

## ZONING INFORMATION

Site Zoned:	NC3-40 & SF 5000		
ITEM	NC3-40 Required	SF 5000 Required	Provided
PERMITTED USE	Pre-existing legal nonconforming		
MIN. LOT AREA	---	5000 SF	--- SF
MIN. WIDTH	No Requirement noted	---	---
MAX. LOT DEPTH	No Requirement noted	---	---
MAX. LOT COVERAGE	---	35%	42626 SF
MIN. SETBACKS FRONT	---	20'	---
MIN. SETBACKS SIDE	15' *	15'	---
MIN. SETBACKS REAR	15' *	25'	---
MAX BUILDING HEIGHT	40'	30'	---
PARKING REGULAR	Religious facilities: 1 space per 80 square feet of all auditoria and public assembly rooms		
PARKING HANDICAP	---	---	---
PARKING TOTAL	---	---	---

\* abutting Residential District

## SOURCE OF ZONING INFORMATION:

Zoning Report  
Springtime Portfolio Project  
1111 N Aurora Avenue  
Seattle, WA

Prepared for:  
SCI Shared Resources, LLC

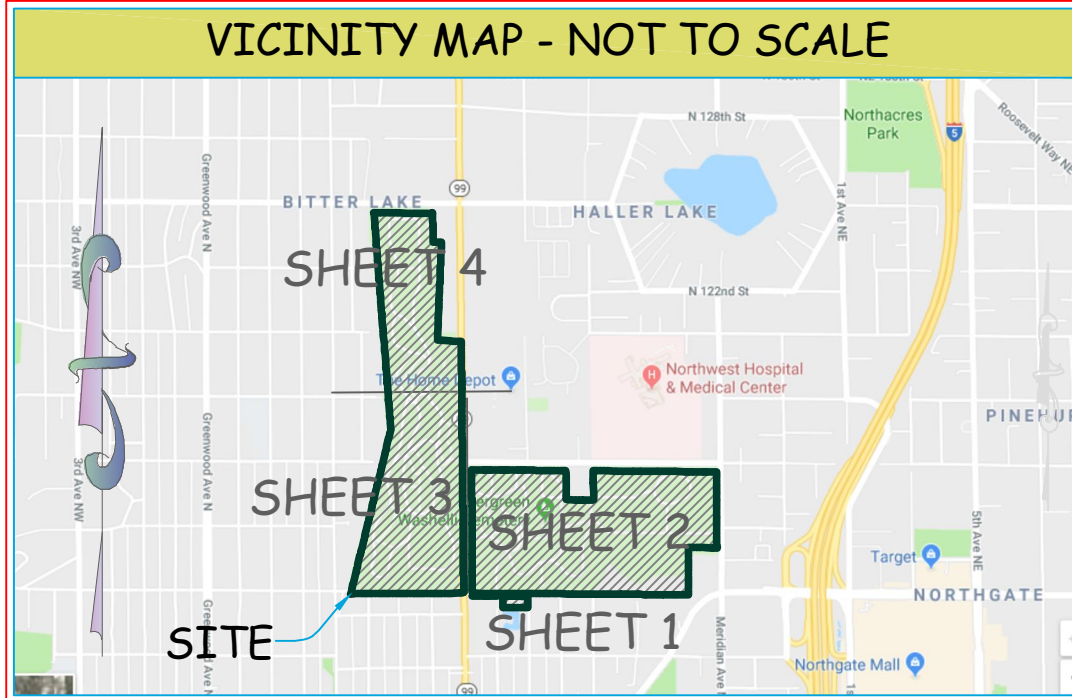
Prepared By:  
Bock & Clark Zoning  
Project Number 7201800392-010  
Report Date: April 12, 2018

## UTILITY NOTE

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILED OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND "DIG-SAFE" IN MASSACHUSETTS (1-888-344-7233) OR "CALL BEFORE YOU DIG" IN CONNECTICUT (800-922-4455) PRIOR TO CONSTRUCTION.

