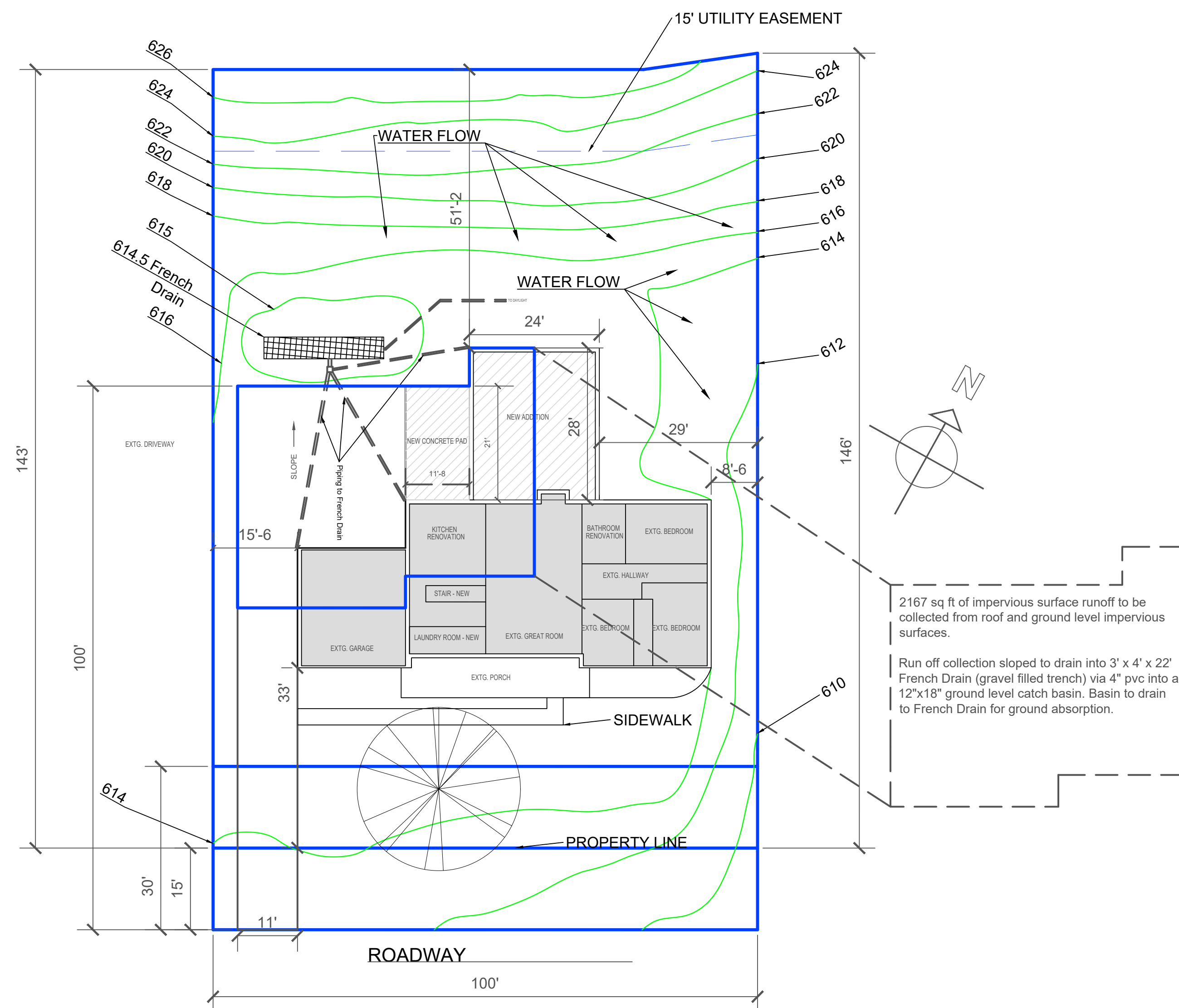




PROJECT INFO
 CODE: IRC 2021, 2014 NEC
 OCCUPANCY: R
 BUILDING TYPE: 5B UNPROTECTED

ADDITION TO 1 STORY RANCH WITH BASEMENT
 AREA: 1707 SQUARE FOOT EXIST
 1 STORY SLAB ON GRADE ADDITION
 AREA : 672 SQUARE FEET



Storm Water Calculations

EXISTING	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	2968	0.187	0.068		3.54
GRAVEL					0.241
PAVEMENT - DRIVE	1698	0.107	0.039		3.54
PAVEMENT - SIDEWALK	152	0.010	0.003		3.54
MASONARY - PATIO	240	0.015	0.006		3.54
total	2090	7.037	0.048		3.54
LAWN	10393	0.656	0.239		1.7
LANDSCAPE PLANTER	297	0.019	0.007		1.7
total	10690	0.675	0.245		1.7
TOTALS	15831	100.00%	0.363		0.828

PROPOSED	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	4087	0.258	0.094		3.54
GRAVEL					0.332
PAVEMENT - DRIVE	1698	0.107	0.039		3.54
PAVEMENT - SIDEWALK	152	0.010	0.003		3.54
MASONARY - PATIO	245	0.015	0.006		3.54
total	2095	7.054	0.048		3.54
LAWN	10393	0.656	0.239		1.7
LANDSCAPE PLANTER	297	0.019	0.007		1.7
total	10690	0.675	0.245		1.7
TOTALS	15831	100.00%	0.363		0.9196

.092 CFS OF ADDITIONAL RUNOFF WILL NEED TO BE COLLECTED
 $.092 / 3.54 * 43560 = 1132.07$ SQ FT MIN IMPERVIOUS SURFACE
 $1132.07 * 0.095 = 107.54$ CF OF WATER TO BE TREATED
 ASSUMING 40% POROSITY = 268.85 CF OF ROCK IS REQUIRED
 USING A 4' ROCK DEPTH = 67 SF
 3' WIDE X 4' DEEP TRENCH = 22 LINER FEET
 (3' X 4' X 22ft = 268.85 CF)

PLAN AREAS	AREA (SF)	REMARKS
NEW ADDITION	672 SF	24' x 28'
EXISTING HOUSE (PER COUNTY)	1707 SF	
EXISTING GARAGE (PER COUNTY)	484 SF	

PROPERTY EASEMENT	REAR 15 FT
PROPERTY SETBACKS	FRONT 30'
	RIGHT 8.5FT
	LEFT 15.5FT
	REAR 51.2FT

FLOOR AREA:	EXISTING	PROPOSED	TOTAL
	1707 SF	672 SF	2379 SF

IMPERVIOUS AREA	EXISTING	PROPOSED	TOTAL
	5058 SF	6182 SF	1124 SF

HEIGHT OF ADDITION	13'-1"
ROOF MATERIAL/ COLOR	BLACK
MASONARY COLOR:	MATCH EXISTING HOUSE
SIDING COLOR	WHITE TO MATCH
TRIM AND ACCENT COLOR	WHITE/BLACK
WINDOW MFG & STYLE	SIMONTON DBL HNG
DEMO AND RECYCLING	EXISTING SIDING TO MAINTAINED EXISTING BRICK TO BE MAINTAINED

DRAWING INDEX

- AO - COVER SHEET AND NOTES
- A1.0 - FOUNDATION PLAN
- A2.0 - EXISTING AND DEMO
- A3.0 - FLOOR PLAN
- A4.0 - ELECTRICAL PLAN
- A5.0 - BASEMENT PLAN
- A5.0 - CROSS SECTION - ROOF PLAN
- A7.0 - ELEVATIONS
- A8.0 - ELEVATIONS
- A9.0 - NOTES

