



YOUR INSPECTION REPORT

The best home inspection experience available.

PREPARED BY:

Djordje Lazarevic

FOR THE PROPERTY AT:

[REDACTED]
Vancouver, BC V6J 3S2

PREPARED FOR:

INSPECTION DATE:

Thursday, February 4, 2021



PRIMUS HOME INSPECTIONS LTD

1633 Tatlow Avenue, Suite 303

North Vancouver, BC V7P2Z8

604-728-0019

www.primushomeinspections.com

info@primushomeinspectoos.com



December 13, 2021

Dear [REDACTED]

RE: Report No. 1054
[REDACTED]

Vancouver, BC
V6J 3S2

EXPLANATORY NOTE

This report was prepared for the exclusive use of [REDACTED] as a include purpose such as Pre Purchase Inspection and may not be used or otherwise relied upon by any third person without my written consent Djordje Lazarevic. I accept no liability to any third person whatsoever. The intellectual material amassed from the Inspections is the property of Inspector Djordje Lazarevic. Unauthorized users are advised that this inspection report is not a standalone documentation of the material amassed or communicated to the client. This report presentation, without the Engagement Contract, the Standards of Inspection and the walk though discussion of the finding, should not solely be relied upon.

GENERAL DESCRIPTION OF PROPERTY

On Thursday, February 04, 2021 I conducted a visual inspection as a building inspector of the systems of a building. The building is located at [REDACTED] in Vancouver, B.C, V6J 3S2. The building is approximately 67 years old. It consists of 20-suite three-storey (plus penthouse level). The building consist of standard wood platform framing supported on a reinforced poured in place concrete foundation, and also includes a ground level parking garage with reinforced concrete walls, columns and ceilings and a concrete floor.

The parking for the tenants is 8 unsecured covered ground level parking stalls at the back of the building with numbers style access.

For the purpose of orientation to this report the front of the building is considered to face North. The exterior of the building is stucco siding.

The windows and patio doors for the building are the original single glazed metal framed units.

The roofing material on the building is a single-play membrane.

The following building components were inspected and are addressed in this building condition report:

- 1 The building's structure;
- 2 The building's exterior, including siding, roofs, doors, windows, and decks;
- 3 The building's systems, including the electrical, heating, and plumbing systems and fixtures;
- 4 All accessible interior components including walls, flooring, and ceiling finishes;

The weather was cloudy, and the temperature was approximately 10C.

INTRODUCTION

This building condition report is prepared on the visual on-site inspection of the subject property and reviewing maintenance records provided on-site.

The three-storey multi-family apartment building has 20 suites plus a penthouse. The building has 14 one-bedroom apartments and 6 two-bedroom apartments.

The building originally contained 21 units (some inspected units are partially renovated), however, units #1 & #3 were joined together into a large two-bedroom on the ground floor. During this inspection suites 1, 2, 102, 103, 104, 105, 106, 107, 108, 201 and 301 were accessed and inspected. Each suite consists of a living room, a kitchen, bathroom and bedroom(s). The common and service areas include a main front foyer, one laundry room, various storage rooms, the boiler/mechanical room, and the main electrical distribution room. The building has two interior flights of wood framed stairs.

When an expected service life of any building components are reported, it is estimated based on comparisons made, utilizing various observations over the years of the same or similar type of material/component in other buildings similar in age and construction. If an item is described to have any number of useful years remaining, it is also an estimation that is simply intended to be used as a general guideline and under no circumstance a guarantee that in this situation, the component will last that long. Anything can fail under normal conditions at any time.

Terms used in this report include satisfactory condition used to describe any component or finish considered to be in good condition.

Terms used fairly satisfactory indicates a component or finish that shows some normal wear and tear for its age and remains in operational condition, without any need for immediate repairs or servicing.

The term unsatisfactory relates to any component or finish seen to be in a non-functional state of condition and requires immediate replacement and/or significant repair.

