



Fouries Home Inspection

Know before you Buy

NEW HOME INSPECTION
Prepared Exclusively For: Buyer Name

Any Street, Irving, TX, 75063



Inspected by Paul Fourie, Lic.#: 22325 on 07/13/2019
Phone: (972)989-2479, Email: paul@fourieshomeinspection.com

PROPERTY INSPECTION REPORT

Prepared For: Buyer Name
(Name of Client)

Concerning: Any Street, Irving, TX 75063
(Address or Other Identification of Inspected Property)

By: Paul Fourie, Lic #22325 07/13/2019
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous

or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

NOTICE: THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE EXCLUSIVELY. THIS REPORT IS NOT VALID WITHOUT THE SIGNED INSPECTION AGREEMENT AND IS NOT TRANSFERABLE.

The inspection report provided by Fouries Home Inspection will contain the good faith opinions of the inspector concerning the observable need, if any, on the day of the inspection, for the repair, replacement, or further evaluation by experts of the items inspected. **A home inspection is not an exhausting report of defects.**

Unless, specifically stated, this report will not include and should not be read to indicated opinions as to the environmental conditions such as the presence of mold, radon or lead base paint, the presence of toxic or hazardous waste or substances, presence of termite or wood-destroying organisms, or compliance with codes, ordinances, statutes or restrictions, or the insurability, efficiency, quality, durability, future life, or future performance of any item inspected. This report is good for the day of the inspection only and is not to be used for Real Estate Disclosure Documents, Home Warranties or Insurance Underwriting purposes.

There are many factors which determine the life expectancy of a system or component. It is not possible to determine these factors during a one time visual inspection. Some systems of components may perform beyond their typical life expectancy while others may require repair or replacement sooner.

A Summary Report may be provided at the end of the inspection report document. The summary lists deficiencies discovered at the subject property. The summary is not a replacement for the inspection report.

This report is prepared using a computer and infrequently a word or sentence may be accidentally deleted or altered. Should you encounter such a condition, please contact Fouries Home Inspection to make the necessary correction and provide you with replacement pages. If you do not understand certain comments or recommendations please call Fouries Home Inspection prior to closing on your transaction for clarification.

All items to be inspected must be accessible at the time of the inspection. Locked and or inaccessible components will not be inspected. As stated in the inspection agreement, notices sent prior to the inspection and the current Texas Real Estate Commission Texas Standards of Practice, the inspector is to inspect listed items which are visible and accessible at the time of the inspection. A re-inspection fee will apply for return trips to inspect inaccessible items.

Whenever a defect (deficiency) of any kind is noted in a system or aspect of the house, we recommend that a qualified (licensed) technician inspect and service the entire system. Sometimes noted defects are symptoms of other, sometimes more serious, defects. It is also recommended that the buyer walks through the property the day before closing to assure conditions have not changed since inspection. All items listed in the home inspection report are inspected according to today's [Texas Standards of Practice](#) and the most current local building standards.

This report contains technical information. You are encouraged to read and understand the entire inspection report. If you do not understand or are unclear about any of the information in the report, please call Fouries Home Inspection (972 989 2479) for a verbal consultation and report review.

INACCESSIBLE OR OBSTRUCTED AREAS

Sub Flooring - Viewed From Accessible Areas	Attic Space is Limited - Viewed from Accessible Areas
Floors Covered	Crawl Space is limited - Viewed From Accessible Areas
Walls/Ceilings Covered or Freshly Painted	Plumbing Areas - Only Visible Plumbing Inspected
Behind/Under Furniture and/or Stored Items	Siding Over Older Existing Siding

- Mold/Mildew investigations are NOT included with this report; it is beyond the scope of this inspection. Any reference of water intrusion is recommended that a professional investigation be obtained.
- If the property has been renovated or remodeled, you should request documentation that should include permits and any warranties or guarantees that might be applicable, latent defects could exist.
- If additions have been made to this property, you should request documentation that should include permits and any warranties or guarantees that might be applicable. Latent defects could exist.

This report was prepared for a buyer, seller or property owner in accordance with the client's requirements. The report addresses a single system, component or thermal imaging and is not intended as a substitute for a complete standard inspection of the property. Standard inspections performed by a license holder and reported on a Texas Real Estate Commission promulgated report form may contain additional information a buyer should consider in making a decision to purchase.

LEAVE US AN ONLINE REVIEW

At Fouries Home Inspection we strive for excellence in our work and services. We hope you feel confident in referring us to any family, friends or whomever may need our services. Endorsements from our satisfied clients is our highest measure of success. We invite you to **Leave Us An Online Review**.

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I	NI	NP	D
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I. STRUCTURAL SYSTEMS

A. Foundations

Comments:

Foundation Type: Post Tension Cable Slab

NOTE: Future performance of the structure cannot be predicted or warranted. This inspection is one of first impressions and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions are based on general apparent conditions and not of absolute fact and are only good for the date and time of this inspection. Weather conditions, drainage, leakage and other adverse factors are able to effect structures, and differential movements are likely to occur. The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. The inspection of the foundation may show it to be providing adequate support for the structure or having movement typical to this region at the time of the inspection. This does not guarantee the future life or failure of the foundation. The inspector is not a structural engineer. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by a Structural Engineer or your choice. Foundations are inspected according to today's [Texas Standards of Practice](#).