SEWER	S	OVERHEAD WIRES	OHW
DRAIN	D	ELECTRIC	E
WATER	W	GAS	G
STEAM	STM	TELEPHONE	T

## VICINITY MAP - NOT TO SCALE



## MISCELLANEOUS NOTES

- MIN1 ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE NOTED.
- MIN2 THERE WAS NO POSTED STREET ADDRESS AT THE TIME OF SURVEY. THE STREET ADDRESS OF THE SUBJECT PROPERTY IS UNKNOWN.
- MIN3 THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION/BUILDING ADDITIONS OBSERVED AT THE TIME OF SURVEY.
- MIN4 THE SURVEYOR IS NOT AWARE OF ANY CHANGES (EITHER COMPLETED OR PROPOSED) IN THE RIGHT OF WAY LINES SHOWN HEREON. THERE WERE NO OBSERVED EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION/REPAIRS AT THE TIME OF SURVEY.
- MIN5 ACCESS TO THE SUBJECT PREMISES IS GAINED FROM STONE AVE (A PAVED, PUBLIC RIGHT-OF-WAY) AND BY WAY OF AURORA AVE, MERIDIAN AVE AND N 115th STREET N 110th STREET AND N 125th ALL PUBLIC WAYS.
- MIN6 THERE WAS NO WETLAND DELINEATION MARKERS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- MIN7 THIS IS A CEMETERY, WITH GRAVE SITES, AND BURIAL GROUNDS.
- MIN8 BASIS OF BEARING IS WASHINGTON STATE PLAN E COORDINATE SYSTEM NORTH ZONE.
- MIN9 THERE ARE 100 PARKING SPACES 4 ARE HANDICAPPED.
- MIN10 DIGSAFE BII DECLINED TO MARK PRE SURVEY UTILITIES (PERTAINS TO TABLE A ITEM 11).

## RECORD DESCRIPTION

EXHIBIT "A"

LEGAL DESCRIPTION

Parcel A:

Lots A and B of City of Seattle Short Plat Number 9501862, recorded under Recording Number 9507310820, records of King County, Washington.

Parcel B:

The West 40 feet of the East 295 feet of the Northeast Quarter of the Northwest Quarter of Section 30, Township 26 North, Range 4 East, Willamette Meridian, in King County, Washington. Except the North 30 feet thereof, lying within the right of way for North 125th Street.

Parcel C:

The North Half of the Southeast Quarter of Section 30, Township 26 North, Range 4 East, Willamette Meridian, in King County, Washington.

Except the South 496 feet of the East Half of the Southeast Quarter of the Northeast Quarter of the Southeast Quarter of said Section 30; and Except the following described tract of land, being known as "The Jewish Cemetery", described as follows:

Beginning at the Northeast corner of the Northwest Quarter of the Southeast Quarter of said Section 30;

Thence South 336 feet;  
Thence West 288.35 feet;  
Thence North 336 feet;  
Thence East to the point of beginning; and

Except those portions thereof lying within the rights-of-way for Aurora Avenue North, North 115th Street, and Meridian Avenue North.

Parcel D:  
Lots 1, 2, 19 and 20, Block 2, Oak Lake Villa Tracts, according to the plat thereof recorded in Volume 18 of Plats, page 33, in King County, Washington.

Together with that portion of the vacated alley adjoining said lots, which attached thereto by Operation of law pursuant to Ordinance Number 86744 of the City of Seattle.

All situate in the County of King, State of Washington.

Tax Parcel No.: 302604-9008-03, 302604-9027-00, 302604-9021-06, 302604-9103-07, 302604-9103-98, 302604-9035-00, 302604-9035-91, 630000-0105-08, and 630000-0195-09

THE PROPERTY DESCRIBED ABOVE IS THE SAME AS THAT CONTAINED IN "SCHEDULE A" OF STEWART TITLE GUARANTEE COMPANY COMMITMENT NUMBER 18000330545 BEARING AN EFFECTIVE DATE OF MARCH 27, 2018.