Primus home inspections responsibility is limited to reporting deficiencies with an estimated repair value of \$2,500.00 or more.

This report is based exclusively on a visual inspection of the property, including the site, exterior envelope, main structure, mechanical, electrical, heating, and interior components. No permanent finishes or fixtures have been removed for the purpose of inspecting internal components. No tools were used to probe into any exterior wall, roof, or any other cavity within the building, other than an electronic moisture meter, which is used in a non-invasive manner.

This report is not intended to be technically exhaustive and represents an overall general opinion of the building components. Every effort has been made to accurately disclose the current condition of the building. However, due to the limited amount of access to many building components of the property and the general nature of this type of inspection, some visual and/or concealed items may have been missed. Not every square foot of floor, roof or deck space was walked on to ensure it is sound. This building is over fifty-four years old and may have other issues not picked up at this present time which may or may not manifest itself later on.

Sincerely,

Djordje Lazarevic
on behalf of
PRIMUS HOME INSPECTIONS LTD

PRIMUS HOME INSPECTIONS LTD
1633 Tatlow Avenue, Suite 303
North Vancouver, BC V7P2Z8
604-728-0019
www.primushomeinspections.com
info@primushomeinspections.com



INVOICE

December 13, 2021

Client [REDACTED]

Report No. 1054
For inspection at:

[REDACTED]
Vancouver, BC
V6J 3S2
on: Thursday, February 4, 2021

[REDACTED]

[REDACTED]

Total

[REDACTED]

PAID IN FULL - THANK YOU!

PRIMUS HOME INSPECTIONS LTD
1633 Tatlow Avenue, Suite 303
North Vancouver, BC V7P2Z8
604-728-0019
www.primushomeinspections.com
info@primushomeinspections.com

Note: For the purpose of this report the building is considered to be facing **North**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

RECOMMENDATIONS \ General

Condition: • Near end of life expectancy

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: This roof covering should have 2 more years remaining with proper maintenance and occasional repairs.

Time: Less than 2 years

Cost: \$35,000 - \$40,000

Exterior

WALLS \ Stucco

Condition: • Observed that stucco siding require regular cleaning and possible painting.

Location: Various Exterior Wall

Time: Ongoing

Cost: Cleaning \$500 - \$1,000 Painting \$18,000 - \$20,000

Condition: • [Too close to grade](#)

The stucco siding is in contact with the ground and requires a clearance of 6" to 8" from the bottom of the siding to the top of the ground to ensure no moisture damage.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Various Exterior Wall

Task: Improving stucco clearance is recommended.

Time: Less than 2 years

Cost: \$2,000 - \$4,000

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

Condition: • Patio that is located on the West side of the building is in unsatisfactory condition. Concrete floor is uneven and damaged and needs repair or replacement.

Location: West

Time: Ongoing

Cost: Depends on work needed

Condition: • [Damage](#)

The penthouse has wooden deck installed on the roof.

Implication(s): Weakened structure | Chance of movement

Location: Roof

Task: The wood on the deck is damaged and needs to be repaired. Also the deck cleaning is recommended.

Time: Less than 1 year

Cost: \$500 - \$1,000

LANDSCAPING \ General notes

Condition: • [Planters and gardens against walls](#)

Gardens should not be built against buildings such that earth is held against the siding. A raised planter with three sides and the building acting as the fourth side is a poor arrangement. Siding materials are not designed to be in contact with earth. The situation is worsened when people water their gardens and the soil is perpetually damp.

Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: North

Task: Raised planters close to buildings should have four sides and should be set out roughly two inches from the siding. This is not a common detail but its a lot easier on the building.

Time: Less than 1 year

Cost: \$1,000 - \$1,500

Condition: • [Disturbed ground](#)

Observed disturbed soil on the west side of the building. At the time of the inspection there were no any evidence of moisture inside the building or any other damage.