SUGGESTED FOUNDATION MAINTENANCE & CARE - Proper drainage and moisture maintenance to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

PERFORMANCE OPINION:

Performance Opinion: The foundation was performing as intended at the time of the inspection and was inspected according to today's Texas Standards of Practice. **If any concerns exist about the current or future foundation performance, the inspector recommends that a foundation specialist be consulted prior to closing.**

Cosmetic skim coat were observed to be missing in some areas.

I=Inspected

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Cracks and damage were observed in the cosmetic skim coat covering the foundation slab. Cracks in the cosmetic skim coat should be repaired. Moisture penetration may allow further deterioration of the cosmetic skim coat.



Foundation slab corners have been sheared off (corner pop). This is a common condition in slab on grade foundations and should be repaired. Repairing corner pops is recommended to prevent moisture and wood destroying insect penetration.

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I NI NP D

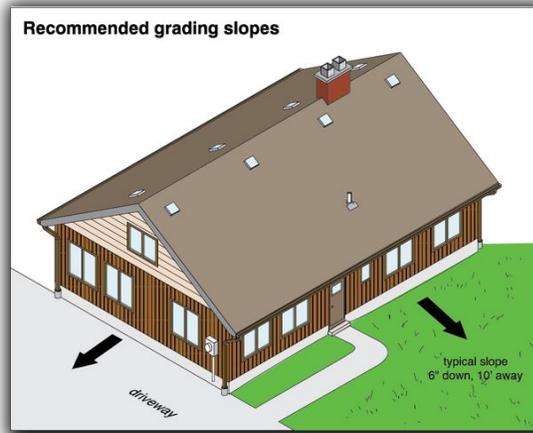


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B. Grading and Drainage

Comments:

Inadequate grade slope away from the structure was observed. The recommended grade slope away from the structure is 6 inches per 10 feet. Improper grade slopes away from the structure create conducive conditions for water intrusion and inadequate foundation performance. Improper grade slope away from the structure is in need of repair.



There is a subsurface or below grade drainage system installed. The inspector has no way of knowing if below grade drainage systems are performing as intended. The inspector recommends that the below grade drainage system be monitored for performance.

I=Inspected

NI=Not Inspected

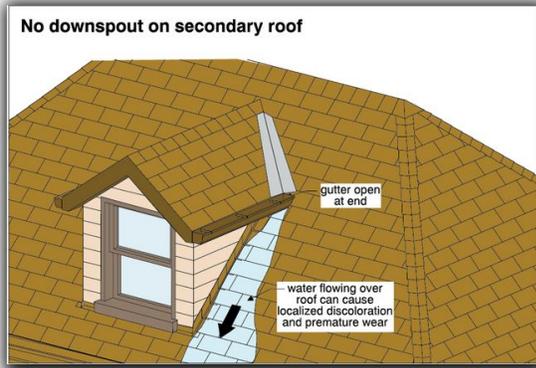
NP=Not Present

D=Deficient

I NI NP D



The secondary roof rain gutter lacks a downspout. Lack of a downspout at secondary roof rain gutters may allow localized deterioration and premature wear of the roof covering materials.



Damaged or improperly installed rain gutters and downspouts should be repaired. Damaged or leaking rain gutters and downspouts create conducive conditions for siding deterioration, soffit/eave damage, roof covering damage, water penetration and inadequate grade drainage.



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C. Roof Covering Materials

Comments:

Type(s) of Roof Covering Materials: Composite
Viewed From: Roof Level

NOTE: Life expectancy of the roofing material is not covered by this home inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your insurance company and a roof covering specialist physically inspect the roof prior to closing to fully evaluate the condition and insurability of the roof. Roof covering materials are inspected according to current Texas Real Estate Commission [Texas Standards of Practice](#).

NOTE: The inspection of the roof does not preclude the possibility of leakage or water damage. Leakage or water damage can occur at any time and may depend on rain intensity, wind velocity and direction and other environmental factors. The entire underside of the roof sheathing is not visible or accessible and can not be inspected for indications of leaks.

NOTE: When **D** (D= Deficiency) is marked. It is recommended that all of the roofing covering materials and components be fully evaluated by a certified, licensed roofing specialist, prior to closing.

Roof covering shingles that do not lay flat on the roof deck were observed. Roof covering shingles that do not lay flat on the roof deck were an indication of improper installation, damaged underlayment or other defects. Roof covering shingles that do not lay flat on the roof deck may allow further deterioration of the roof covering, deterioration of the roof structure, water penetration or other damage.