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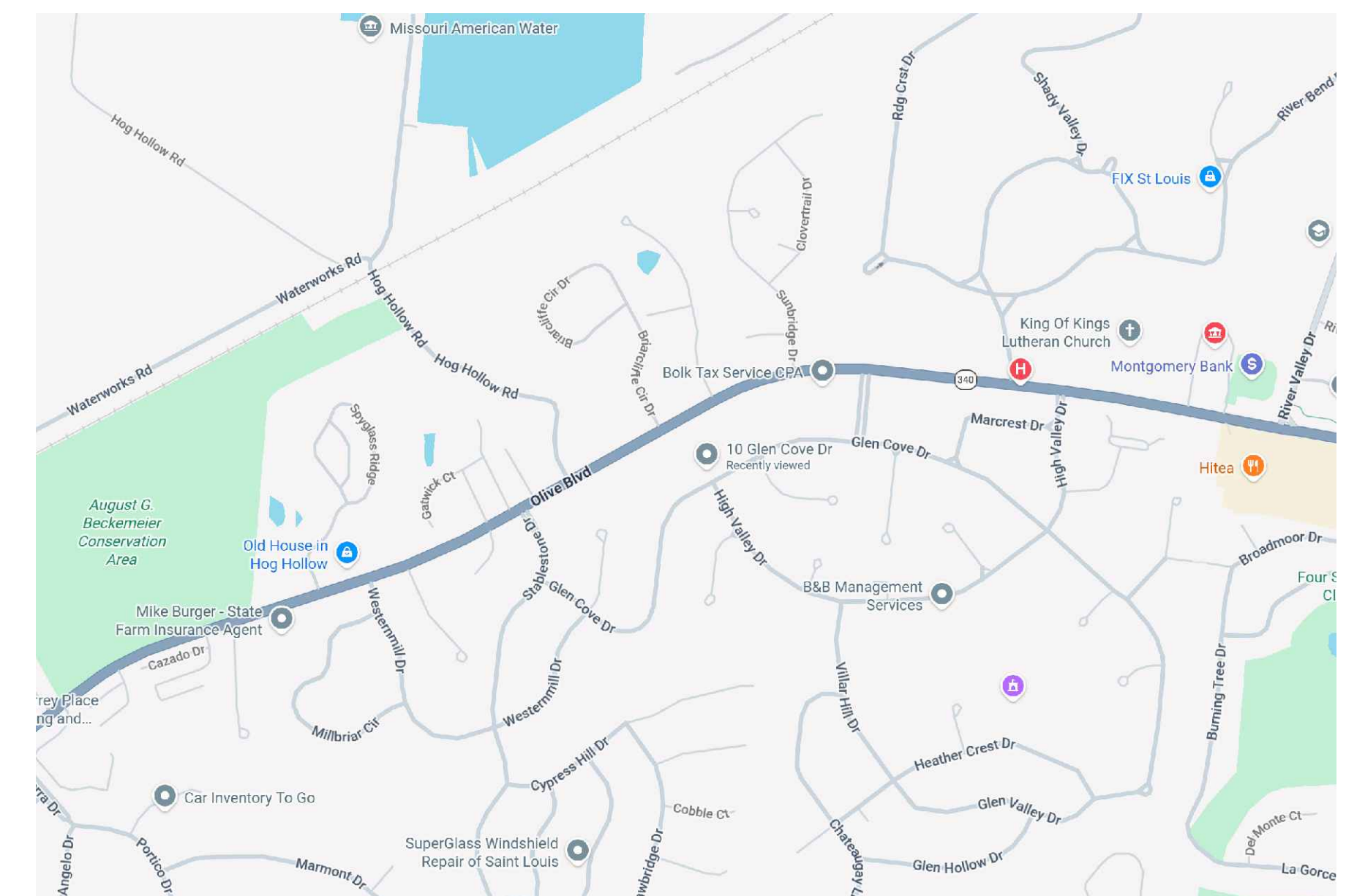
PLANS, ELEVATIONS AND DETAILS
 NEW ADDITION, KITCHEN AND
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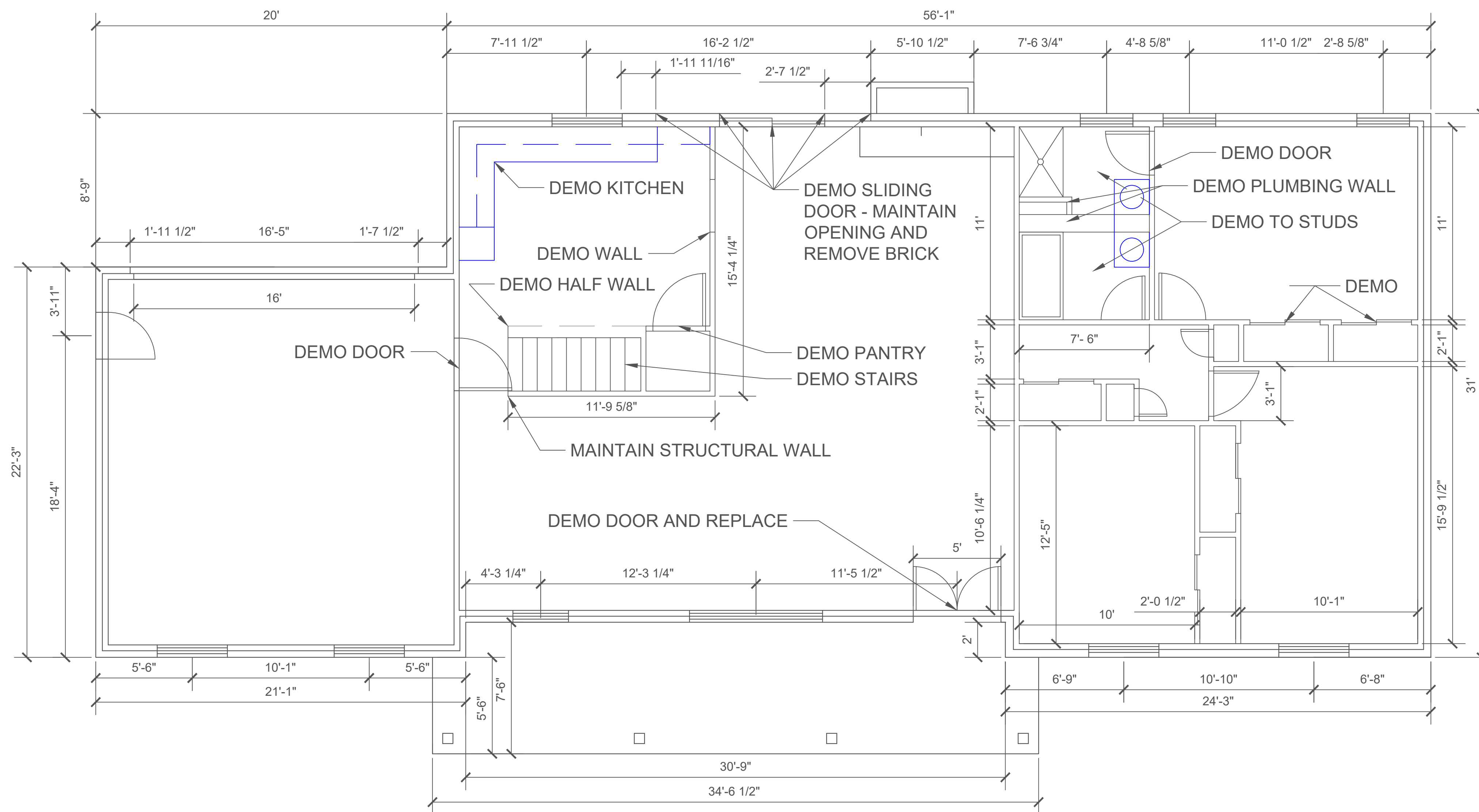
ISSUE DATE: 1/7/26
 PROJECT #: 62612



Area Map

DEMO NOTES:

- REMOVE ALL FLOORING AND SCREW DOWN SUBFLOOR
- REMOVE BATHROOM TILE AND FLOORING
- REMOVE KITCHEN AND BATHROOM CABINETS
- REMOVE INTERIOR DOORS
- REMOVE BASEBOARD TRIM AND CROWN
- REMOVE 1/2 WALL AND PANTRY WALLS IN KITCHEN - MAINTAIN BEARING WALL
- REMOVE ALL PLUMBING FIXTURES
- ALL WINDOWS ARE TO BE REMAIN - REPLACE BROKEN KITCHEN WINDOW
- REMOVE GARAGE 3'0" DOOR - RELOCATE AND REPLACE WITH FIRE-RATED
- REMOVE CAST IRON PLUMBING - ABOVE GRADE
- COPPER PIPING TO REMAIN - EXCEPT BATHROOM
- DEMO STAIRS
- MAINTAIN ALL COMPONENTS OF THE FIREPLACE
- REMOVE GLASS CLOSET DOORS
- REMOVE CLOSET SHELVING
- REMOVE AND REPLACE HOT WATER HEATER
- HVAC UNIT AND DUCTWORK TO REMAIN
- REMOVE FOUNDATION WINDOW AND REPLACE WITH EGRESS WINDOW AND WELL
- REMOVE LAUNDRY CONNECTION IN BASEMENT
- OVERHEAD GARAGE DOOR TO REMAIN



EXISTING FLOOR PLAN - DEMO PLAN
SCALE 1/4" = 1'

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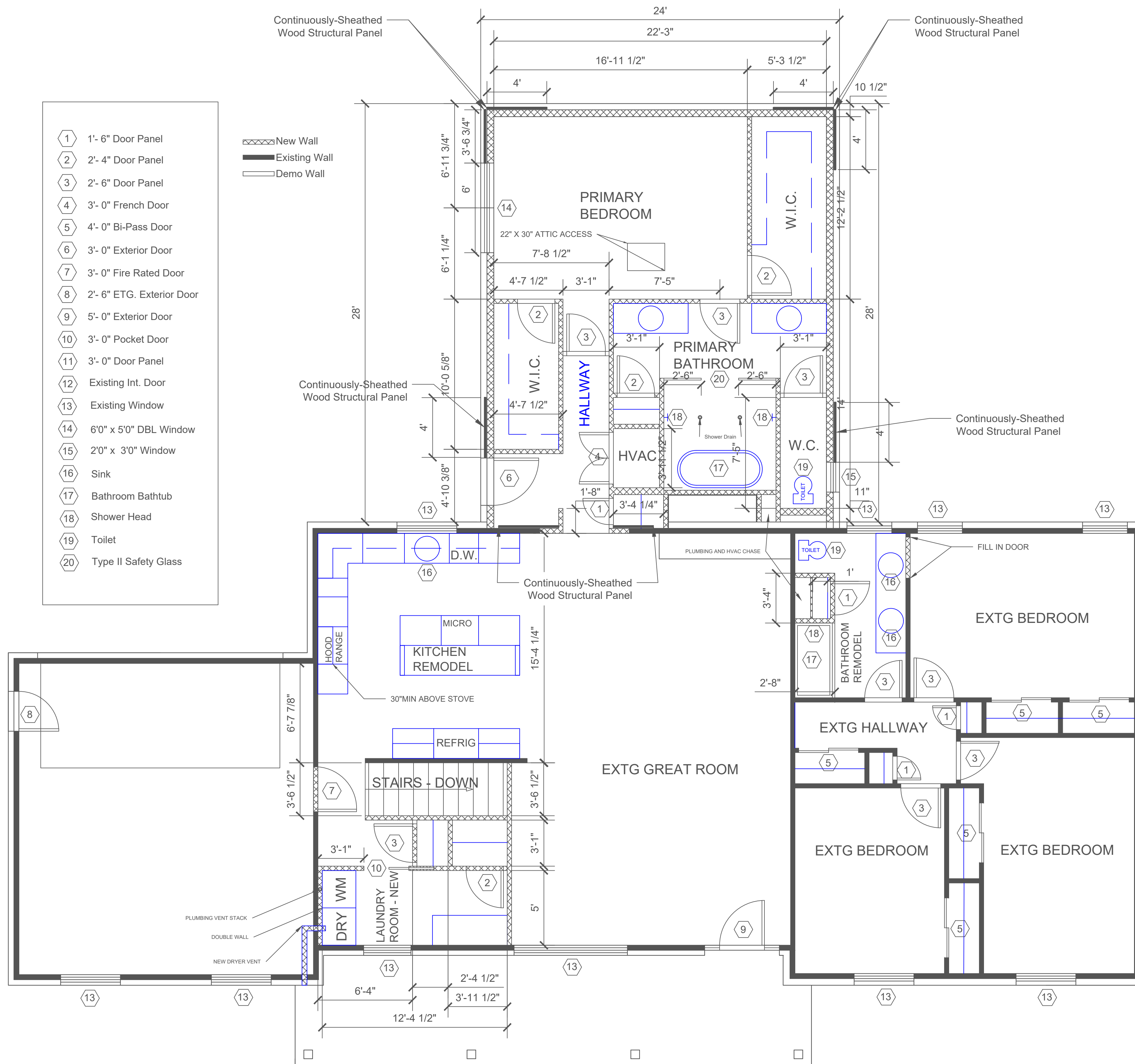
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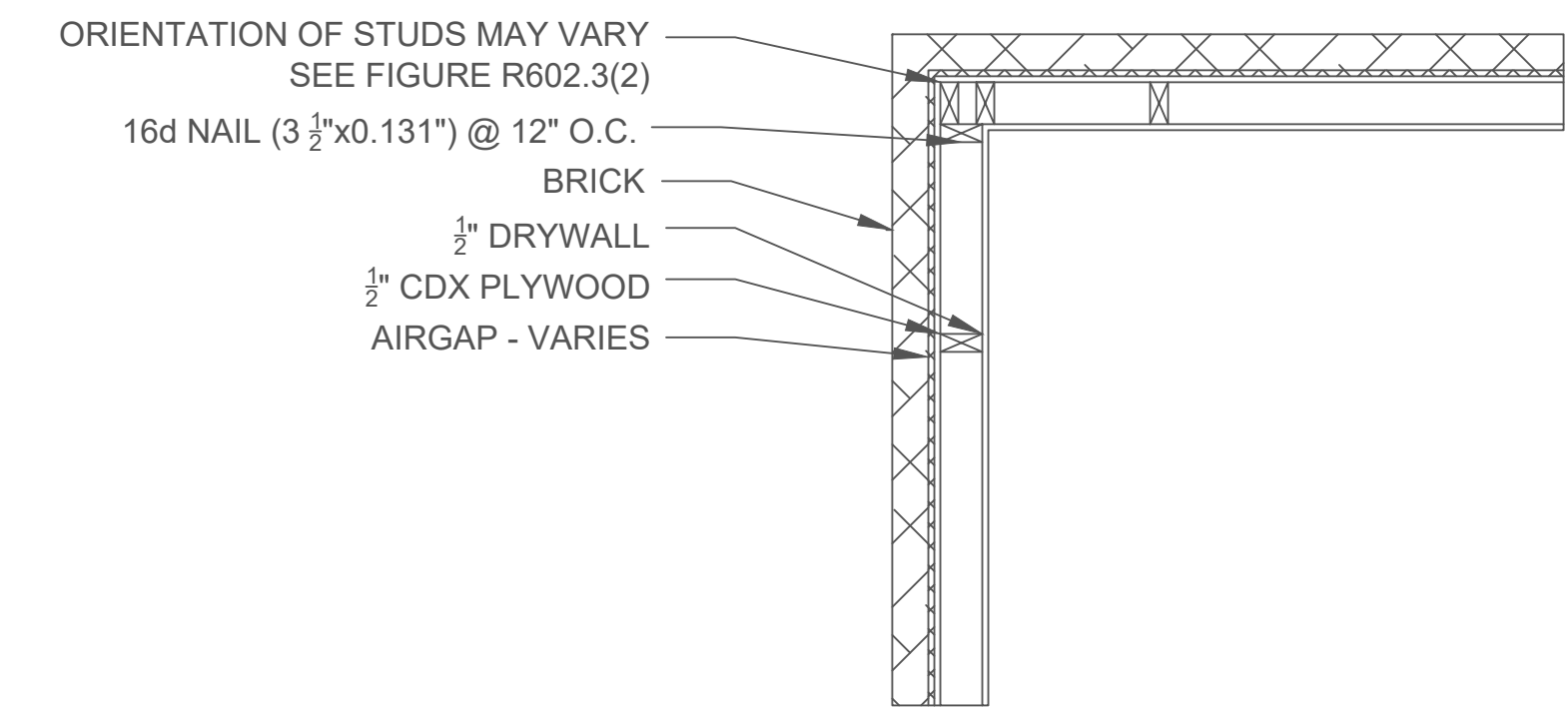
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PROJECT #: 62612