Implication(s): Loss of proper slope for drainage

Location: West Exterior

Task: Further investigation and evaluation is needed

Time: Less than 1 year

Cost: Depends on work needed

LANDSCAPING \ Walkway

Condition: • The property has poured in place concrete sidewalks leading the entrance doors of the building and they are in unsatisfactory condition with some visible cracks that need repair to prevent further water and ice damage making them worse over the years, and minor trip hazards that will need to be levelled off.

Task: I recommend repairing cracked concrete walkway to ensure safety/trip fall

Time: Less than 1 year

Cost: \$1,500 - \$3,000

LANDSCAPING \ Driveway

Condition: • Observed that drainage at the back of the building is damaged and plugged wit debris and dirt. It is recommended contacting a licensed drainage company for investigation and evaluation of the drainage system.

Location: South

Task: I recommend cleaning and repairing drainage system.

Time: Less than 1 year

Cost: Depends on work needed

Structure

FOUNDATIONS \ General notes

Condition: • Typical minor cracks

Observed common typical minor cracks on the foundation wall. This type of cracks are not serious and I only recommended repairing this cracks to prevent water penetration inside the building.

Implication(s): Chance of water entering building

Location: West side

Time: Less than 2 years

Cost: \$500 - \$1500

Electrical

RECOMMENDATIONS \ General

Condition: • This service equipment is original and remains in fairly satisfactory and operational condition. I suggest replacing the equipment in the near future to avoid unexpected equipment failure as well recommend contacting insurance provider for more information about this old equipment.

Implication(s): Unexpected equipment failure

Location: Electrical room

Time: In the near future

Cost: \$20,000 - \$25,000

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Description

General:

- General

The roofing material installed is a torch-on/roll roofing that appears to be in unsatisfactory condition with visible patches, cracks, blisters and typical deterioration.

The roof has one drain without screens and it requires regular maintenance/cleaning. I recommend cleaning all debris from the roof and around drainage system. Installing drainage screen to protect debris and other dirt entering in the drainage system is recommended. The roof surfaces have minimal signs of standing water.



1. General



2. General



3. General

The home is considered to face: • North

Flat roof flashing material:

- Metal

The building has a metal flashing along exterior walls. The flashing is in fairly satisfactory condition overall with visible patched and caulked areas to be reviewed.

- SUMMARY
- ROOFING**
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE



4. Metal

Probability of leakage: • High

Approximate age: • More than 20 years

Typical life expectancy: • 20-25 years

Limitations

Inspection performed: • By walking on roof

Recommendations

RECOMMENDATIONS \ General

1. Condition: • Near end of life expectancy

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: This roof covering should have 2 more years remaining with proper maintenance and occasional repairs.

Time: Less than 2 years

Cost: \$35,000 - \$40,000



5.



6.

Description

General: • Parking lot

The property has 8 covered parking stalls. The parking concrete floor surface is in satisfactory condition with some various minor cracks and other minor damage.



7.



8.



9.

Gutter & downspout discharge: • [Below grade](#)

Lot slope: • [Ravine](#)

Wall surfaces and trim: • [Stucco](#)

Driveway: • Concrete

Walkway: • Concrete

Deck: • Wood

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE

Exterior steps: • Concrete

Patio: • Concrete

Recommendations

ROOF DRAINAGE \ Downspouts

2. Condition: • [Discharge onto roofs](#)

A downspout from an upper roof should drain into a lower gutter or drainage system. It should never drain directly onto the roof, as this will cause premature deterioration of the roof covering.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: I recommend connecting the gutter to the roof drainage system

Time: Les than 1 year

Cost: Minor



10. *Discharge onto roofs*

WALLS \ Stucco

3. Condition: • [Too close to grade](#)

The stucco siding is in contact with the ground and requires a clearance of 6" to 8" from the bottom of the siding to the top of the ground to ensure no moisture damage.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