## ALTA/NSPS LAND TITLE SURVEY

## GR Washington

B&C Project No. 201801540.002  
Evergreen Washelli Memorial Park  
11220 Aurora Ave N, Seattle, WA 98133

Based upon Title Commitment 18000330545 of  
Stewart Title Guaranty Company  
Bearing an effective date of March 27, 2018 at 8:00 a.m

## Surveyor's Certification

To: Stewart Title Guaranty Company, Bock & Clark Corporation and SCI Funeral Services, LLC, an Iowa limited liability company, its successors and assigns and Evergreen-Washelli Memorial Park Company, its successors and assigns

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 6a, 6b, 7a, 7b1, 7c, 8, 9, 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The fieldwork was completed on May 19, 2018

Charles T. Camp, PLS

Registration No. 45151  
In the State of Washington  
Date of Survey: 2018  
Date of Last Revision: Sept 5, 2018  
Network Project No. 201801540-002

Survey Performed By:

Camp Land Surveyors, PLLC dba Bakken Survey Consultants  
1137 Naval Ave  
Bremerton, Washington 98312 Phone: 701-339-1508  
Email: ccamp@campsurveyors.com



SHEET 1 OF 4

## FLOOD NOTE

By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 53033C0329F, which bears an effective date of May 16, 1995 and is not in a Special Flood Hazard Area. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

## SIGNIFICANT OBSERVATIONS

A APPARENT ENCHROCHMENT 14.97' ONTO 454 SF  
SUBJECT PROPERTY OCUPIED FENCE ENCLOSURE 358 SF

B Sec 82 includes prior survey condition of an encroachment for significant observation item B.. That reported condition is not confirmed within this survey.