WALL BRACING METHODS:

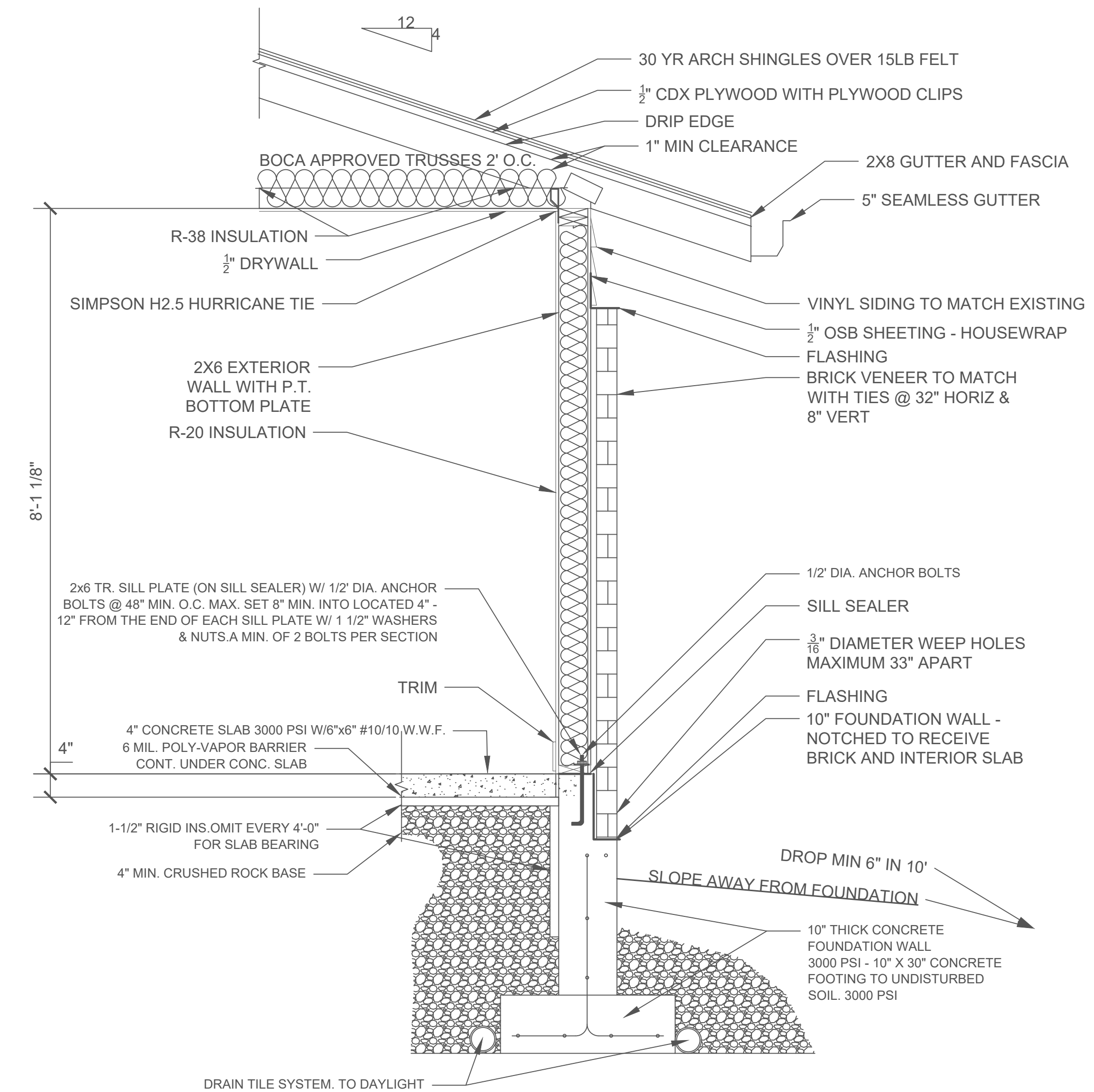
CONTINUALLY SHEATHED WOOD STRUCTURAL PANEL - USE $\frac{7}{16}$ " OSB SHEATHING ON EXTERIOR AND $\frac{1}{2}$ " GYPSUM ON THE INTERIOR. REQUIRED UNLESS NOTED OTHERWISE ON PLAN. FASTEN OSB WITH 8d COMMON NAILS (2-1/2" X 0.131) @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN THE FIELD. ALL HORIZONTAL JOINTS SHALL BE BLOCKED



MAIN FLOOR PLAN
SCALE 1/4" = 1'



EXISTING EXTERIOR WALL DETAIL
SCALE - NOT TO SCALE



FOUNDATION AND WALL DETAIL
SCALE 3/4" = 1'

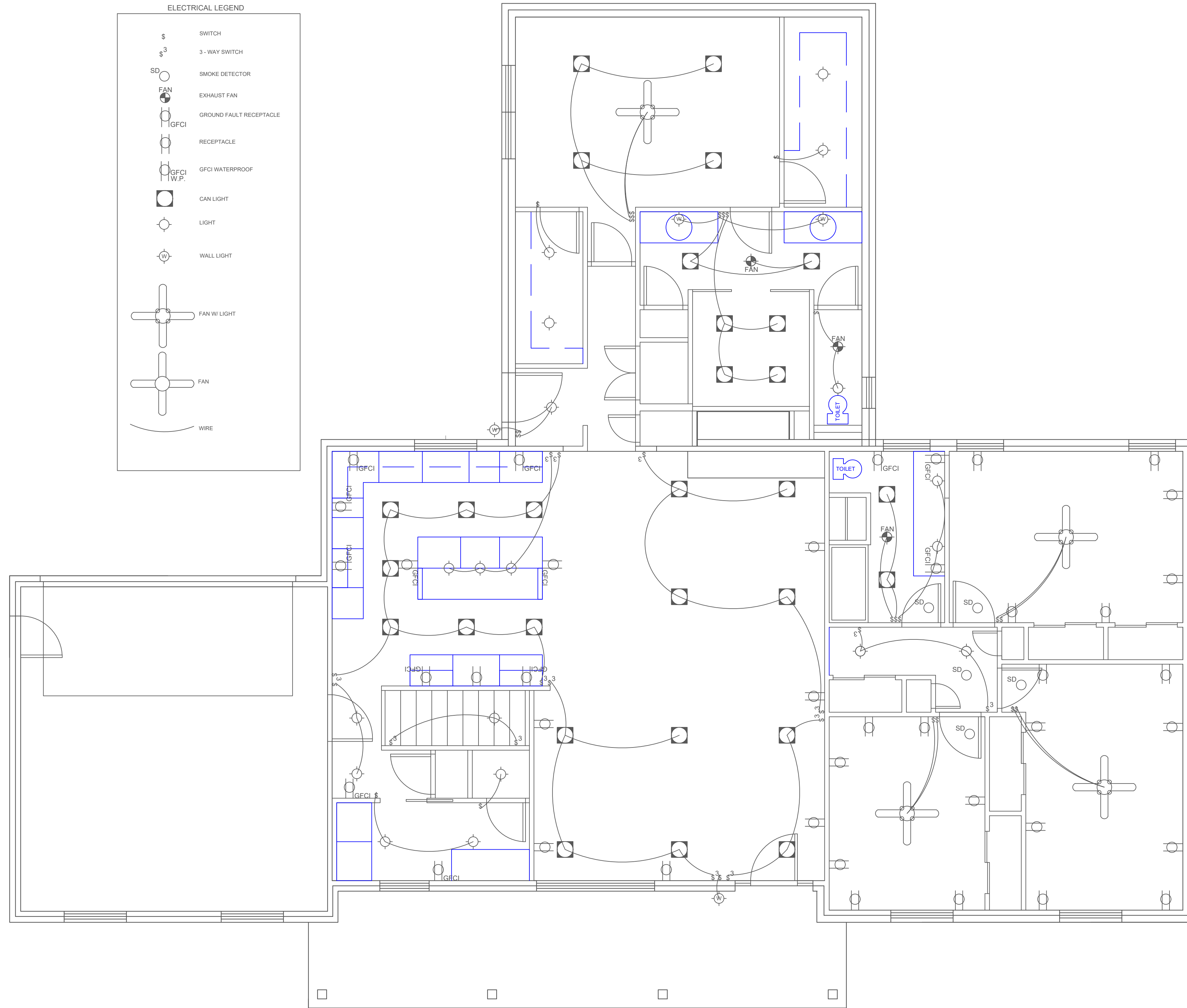
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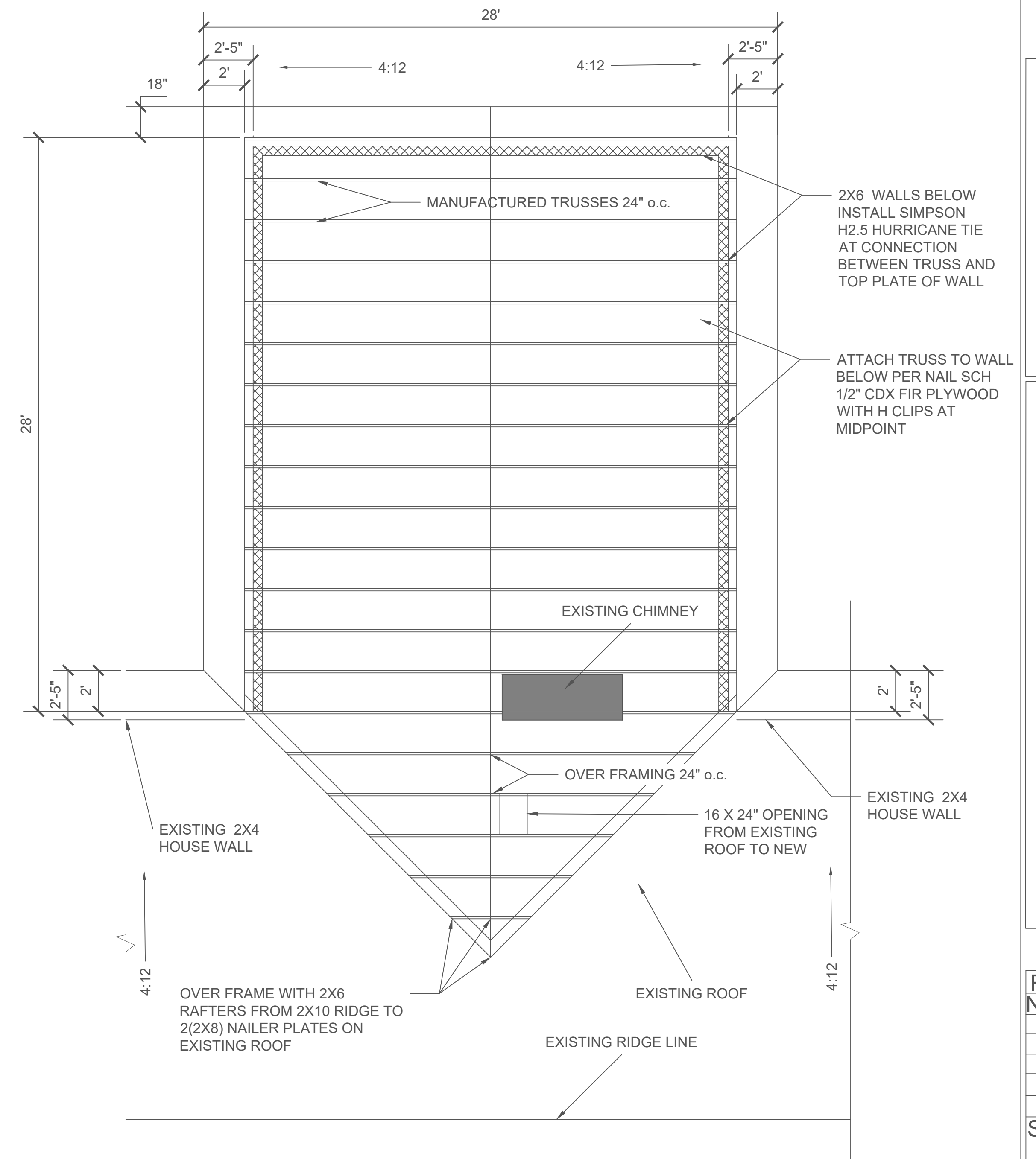
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SHEET NO.		
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ISSUE DATE: 1/7/26		
PROJECT #: 62612		