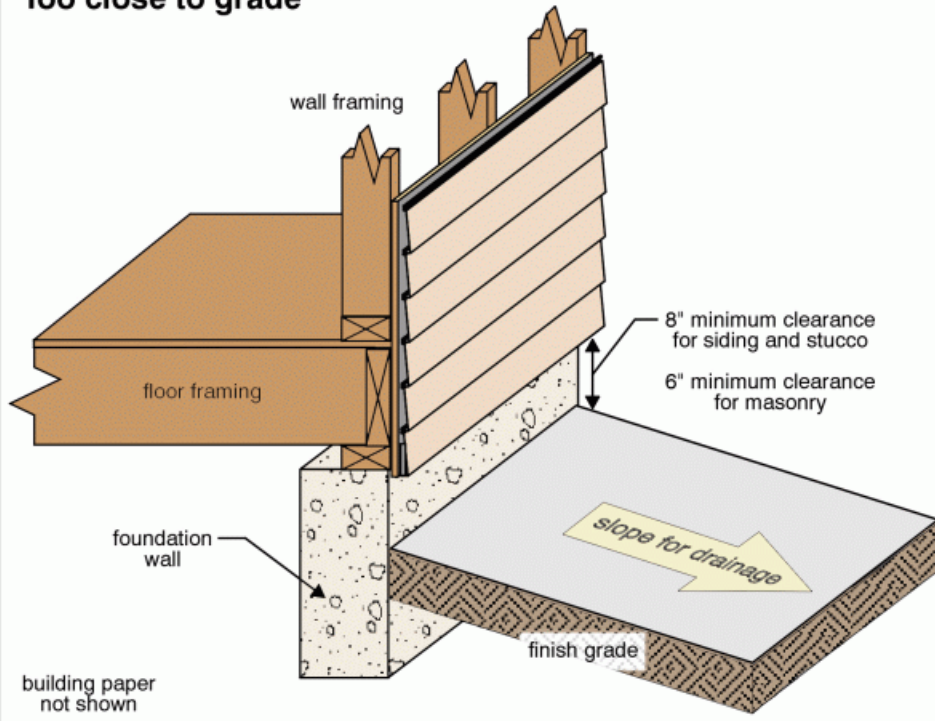
Location: Various Exterior Wall

Task: Improving stucco clearance is recommended.

