



Fouries Home Inspection

Know before you Buy

NEW HOME INSPECTION
Prepared Exclusively For: First Name Last Name

9999 Somewhere, Dallas, TX,



Inspected by Paul Fourie, Lic.#: 22325 on 07/18/2018
Phone: (972)989-2479, Email: paul@fourieshomeinspection.com

or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

NOTICE: THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE EXCLUSIVELY. THIS REPORT IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT AND IS NOT TRANSFERABLE.

The inspection report provided by Fouries Home Inspection will contain the good faith opinions of the inspector concerning the observable need, if any, on the day of the inspection, for the repair, replacement, or further evaluation by experts of the items inspected. **A home inspection is not an exhausting report of defects.**

Unless, specifically stated, this report will not include and should not be read to indicated opinions as to the environmental conditions such as the presence of mold, radon or lead base paint, the presence of toxic or hazardous waste or substances, presence of termite or wood-destroying organisms, or compliance with codes, ordinances, statutes or restrictions, or the insurability, efficiency, quality, durability, future life, or future performance of any item inspected. This report is good for the day of the inspection only and is not to be used for Real Estate Disclosure Documents, Home Warranties or Insurance Underwriting purposes.

There are many factors which determine the life expectancy of a system or component. It is not possible to determine these factors during a one time visual inspection. Some systems of components may perform beyond their typical life expectancy while others may require repair or replacement sooner.

A Summary Report may be provided at the end of the inspection report document. The summary lists deficiencies discovered at the subject property. The summary is not a replacement for the inspection report.

This report is prepared using a computer and infrequently a word or sentence may be accidentally deleted or altered. Should you encounter such a condition, please contact Fouries Home Inspection to make the necessary correction and provide you with replacement pages. If you do not understand certain comments or recommendations please call Fouries Home Inspection prior to closing on your transaction for clarification.

All items to be inspected must be accessible at the time of the inspection. Locked and or inaccessible components will not be inspected. As stated in the inspection agreement, notices sent prior to the inspection and the current Texas Real Estate Commission Texas Standards of Practice, the inspector is to inspect listed items which are visible and accessible at the time of the inspection. A re-inspection fee will apply for return trips to inspect inaccessible items.

Whenever a defect (deficiency) of any kind is noted in a system or aspect of the house, we recommend that a qualified (licensed) technician inspect and service the entire system. Sometimes noted defects are symptoms of other, sometimes more serious, defects. It is also recommended that the buyer walks through the property the day before closing to assure conditions have not changed since inspection. All items listed in the home inspection report are inspected according to today's [Texas Standards of Practice](#) and the most current local building standards.

This report contains technical information. You are encouraged to read and understand the entire inspection report. If you do not understand or are unclear about any of the information in the report, please call Fouries Home Inspection (972 989 2479) for a verbal consultation and report review.

INACCESSIBLE OR OBSTRUCTED AREAS

Sub Flooring - Viewed From Accessible Areas	Attic Space is Limited - Viewed from Accessible Areas
Floors Covered	Crawl Space is limited - Viewed From Accessible Areas
Walls/Ceilings Covered or Freshly Painted	Plumbing Areas - Only Visible Plumbing Inspected
Behind/Under Furniture and/or Stored Items	Siding Over Older Existing Siding

- Mold/Mildew investigations are NOT included with this report; it is beyond the scope of this inspection. Any reference of water intrusion is recommended that a professional investigation be obtained.
- If the property has been renovated or remodeled, you should request documentation that should include permits and any warranties or guarantees that might be applicable, latent defects could exist.
- If additions have been made to this property, you should request documentation that should include permits and any warranties or guarantees that might be applicable. Latent defects could exist.

This report was prepared for a buyer, seller or property owner in accordance with the client's requirements. The report addresses a single system, component or thermal imaging and is not intended as a substitute for a complete standard inspection of the property. Standard inspections performed by a license holder and reported on a Texas Real Estate Commission promulgated report form may contain additional information a buyer should consider in making a decision to purchase.

REALTOR(S)

Buyer's Agent: , ,

Seller's Agent: , ,

LEAVE US AN ONLINE REVIEW

At Fouries Home Inspection we strive for excellence in our work and services. We hope you feel confident in referring us to any family, friends or whomever may need our services. Endorsements from our satisfied clients is our highest measure of success. We invite you to **Leave Us An Online Review**.

I=Inspected

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D=Deficient

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I. STRUCTURAL SYSTEMS

A. Foundations

Comments:

Foundation Type: Post Tension Cable Slab

NOTE: Future performance of the structure cannot be predicted or warranted. This inspection is one of first impressions and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions are based on general apparent conditions and not of absolute fact and are only good for the date and time of this inspection. Weather conditions, drainage, leakage and other adverse factors are able to effect structures, and differential movements are likely to occur. The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region at the time of the inspection. This does not guarantee the future life or failure of the foundation. The inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by a Structural Engineer or your choice. Foundations are inspected according to today's [Texas Standards of Practice](#).