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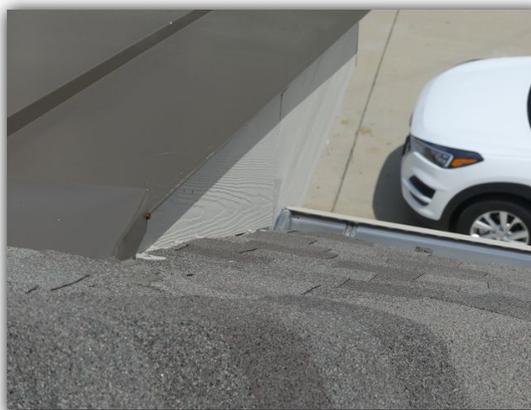
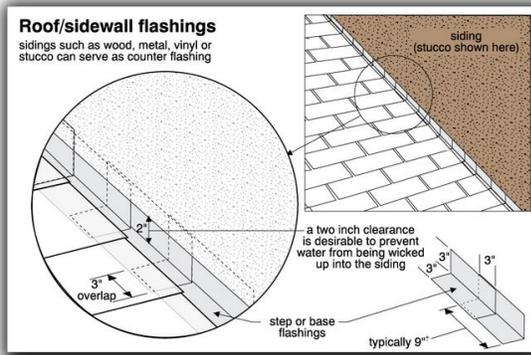
NP=Not Present

D=Deficient

I NI NP D



Inadequate clearance between exterior siding and roof covering materials was observed. There should be a space between the siding and roof covering. Space between the roof covering and siding provides proper ventilation and prevents water damage to the siding.



Exposed nail heads were observed at the roof coverings. Exposed nail heads may allow water penetration and were in need of repair.

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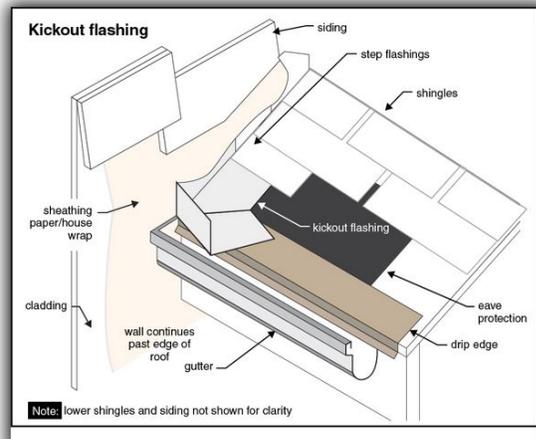
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Roof covering drip edge and flashings were observed to be missing, damaged or improperly installed and were in need of repair or replacement. Missing, damaged or improperly installed flashings may allow water penetration.



Current construction standards require a kick out flashing at the roof coverings and wall intersections. Kick out flashings prevent water leaks, damage and discoloration to walls.



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NOTE: The roof covering materials should be professionally inspected annually and after storms as part of a routine maintenance plan.

D. Roof Structures and Attics

Comments:

Attic Space Viewed From: Entered the Attic

Average Depth of Insulation: 12 + Inches

Insulation Type: Loose Fill Insulation, Batt Insulation

Description of Roof Structure: Rafter Assembly

NOTE: Turbine and electric powered fan vents should be inspected, tested and maintained annually. Soffit vents and gable vents should also be inspected annually to ensure that screens are in good condition and that they are not blocked by insulation or other debris.

Openings in the eave returns (areas where the soffit meets an adjoining roof surface) should not be large enough to allow entry by pests according to industry standards.

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I	NI	NP	D
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E. Walls (Interior and Exterior)

Comments:

Exterior Walls:

Siding Materials: Brick, Stone, Cement Board, Wood, Wood Byproducts, Stucco

Wood fencing in contact with the structure creates conducive conditions for wood destroying insects. Wood fencing materials should be trimmed back so as not to be in contact with the exterior wall surfaces.



Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration.

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Weep holes were not installed in the brick/stone masonry above the exterior doors in required locations. Under current building standards, weep holes should be installed in the brick/stone masonry above exterior doors to provide proper wall ventilation.



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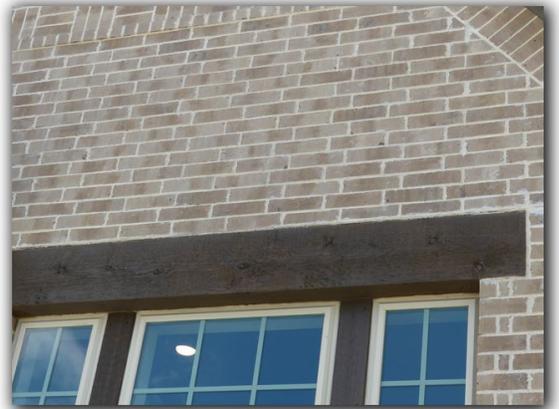
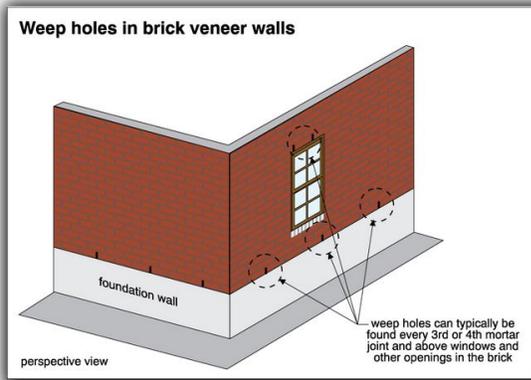
NP=Not Present

D=Deficient

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Weep holes were not installed in the brick/stone masonry above the windows in required locations. Under current building standards, weep holes should be installed in the brick/stone masonry above windows to provide proper wall ventilation.