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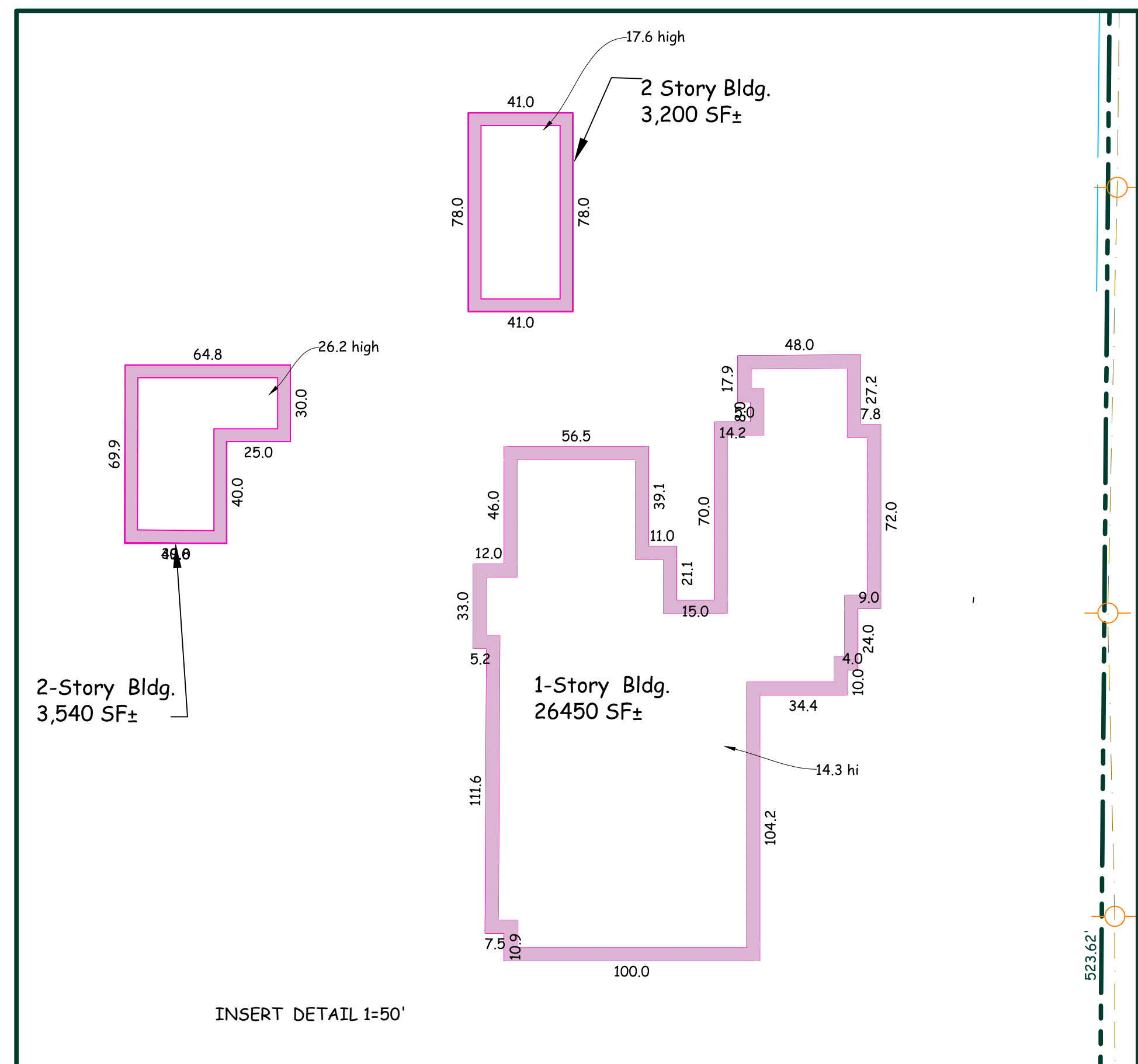
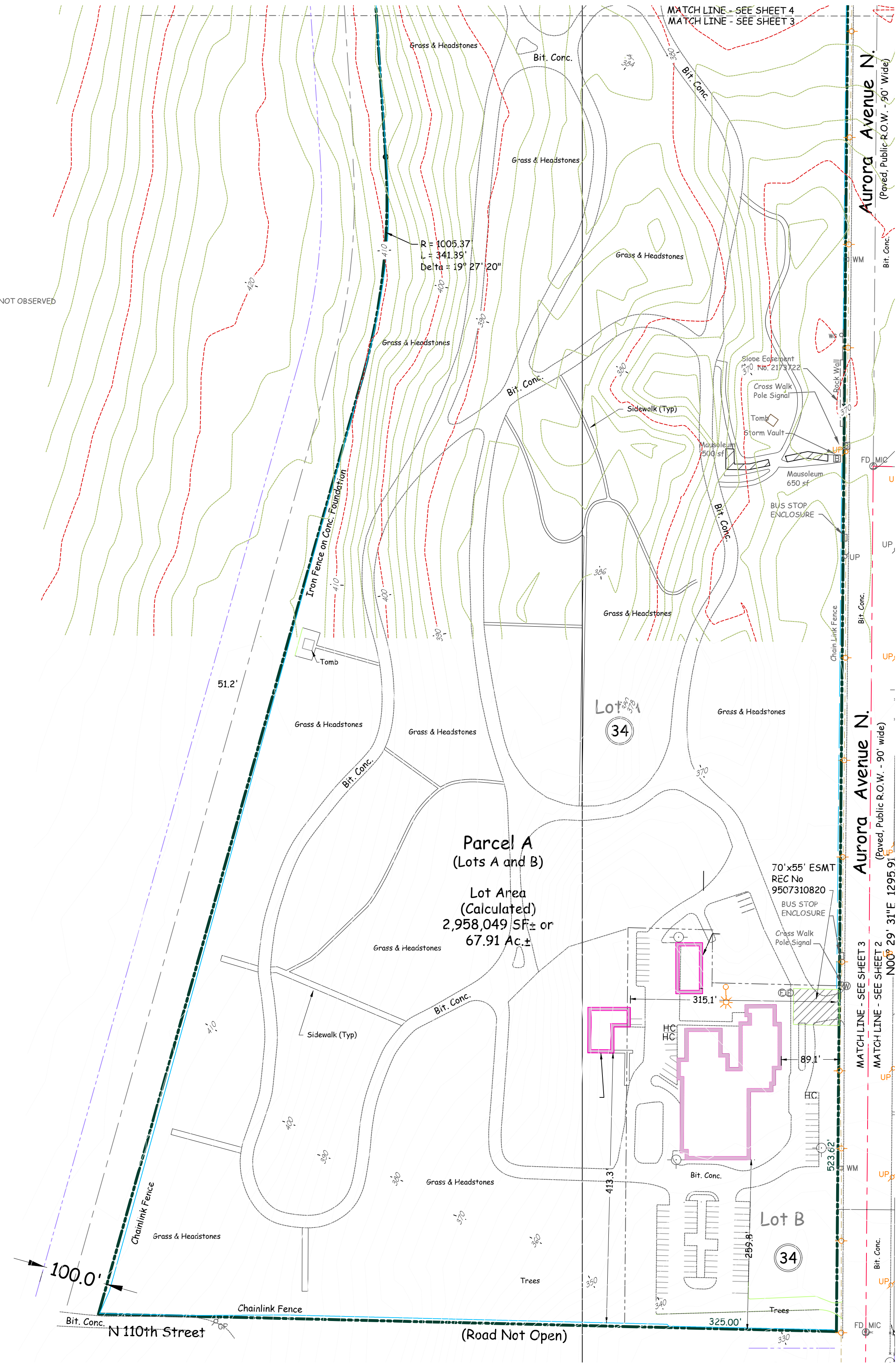
SCALE: 1" = 30'