SUGGESTED FOUNDATION MAINTENANCE & CARE - Proper drainage and moisture maintenance to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

PERFORMANCE OPINION:

Performance Opinion: The foundation was performing as intended at the time of the inspection and was inspected according to today's Texas Standards of Practice. **If any concerns exist about the current or future foundation performance, the inspector recommends that a foundation specialist be consulted prior to closing.**

Exposed or damaged metal foundation components were observed in the garage. Exposed or damaged metal foundation components may lead to additional foundation deterioration and adverse foundation performance. This condition should be repaired as needed by a foundation specialist.

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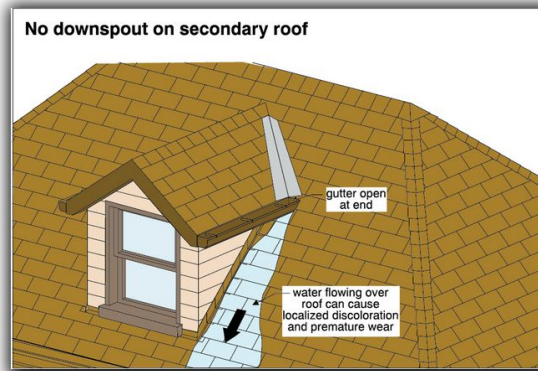


B. Grading and Drainage

Comments:

Ponding next to the foundation was observed. Any area where the ground or grade does not slope away from the structure is to be considered an area of improper drainage. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours. Grading improvements are needed to direct run off water away from the structure. Recommended slope away from the foundation is 6 inches per 10 feet.

The secondary roof rain gutter lacks a downspout. Lack of a downspout at secondary roof rain gutters may allow localized deterioration and premature wear of the roof covering materials.



All gutter downspouts should have downspout extensions or splash blocks installed to move run off water away from the foundation and to prevent erosion. Missing splash blocks and downspout extensions should be replaced.

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C. Roof Covering Materials

Comments:

Type(s) of Roof Covering Materials: Composite
Viewed From: Roof Level

NOTE: Life expectancy of the roofing material is not covered by this home inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your insurance company and a roof covering specialist physically inspect the roof prior to closing to fully evaluate the condition and insurability of the roof. Roof covering materials are inspected according to current Texas Real Estate Commission [Texas Standards of Practice](#).

NOTE: The inspection of the roof does not preclude the possibility of leakage or water damage. Leakage or water damage can occur at any time and may depend on rain intensity, wind velocity and direction and other environmental factors. The entire underside of the roof sheathing is not visible or accessible and can not be inspected for indications of leaks.

NOTE: When **D** (D= Deficiency) is marked. It is recommended that all of the roofing covering materials and components be fully evaluated by a certified, licensed roofing specialist, prior to closing.

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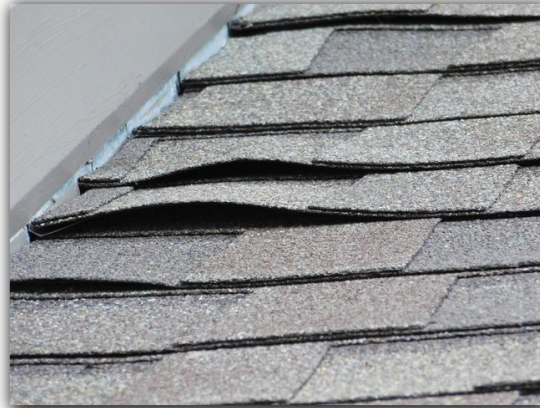
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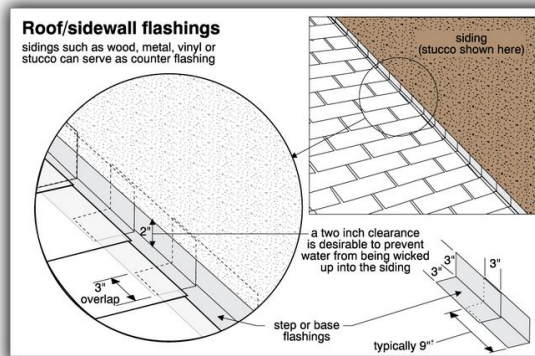
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Roof covering shingles that do not lay flat on the roof deck were observed. Roof covering shingles that do not lay flat on the roof deck were an indication of improper installation, damaged underlayment or other defects. Roof covering shingles that do not lay flat on the roof deck may allow further deterioration of the roof covering, deterioration of the roof structure, water penetration or other damage.



Inadequate clearance between exterior siding and roof covering materials was observed. There should be a space between the siding and roof covering. Space between the roof covering and siding provides proper ventilation and prevents water damage to the siding.



Roof covering flashings were observed to be lifting, damaged or improperly installed and were in need of repair or replacement. Lifting, damaged or improperly installed flashings may allow water penetration.