Interior Walls:

Cosmetic damages to interior wall coverings, drywall, texture and paint were observed to be in need of repair.

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I NI NP D



F. Ceilings and Floors

Comments:

Ceilings:

- Cosmetic damages to ceiling drywall, texture and paint should be repaired.



- At least one interior ceiling crack was observed which is an indication of structural settling,

I=Inspected

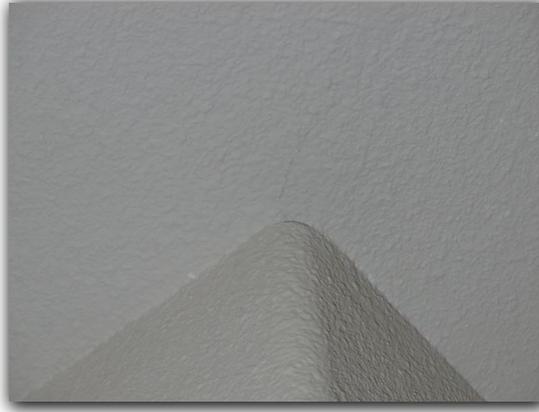
NI=Not Inspected

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I NI NP D

movement or other defects. Ceiling drywall, texture and paint cracks should be repaired and monitored over time for additional movement. If concerns about the foundation performance exist, the inspector recommends further evaluation by a certified, licensed foundation specialist.



Using a thermal imaging camera, there are areas of temperature anomalies in the ceilings which may be indication of missing or damaged insulation. The reason for the temperature anomalies should be further evaluated and repaired as needed.



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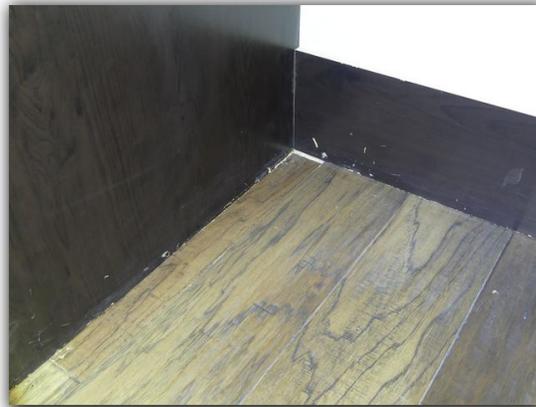
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Floors:

- Missing sealant should be repaired to avoid water penetration.



- The floor covering was noticeably damaged and was in need of repair or replacement.



- The floor covering was noticeably stained and was in need of cleaning.

I=Inspected

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G. Doors (Interior and Exterior)

Comments:

Interior Doors:

Interior doors were observed to rub, stick or hit the door frames. The cause of doors sticking or hitting door frames should be determined and repaired as needed.



Exterior Doors:

All exterior doors should have door stops installed to prevent damage to adjacent interior wall coverings.

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Damaged or missing exterior door weather stripping should be replaced. Missing or damage exterior door weather stripping creates conducive conditions for moisture intrusion and conditioned air loss.



Garage Entry Door:

Garage entry doors should have installed operational self closing hinges according to today's Texas Standards of Practice . Per Texas Standards of Practice we are required to report this condition as a deficiency because it is no longer an excepted building standard.

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Garage Door:

The overhead garage door appeared to lack a lift handle. Garage overhead doors should have installed at least one interior lift handle in accordance with manufacturer's instructions.



NOTE: See Garage Door Operators.

H. Windows

Comments:

The windows need sealant between the window frames and interior wall cladding. Lack of, damaged or deteriorating sealant around window frames should be repaired as needed.

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The window frames were observed to be damaged. Damaged windows may allow moisture penetration, conditioned air loss and insect penetration and should be repaired.



Damaged window screens were observed. Window screens help protect window glass from minor impact damage and prevent insect penetration at the windows. Damaged window screens should be repaired or replaced.

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I. Stairways (Interior and Exterior)

Comments:

The stairway was inspected according to today's Texas Standards of Practice and was performing as intended at the time of the inspection.

J. Fireplaces and Chimneys

Comments:

The visible areas of the fireplace and chimney were inspected according to today's Texas Standards of Practice and were performing as intended at the time of the inspection.



NOTE: Gas leaks below the finished grade (underground) or between the wall or behind fireplace hearths or any concealed area cannot be detected and are not inspected.

K. Porches, Balconies, Decks, and Carports

Comments:

The porches, poured concrete, sidewalks, patios, decks, balconies and carports were inspected according to today's Texas Standards of Practice and were performing as intended at

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I NI NP D

the time of the inspection.

