reported on a Texas Real Estate Commission promulgated report form may contain additional information a buyer should consider in making a decision to purchase.**

**REALTOR(S)**

Buyer's Agent: , ,

Seller's Agent: , ,

**LEAVE US AN ONLINE REVIEW**

At Fouries Home Inspection we strive for excellence in our work and services. We hope you feel confident in referring us to any family, friends or whomever may need our services. Endorsements from our satisfied clients is our highest measure of success. We invite you to **Leave Us An Online Review**.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## I. STRUCTURAL SYSTEMS

### A. Foundations

*Comments:*

**Foundation Type:** Post Tension Cable Slab

#### PERFORMANCE OPINION:

Foundation and structural movement and/or settling have occurred. However, the foundation was supporting the structure at the time of the inspection. The buyer is encouraged to consult with a foundation specialist prior to closing if any concerns exist about the current or future foundation performance. The observations made to support this opinion are listed but not limited to the following:

There were indications of previous foundation repairs. The inspector has no way of knowing if the foundation repairs are performing as intended. The inspector recommends that the buyer obtain as much information as possible about the foundation repairs. And, it is also recommended that the buyer obtain any and all information and documentation regarding any transferable warranty if one exists.



A cosmetic skim coat of mortar material has been installed over the exterior foundation perimeter beam that may conceal defects that would otherwise be observed. Foundation skim coats also create conducive conditions for wood destroying insects.



I=Inspected

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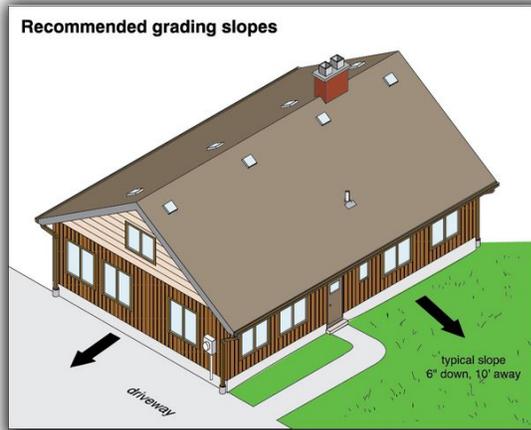
D=Deficient

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**B. Grading and Drainage**

*Comments:*

Inadequate grade slope away from the structure was observed. The recommended grade slope away from the structure is 6 inches per 10 feet. Improper grade slopes away from the structure create conducive conditions for water intrusion and inadequate foundation performance. Improper grade slope away from the structure is in need of repair.



High soil levels were observed at the foundation/brick line. 4 to 6 inches of the foundation perimeter beam should be visible. High soil levels may block weep holes and prevent proper wall ventilation. High soil levels create conducive conditions for wood destroying insects and water intrusion. High soil levels prevent the inspector from observing the foundation perimeter beam. Correction of inadequate grading clearance to exterior wall and foundation surfaces is recommended.



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The gutters and downspouts contained leaves and other debris and should be cleaned out to allow for proper drainage.



All gutter downspouts should have downspout extensions or splash blocks installed to move run off water away from the foundation and to prevent erosion. Missing splash blocks and downspout extensions should be replaced.



**C. Roof Covering Materials**

*Comments:*

**Type(s) of Roof Covering Materials:** Composite  
**Viewed From:** Roof Level

The roof covering materials were performing as intended at the time of the inspection. The roof covering materials were inspected according to today's Texas Standards of Practice. Roof coverings should be closely monitored over time for wear and weather damage. **If the buyer has any remaining concerns about the roof covering materials, the inspector recommends that a roof covering specialist be consulted.**

**NOTE:** The roof covering materials should be professionally inspected annually and after storms as part of a routine maintenance plan.

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**D. Roof Structures and Attics**

*Comments:*

**Attic Space Viewed From:** Entered the Attic

**Average Depth of Insulation:** 9-12 Inches

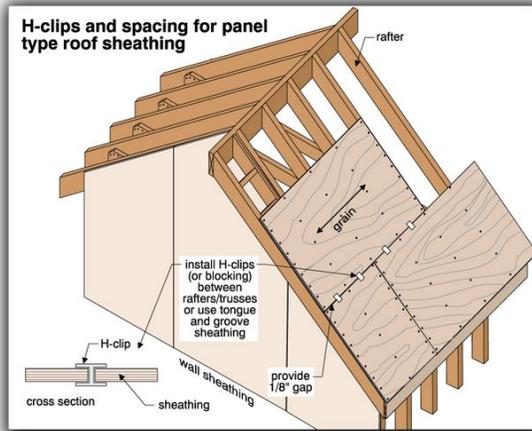
**Insulation Type:** Loose Fill Insulation

**Description of Roof Structure:** Rafter Assembly

Insulation voids were observed in the attic space. Insulation voids may allow greater than normal loss of conditioned air and should be repaired.



The lack of roof decking expansion clips was observed. The lack of roof decking expansion clips may be an indication of improperly installed roof decking.



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Separations between roof framing members was observed which is an indication of structural movement, settlement, inadequate workmanship or other defects. The cause of separations between roof framing members should be determined. The inspector recommends that an expert in this field be consulted for further evaluation of the structure and foundation and to provide suggestions as to what, if any, corrective actions should be taken.



Soffit vents were observed to be dirty, blocked by insulation or debris. Clogged soffit vents are an indication of inadequate attic ventilation and should be repaired as needed.



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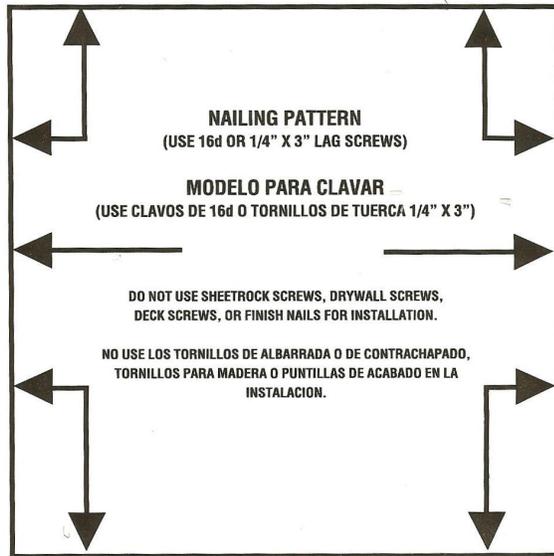
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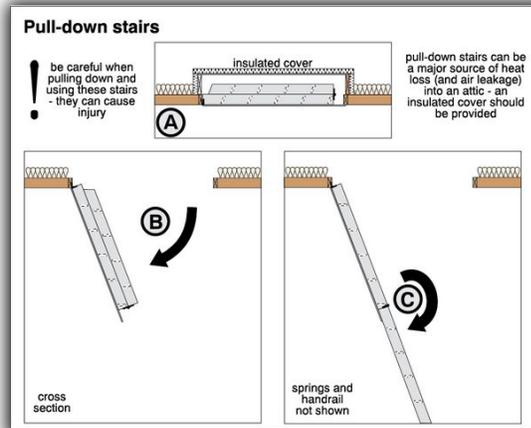
I NI NP D

☑ The attic access ladder was installed with improper fasteners and is a SAFETY HAZARD. Attic access ladders should be installed with 16d or larger nails or bolts per manufacturer's instructions for reasons of safety.