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D. Roof Structures and Attics

Comments:

Attic Space Viewed From: Entered the Attic
Average Depth of Insulation: Foam Insulated Roof Deck
Insulation Type: Foam
Description of Roof Structure: Rafter Assembly

NOTE: Roof structure and roof decking was not inspected. Foam insulation or other material was installed which prevented visual inspection of the roof structure.

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E. Walls (Interior and Exterior)

Comments:

Exterior Walls:

Siding Materials: Brick, Stone, Cement Board, Wood, Wood Byproducts, EIFS, Brick, Stone, Cement Board, Wood, Wood Byproducts, Stucco

Wood fencing in contact with the structure creates conducive conditions for wood destroying insects. Wood fencing materials should be trimmed back so as not to be in contact with the exterior wall surfaces.



Expansion and contraction cracks (thermal cracks, less than 1/16") in the exterior brick/stone veneer masonry walls were observed. These cracks did not indicate a structural defect at the time of the inspection. Expansion and contraction cracks in the exterior brick/stone veneer masonry walls should be repaired and closely monitored for indications of structural movement. It is recommended that these cracks be repaired to prevent further deterioration and water penetration. If concerns about the current or future foundation performance exist, the inspector recommends further evaluation by a certified, licensed foundation specialist.

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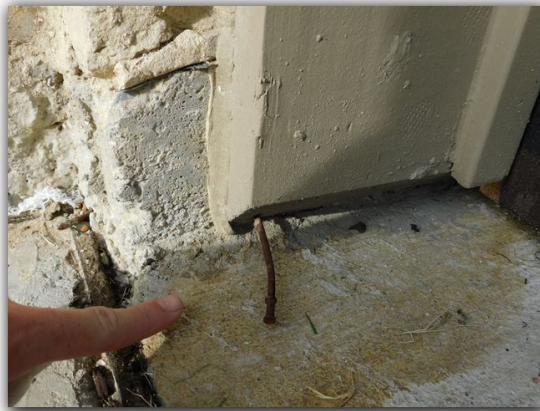
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Areas of the exterior brick veneer siding overhang the foundation and appeared to be improperly installed. Brick veneer siding that does not rest on the foundation may not be properly supported.



The bottom of the garage door trim has a nail left in it that should be removed.



Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration.

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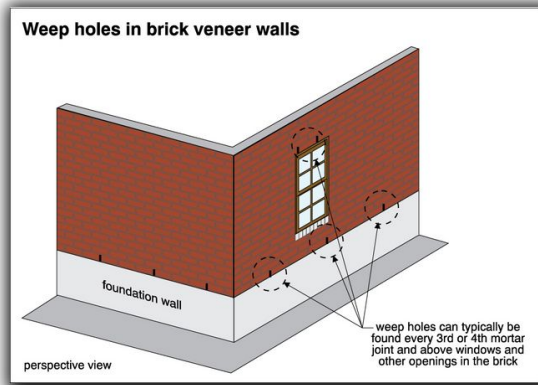
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Weep holes were not open in the brick/stone masonry above the windows in required locations. This may be an "as-built" condition, however, under current building standards, weep holes should be installed in the brick/stone masonry above windows to provide proper wall ventilation.



Interior Walls:

Cosmetic damages to garage interior wall coverings, drywall, texture and paint were observed to be in need of repair.

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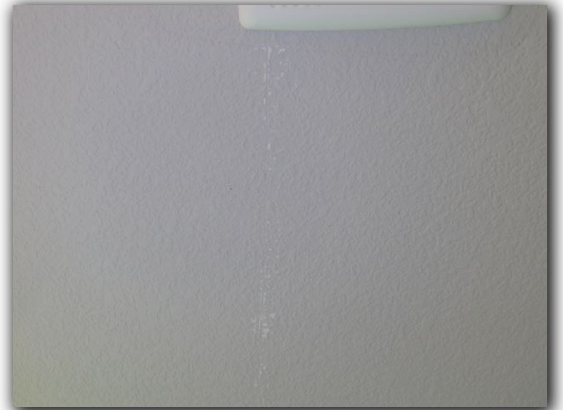
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F. Ceilings and Floors

Comments:

Ceilings:

- Cosmetic damages to ceiling drywall, texture and paint should be repaired.



- Using a thermal imaging camera, there are areas of temperature anomalies in the ceilings

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I NI NP D

which may be indication of missing or damaged insulation. The reason for the temperature anomalies should be further evaluated and repaired as needed.



Floors:

The floor covering was noticeably stained and was in need of cleaning.



G. Doors (Interior and Exterior)

Comments:

Interior Doors:

Cosmetic damage to interior doors should be repaired.

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All interior doors should have door stops installed to prevent damage to adjacent interior wall coverings.



Closet doors which do not latch as intended should be repaired or replaced.



Safety glass was not installed in shower in required locations. Lack of shower safety glass in required locations is a SAFETY HAZARD.