ELECTRICAL LEGEND

S	SWITCH
S ³	3-WAY SWITCH
SD	SMOKE DETECTOR
FAN	EXHAUST FAN
IGFCI	GROUND FAULT RECEPTACLE
RECP	RECEPTACLE
IGFCI W.P.	GFCI WATERPROOF
CL	CAN LIGHT
L	LIGHT
WL	WALL LIGHT
FAN W/L	FAN W LIGHT
FAN	FAN
---	WIRE



MAIN FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'



ROOF FRAMING PLAN
SCALE 1/4" = 1'

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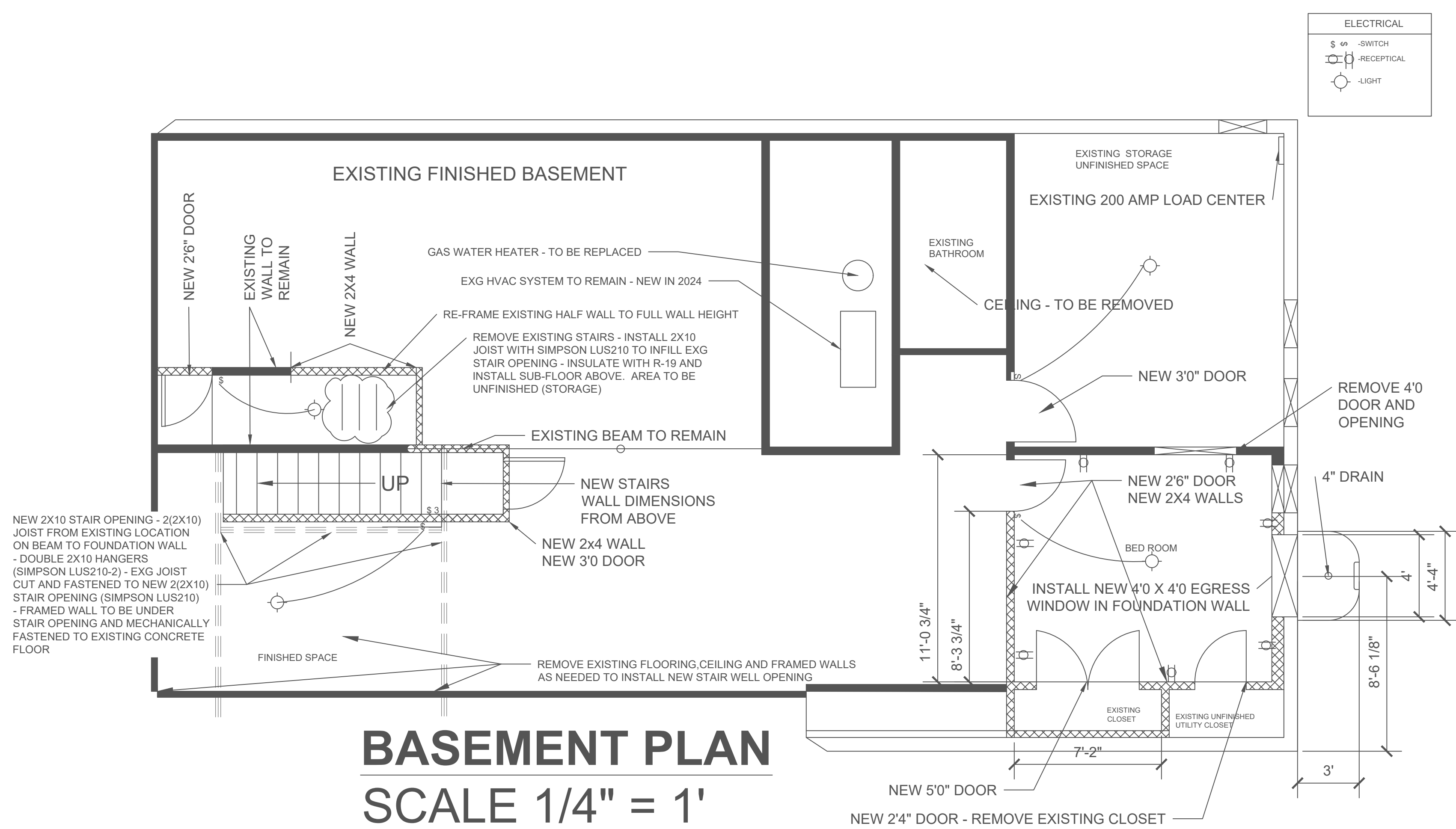
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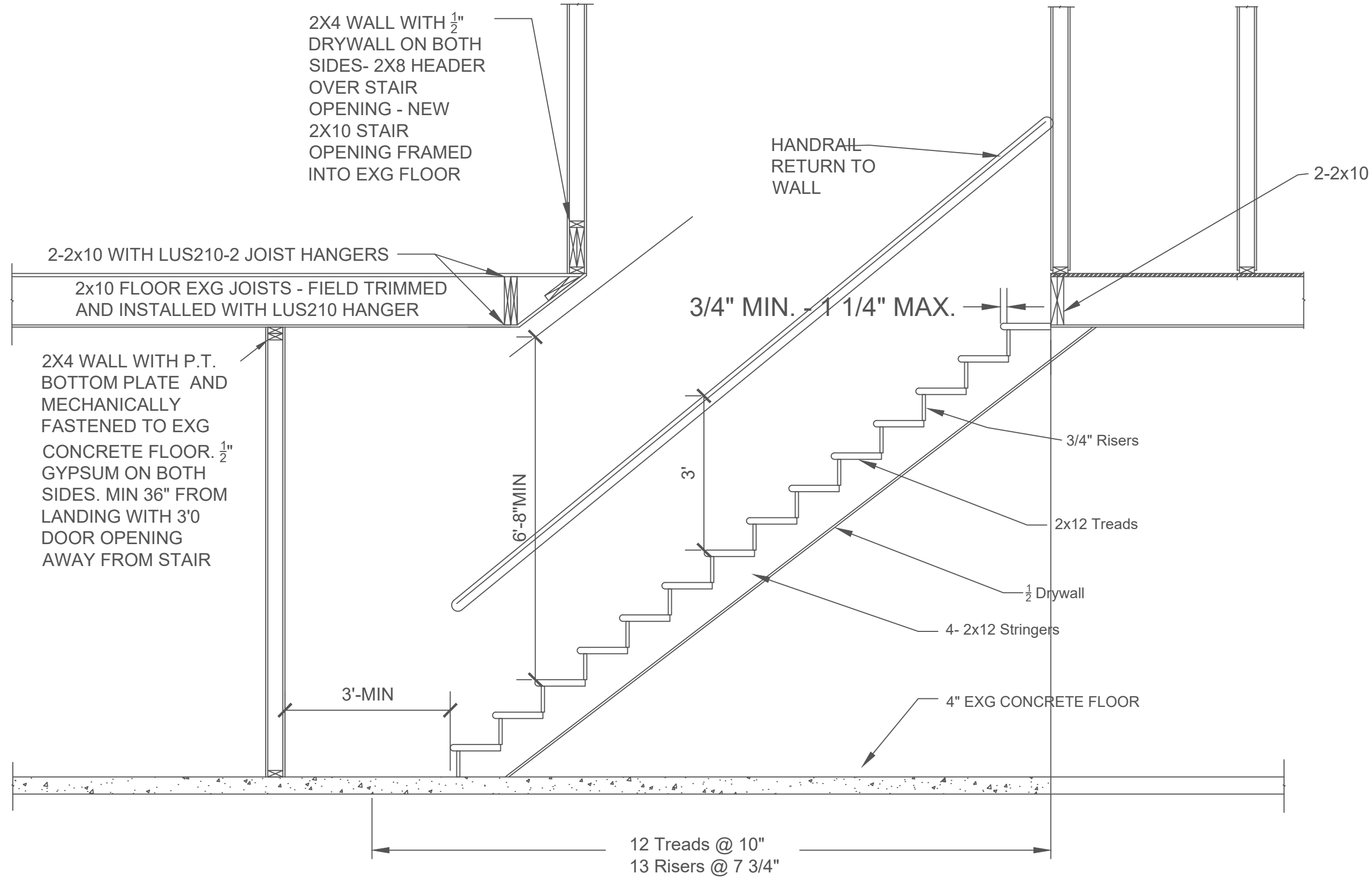
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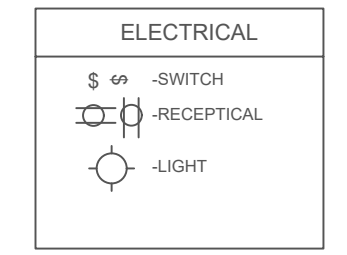
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PROJECT #: 62612