**HEADER END**



☑ Access doors from conditioned spaces to unconditioned spaces such as attics should be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces. A wood framed or equivalent baffle or retainer should be installed when loose fill insulation is installed to assist in maintaining a consistent R-value.



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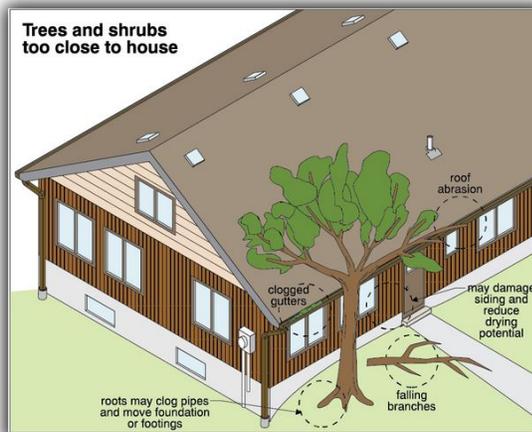
**E. Walls (Interior and Exterior)**

*Comments:*

**Exterior Walls:**

**Siding Materials:** Brick, Wood, Wood Byproducts

Heavy foliage growing on, over or around the exterior walls of the structure should be trimmed back at least 18-inches. Heavy foliage limits the Inspectors visual observation of the exterior surfaces. Heavy foliage at exterior walls creates conducive conditions for material damage, wood destroying insects and moisture damage. Heavy foliage may damage exterior wall cladding.



Inadequate clearance between the exterior wall cladding and grade (high soil or mulch) was observed. Inadequate clearance between the exterior wall cladding and grade should be corrected to prevent conducive conditions for wood destroying insects, water intrusion and deterioration of exterior siding materials.



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Multiple cracks in the exterior brick veneer masonry walls were observed. These cracks in the exterior brick veneer wall cladding were an indication that greater than normal movement or settlement has occurred. Further evaluation of the foundation and structure by a certified, licensed foundation and structural specialist is recommended prior to closing.



Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration.



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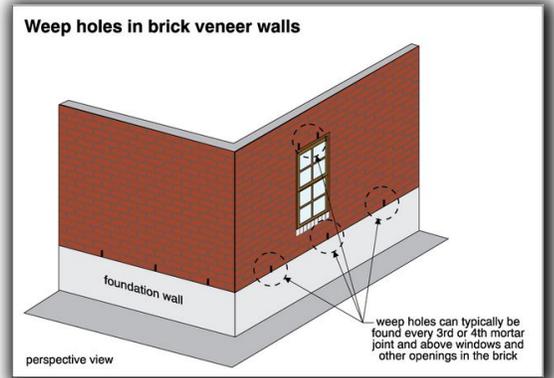
D=Deficient

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Weep holes were missing at the lower brick of the exterior walls. Weep holes should be installed and properly spaced to provide proper wall ventilation.



Weep holes were not installed in the brick masonry above the exterior doors in required locations. This may be an "as-built" condition, however, under current building standards, weep holes should be installed in the brick/stone masonry above exterior doors to provide proper wall ventilation.



**Interior Walls:**

**NOTE:** The home was occupied and or staged. Household goods and or furnishings limit the visible areas of walls and may conceal damage or defects that would otherwise be observed.

**NOTE:** Freshly painted or repaired interior wall coverings may conceal defects that would otherwise be observed. Interior walls should be monitored over time for defects concealed at the time of the inspection.

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**F. Ceilings and Floors**

*Comments:*

**Ceilings:**

**NOTE:** Freshly painted or repaired ceilings may conceal defects that would otherwise be observed. Ceilings should be monitored over time for defects that may be concealed at the time of the inspection.

**Floors:**

**NOTE:** The home was occupied and or staged. Household goods and or furnishings limit the visible areas of the floor coverings and may conceal damage or defects that would otherwise be observed.

Cosmetic cracks and damaged floor tile(s) and tile grout should be repaired.



Linear cracks in floor tiles were observed. Linear cracks in floor tiles may be an indication of movement, settlement, improper installation or other defects. The cause of linear cracks in floor tiles and grout should be further evaluated and repaired as needed.



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Missing floor covering transition strips should be repaired to avoid additional damage and trip hazards.



**G. Doors (Interior and Exterior)**

*Comments:*

**Interior Doors:**

All interior doors should have door stops installed to prevent damage to adjacent interior wall coverings.



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- Interior doors which do not latch as intended should be repaired.



- There were missing interior doors. Missing interior doors should be replaced or the door frame should be repaired if a door has been permanently removed.



- Interior doors were observed to rub, stick or hit the door frames. Interior doors, that stick or hit the door frame may be an indication of movement, settlement or other defects. The cause of doors sticking or hitting door frames should be determined and repaired as needed.



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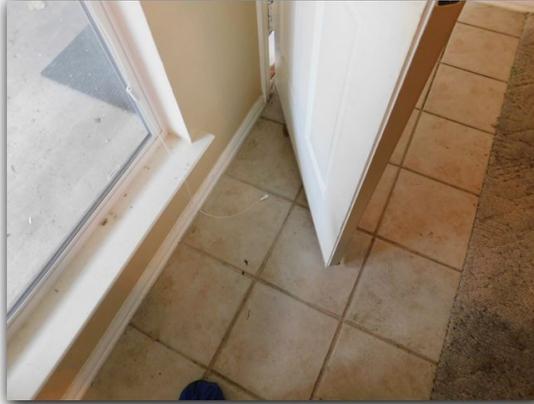
NP=Not Present

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**Exterior Doors:**

All exterior doors should have door stops installed to prevent damage to adjacent interior wall coverings.



Safety glass was not installed in exterior doors in required locations. Lack of exterior door safety glass in required locations is a SAFETY HAZARD.



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**Garage Entry Door:**

Garage entry doors should have installed self closing hinges according to today's Texas Standards of Practice - This may be an "as-built" condition and was an accepted building practice at the time this home was constructed. Per Texas Standards of Practice we are required to report this condition as a deficiency because it is no longer an excepted building standard.