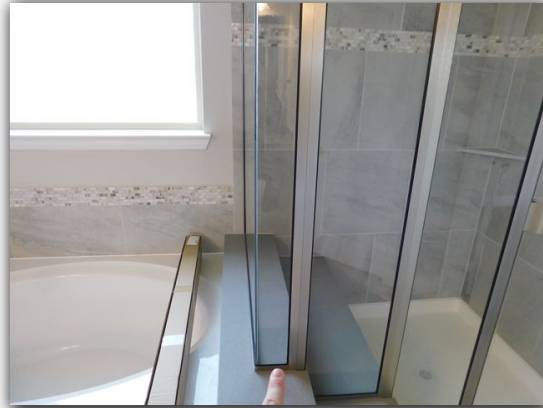
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Exterior Doors:

- Deficient paint at back exterior door were observed and should be repaired.



Garage Entry Door:

- The garage entry door was inspected according to today's Texas Standards of Practice and was performing as intended at the time of the inspection.

Garage Door:

- The overhead garage door appeared to lack a lift handle. Garage overhead doors should have installed at least one interior lift handle in accordance with manufacturer's instructions.

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NOTE: See Garage Door Operators.

H. Windows

Comments:

The windows need sealant between the window frames and exterior wall cladding. Lack of, damaged or deteriorating sealant around window frames may allow moisture and insect penetration and should be repaired as needed.



Missing window stops were observed. Missing window stops should be repaired.

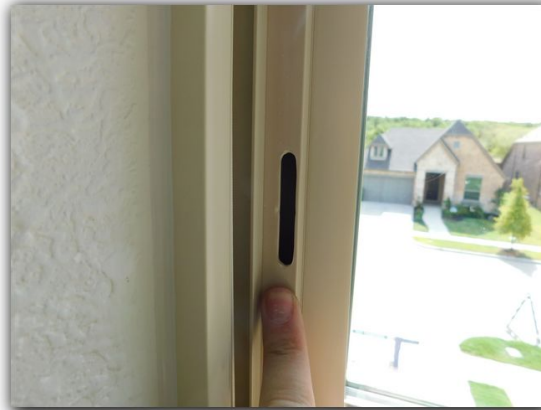
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I. Stairways (Interior and Exterior)

Comments:

The stairway was inspected according to today's Texas Standards of Practice and was performing as intended at the time of the inspection.

J. Fireplaces and Chimneys

Comments:

The visible areas of the fireplace and chimney were inspected according to today's Texas Standards of Practice and were performing as intended at the time of the inspection.



NOTE: Gas leaks below the finished grade (underground) or between the wall or behind fireplace hearths or any concealed area cannot be detected and are not inspected.

K. Porches, Balconies, Decks, and Carports

Comments:

Defects such as cracks was observed at retaining walls and should be repaired to prevent erosion, soil movement or other damage.

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L. Other

Comments:

Fencing is not inspected and is outside the scope of this home inspection. However, there may be fencing deficiencies mentioned in other sections if fencing defects may affect the structure.

II. ELECTRICAL SYSTEMS

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A. Service Entrance and Panels

Comments:

Type of Electrical Conductors: Copper

Location: Garage

Rating: 200 amps

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I NI NP D



The electric service panel breaker use was not correctly labeled. Each electric service panel breaker should be adequately labeled as to what appliance or circuit it serves.



B. Branch Circuits, Connected Devices, and Fixtures

Comments:

Type(s) of Branch Circuit Conductors: Copper

NOTE: Electrical components concealed behind finished surfaces or under insulation are not inspected. The inspection does not include remote control devices, alarm systems, low voltage wiring, ancillary wiring or intercoms.

Electrical Conductors:

Improperly terminated electrical conductors were observed. All electrical conductor connections should be installed in sealed junction boxes. Improperly terminated electrical conductors should be repaired by a certified, licensed electrical specialist.

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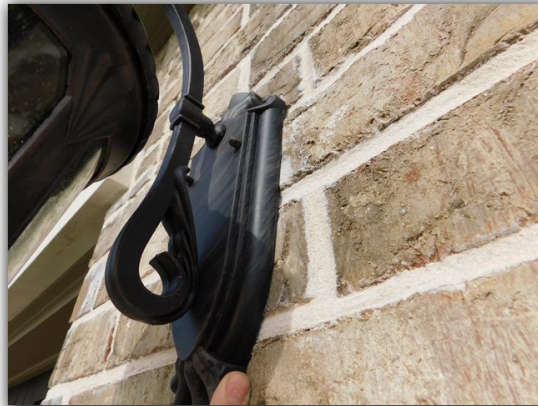
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Electrical Fixtures:

Exterior light fixtures should be sealed at the wall to prevent water intrusion for reasons of SAFETY.



III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

I=Inspected

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A. Heating Equipment

Comments:

Type of Heating System: Central
Heating Energy Source: Heat Pump

Heating Equipment Temperatures:

- Unit 1: Attic
 Within Normal Range Inadequate - In need of service, repair or replacement
The heating equipment temperature output reading: 103.1 °F



- Emergency Heat:
 Within Normal Range Inadequate - In need of service, repair or replacement
The emergency heating equipment temperature output reading: 109.5 °F



Dirty heating equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty heating equipment air filters may result in damage to the heating equipment.