BASEMENT PLAN
SCALE 1/4" = 1"



STAIR DETAIL
SCALE 1/2" = 1"



2021 IRC TABLE 602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
Roof			
1	Blocking between ceiling joists or rafters to top plate, toe nail	4-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-2" x 0.131" nails	Toe Nail
2	Ceiling joists to top plate, toe nail	4-8d box (2-1/2" x 0.113"); or 3-8d common (2-1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-2" x 0.131" nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter, laps over partitions, face nail	4-10d box (3" x 0.128"); or 3-16d common (3-1/2" x 0.162"); or 4-2" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint)	Table R602.5.2	Face nail
5	Collar tie to rafter, face nail or 1-1/4" x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-10d common (3" x 0.148"); or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3-1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-2" x 0.131" nails	2 toenails on one side and 1 toe nail on opposite side of each rafter or truss()
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3-1/2" x 0.135"); or 3-10d common (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-2" x 0.131" nails	Toe nail
Wall			
8	Stud to stud (not at braced wall panels)	3-16d box 3-1/2" x 0.135"; or 2-16d common (3-1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-2" x 0.131" nails	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3-1/2" x 0.135"); or 3" x 0.131" nails	16" o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3-1/2" x 0.162"); or 16d box (3-1/2" x 0.135")	16" o.c. each edge face nail
11	Continuous header to stud	5-8d box (2-1/2" x 0.113"); or 4-8d common (2-1/2" x 0.131"); or 4-10d box (2" x 0.128")	Toe nail
12	Top plate to top plate	16d common (3-1/2" x 0.162"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	16" o.c. face nail
13	Double top plate splice	8-16d common (3-1/2" x 0.162"); or 12-16d box (3-1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
14	Bottom plate to joist, rim joist, band joist or blocking (not at braced wall panels)	16d common (3-1/2" x 0.162"); or 16d box (3-1/2" x 0.135"); or 3" x 0.131" nails	16" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel) blocking (at braced wall panel)	3-16d box (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2-1/2" x 0.113"); or 3-16d box (3-1/2" x 0.135"); or 4-8d common (2-1/2" x 0.131"); or 4-10d box (2" x 0.128"); or 4-2" x 0.131" nails	Toe nail
17	Top plates, laps at corners and intersections	3-16d box (3-1/2" x 0.135"); or 2-16d common (3-1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-2" x 0.131" nails	End nail
18	1" brace to each stud and plate	3-10d box (3" x 0.128"); or 2-16d common (3-1/2" x 0.162"); or 3-3" x 0.131" nails	Face nail

TABLE 602.13.3 BASIC BRACING PANEL WIDTHS					
		WIDTH OF SOLID PANEL a, b			
		8' WALL HEIGHT	9' WALL HEIGHT	10' WALL HEIGHT	12' WALL HEIGHT
PLYWOOD/OSB PANEL	3:01	32"	36"	40"	48"
SIMPLIFIED PORTAL WALL c	6:01	16" d	18" d	20" d	24" d

a. Linear interpolation is permitted
b. Wall height is the vertical distance from the bottom of the sole/sill plate to the top of the double top plate. An additional 2 inch variation in height is allowed for pre-cut stud framing.
c. The BASIC Portal Wall, where applicable, shall be constructed in accordance with the detail provided in Figure R602.13.3. The detail shall then be provided in the construction drawings submitted for a permit.
d. The BASIC Portal Wall width assumes the beam is placed directly under the top plate of the wall. A smaller width may be calculated for a lower top beam height using the 6:1 height to width ratio.

Exterior Wall Element	Minimum Fire-Resistance Rating	Minimum Fire Separation Distance
WALLS	Fire-resistance rated	1 hour - tested in accordance with ASTM E 119 or UL 263 with exposure from both sides
	Not fire-resistance rated	0 hours
PROJECTIONS	Fire-resistance rated	1 hour on the underside (a, b)
	Not fire-resistance rated	0 hours
OPENINGS IN WALLS	Not allowed	N/A
	25% maximum of wall area	0 hours (Not Allowed)
PENETRATIONS	Unlimited	0 hours (Not Allowed)
	All	Comply with Section R302.4

MINIMUM INSULATION (R-Values) & MAXIMUM FENESTRATION (U-factors & SHGCs) REQUIREMENTS (SLCO Rev. Ord. Table N1102.1.2)	
Roof Ceiling	R-38
Wood Frame Walls & Band Joists/Boards adjoining exterior or unconditioned spaces	R-15
Floor over exterior space or unconditioned space or unheated Crawl Space	R-19
Concrete/Masonry Basement Foundation Walls For Unfinished Basement Areas For Finished Basement Areas	R-5 / R-13
R-10 no ductwork in slab R-15 ductwork in slab	R-10 no ductwork in slab R-15 ductwork in slab
Crawl Space Wall (No Insulation Required if Naturally Vented)	R-5
Access, Doors & Hatches (SLCO Rev. Ord. N1102.2.4)	Insulate Equal to R-Value of Surrounding Wall or Ceiling
Fenestration U-Factor (Includes Doors, Excludes Skylights)	0.34 Max.
Skylight U-Factor	0.55 Max.

2021 IRC TABLE 602.3(3) REQ. FOR WOOD STRUCTURAL WALL SHEATHING USED TO RESIST WIND PRESSURES						
SIZE	PENETRATION (inches)	MIN WOOD STRUCTURAL PANEL SPAN RATING	MIN NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING	
					EDGES (inches O.C.)	FIELD (inches O.C.)
6d COMMON (2.0 X 0.113")	1.5	24/0	16	6	12	110 110 90 85
8d COMMON (2.5 X 0.131")	1.75	24/16	16	6	12	130 130 110 105
			24	6	12	110 110 90 85

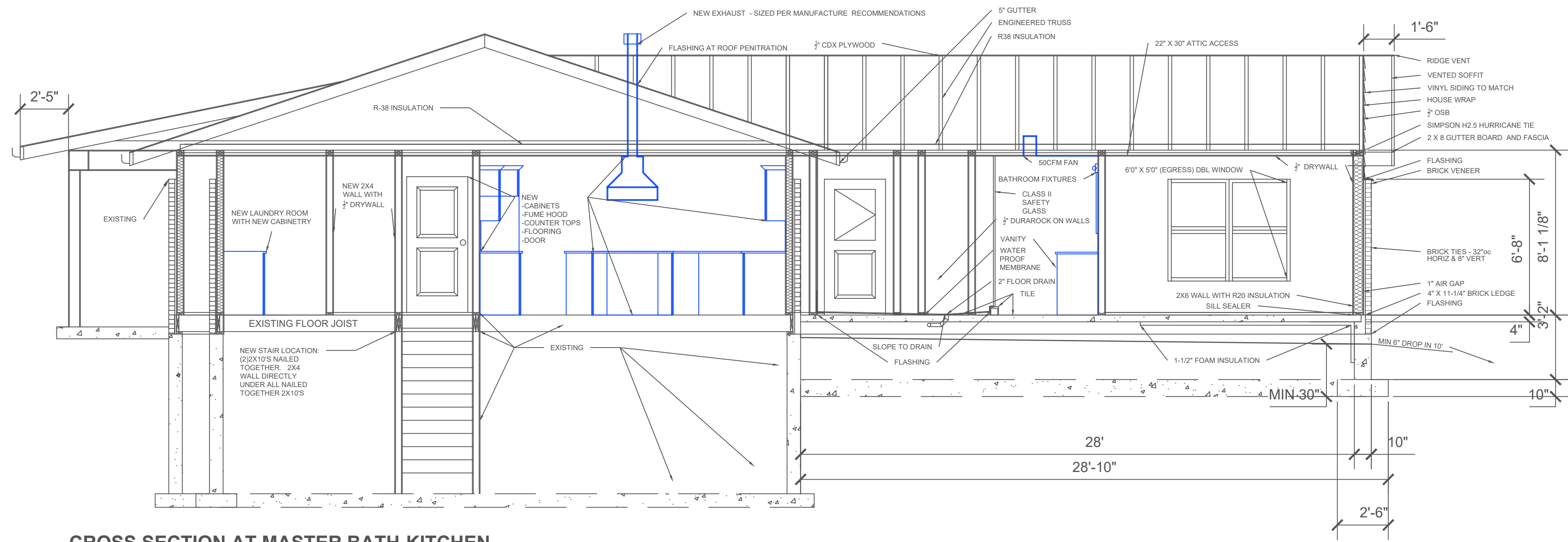
Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs space more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with R602.10.
Wood Structural Panels with span rating of Wall-16 or Wall-24 shall be permitted as an alternative to panels with a 24/0 span rating. Plywood siding rated 16 oc or 24 oc shall be permitted as an alternative to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 oc shall be used with studs spaced a maximum of 16 inches on center.