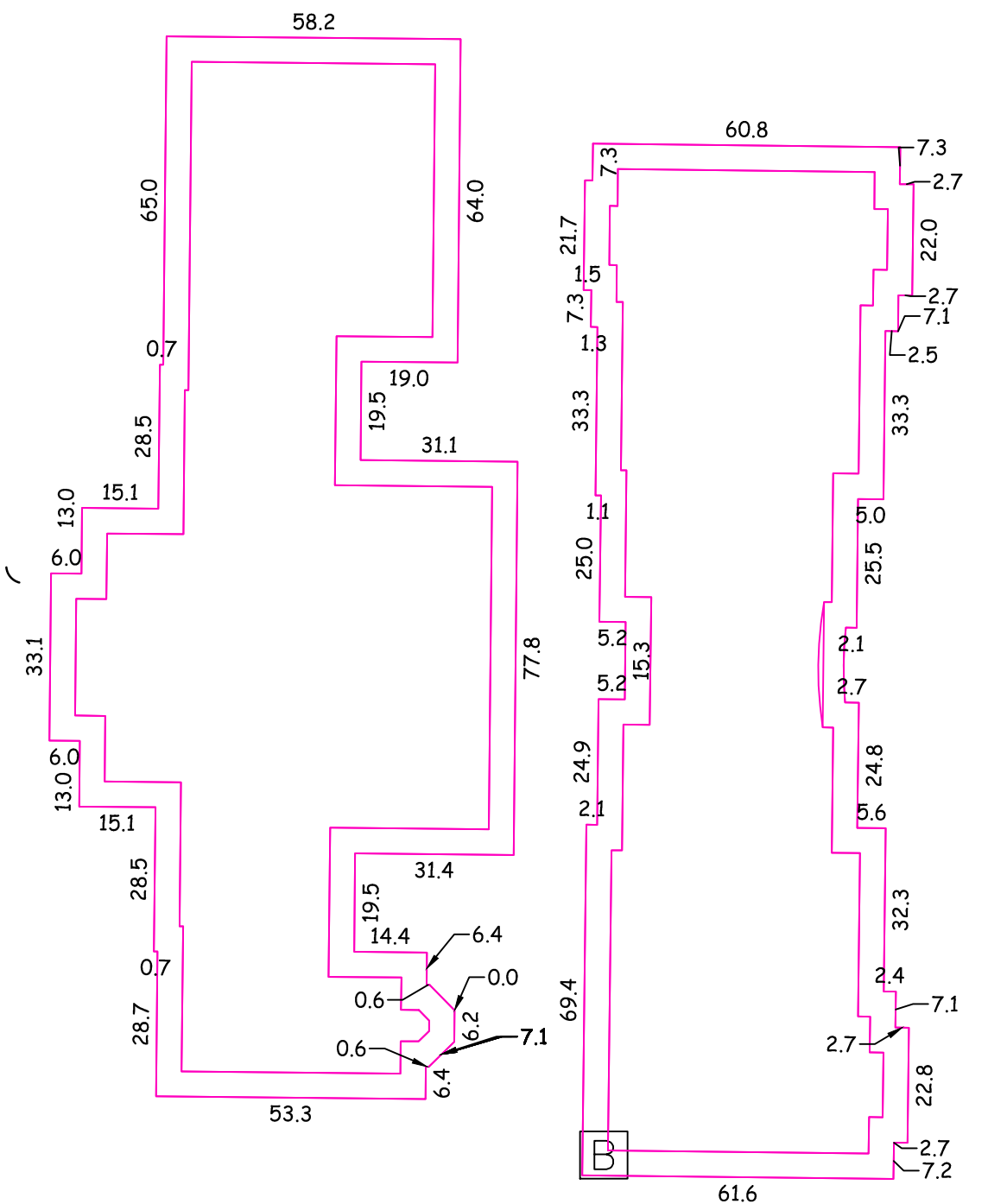
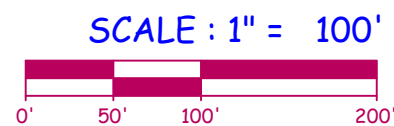
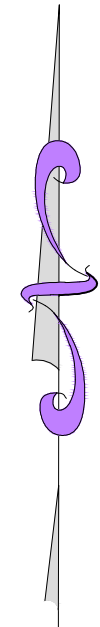