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B. Cooling Equipment

Comments:

Cooling Equipment Type: Central - Heat Pump



NOTE: Pressure tests of the cooling system are outside the scope of a home inspection. No guarantee is made regarding coolant charge or line integrity. The condition of the evaporator coil in the plenum is outside the scope of a home inspection. No guarantee can be made regarding evaporator coils, cooling lines or component life expectancy. Normal service and maintenance of the cooling equipment is recommended quarterly by a qualified cooling equipment specialist.

Temperature Differentials:

Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered to be approximately between 14 to 23 degrees F. total difference between the return air and conditioned air. Unusual conditions such as excessive humidity, low outdoor temperature and restricted airflow may indicate abnormal operation even though the equipment is functioning as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

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Unit #1: Attic

Within Normal Range Inadequate - In need of service, repair or replacement

Supply Air Temp: 52.8 °F

Return Air Temp: 70.3 °F

Temp. Differential: 17.5 °F



Dirty cooling equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty cooling equipment air filters may result in damage to the cooling equipment.



Debris was observed in the cooling equipment condensation drain pan. Debris should be removed from the cooling equipment condensation drain pan to prevent clogging of the drain and or drain plumbing. Clogged cooling equipment condensation drain pans or plumbing may result in water damage or other defects.

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The cooling equipment condensation overflow pan or drain lines installed above ceilings were not equipped with water or moisture sensors/alarms. Cooling equipment condensation drain pans or drain line sensors and alarms should be installed at cooling equipment installed above ceilings for additional protection against water damage.



C. Duct Systems, Chases, and Vents

Comments:

The visible duct systems, chases and vents were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures

Comments:

Location of Water Meter: Within 5-feet of Front Curb
Location of Main Water Valve: At The Water Meter
Static Water Pressure: 60-70 psi

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NOTE: Slab construction prevents visual inspection of plumbing located in or below concrete slabs. Plumbing concealed in foundations, below grade, under flatwork, under decks, inside walls, in attics, between ceilings, insulated, in crawl spaces or concealed by other finishes are outside the scope of a home inspection.

NOTE: Structural movement, settlement or previous foundation repairs can lead to latent plumbing defects that may not be revealed during a home inspection. If any plumbing defects, structural movement, settlement or previous foundation repairs have been reported, the buyer is encouraged to have the plumbing systems further evaluated and a hydrostatic water pressure test performed by a certified, licensed plumbing specialist.

Water Supply System:

The water meter case/housing was full of water which prevented the inspector from evaluating the meter and or determining if there are any water leaks. The inspector recommends that the meter and plumbing system be further evaluated by the local authority and or a certified, licensed plumbing specialist.



Exterior Plumbing:

Damaged exterior water supply hose bibs were observed and should be repaired or replaced as needed.

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Toilets:

The toilets were inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

Tubs & Showers:

Leaking showerhead fixtures should be repaired or replaced.



The shower water supply plumbing was observed to be loose in the wall.

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The temperature indicators were missing at the tub/shower water supply fixture. Missing temperature indicators are considered a SAFETY HAZARD. Tub/shower water supply fixture that are missing temperature indicators should be repaired or replaced.



The tub/shower water supply fixtures lacked adequate sealant at the wall. Tub/shower water supply fixtures should be properly sealed at the wall to prevent water damage.



Lavatories:

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The temperature indicators are missing at the lavatory water supply fixture. Missing water temperature indicators is considered a SAFETY HAZARD.



Kitchen Sink:

The temperature indicators are missing at the kitchen sink water supply fixture. Missing water supply temperature indicators are considered a SAFETY HAZARD.



Utility Room Plumbing:

The visible washing machine plumbing connections were inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

Gas Supply System:

SPECIFIC LIMITATIONS: The Inspector is not required to inspect sacrificial anode bonding or for its existence. The Inspector does not perform a pressure test on the gas lines. The Inspector cannot detect gas leaks below the finished grade (underground) or between the wall or behind fireplace hearths or any concealed area. **Propane tanks will not be inspected.** If any further concerns exist about possible gas line failure and or deficiencies, we recommend that the buyer, seller or agent have the gas system further evaluated by a local controlling gas supplier and or a certified, licensed master plumber.

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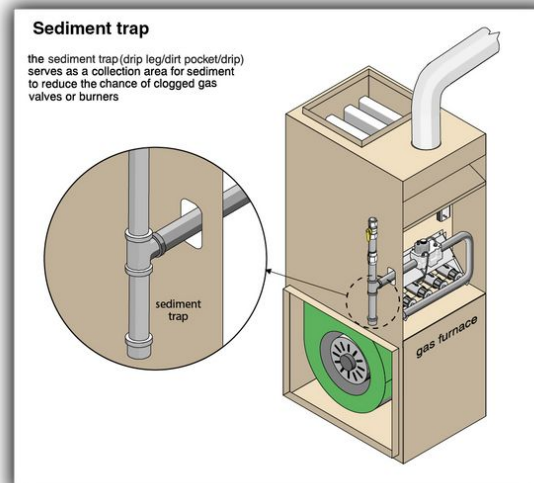
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There were gas fired appliances that did not have a "drip leg" installed. Under current construction standards, drip legs are required at the black iron gas pipe prior to a flexible gas line connection.