L. Other

Comments:

Fencing is not inspected and is outside the scope of this home inspection. However, there may be fencing deficiencies mentioned in other sections if fencing defects may affect the structure.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Type of Electrical Conductors: Copper

Location: Garage

Rating: 200 amps

The main electrical service entrance and service panel was inspected according to today's Texas Standards of Practice and was performing as intended at the time of the inspection.



B. Branch Circuits, Connected Devices, and Fixtures

Comments:

Type(s) of Branch Circuit Conductors: Copper

NOTE: Electrical components concealed behind finished surfaces or under insulation are not inspected. The inspection does not include remote control devices, alarm systems, low voltage wiring, ancillary wiring or intercoms.

Electrical Receptacles:

The stairway landing did not have a convenience electrical receptacle installed.

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Electrical receptacles, switches and or covers were observed to be loose, damaged, missing or missing screws and were in need of repair. Damaged or missing electrical receptacles or switches should be repaired by a certified, licensed electrical specialist.



Electrical Fixtures:

Inoperative ceiling fans were observed to be in need of repair or replacement.



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Smoke and Fire Alarms:

There did not appear to be enough smoke alarms located in required locations (SAFETY HAZARD). Under current building standards, there should be a smoke alarm located in each sleeping room, outside each separate sleeping area in the immediate vicinity of the sleeping rooms, and on each additional story of the dwelling, including basements but excluding crawl spaces and uninhabitable attics (in dwellings with split levels and without an intervening door between the levels, a smoke alarm installed on the upper level and the adjacent lower level shall suffice provided that the lower level is less than one full story below the upper level).



NOTE: It is recommended to replace smoke and fire alarm batteries with each change of ownership and once annually for reasons of safety. Replacement of smoke and fire alarms older than 10 years is recommended.

Carbon Monoxide Detectors:

NOTE: Current building standards state that homes with gas fired appliances and or an attached vehicle storage area (garage) should have installed carbon monoxide detectors outside of all sleeping areas and at each story. Lack of a carbon monoxide detector in required locations is a SAFETY HAZARD. Replacement of carbon monoxide detectors older than 10 years is recommended.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Comments:

Type of Heating System: Central

Heating Energy Source: Gas

The heating equipment was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

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NOTE: Inspection of the heat exchanger is not possible without disassembly of the unit in most heating equipment systems. Inspection of the heat exchanger is beyond the scope of a home inspection. No guarantee can be made on the heat exchangers life expectancy. Normal service and maintenance of the heating equipment is recommended quarterly by a qualified cooling equipment specialist.

Heating Equipment Temperatures:

- Unit 1: Downstairs
 - Within Normal Range Inadequate - In need of service, repair or replacement
- The heating equipment temperature output reading: 100.4 °F



- Unit 2: Upstairs
 - Within Normal Range Inadequate - In need of service, repair or replacement
- The heating equipment temperature output reading: 101.3 °F

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Dirty heating equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty or damaged heating equipment air filters may result in damage to the heating equipment.



B. Cooling Equipment

Comments:

Cooling Equipment Type: Central - Air Conditioner

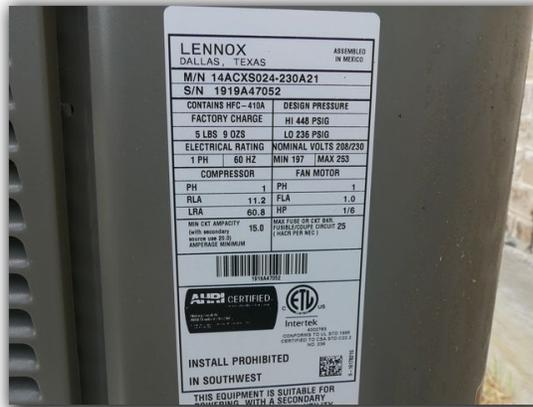
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



NOTE: Pressure tests of the cooling system are outside the scope of a home inspection. No guarantee is made regarding coolant charge or line integrity. The condition of the evaporator coil in the plenum is outside the scope of a home inspection. No guarantee can be made regarding evaporator coils, cooling lines or component life expectancy. Normal service and maintenance of the cooling equipment is recommended quarterly by a qualified cooling equipment specialist.

Temperature Differentials:

Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered to be approximately between 14 to 23 degrees F. total difference between the return air and conditioned air. Unusual conditions such as excessive humidity, low outdoor temperature and restricted airflow may indicate abnormal operation even though the equipment is functioning as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

- Unit #1: Downstairs
- Within Normal Range Inadequate - In need of service, repair or replacement

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I NI NP D

Supply Air Temp: 58.4 °F

Return Air Temp: 76.8 °F

Temp. Differential: 18.4 °F



Unit #2: Upstairs

Within Normal Range Inadequate - In need of service, repair or replacement

Supply Air Temp: 62.6 °F

Return Air Temp: 78.2 °F

Temp. Differential: 15.6 °F



Dirty cooling equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty or damaged cooling equipment air filters may result in damage to the cooling equipment.