The garage entry door was observed to be a non-fire rated door. Under current building standards, the entry door between the garage and the living area should have a minimum of a 20-minute fire block rating for improved FIRE SAFETY. Lack of a fire rated garage entry door is a SAFETY HAZARD.



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**Garage Door:**

Sagging garage door panels were observed. The cause of sagging garage door panels should be determined and repaired or replaced as needed.



Damaged garage door weather stripping should be replaced.



**NOTE:** See Garage Door Operators.

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**H. Windows**

*Comments:*

**NOTE:** The home is occupied and or staged. Household goods and or furnishings limit the visible areas and access to windows and may conceal damage or defects that would otherwise be observed.

**NOTE:** The windows are an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.

The windows need sealant between the window frames and exterior wall cladding. Lack of, damaged or deteriorating sealant around window frames may allow moisture and insect penetration and should be repaired as needed.



Damaged leaded glass window were observed. Damaged leaded glass window should be repaired or replaced.



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**I. Stairways (Interior and Exterior)**

*Comments:*

**J. Fireplaces and Chimneys**

*Comments:*

The fireplace firebox brick and or brick mortar have been damaged. Damaged firebox brick or mortar may allow heat to transfer to flammable materials and is a SAFETY HAZARD that should be repaired by a qualified fireplace specialist.



The fireplace chimney lacks a metal cap and spark arrestor. This condition should be further evaluated and corrected as necessary. Masonry chimney caps are often not visible and are known to crack which allows moisture to penetrate the structure. Masonry chimney caps are considered inadequate by current building standards and should be replaced with metal caps.



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**K. Porches, Balconies, Decks, and Carports**

*Comments:*

Cracks were observed in the poured concrete such as sidewalks, driveways, garage floors, porches and or patios. Cracks in poured concrete may be an indication of material defects, lack of maintenance, movement or settlement. Cracks and other defects in poured concrete should be repaired and monitored over time for movement, deflection and deterioration.



Weathered, deteriorated and damaged wood deck materials were observed and should be repaired or replaced as needed.



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**L. Other**

*Comments:*

Fencing is not inspected and is outside the scope of this home inspection. However, there may be fencing deficiencies mentioned in other sections if fencing defects may affect the structure.

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## II. ELECTRICAL SYSTEMS

### A. Service Entrance and Panels

Comments:

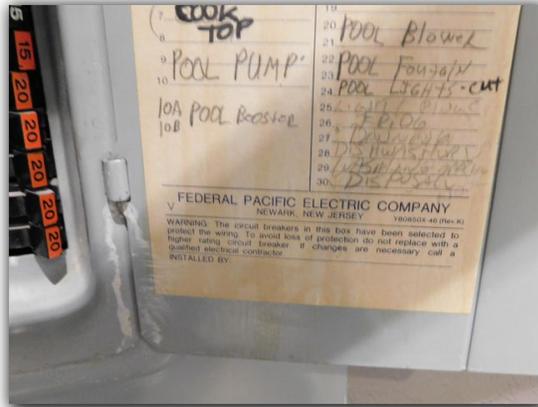
**Type of Electrical Conductors:** Aluminum

**Location:** Interior Clothes Closet

**Rating:** No Visible Main Breaker With Labeling



The main breaker panel was observed to be a Federal Pacific brand electric panel. Many of these panels were recalled due to electrical fire hazards and are considered a SAFETY HAZARD. The inspector recommends that all Federal Pacific brand electrical panels be evaluated, serviced, repaired and or replaced by a certified, licensed electrical specialist.



The electrical panel was installed in a clothes closet. Under current electrical standards, this is not an accepted service panel location and is considered a SAFETY HAZARD. Electric service panels in clothes closets should be re-located to a safe and accessible location by a certified, licensed electrical specialist.

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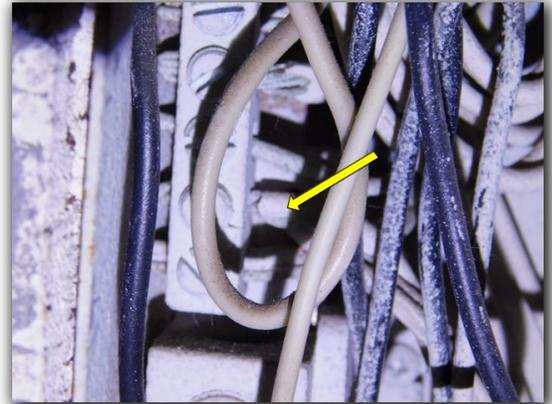
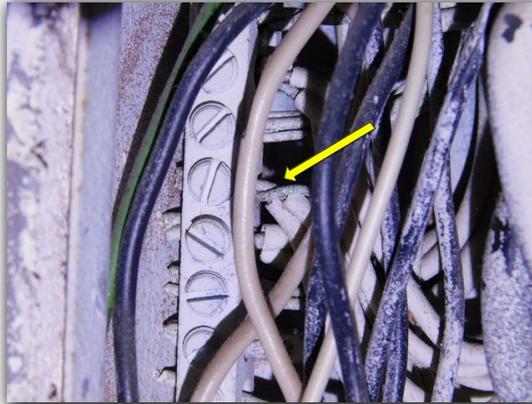
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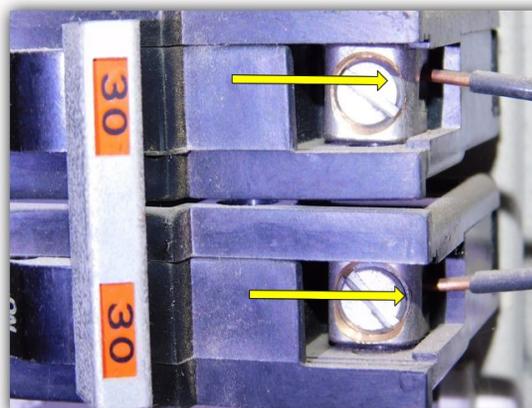
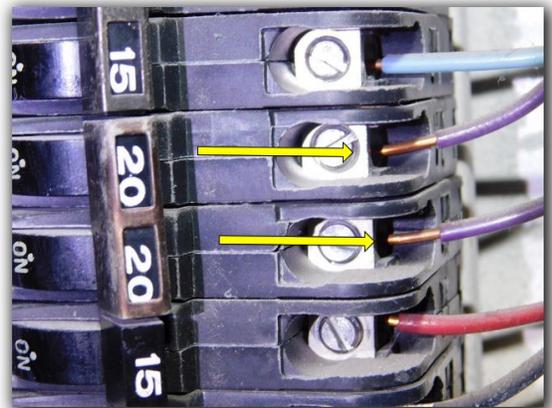
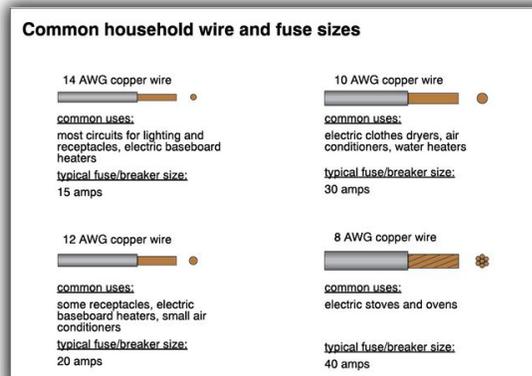
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Neutral electrical conductors were observed to be “double tapped” on the neutral bus bar in the electric service panel. Each neutral electrical conductor in the electric service panel should terminate individually unless the terminals are made for more than one conductor. Double tapped neutral electrical conductors should be further evaluated and repaired as needed by a qualified electrical specialist.