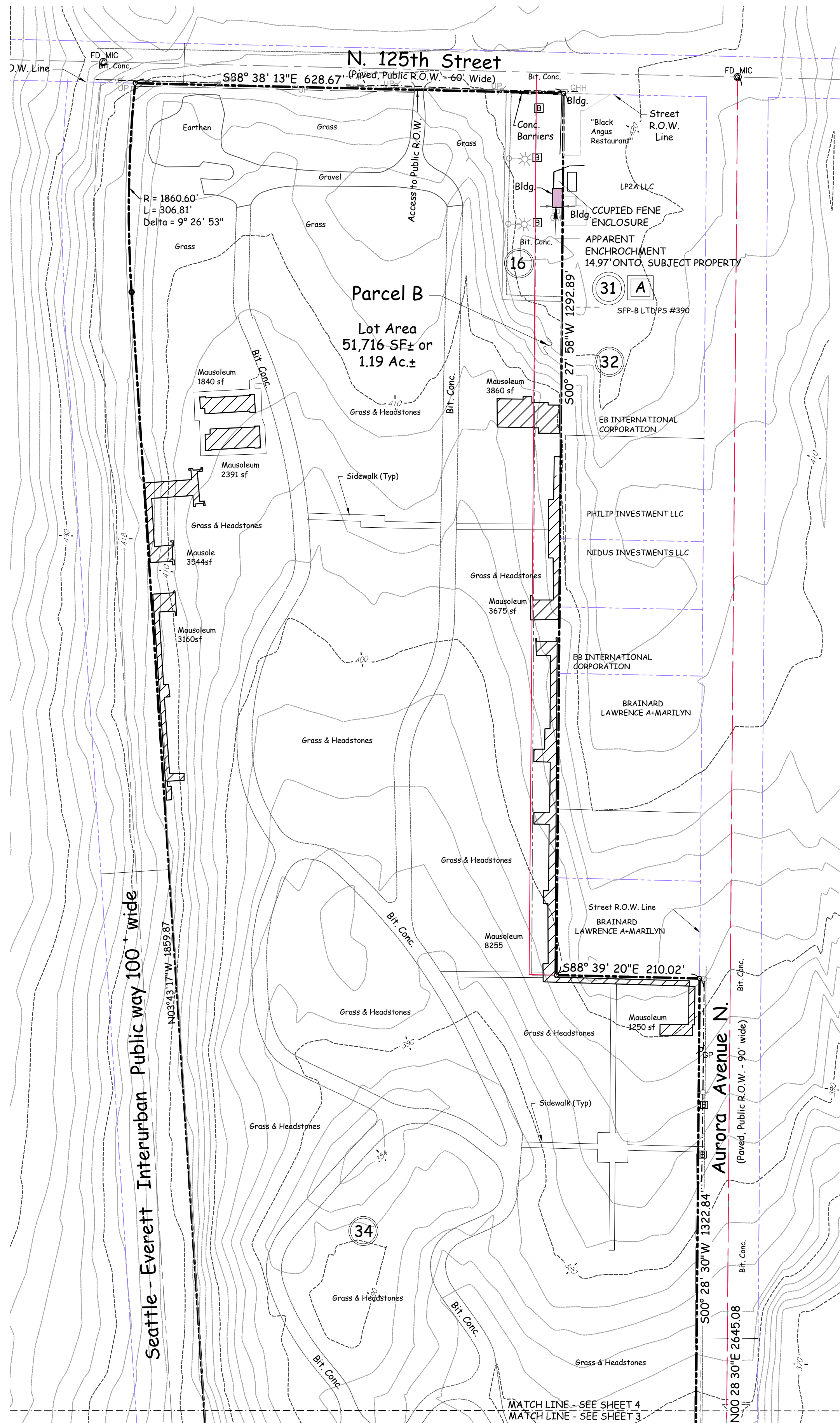
ITEMS CORRESPONDING TO SCHEDULE B-I (S.B. B-II)