I=Inspected

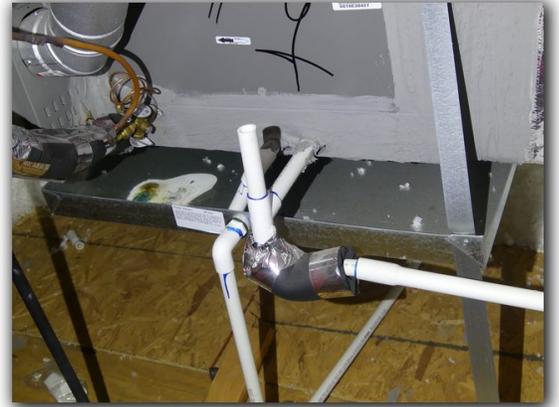
NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The cooling equipment condensation overflow pan or drain lines installed above ceilings were not equipped with water or moisture sensors/alarms. Cooling equipment condensation drain pans or drain line sensors and alarms should be installed at cooling equipment installed above ceilings for additional protection against water damage.



Erosion underneath the exterior HVAC equipment support pad was observed. Erosion underneath the exterior HVAC equipment may result in equipment damage, inadequate performance, or other defects and should be repaired.



C. Duct Systems, Chases, and Vents

Comments:

The visible duct systems, chases and vents were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures

Comments:

Location of Water Meter: Within 5-feet of Front Curb

Location of Main Water Valve: At The Water Meter

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I	NI	NP	D
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Static Water Pressure: 60-70 psi



NOTE: Slab construction prevents visual inspection of plumbing located in or below concrete slabs. Plumbing concealed in foundations, below grade, under flatwork, under decks, inside walls, in attics, between ceilings, insulated, in crawl spaces or concealed by other finishes are outside the scope of a home inspection.

Exterior Plumbing:

Leaking exterior water supply hose bibs should be repaired or replaced as needed.



Tubs & Showers:

The tub/shower tile grout and sealants were observed to be in need of repair or replacement to prevent water penetration at interior walls.

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I	NI	NP	D
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Gas Supply System:

SPECIFIC LIMITATIONS: The Inspector is not required to inspect sacrificial anode bonding or for its existence. The Inspector does not perform a pressure test on the gas lines. The Inspector cannot detect gas leaks below the finished grade (underground) or between the wall or behind fireplace hearths or any concealed area. **Propane tanks will not be inspected.** If any further concerns exist about possible gas line failure and or deficiencies, we recommend that the buyer, seller or agent have the gas system further evaluated by a local controlling gas supplier and or a certified, licensed master plumber.



The gas supply system was inspected according to today's Texas Standards of Practice and was performing as intended at the time of the inspection.

B. Drains, Wastes, and Vents

Comments:

NOTE: Buried or concealed sewer and waste drain components are not inspected. Water and waste drain leaks cannot be detected below grade or in concealed locations.

Roof penetration plumbing vent boots were damaged and may allow water penetration. Replacement is recommended.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

Comments:

Energy Source: Gas

Capacity: Tankless Water Heater

Location: Exterior Wall

- The water heating equipment was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

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I	NI	NP	D
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Heated Water Temperature (104.5 °F):



Water Heating Equipment Temperature and Pressure Relief Valve (TPR Valve):

The water heating equipment TPR valve was inspected and verified, but was not tested. It is common for TPR Drain valves to fail under testing and leak water.

V. APPLIANCES

A. Dishwashers

Comments:

A visible anti-siphon loop or back flow prevention device was not installed at the dishwasher drain line. Some newer dishwashers may have built in anti-siphon devices that are not visible. The buyer is encouraged to consult the owner's manual or contact the manufacturer if an anti-siphon device is not visible. Lack of an anti-siphon device at a dishwasher is a SAFETY HAZARD.

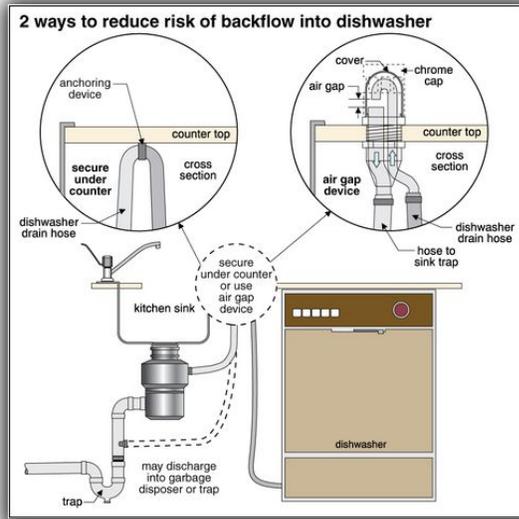
I=Inspected

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I NI NP D



B. Food Waste Disposers

Comments:

The food waste disposer was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

C. Range Hood and Exhaust Systems

Comments:

The range exhaust vent was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

D. Ranges, Cooktops, and Ovens

Comments:

Oven Energy Source: Electric

Cooktop Energy Source: Gas

I=Inspected

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D=Deficient

I	NI	NP	D
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Gas Oven Or Range:

The gas cooktop burner caps were missing. The missing cooktop gas burner caps should be replaced as needed.