Incorrect electrical conductor sizes were observed to be connected to breakers in the electric service panel. Incorrect electrical conductor sizes are a SAFETY HAZARD and create conducive conditions for overheating and or breaker tripping. Incorrect electrical conductor sizes should be further evaluated and repaired or replaced by a qualified electrical specialist.



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**B. Branch Circuits, Connected Devices, and Fixtures**

*Comments:*

**Type(s) of Branch Circuit Conductors:** Copper

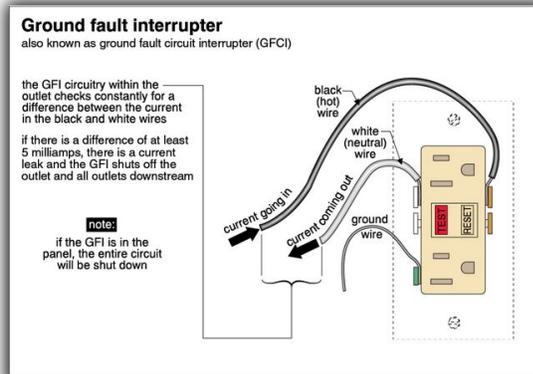
**Electrical Receptacles:**

Exterior electrical receptacles in wet locations were observed to lack weather tight bubble covers. Lack of weather proof bubble covers at electrical receptacles in wet locations is a SAFETY HAZARD and should be repaired by a certified, licensed electrical specialist.



**Ground Fault Circuit Interruption (GFCI) Protection:**

Kitchen counter top electrical receptacles were observed to lack ground fault circuit interrupter (GFCI) device protection. Under current electrical standards, all of the kitchen counter top receptacles should have GFCI protection. Lack of GFCI protection in required locations is a SAFETY HAZARD.



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D=Deficient

I NI NP D

Bathroom electrical receptacles were observed to lack ground fault circuit interrupter (GFCI) device protection. Under current electrical standards, all of the bathroom receptacles should have GFCI protection. Lack of GFCI protection in required locations is a SAFETY HAZARD.



Exterior electrical receptacles were observed to lack ground fault circuit interrupter (GFCI) device protection. Under current electrical standards, all of the exterior receptacles should have GFCI protection. Lack of GFCI protection in required locations is a SAFETY HAZARD.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**Electrical Fixtures:**

Light fixtures that are inoperative, missing bulbs or have burned out bulbs should be repaired or replaced as needed.



Exterior light fixtures should be sealed at the wall to prevent water intrusion for reasons of SAFETY.



**Smoke and Fire Alarms:**

There did not appear to be enough smoke alarms located in required locations (SAFETY HAZARD). Under current building standards, there should be a smoke alarm located in each sleeping room, outside each separate sleeping area in the immediate vicinity of the sleeping rooms, and on each additional story of the dwelling, including basements but excluding crawl spaces and uninhabitable attics (in dwellings with split levels and without an intervening door between the levels, a smoke alarm installed on the upper level and the adjacent lower level shall suffice provided that the lower level is less than one full story below the upper level).

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

- 

#### A. Heating Equipment

*Comments:*

**Type of Heating System:** Central

**Heating Energy Source:** Gas



**NOTE:** Inspection of the heat exchanger is not possible without disassembly of the unit in most heating equipment systems. Inspection of the heat exchanger is beyond the scope of a home inspection. No guarantee can be made on the heat exchangers life expectancy. Normal service and maintenance of the heating equipment is recommended quarterly by a qualified cooling equipment specialist.

#### Heating Equipment Temperatures:

- Unit 1: Attic  
 Within Normal Range    Inadequate - In need of service, repair or replacement  
The heating equipment temperature output reading: 114.0 °F



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

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- 
- 
- 

**B. Cooling Equipment**

*Comments:*

**Cooling Equipment Type:** Central - Air Conditioner

**Temperature Differentials:**

Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered to be approximately between 14 to 23 degrees F. total difference between the return air and conditioned air. Unusual conditions such as excessive humidity, low outdoor temperature and restricted airflow may indicate abnormal operation even though the equipment is functioning as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

Unit #1: Attic

Within Normal Range     Inadequate - In need of service, repair or replacement

Supply Air Temp: 55.9 °F

Return Air Temp: 75.0 °F

Temp. Differential: 19.1 °F



The exterior HVAC equipment was not installed 3" above grade and was in need of repair. Inadequate elevation of the exterior HVAC equipment may allow moisture to penetrate the equipment, reduce equipment life and may affect performance.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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- The HVAC cooling line service valve caps were missing. The service valve caps prevent dirt, debris and damage to the service valves and should be replaced.



- The HVAC condenser unit coil fins were dirty and in need of service, repair or replacement. Dirty or damaged HVAC equipment coil fins may result in equipment damage, inadequate performance, reduced equipment life or other defects.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**C. Duct Systems, Chases, and Vents**

*Comments:*

The ductwork was installed with inadequate support. Inadequately supported ductwork can reduce or block air flow at HVAC registers. Unsupported ductwork may be an "as-built" condition and was an accepted building practice at the time this home was constructed. Under current building standards this condition is a deficiency and should be corrected.