B. Drains, Wastes, and Vents

Comments:

- NOTE:** Buried or concealed sewer and waste drain components are not inspected. Water and waste drain leaks cannot be detected below grade or in concealed locations.
- NOTE:** Structural movement, settlement or previous foundation repairs can lead to latent waste drain defects that may not be revealed during a home inspection. If any waste drain defects, structural movement, settlement or previous foundation repairs have been reported, the buyer is encouraged to have the waste drain plumbing further evaluated by a certified, licensed plumbing specialist.
- Missing drain stops at the sinks/tubs should be repaired.

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NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

Comments:

Energy Source: Gas

Capacity: Tankless Water Heater

Location: Garage

Heated Water Temperature (114.2 °F):



The water heating equipment was installed without an overflow pan. Current building standards state that all water heaters should be equipped with an overflow pan with a drain that drains to the exterior of the structure if leaks would cause damage.

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I NI NP D



Gas Water Heating Equipment:

The gas-fired water heating equipment gas exhaust vent flu had debris in it. Debris in the gas exhaust flu was observed to be a SAFETY HAZARD and should be repaired prior to operation of the water heating equipment.



Water Heating Equipment Temperature and Pressure Relief Valve (TPR Valve):

The water heating equipment TPR valve was inspected and verified, but was not tested. It is common for TPR Drain valves to fail under testing and leak water.

V. APPLIANCES

A. Dishwashers

Comments:

A visible anti-siphon loop or back flow prevention device was not installed at the dishwasher drain line. Some newer dishwashers may have built in anti-siphon devices that are not visible. The buyer is encouraged to consult the owner's manual or contact the manufacturer if an anti-siphon device is not visible. Lack of an anti-siphon device at a dishwasher is a SAFETY HAZARD.

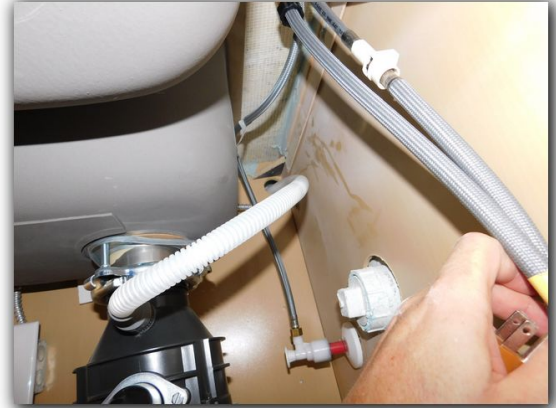
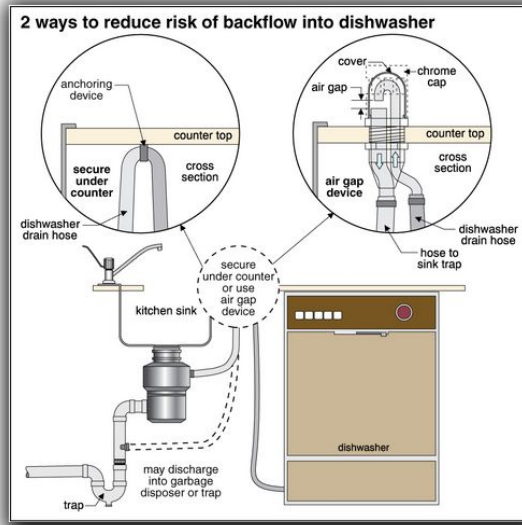
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B. Food Waste Disposers

Comments:

The food waste disposer was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

C. Range Hood and Exhaust Systems

Comments:

The range exhaust vent was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

D. Ranges, Cooktops, and Ovens

Comments:

Oven Energy Source: Electric

Cooktop Energy Source: Electric

The range, cooktop and ovens were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

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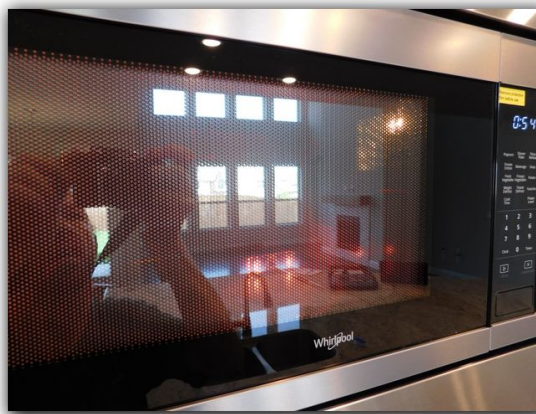


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E. Microwave Ovens

Comments:

- The microwave oven was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.