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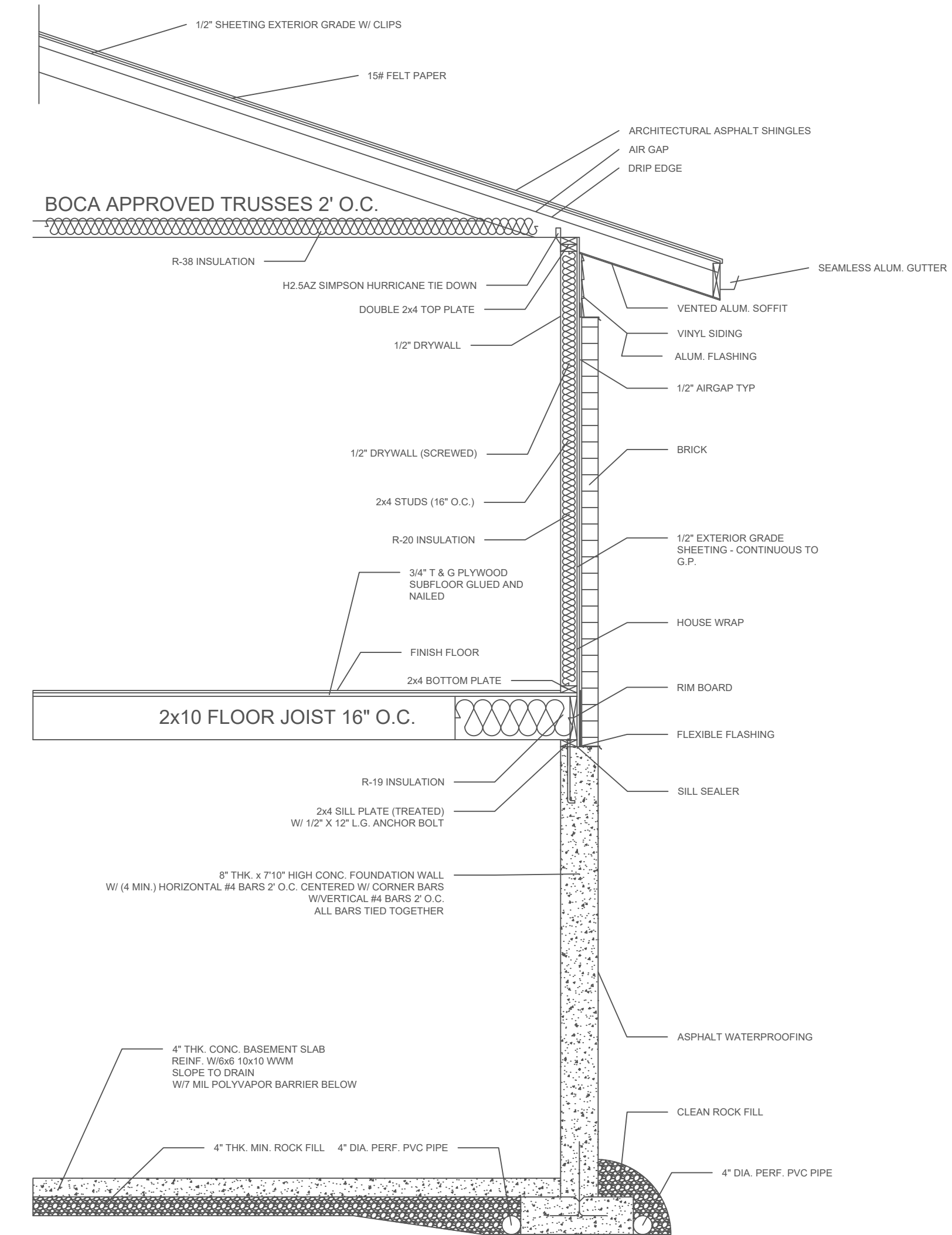
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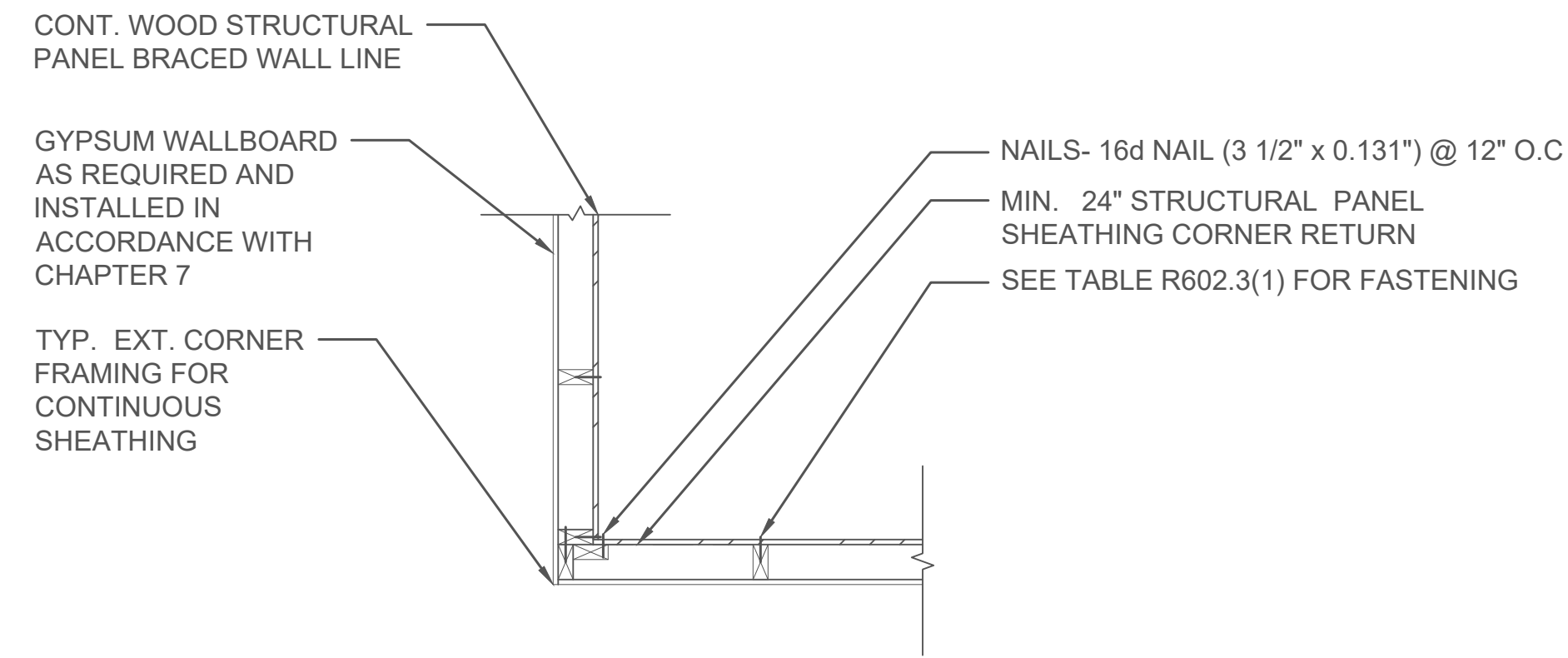
SHEET NO.
A5
ISSUE DATE: 1/7/26
PROJECT #: 62612



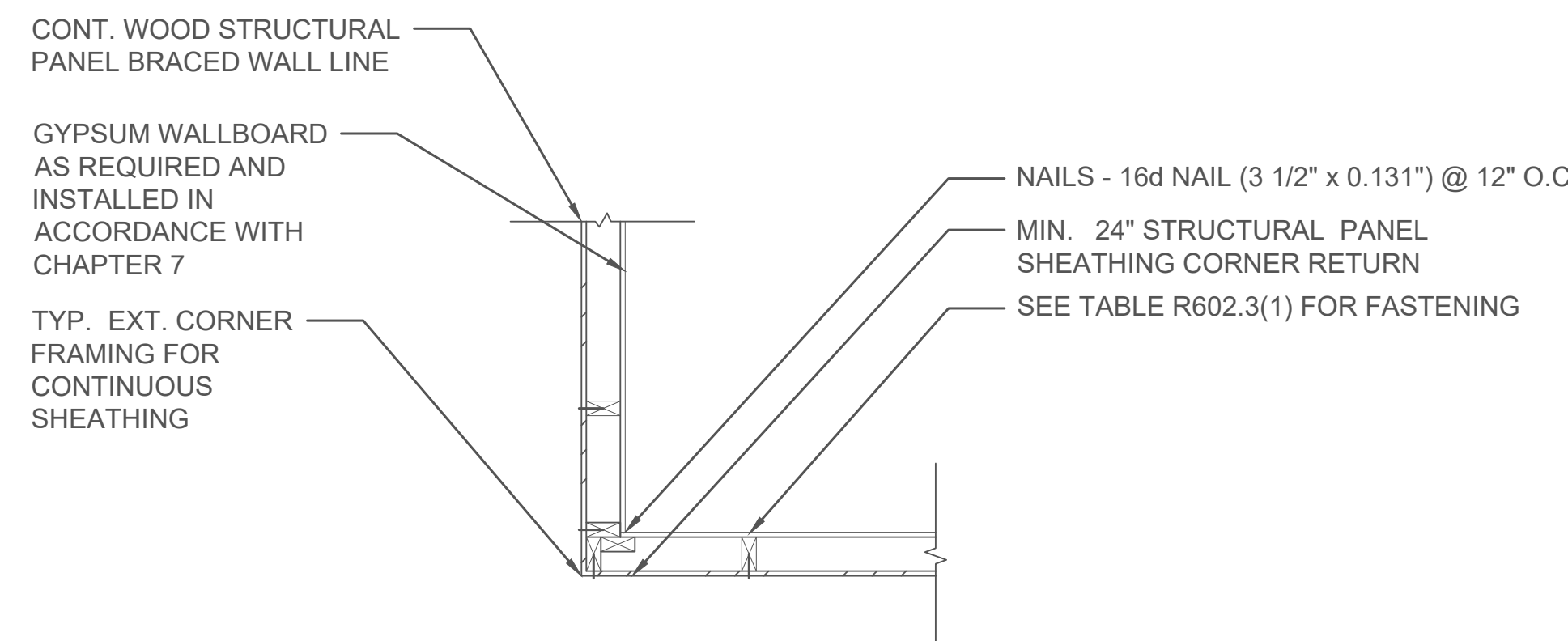
CROSS SECTION AT MASTER BATH-KITCHEN
SCALE 1/4" = 1'