**IV. PLUMBING SYSTEM**

- 

**A. Plumbing Supply, Distribution Systems and Fixtures**

*Comments:*

**Location of Water Meter:** Within 5-feet of Front Curb

**Location of Main Water Valve:** At The Water Meter

**Static Water Pressure:** 60-70 psi



I=Inspected

NI=Not Inspected

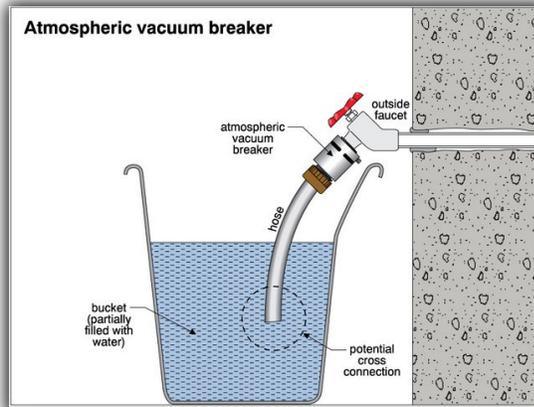
NP=Not Present

D=Deficient

I NI NP D

**Exterior Plumbing:**

Exterior water supply faucets were missing an anti-siphon device to prevent contaminants from entering the water supply. Lack of anti-siphon devices at exterior water supply faucets is a SAFETY HAZARD. Current building standards require non-removable vacuum breakers on all hose faucets.



**Toilets:**

The toilets were inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

**Tubs & Showers:**

The tub/shower water supply fixtures lacked adequate sealant at the wall. Tub/shower water supply fixtures should be properly sealed at the wall to prevent water damage.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The tub/shower tile grout and sealants were observed to be in need of repair or replacement to prevent water penetration at interior walls. When tub/shower tile grout and sealants are damaged, there may be concealed water damage and or wood destroying insect damage.



**Kitchen Sink:**

The kitchen sink was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

**Utility Room Plumbing:**

The visible washing machine plumbing connections were inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

**Gas Supply System:**



I=Inspected

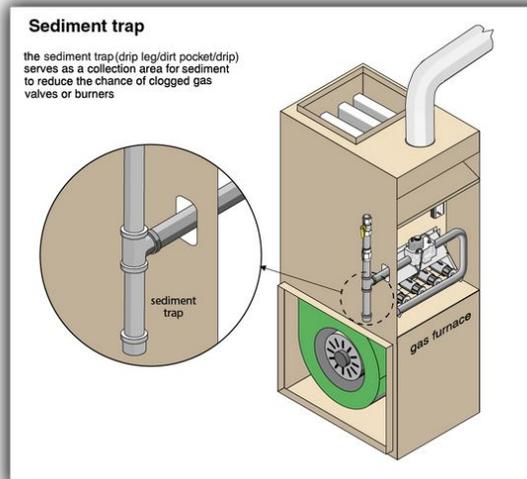
NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

There were gas fired appliances that did not have a "drip leg" installed. Under current construction standards, drip legs are required at the black iron gas pipe prior to a flexible gas line connection.



## B. Drains, Wastes, and Vents

*Comments:*

**NOTE:** Buried or concealed sewer and waste drain components are not inspected. Water and waste drain leaks cannot be detected below grade or in concealed locations.

**NOTE:** Structural movement, settlement or previous foundation repairs can lead to latent waste drain defects that may not be revealed during a home inspection. If any waste drain defects, structural movement, settlement or previous foundation repairs have been reported, the buyer is encouraged to have the waste drain plumbing further evaluated by a certified, licensed plumbing specialist.

Water damage inside of sink cabinets was observed. The cause should be determined and repaired as needed.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

- Missing, damaged or inoperative mechanical drain stops at the sinks/tubs should be repaired.



- 

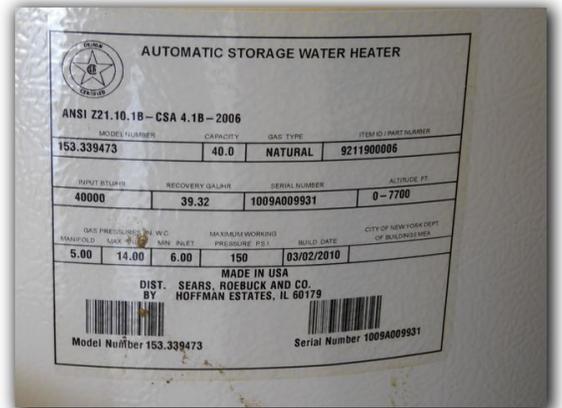
**C. Water Heating Equipment**

*Comments:*

**Energy Source:** Gas

**Capacity:** 40 Gallons

**Location:** Garage Closet



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**Heated Water Temperature ( 103.1 °F ):**



Gas flue/vent is loose, damaged, improperly installed and poorly connected at water heating equipment and was observed to be a SAFETY HAZARD. Loose, damaged, improperly installed or poorly connected gas exhaust flu should be corrected. Loose, damaged, improperly installed or poorly connected gas exhaust flues are a SAFETY HAZARD and should be repaired prior to operation of the water heating equipment.



**Water Heating Equipment Temperature and Pressure Relief Valve (TPR Valve):**

The water heating equipment TPR valve was inspected and verified, but was not tested. It is common for TPR Drain valves to fail under testing and leak water.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

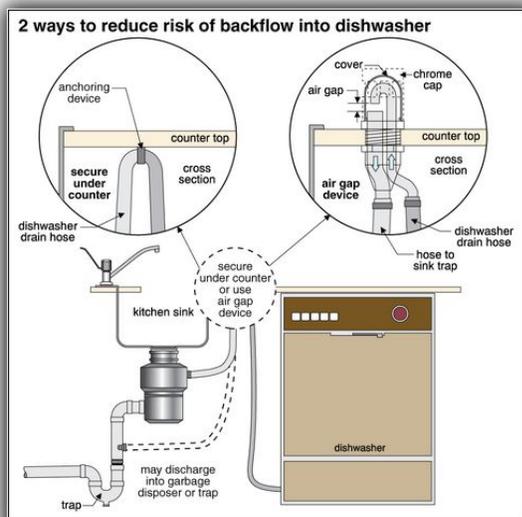
I NI NP D

## V. APPLIANCES

### A. Dishwashers

*Comments:*

A visible anti-siphon loop or back flow prevention device was not installed at the dishwasher drain line. Some newer dishwashers may have built in anti-siphon devices that are not visible. The buyer is encouraged to consult the owner's manual or contact the manufacturer if an anti-siphon device is not visible. Lack of an anti-siphon device at a dishwasher is a SAFETY HAZARD.



### B. Food Waste Disposers

*Comments:*

The food waste disposer was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

### C. Range Hood and Exhaust Systems

*Comments:*

The range exhaust vent system was inoperative or did not perform as intended and is in need of repair or replacement.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

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**D. Ranges, Cooktops, and Ovens**

*Comments:*

**Oven Energy Source:** Electric

**Cooktop Energy Source:** Electric

The range, cooktop and ovens were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.



It is the opinion of this Inspector, the range, cooktop and or ovens are an older component and the future life expectancy cannot be determined. You can continue to use and service this component until replacement is necessary.