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I	NI	NP	D
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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

The mechanical exhaust vents were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

G. Garage Door Operators

Comments:

The garage door operators were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

NOTE: The automatic garage door opener remote controls may not be present. The automatic garage door opener was checked using only the manual control.

H. Dryer Exhaust Systems

Comments:

The dryer vent was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

NOTE: The National Fire Protection Association (NFPA) recommends that all dryer vent ducts be made from straight metal dryer ducts rather than plastic or flexible metal for improved safety.

I. Other

Comments:

Refrigerators, ice makers, wine coolers, trash compactors and whole house vacuums are outside the scope of this home inspection and if present, these appliances were not inspected.

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

NOTE: The objective of our limited visual landscape irrigation system (sprinkler system) inspection is to determine if the system would benefit from inspection, improvements or repairs by a qualified specialist. The scope of our inspection includes a limited visual inspection of the landscape irrigation system controls and operation of the system in manual mode. The inspection provides a narrative list of deficiencies related to performance, installation and operation. We do not dismantle any landscape irrigation equipment or program the system. Landscape irrigation systems are inspected according to today's [Texas Standards of Practice](#).

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The landscape irrigation system electrical conduit needs to be sealed at the wall.



The landscape irrigation system had missing control covers that should be replaced.



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I	NI	NP	D
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The landscape irrigation system sprinkler heads were observed to spray the structure or in unwanted directions and require repair, replacement or adjustment.



REPORT SUMMARY

The "Report Summary" section is intended to be a tool to assist our clients and their representative(s) in preparing a repair request, if and when applicable. THIS IS NOT A LIST OF MANDATORY REPAIRS BUT A LIST OF SUGGESTED REPAIRS OR UPGRADES NEEDED. The Report Summary is intended to follow the flow of the main body of the Property Inspection Report. The order of repair priority is left up to the sole discretion of the client and your Inspector will not be able to assist you specifying order of importance. Further, this summary contains only those items identified as "Deficient". There may be other items listed in the full body of the Property Inspection Report that could be important to you and you may consider adding to your repair request if and when applicable. You should read and understand the entire Home Inspection Report prior to completing any repair request. This report contains technical information, if you do not understand or are unclear about some of the information contained in the body of this report; please call the office to arrange for a verbal consultation with your inspector prior to the expiration of any time limitations such as option periods.

Items Needing Further Evaluation

- Roof covering shingles that do not lay flat on the roof deck were observed. Roof covering shingles that do not lay flat on the roof deck were an indication of improper installation, damaged underlayment or other defects. Roof covering shingles that do not lay flat on the roof deck may allow further deterioration of the roof covering, deterioration of the roof structure, water penetration or other damage.
- Roof covering flashings were observed to be lifting, damaged or improperly installed and were in need of repair or replacement. Lifting, damaged or improperly installed flashings may allow water penetration.
- Using a thermal imaging camera, there are areas of temperature anomalies in the ceilings which may be indication of missing or damaged insulation. The reason for the temperature anomalies should be further evaluated and repaired as needed.
- The water meter case/housing was full of water which prevented the inspector from evaluating the meter and or determining if there are any water leaks. The inspector recommends that the meter and plumbing system be further evaluated by the local authority and or a certified, licensed plumbing specialist.
- The water heating equipment was installed without an overflow pan. Current building standards state that all water heaters should be equipped with an overflow pan with a drain that drains to the exterior of the structure if leaks would cause damage.

Safety Items

- Safety glass was not installed in shower in required locations. Lack of shower safety glass in required locations is a SAFETY HAZARD.
- The temperature indicators were missing at the tub/shower water supply fixture. Missing temperature indicators are considered a SAFETY HAZARD. Tub/shower water supply fixture that are missing temperature indicators should be repaired or replaced.
- The temperature indicators are missing at the lavatory water supply fixture. Missing water temperature indicators is considered a SAFETY HAZARD.
- The temperature indicators are missing at the kitchen sink water supply fixture. Missing water supply temperature indicators are considered a SAFETY HAZARD.
- The gas-fired water heating equipment gas exhaust vent flu had debris in it. Debris in the gas exhaust flu was observed to be a SAFETY HAZARD and should be repaired prior to operation of the water heating equipment.
- A visible anti-siphon loop or back flow prevention device was not installed at the dishwasher drain line. Some newer dishwashers may have built in anti-siphon devices that are not visible. The buyer is encouraged to consult the owner's manual or contact the manufacturer if an anti-siphon device is not visible. Lack of an anti-siphon device at a dishwasher is a SAFETY HAZARD.