Time: Less than 2 years

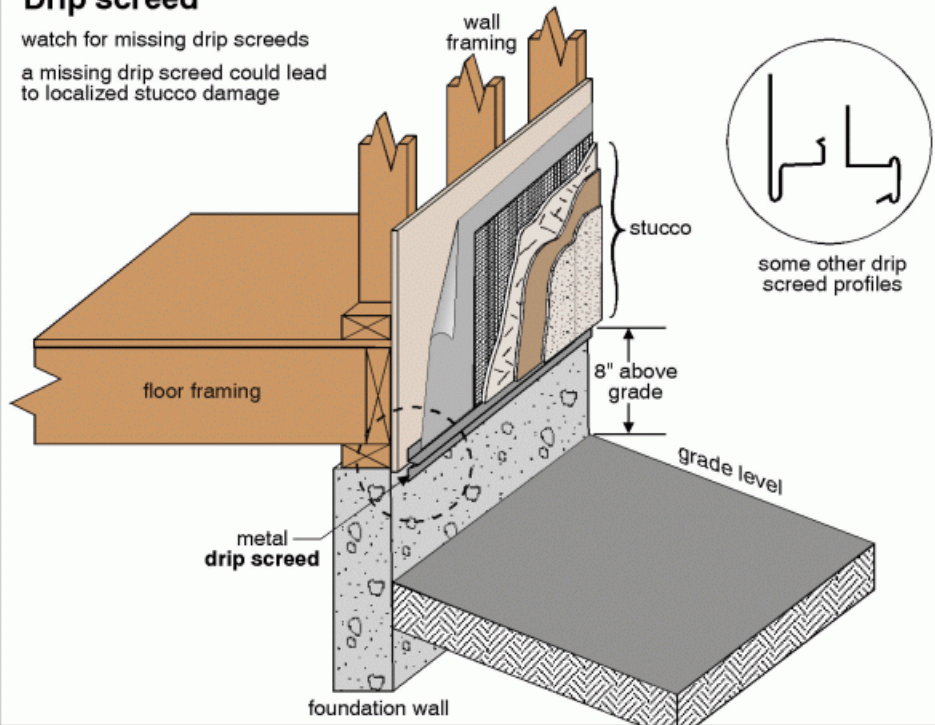
Cost: \$2,000 - \$4,000

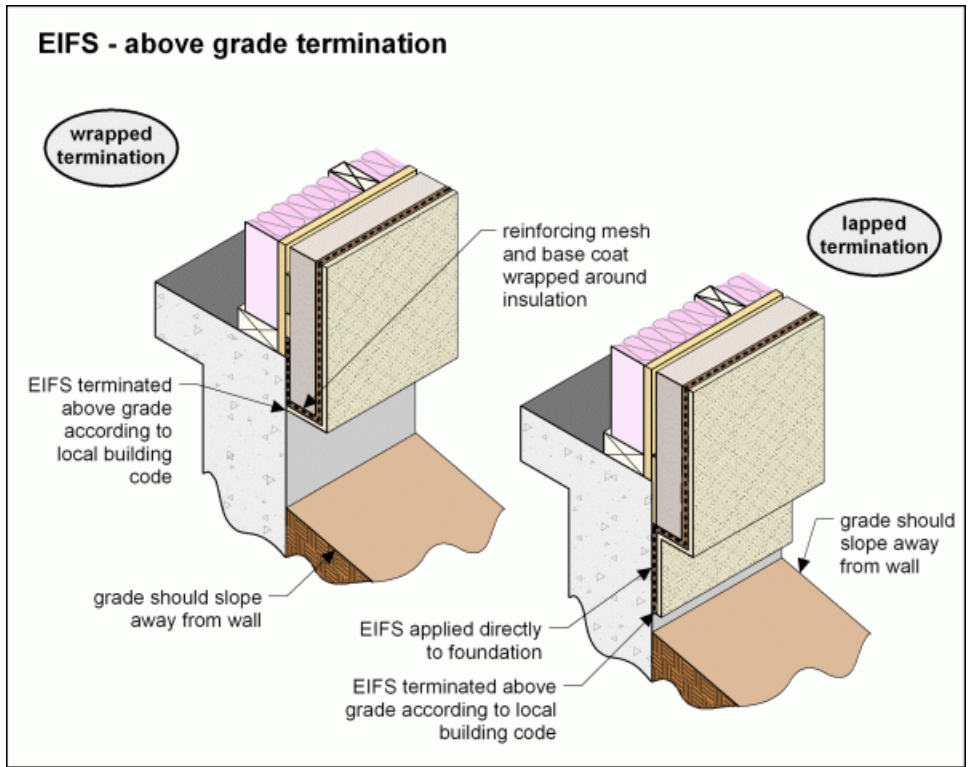
Too close to grade



Drip screed

watch for missing drip screeds
a missing drip screed could lead to localized stucco damage





11. Too close to grade



12. Too close to grade

4. Condition: • [Minor cracks](#)

The face sealed stucco siding is in fairly satisfactory condition with various minor cracks and damage to be repaired.

Implication(s): Shortened life expectancy of material

Location: Various Exterior Wall

Task: Repairing stucco is recommended and prevent water penetration inside the wall

Time: Less than 2 years

Cost: Minor



13. *Minor cracks*

5. Condition: • Observed that stucco siding require regular cleaning and possible painting.

Location: Various Exterior Wall

Time: Ongoing

Cost: Cleaning \$500 - \$1,000 Painting \$18,000 - \$20,000



14.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

6. Condition: • [Damage](#)

The penthouse has wooden deck installed on the roof.

Implication(s): Weakened structure | Chance of movement

Location: Roof

Task: The wood on the deck is damaged and needs to be repaired. Also the deck cleaning is recommended.