- 

**E. Microwave Ovens**

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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- 

**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments:*

The mechanical exhaust vents terminated in attic or at the soffit/eave. Today's current building standards state that mechanical exhaust vents and or bathroom heaters should terminate at the exterior of the structure. *This may be an "as-built" condition and was an accepted building practice at the time this home was constructed but it is no longer an excepted building standard. Repair is recommended.*

- 

**G. Garage Door Operators**

*Comments:*

The garage door operators were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

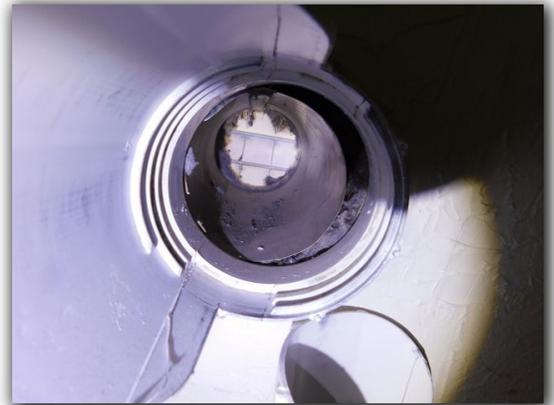
- 

**H. Dryer Exhaust Systems**

*Comments:*

**NOTE:** The National Fire Protection Association (NFPA) recommends that all dryer vent ducts be made from straight metal dryer ducts rather than plastic or flexible metal for improved safety.

The dryer vent and duct were in need of cleaning. Flammable lint and other debris should be removed from the dryer vent and duct for reasons of SAFETY.



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**I. Other**

*Comments:*

Refrigerators, ice makers, wine coolers, trash compactors and whole house vacuums are outside the scope of this home inspection and if present, these appliances were not inspected.

## **REPORT SUMMARY**

### **Items Needing Further Evaluation**

- ☑ The lack of roof decking expansion clips was observed. The lack of roof decking expansion clips may be an indication of improperly installed roof decking.
- ☑ Separations between roof framing members was observed which is an indication of structural movement, settlement, inadequate workmanship or other defects. The cause of separations between roof framing members should be determined. The inspector recommends that an expert in this field be consulted for further evaluation of the structure and foundation and to provide suggestions as to what, if any, corrective actions should be taken.
- ☑ Multiple cracks in the exterior brick veneer masonry walls were observed. These cracks in the exterior brick veneer wall cladding were an indication that greater than normal movement or settlement has occurred. Further evaluation of the foundation and structure by a certified, licensed foundation and structural specialist is recommended prior to closing.
- ☑ Linear cracks in floor tiles were observed. Linear cracks in floor tiles may be an indication of movement, settlement, improper installation or other defects. The cause of linear cracks in floor tiles and grout should be further evaluated and repaired as needed.
- ☑ The main breaker panel was observed to be a Federal Pacific brand electric panel. Many of these panels were recalled due to electrical fire hazards and are considered a SAFETY HAZARD. The inspector recommends that all Federal Pacific brand electrical panels be evaluated, serviced, repaired and or replaced by a certified, licensed electrical specialist.
- ☑ The electrical panel was installed in a clothes closet. Under current electrical standards, this is not an accepted service panel location and is considered a SAFETY HAZARD. Electric service panels in clothes closets should be re-located to a safe and accessible location by a certified, licensed electrical specialist.
- ☑ Neutral electrical conductors were observed to be "double tapped" on the neutral bus bar in the electric service panel. Each neutral electrical conductor in the electric service panel should terminate individually unless the terminals are made for more than one conductor. Double tapped neutral electrical conductors should be further evaluated and repaired as needed by a qualified electrical specialist.
- ☑ Incorrect electrical conductor sizes were observed to be connected to breakers in the electric service panel. Incorrect electrical conductor sizes are a SAFETY HAZARD and create conducive conditions for overheating and or breaker tripping. Incorrect electrical conductor sizes should be further evaluated and repaired or replaced by a qualified electrical specialist.

### **Safety Items**

- ☑ The attic access ladder was installed with improper fasteners and is a SAFETY HAZARD. Attic access ladders should be installed with 16d or larger nails or bolts per manufacturer's instructions for reasons of safety.
- ☑ Safety glass was not installed in exterior doors in required locations. Lack of exterior door safety glass in required locations is a SAFETY HAZARD.
- ☑ The garage entry door was observed to be a non-fire rated door. Under current building standards, the entry door between the garage and the living area should have a minimum of a 20-minute fire block rating for improved FIRE SAFETY. Lack of a fire rated garage entry door is a SAFETY HAZARD.
- ☑ The fireplace firebox brick and or brick mortar have been damaged. Damaged firebox brick or mortar may allow heat to transfer to flammable materials and is a SAFETY HAZARD that should be repaired by a qualified fireplace specialist.
- ☑ Kitchen counter top electrical receptacles were observed to lack ground fault circuit interrupter (GFCI) device protection. Under current electrical standards, all of the kitchen counter top receptacles should have GFCI protection. Lack of GFCI protection in required locations is a SAFETY HAZARD.
- ☑ Bathroom electrical receptacles were observed to lack ground fault circuit interrupter (GFCI) device protection. Under current electrical standards, all of the bathroom receptacles should have GFCI protection. Lack of GFCI protection in required locations is a SAFETY HAZARD.
- ☑ Exterior electrical receptacles were observed to lack ground fault circuit interrupter (GFCI) device protection. Under

current electrical standards, all of the exterior receptacles should have GFCI protection. Lack of GFCI protection in required locations is a SAFETY HAZARD.

- There did not appear to be enough smoke alarms located in required locations (SAFETY HAZARD).
- Exterior water supply faucets were missing an anti-siphon device to prevent contaminants from entering the water supply. Lack of anti-siphon devices at exterior water supply faucets is a SAFETY HAZARD. Current building standards require non-removable vacuum breakers on all hose faucets.
- Gas flue/vent is loose, damaged, improperly installed and poorly connected at water heating equipment and was observed to be a SAFETY HAZARD. Loose, damaged, improperly installed or poorly connected gas exhaust flu should be corrected. Loose, damaged, improperly installed or poorly connected gas exhaust flues are a SAFETY HAZARD and should be repaired prior to operation of the water heating equipment.
- A visible anti-siphon loop or back flow prevention device was not installed at the dishwasher drain line. Some newer dishwashers may have built in anti-siphon devices that are not visible. The buyer is encouraged to consult the owner's manual or contact the manufacturer if an anti-siphon device is not visible. Lack of an anti-siphon device at a dishwasher is a SAFETY HAZARD.
- The dryer vent and duct were in need of cleaning. Flammable lent and other debris should be removed from the dryer vent and duct for reasons of SAFETY.