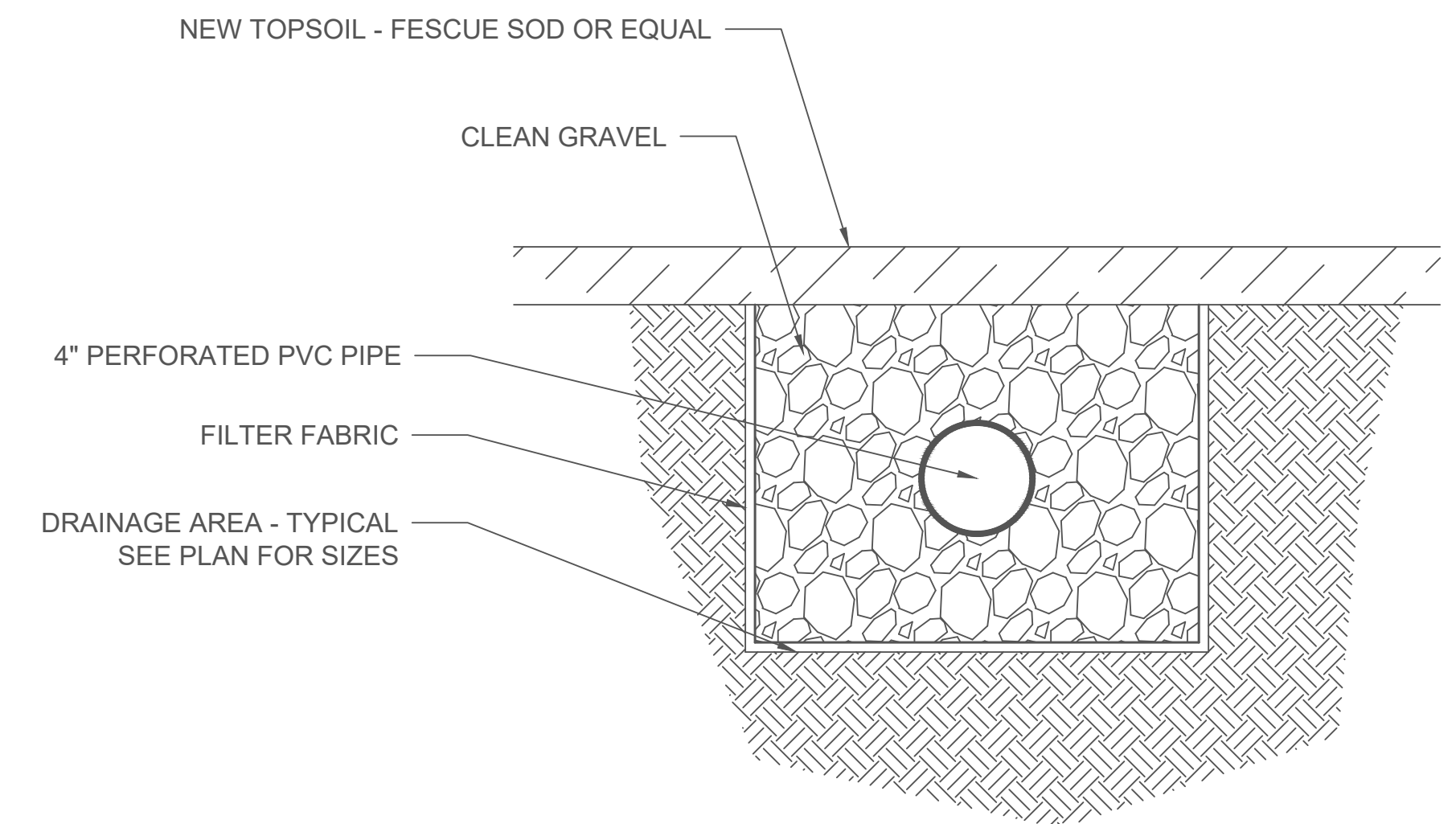
TYP. WALL SECTION
SCALE 1/2" = 1'



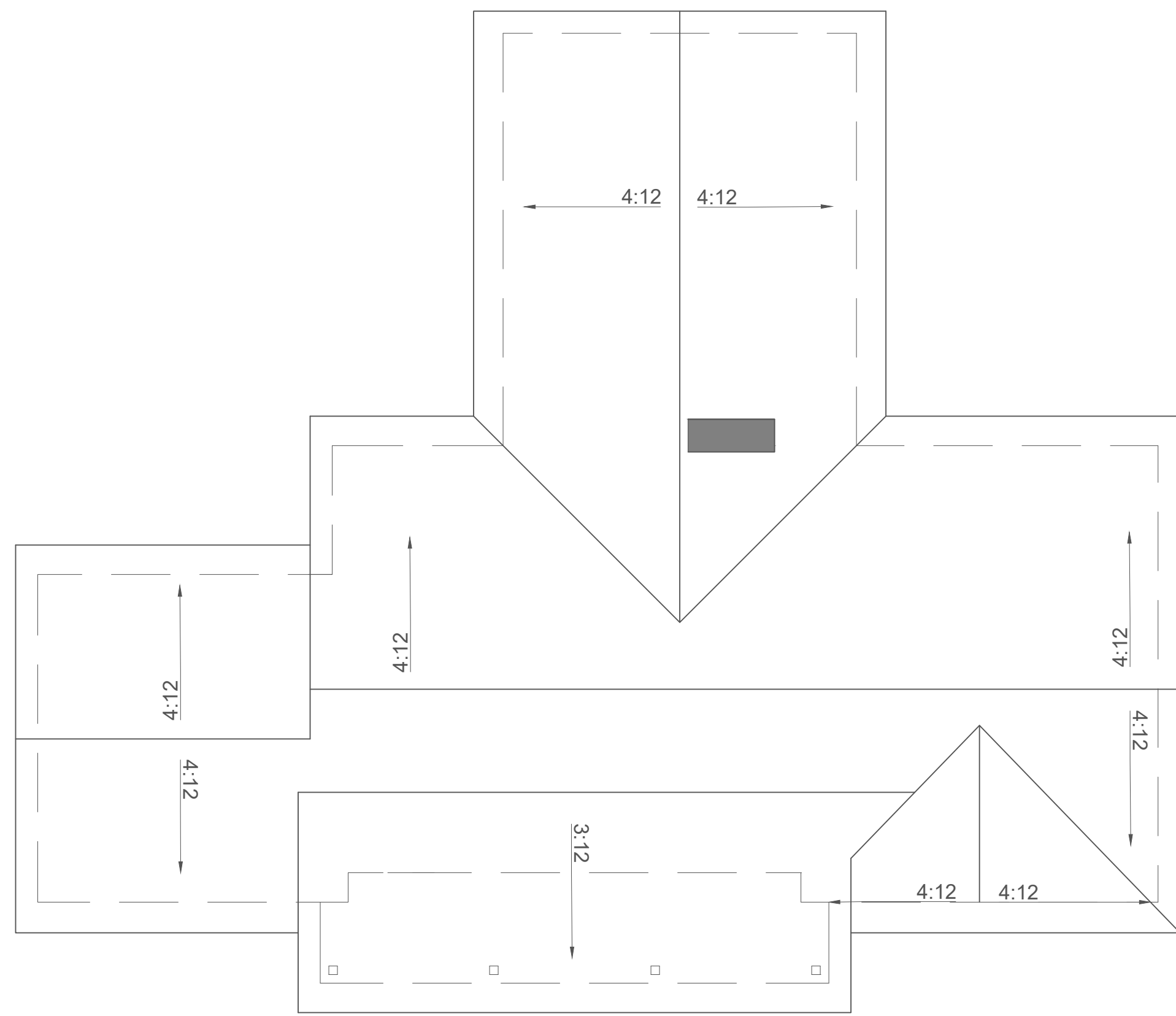
INSIDE CORNER DETAIL
SCALE 3/4" = 1'



OUTSIDE CORNER DETAIL
SCALE 3/4" = 1'



FRENCH DRAIN DETAIL
SCALE 3/4" = 1'



ROOF PLAN
SCALE 1/8" = 1'

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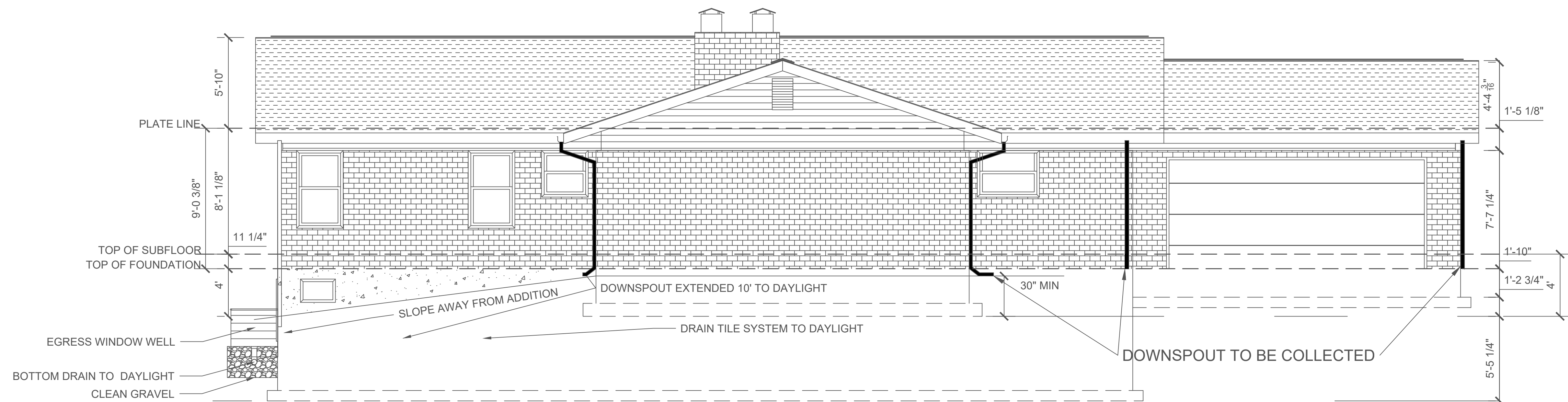
SHEET NO.

A6

ISSUE DATE: 1/7/26
PROJECT #: 62612



FRONT ELEVATION
SCALE 1/4" = 1'



REAR ELEVATION
SCALE 1/4" = 1'