16. Memorandum of Lease  
Lessor: Evergreen - Washelli Memorial Park Company, a Washington corporation  
Lessee: Black Angus Motor Inn, Inc., a Washington corporation  
Dated: October 30, 1989  
Term Expiring June 30, 1997, with Option to extend for unspecified period  
Recorded: November 1, 1989  
Recording No.: 8911010804  
- LEASE AREA PLOTTED Status unknown
28. Easement and the terms and conditions thereof  
Purpose: Unrestricted easement for right of way, passage, ingress and egress and utilities  
Recorded: July 16, 1932  
Recording No.: 272886 UNABLE TO READ DOCUMENT PROVIDED
29. Easement, including the terms, covenants and provisions thereof, reserved by Ordinance No.: 86744  
Approved & Filed: December 17, 1957  
In Favor Of: City of Seattle  
For: Rights to make all necessary slopes for cuts and fills  
-ITEM PLOTTED
30. Terms and conditions of survey recorded March 27, 1987 under Recording Number 8703279002. INSPECTED NOT OBSERVED
31. Terms and conditions of survey recorded April 23, 1993 under Recording Number 93042905 PLOTTED
32. Terms and conditions of survey recorded October 18, 1995 under Recording Number 9510189001 PLOTTED
33. City of Seattle Memorandum of Drainage and the terms and conditions thereof:  
Recorded: October 22, 1993  
Recording No.: 9310221917  
UNABLE TO PLOT BLANKET IN NATURE ACCESS FOR MAINTANANCE
34. Covenants, conditions and restrictions and easements contained in short plat:  
Recorded: July 31, 1995  
Recording No.: 9507310820  
PLOTTED
35. City of Seattle Covenant-Geological Hazard Area and the terms and conditions thereof:  
Recorded: December 5, 1996  
Recording No.: 9612050836  
BLANKET UNABLE TO PLOT
36. City of Seattle Memorandum of Drainage Control Plan and the terms and conditions thereof:  
Recorded: September 4, 2012  
Recording No.: 2012090400091  
NOT SURVEY OR EASEMENT RELATED
37. City of Seattle Covenant-Potential Landslide Area and the terms and conditions thereof:  
Recorded: September 24, 2013  
Recording No.: 20130924001936  
NOT SURVEY OR EASEMENT RELATED
38. City of Seattle Side Sewer Release and Indemnification Agreement and the terms and conditions thereof:  
Recorded: January 2, 2014  
Recording No.: 20140102000441  
NOT SURVEY OR EASEMENT RELATED
39. City of Seattle Memorandum of Drainage Control Plan and the terms and conditions thereof:  
Recorded: January 2, 2014  
Recording No.: 20140102000442  
NOT SURVEY OR EASEMENT RELATED
40. Easement and the terms and conditions thereof:  
Grantee: Puget Sound Energy, Inc.  
Purpose: Utility systems and pipelines for the transmission, distribution and sale of gas  
Recorded: February 3, 2014  
CAN NOT BE PLOTTED FROM DOCUMENT PROVIDED
41. Easement and the terms and conditions thereof:  
Grantee: State of Washington, Department of Transportation  
Purpose: Temporary easement for work area for personnel, machinery, material and equipment  
Affects: Curb ramps and sidewalks along SR 99, portion of Parcel C  
Recorded: July 17, 2017  
NON PLOTTABLE
- All other items are either non-easement or non-survey related matters.



ALTA/NSPS LAND TITLE SURVEY  
PREPARED FOR  
GR Washington  
DATE OF FIELD SURVEY: May 2018  
NETWORK PROJECT NUMBER: 201801540-002





**ALTA/NSPS LAND TITLE SURVEY**

PREPARED FOR  
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