Repair Items

- Exposed or damaged metal foundation components were observed in the garage. Exposed or damaged metal foundation components may lead to additional foundation deterioration and adverse foundation performance. This condition should be repaired as needed by a foundation specialist.
- Ponding next to the foundation was observed. Any area where the ground or grade does not slope away from the structure is to be considered an area of improper drainage. Corrective measures may be needed if the water stands within 10-feet of the foundation perimeter beam for more than 24-hours. Grading improvements are needed to direct run off water away from the structure. Recommended slope away from the foundation is 6 inches per 10 feet.
- All gutter downspouts should have downspout extensions or splash blocks installed to move run off water away from the foundation and to prevent erosion. Missing splash blocks and downspout extensions should be replaced.
- Inadequate clearance between exterior siding and roof covering materials was observed. There should be a space between the siding and roof covering. Space between the roof covering and siding provides proper ventilation and prevents water damage to the siding.
- Wood fencing in contact with the structure creates conducive conditions for wood destroying insects. Wood fencing materials should be trimmed back so as not to be in contact with the exterior wall surfaces.
- Expansion and contraction cracks (thermal cracks, less than 1/16") in the exterior brick/stone veneer masonry walls were observed. These cracks did not indicate a structural defect at the time of the inspection. Expansion and contraction cracks in the exterior brick/stone veneer masonry walls should be repaired and closely monitored for indications of structural movement. It is recommended that these cracks be repaired to prevent further deterioration and water penetration. If concerns about the current or future foundation performance exist, the inspector recommends further evaluation by a certified, licensed foundation specialist.
- Areas of the exterior brick veneer siding overhang the foundation and appeared to be improperly installed. Brick veneer siding that does not rest on the foundation may not be properly supported.
- The bottom of the garage door trim has a nail left in it that should be removed.
- Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration.
- Weep holes were not open in the brick/stone masonry above the windows in required locations. This may be an "as-built" condition, however, under current building standards, weep holes should be installed in the brick/stone masonry above windows to provide proper wall ventilation.
- The floor covering was noticeably stained and was in need of cleaning.
- Cosmetic damage to interior doors should be repaired.
- All interior doors should have door stops installed to prevent damage to adjacent interior wall coverings.
- Closet doors which do not latch as intended should be repaired or replaced.
- Deficient paint at back exterior door were observed and should be repaired.
- The overhead garage door appeared to lack a lift handle. Garage overhead doors should have installed at least one interior lift handle in accordance with manufacturer's instructions.
- The windows need sealant between the window frames and exterior wall cladding. Lack of, damaged or deteriorating sealant around window frames may allow moisture and insect penetration and should be repaired as needed.
- Missing window stops were observed. Missing window stops should be repaired.
- Defects such as cracks was observed at retaining walls and should be repaired to prevent erosion, soil movement or other damage.
- Improperly terminated electrical conductors were observed. All electrical conductor connections should be installed in sealed junction boxes. Improperly terminated electrical conductors should be repaired by a certified, licensed electrical specialist.
- Exterior light fixtures should be sealed at the wall to prevent water intrusion for reasons of SAFETY.
- Dirty heating equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty heating equipment air filters may result in damage to the heating equipment.

- Dirty cooling equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty cooling equipment air filters may result in damage to the cooling equipment.
- Debris was observed in the cooling equipment condensation drain pan. Debris should be removed from the cooling equipment condensation drain pan to prevent clogging of the drain and or drain plumbing. Clogged cooling equipment condensation drain pans or plumbing may result in water damage or other defects.
- The cooling equipment condensation overflow pan or drain lines installed above ceilings were not equipped with water or moisture sensors/alarms. Cooling equipment condensation drain pans or drain line sensors and alarms should be installed at cooling equipment installed above ceilings for additional protection against water damage.
- Damaged exterior water supply hose bibs were observed and should be repaired or replaced as needed.
- Leaking showerhead fixtures should be repaired or replaced.
- The shower water supply plumbing was observed to be loose in the wall.
- The tub/shower water supply fixtures lacked adequate sealant at the wall. Tub/shower water supply fixtures should be properly sealed at the wall to prevent water damage.
- There were gas fired appliances that did not have a "drip leg" installed. Under current construction standards, drip legs are required at the black iron gas pipe prior to a flexible gas line connection.
- Missing drain stops at the sinks/tubs should be repaired.
- The landscape irrigation system electrical conduit needs to be sealed at the wall.
- The landscape irrigation system had missing control covers that should be replaced.
- The landscape irrigation system sprinkler heads were observed to spray the structure or in unwanted directions and require repair, replacement or adjustment.

Improvement & "As Built Condition" Items

- The secondary roof rain gutter lacks a downspout. Lack of a downspout at secondary roof rain gutters may allow localized deterioration and premature wear of the roof covering materials.
- The electric service panel breaker use was not correctly labeled. Each electric service panel breaker should be adequately labeled as to what appliance or circuit it serves.
- The cooling equipment condensation overflow pan or drain lines installed above ceilings were not equipped with water or moisture sensors/alarms. Cooling equipment condensation drain pans or drain line sensors and alarms should be installed at cooling equipment installed above ceilings for additional protection against water damage.

Items To Monitor

Deferred Cost Items

- Cosmetic damages to garage interior wall coverings, drywall, texture and paint were observed to be in need of repair.
- Cosmetic damages to ceiling drywall, texture and paint should be repaired.