## Repair Items

- High soil levels were observed at the foundation/brick line. 4 to 6 inches of the foundation perimeter beam should be visible. High soil levels may block weep holes and prevent proper wall ventilation. High soil levels create conducive conditions for wood destroying insects and water intrusion. High soil levels prevent the inspector from observing the foundation perimeter beam. Correction of inadequate grading clearance to exterior wall and foundation surfaces is recommended.
- The gutters and downspouts contained leaves and other debris and should be cleaned out to allow for proper drainage.
- All gutter downspouts should have downspout extensions or splash blocks installed to move run off water away from the foundation and to prevent erosion. Missing splash blocks and downspout extensions should be replaced.
- Insulation voids were observed in the attic space. Insulation voids may allow greater than normal loss of conditioned air and should be repaired.
- Soffit vents were observed to be dirty, blocked by insulation or debris. Clogged soffit vents are an indication of inadequate attic ventilation and should be repaired as needed.
- Heavy foliage growing on, over or around the exterior walls of the structure should be trimmed back at least 18-inches. Heavy foliage limits the Inspectors visual observation of the exterior surfaces. Heavy foliage at exterior walls creates conducive conditions for material damage, wood destroying insects and moisture damage. Heavy foliage may damage exterior wall cladding.
- Inadequate clearance between the exterior wall cladding and grade (high soil or mulch) was observed. Inadequate clearance between the exterior wall cladding and grade should be corrected to prevent conducive conditions for wood destroying insects, water intrusion and deterioration of exterior siding materials.
- Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration.
- Weep holes were missing at the lower brick of the exterior walls. Weep holes should be installed and properly spaced to provide proper wall ventilation.
- Cosmetic cracks and damaged floor tile(s) and tile grout should be repaired.
- Missing floor covering transition strips should be repaired to avoid additional damage and trip hazards.
- All interior doors should have door stops installed to prevent damage to adjacent interior wall coverings.
- Interior doors which do not latch as intended should be repaired.
- There were missing interior doors. Missing interior doors should be replaced or the door frame should be repaired if a

door has been permanently removed.

- Interior doors were observed to rub, stick or hit the door frames. Interior doors, that stick or hit the door frame may be an indication of movement, settlement or other defects. The cause of doors sticking or hitting door frames should be determined and repaired as needed.
- All exterior doors should have door stops installed to prevent damage to adjacent interior wall coverings.
- Garage entry doors should have installed self closing hinges according to today's Texas Standards of Practice - This may be an "as-built" condition and was an accepted building practice at the time this home was constructed. Per Texas Standards of Practice we are required to report this condition as a deficiency because it is no longer an excepted building standard.
- Sagging garage door panels were observed. The cause of sagging garage door panels should be determined and repaired or replaced as needed.
- Damaged garage door weather stripping should be replaced.
- The windows need sealant between the window frames and exterior wall cladding. Lack of, damaged or deteriorating sealant around window frames may allow moisture and insect penetration and should be repaired as needed.
- Damaged leaded glass window were observed. Damaged leaded glass window should be repaired or replaced.
- The fireplace chimney lacks a metal cap and spark arrestor. This condition should be further evaluated and corrected as necessary. Masonry chimney caps are often not visible and are known to crack which allows moisture to penetrate the structure. Masonry chimney caps are considered inadequate by current building standards and should be replaced with metal caps.
- Cracks were observed in the poured concrete such as sidewalks, driveways, garage floors, porches and or patios. Cracks in poured concrete may be an indication of material defects, lack of maintenance, movement or settlement. Cracks and other defects in poured concrete should be repaired and monitored over time for movement, deflection and deterioration.
- Weathered, deteriorated and damaged wood deck materials were observed and should be repaired or replaced as needed.
- Exterior electrical receptacles in wet locations were observed to lack weather tight bubble covers. Lack of weather proof bubble covers at electrical receptacles in wet locations is a SAFETY HAZARD and should be repaired by a certified, licensed electrical specialist.
- Light fixtures that are inoperative, missing bulbs or have burned out bulbs should be repaired or replaced as needed.
- Exterior light fixtures should be sealed at the wall to prevent water intrusion for reasons of SAFETY.
- The exterior HVAC equipment was not installed 3" above grade and was in need of repair. Inadequate elevation of the exterior HVAC equipment may allow moisture to penetrate the equipment, reduce equipment life and may affect performance.
- The HVAC cooling line service valve caps were missing. The service valve caps prevent dirt, debris and damage to the service valves and should be replaced.
- The HVAC condenser unit coil fins were dirty and in need of service, repair or replacement. Dirty or damaged HVAC equipment coil fins may result in equipment damage, inadequate performance, reduced equipment life or other defects.
- The ductwork was installed with inadequate support. Inadequately supported ductwork can reduce or block air flow at HVAC registers. Unsupported ductwork may be an "as-built" condition and was an accepted building practice at the time this home was constructed. Under current building standards this condition is a deficiency and should be corrected.
- The tub/shower water supply fixtures lacked adequate sealant at the wall. Tub/shower water supply fixtures should be properly sealed at the wall to prevent water damage.
- The tub/shower tile grout and sealants were observed to be in need of repair or replacement to prevent water penetration at interior walls. When tub/shower tile grout and sealants are damaged, there may be concealed water damage and or wood destroying insect damage.
- There were gas fired appliances that did not have a "drip leg" installed. Under current construction standards, drip legs are required at the black iron gas pipe prior to a flexible gas line connection.
- Water damage inside of sink cabinets was observed. The cause should be determined and repaired as needed.

- Missing, damaged or inoperative mechanical drain stops at the sinks/tubs should be repaired.
- The range exhaust vent system was inoperative or did not perform as intended and is in need of repair or replacement.
- The mechanical exhaust vents terminated in attic or at the soffit/eave. Today's current building standards state that mechanical exhaust vents and or bathroom heaters should terminate at the exterior of the structure. *This may be an "as-built" condition and was an accepted building practice at the time this home was constructed but it is no longer an excepted building standard. Repair is recommended.*

### **Improvement & "As Built Condition" Items**

- Inadequate grade slope away from the structure was observed.
- Access doors from conditioned spaces to unconditioned spaces such as attics should be weather stripped and insulated to a level equivalent to the insulation on the surrounding surfaces. A wood framed or equivalent baffle or retainer should be installed when loose fill insulation is installed to assist in maintaining a consistent R-value.
- Weep holes were not installed in the brick masonry above the exterior doors in required locations. This may be an "as-built" condition, however, under current building standards, weep holes should be installed in the brick/stone masonry above exterior doors to provide proper wall ventilation.