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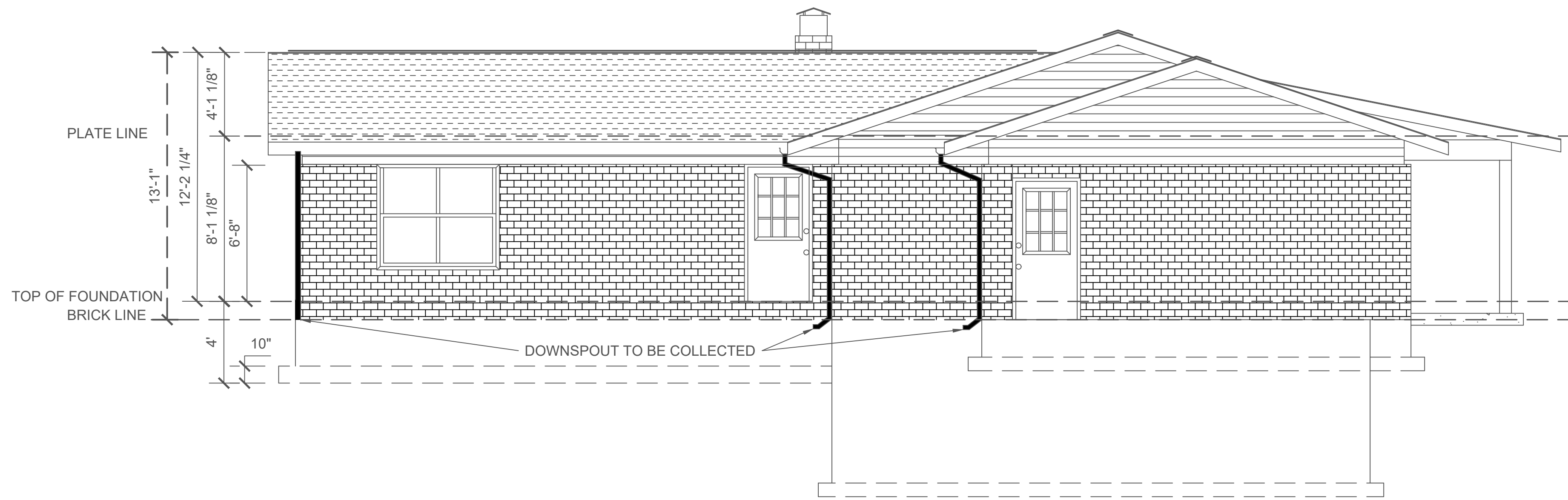
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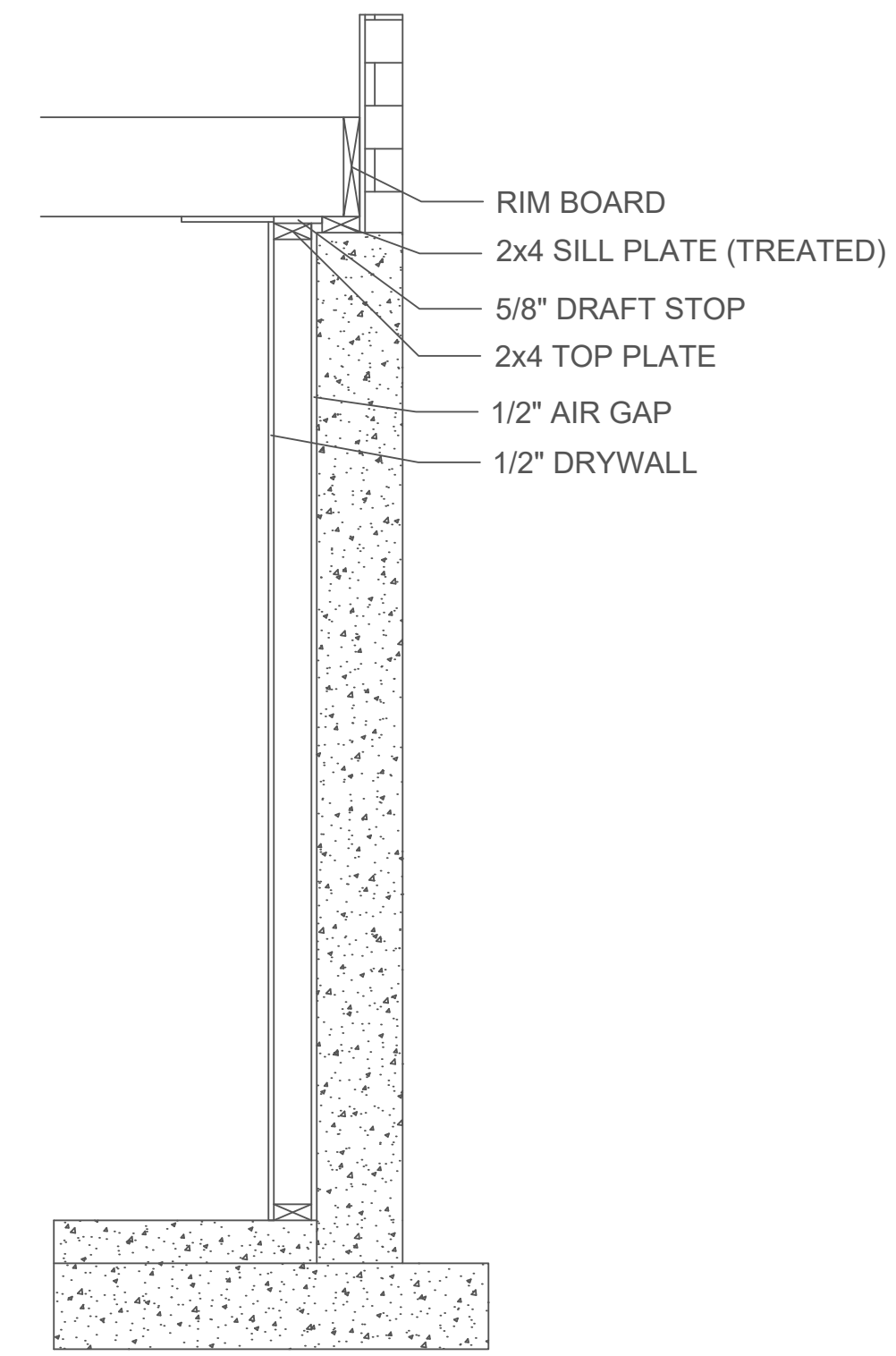
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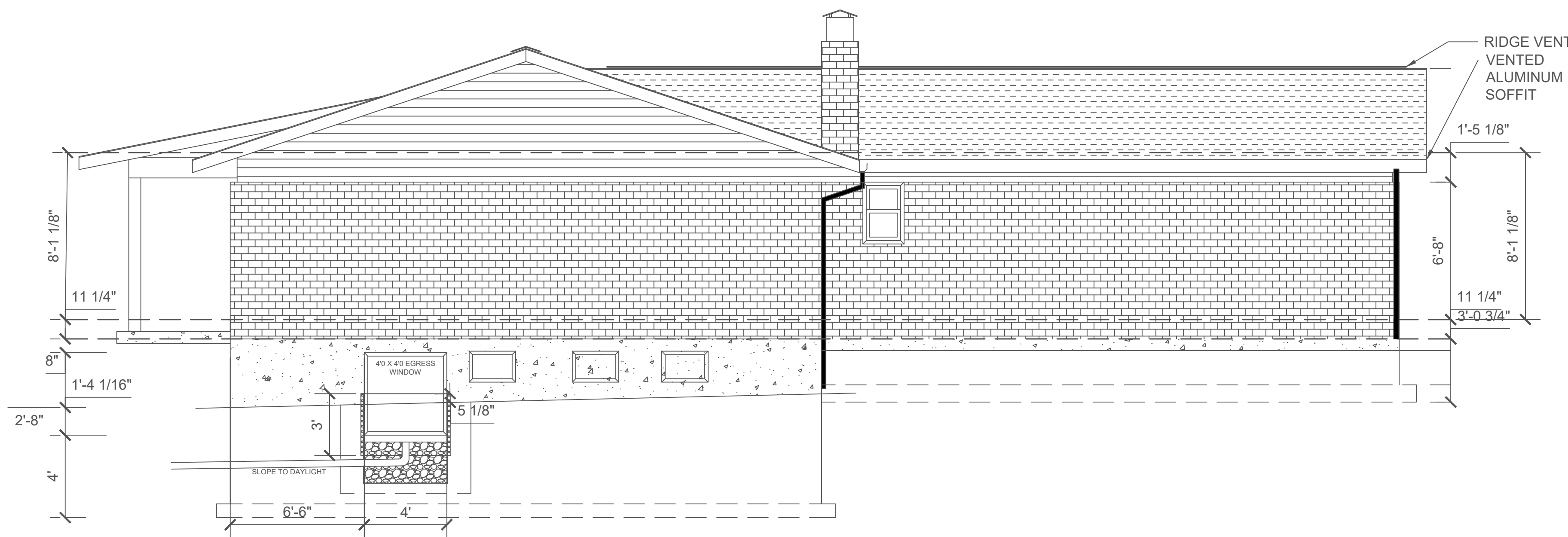
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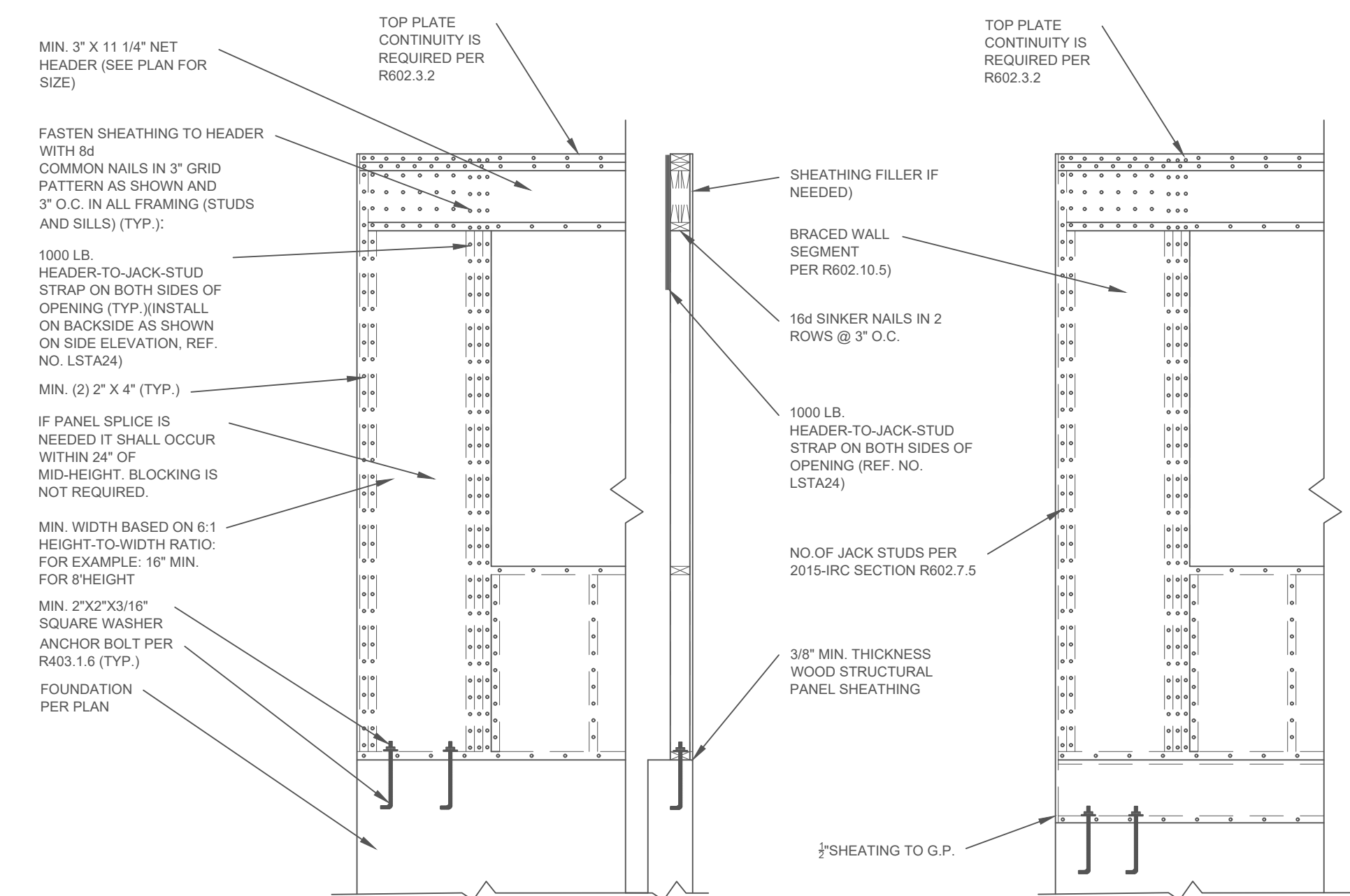
LEFT ELEVATION
SCALE 1/4" = 1'



2x4 BASEMENT FRAMED WALL - TYP
SCALE 3/4" = 1'



RIGHT ELEVATION
SCALE 1/4" = 1'



TYPICAL NARROW WALL BRACING DETAIL
SCALE 1/2" = 1'

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A8

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