E. Microwave Ovens

Comments:

The microwave oven was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

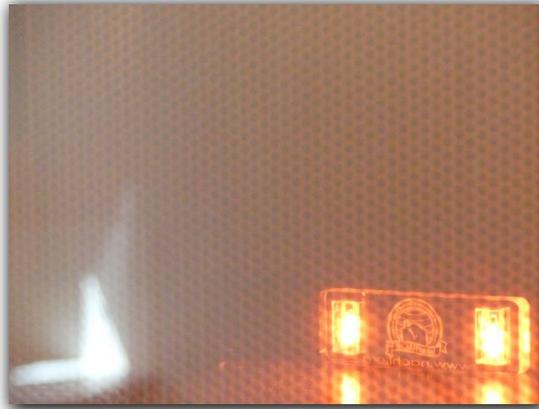
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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- Damaged mechanical exhaust vent covers should be replaced.



- Loose mechanical exhaust vents covers at the ceiling should be repaired.



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D=Deficient

I NI NP D

G. Garage Door Operators

Comments:

The garage door operators were inspected according to today's Texas Standards of Practice and or local code and were performing as intended at the time of the inspection.

NOTE: The automatic garage door opener remote controls may not be present. The automatic garage door opener was checked using only the manual control.

H. Dryer Exhaust Systems

Comments:

The dryer vent was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

NOTE: The National Fire Protection Association (NFPA) recommends that all dryer vent ducts be made from straight metal dryer ducts rather than plastic or flexible metal for improved safety.

I. Other

Comments:

Refrigerators, ice makers, wine coolers, trash compactors and whole house vacuums are outside the scope of this home inspection and if present, these appliances were not inspected.

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

NOTE: The objective of our limited visual landscape irrigation system (sprinkler system) inspection is to determine if the system would benefit from inspection, improvements or repairs by a qualified specialist. The scope of our inspection includes a limited visual inspection of the landscape irrigation system controls and operation of the system in manual mode. The inspection provides a narrative list of deficiencies related to performance, installation and operation. We do not dismantle any landscape irrigation equipment or program the system. Landscape irrigation systems are inspected according to today's [Texas Standards of Practice](#).

The landscape irrigation system was inspected according to today's Texas Standards of Practice and or local code and was performing as intended at the time of the inspection.

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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REPORT SUMMARY

The "Report Summary" section is intended to be a tool to assist our clients and their representative(s) in preparing a repair request, if and when applicable. THIS IS NOT A LIST OF MANDATORY REPAIRS BUT A LIST OF SUGGESTED REPAIRS OR UPGRADES NEEDED. The Report Summary is intended to follow the flow of the main body of the Property Inspection Report. The order of repair priority is left up to the sole discretion of the client and your Inspector will not be able to assist you specifying order of importance. Further, this summary contains only those items identified as "Deficient". There may be other items listed in the full body of the Property Inspection Report that could be important to you and you may consider adding to your repair request if and when applicable. You should read and understand the entire Home Inspection Report prior to completing any repair request. This report contains technical information, if you do not understand or are unclear about some of the information contained in the body of this report; please call the office to arrange for a verbal consultation with your inspector prior to the expiration of any time limitations such as option periods.

Items Needing Further Evaluation

- Roof covering shingles that do not lay flat on the roof deck were observed. Roof covering shingles that do not lay flat on the roof deck were an indication of improper installation, damaged underlayment or other defects. Roof covering shingles that do not lay flat on the roof deck may allow further deterioration of the roof covering, deterioration of the roof structure, water penetration or other damage.
- Exposed nail heads were observed at the roof coverings. Exposed nail heads may allow water penetration and were in need of repair.
- Roof covering drip edge and flashings were observed to be missing, damaged or improperly installed and were in need of repair or replacement. Missing, damaged or improperly installed flashings may allow water penetration.
- Using a thermal imaging camera, there are areas of temperature anomalies in the ceilings which may be indication of missing or damaged insulation. The reason for the temperature anomalies should be further evaluated and repaired as needed.

Safety Items

- There did not appear to be enough smoke alarms located in required locations (SAFETY HAZARD).
- A visible anti-siphon loop or back flow prevention device was not installed at the dishwasher drain line. Some newer dishwashers may have built in anti-siphon devices that are not visible. The buyer is encouraged to consult the owner's manual or contact the manufacturer if an anti-siphon device is not visible. Lack of an anti-siphon device at a dishwasher is a SAFETY HAZARD.