### **Items To Monitor**

- Foundation and structural movement and/or settling have occurred. However, the foundation was supporting the structure at the time of the inspection. The buyer is encouraged to consult with a foundation specialist prior to closing if any concerns exist about the current or future foundation performance.

### **Deferred Cost Items**

1234 Somewhere Inspected Address County City Zip Code

SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection.
C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected.
D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
E. If visible evidence is reported, it does not imply that damage should be repaired or replaced.
F. THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.
G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any).
H. There are a variety of termite control options offered by pest control companies.
I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended.
J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended.

1A. Pest Inspection Network info@pestinspectionnetwork.com 1B. TPCL # 783068
Name of Inspection Company SPCB Business License Number
1C. 26504 Tuscan View San Antonio Texas 78261 210-559-3929
Address of Inspection Company City State Zip Telephone No.
1D. Paul Fourie TDA#769755 1.E Certified Applicator [ ] (check one)
Technician [x]
2. Case Number (VA/FHA/Other) 3. Saturday, April 14, 2018
Inspection Date

4A. Sample Report Seller [ ] Agent [ ] Buyer [x] Management Co. [ ] Other [ ]
Name of Person Purchasing Inspection
4B. Report, Sample
Owner/Seller
4C. REPORT FORWARDED TO: Title Company or Mortgagee [ ] Purchaser of Service [ ] Seller [ ] Agent [x] Buyer [x]
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5. Single Family Residence
List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

6A. Were any areas of the property obstructed or inaccessible? Yes  No

6B. The obstructed or inaccessible areas include but are not limited to the following:

Attic  Insulated area of attic  Plumbing Areas  Planter box abutting structure 
Deck  Sub Floors  Slab Joints  Crawl Space 
Soil Grade Too High  Heavy Foliage  Eaves  Weepholes 
Other  Specify: \_\_\_\_\_

7A. Conditions conducive to wood destroying insect infestation? Yes  No

7B. Conducive Conditions include but are not limited to:

Wood to Ground Contact (G)  Formboards left in place (I)  Excessive Moisture (J) 
Debris under or around structure (K)  Footing too low or soil line too high (L)  Wood Rot (M)  Heavy Foliage (N) 
Planter box abutting structure (O)  Wood Pile in Contact with Structure (Q)  Wooden Fence in Contact with the Structure (R) 
Insufficient ventilation (T)  Other (C)  Specify: \_\_\_\_\_

8. Inspection Reveals Visible Evidence in or on the structure:

8A. Subterranean Termites Active Infestation: Yes  No  Previous Infestation: Yes  No  Previous Treatment: Yes  No 
8B. Drywood Termites Active Infestation: Yes  No  Previous Infestation: Yes  No  Previous Treatment: Yes  No 
8C. Formosan Termites Active Infestation: Yes  No  Previous Infestation: Yes  No  Previous Treatment: Yes  No 
8D. Carpenter Ants Active Infestation: Yes  No  Previous Infestation: Yes  No  Previous Treatment: Yes  No 
8E. Other Wood Destroying Insects Active Infestation: Yes  No  Previous Infestation: Yes  No  Previous Treatment: Yes  No

8F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified: treatment sticker

8G. Visible evidence of: subterranean termites has been observed in the following areas: garage and water heater closet

The conditions conducive to insect infestation reported in 7A & 7B:

9. Will be or has been mechanically corrected by inspecting company: Yes  No

If "Yes", specify corrections: \_\_\_\_\_

9A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment as identified in Section 8. (Refer to Part G, H and I, Scope of Inspection) Yes  No

9B. A preventive treatment and/or correction of conducive conditions as identified in 7A & 7B is recommended as follows: Yes  No 
Specify reason: Preventive treatment and correction of all conducive conditions by a local qualified pest control specialist is recommended.
Refer to Scope of Inspection Part J

10A. This company has treated or is treating the structure for the following wood destroying insects: N/A

If treating for subterranean termites, the treatment was: Partial  Spot  Bait  Other

If treating for drywood termites or related insets, the treatment was: Full  Limited

10B. N/A N/A N/A
Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method

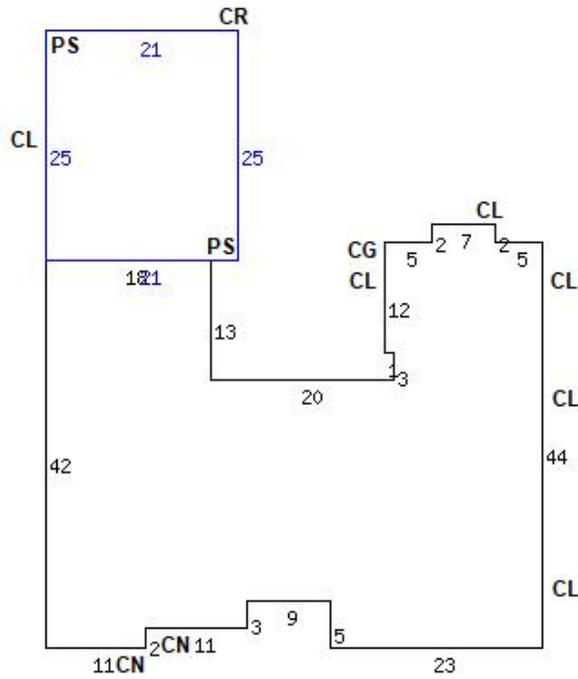
This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes  No  List Insects: \_\_\_\_\_

If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conductive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify [\(See section 7B. for conducive conditions letter codes\)](#)



Additional Comments \_\_\_\_\_

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the property. I do further state that neither I nor the company which I am acting is associated in any way with any party to the transaction.

Signatures:

Notice of Inspection Was Posted At or Near

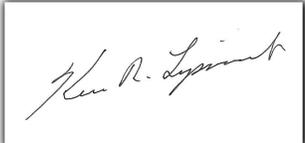
11A. Paul Fourie, #769755 \_\_\_\_\_



Inspector

- 12A. Electric Breaker Box
- Water Heater Closet
- Bath Trap Access
- Beneath the Kitchen Sink

Approved:



11B. \_\_\_\_\_ CA#781201  
Certified Applicator and Certified Applicator License Number

12B. Date Posted : 04/14/2018 \_\_\_\_\_  
Date

**Statement of Purchaser**

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: \_\_\_\_\_

Signature of Purchaser of Property or their Designee  
\_\_\_\_\_  
\_\_\_\_\_

Date  
\_\_\_\_\_  
\_\_\_\_\_

WDI REPORT PREPARED EXCLUSIVELY FOR:  
Sample Report, ,  
1234 Somewhere, County, TX,