Repair Items

- Cracks and damage were observed in the cosmetic skim coat covering the foundation slab. Cracks in the cosmetic skim coat should be repaired. Moisture penetration may allow further deterioration of the cosmetic skim coat.
- Foundation slab corners have been sheared off (corner pop). This is a common condition in slab on grade foundations and should be repaired. Repairing corner pops is recommended to prevent moisture and wood destroying insect penetration.
- Damaged or improperly installed rain gutters and downspouts should be repaired. Damaged or leaking rain gutters and downspouts create conducive conditions for siding deterioration, soffit/eave damage, roof covering damage, water penetration and inadequate grade drainage.
- Inadequate clearance between exterior siding and roof covering materials was observed. There should be a space between the siding and roof covering. Space between the roof covering and siding provides proper ventilation and prevents water damage to the siding.

- Current construction standards require a kick out flashing at the roof coverings and wall intersections.
- Openings in the eave returns (areas where the soffit meets an adjoining roof surface) should not be large enough to allow entry by pests according to industry standards.
- Wood fencing in contact with the structure creates conducive conditions for wood destroying insects. Wood fencing materials should be trimmed back so as not to be in contact with the exterior wall surfaces.
- Exterior sealants (caulking) were deteriorated or missing in some areas. Sealants applied in appropriate locations prevents moisture intrusion and insect penetration.
- Weep holes were not installed in the brick/stone masonry above the exterior doors in required locations. Under current building standards, weep holes should be installed in the brick/stone masonry above exterior doors to provide proper wall ventilation.
- Weep holes were not installed in the brick/stone masonry above the windows in required locations. Under current building standards, weep holes should be installed in the brick/stone masonry above windows to provide proper wall ventilation.
- Cosmetic damages to interior wall coverings, drywall, texture and paint were observed to be in need of repair.
- Cosmetic damages to ceiling drywall, texture and paint should be repaired.
- At least one interior ceiling crack was observed which is an indication of structural settling, movement or other defects. Ceiling drywall, texture and paint cracks should be repaired and monitored over time for additional movement. If concerns about the foundation performance exist, the inspector recommends further evaluation by a certified, licensed foundation specialist.
- Missing sealant should be repaired to avoid water penetration.
- The floor covering was noticeably damaged and was in need of repair or replacement.
- The floor covering was noticeably stained and was in need of cleaning.
- Interior doors were observed to rub, stick or hit the door frames. The cause of doors sticking or hitting door frames should be determined and repaired as needed.
- All exterior doors should have door stops installed to prevent damage to adjacent interior wall coverings.
- Damaged or missing exterior door weather stripping should be replaced. Missing or damage exterior door weather stripping creates conducive conditions for moisture intrusion and conditioned air loss.
- Garage entry doors should have installed operational self closing hinges according to today's Texas Standards of Practice . Per Texas Standards of Practice we are required to report this condition as a deficiency because it is no longer an excepted building standard.
- The overhead garage door appeared to lack a lift handle. Garage overhead doors should have installed at least one interior lift handle in accordance with manufacturer's instructions.
- The windows need sealant between the window frames and interior wall cladding. Lack of, damaged or deteriorating sealant around window frames should be repaired as needed.
- The window frames were observed to be damaged. Damaged windows may allow moisture penetration, conditioned air loss and insect penetration and should be repaired.
- Damaged window screens were observed. Window screens help protect window glass from minor impact damage and prevent insect penetration at the windows. Damaged window screens should be repaired or replaced.
- Electrical receptacles, switches and or covers were observed to be loose, damaged, missing or missing screws and were in need of repair. Damaged or missing electrical receptacles or switches should be repaired by a certified, licensed electrical specialist.
- Inoperative ceiling fans were observed to be in need of repair or replacement.
- Dirty heating equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty or damaged heating equipment air filters may result in damage to the heating equipment.
- Dirty cooling equipment air filters may not perform as intended and should be replaced as needed or per manufacturer instructions. Dirty or damaged cooling equipment air filters may result in damage to the cooling equipment.
- The cooling equipment condensation overflow pan or drain lines installed above ceilings were not equipped with water or moisture sensors/alarms. Cooling equipment condensation drain pans or drain line sensors and alarms should be

installed at cooling equipment installed above ceilings for additional protection against water damage.

Erosion underneath the exterior HVAC equipment support pad was observed. Erosion underneath the exterior HVAC equipment may result in equipment damage, inadequate performance, or other defects and should be repaired.

Leaking exterior water supply hose bibs should be repaired or replaced as needed.

The tub/shower tile grout and sealants were observed to be in need of repair or replacement to prevent water penetration at interior walls.

Roof penetration plumbing vent boots were damaged and may allow water penetration. Replacement is recommended.

The gas cooktop burner caps were missing. The missing cooktop gas burner caps should be replaced as needed.

Damaged mechanical exhaust vent covers should be replaced.

Loose mechanical exhaust vents covers at the ceiling should be repaired.

Improvement & "As Built Condition" Items

Inadequate grade slope away from the structure was observed.

The secondary roof rain gutter lacks a downspout. Lack of a downspout at secondary roof rain gutters may allow localized deterioration and premature wear of the roof covering materials.

Items To Monitor

There is a subsurface or below grade drainage system installed. The inspector has no way of knowing if below grade drainage systems are performing as intended. The inspector recommends that the below grade drainage system be monitored for performance.