Time: Less than 1 year

Cost: \$500 - \$1,000



15. Damage

7. **Condition:** • Patio that is located on the West side of the building is in unsatisfactory condition. Concrete floor is uneven und damaged and needs repair or replacement.

Location: West

Time: Ongoing

Cost: Depends on work needed



16.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

8. **Condition:** • Observed damaged tiles on the exterior stairs.

Location: North side entrance

Task: I recommend repairing or replacing damaged tiles.

Time: Less than 1 year

Cost: Minor



17.

LANDSCAPING \ General notes

9. Condition: • [Planters and gardens against walls](#)

Gardens should not be built against buildings such that earth is held against the siding. A raised planter with three sides and the building acting as the fourth side is a poor arrangement. Siding materials are not designed to be in contact with earth. The situation is worsened when people water their gardens and the soil is perpetually damp.

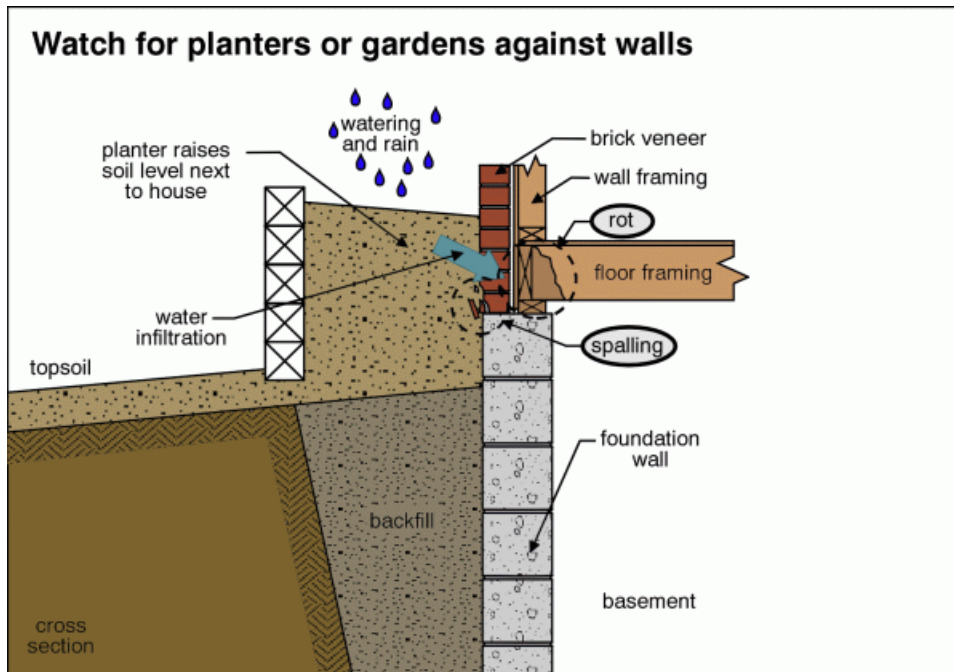
Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: North

Task: Raised planters close to buildings should have four sides and should be set out roughly two inches from the siding. This is not a common detail but its a lot easier on the building.

Time: Less than 1 year

Cost: \$1,000 - \$1,500





18. Planters and gardens against walls



19. Planters and gardens against walls



20. Planters and gardens against walls

10. Condition: • [Disturbed ground](#)

Observed disturbed soil on the west side of the building. At the time of the inspection there were no any evidence of moisture inside the building or any other damage.

Implication(s): Loss of proper slope for drainage

Location: West Exterior

Task: Further investigation and evaluation is needed

Time: Less than 1 year

Cost: Depends on work needed



21. Disturbed ground

LANDSCAPING \ Walkway

11. Condition: • The property has poured in place concrete sidewalks leading the entrance doors of the building and they are in unsatisfactory condition with some visible cracks that need repair to prevent further water and ice damage making them worse over the years, and minor trip hazards that will need to be levelled off.

Task: I recommend repairing cracked concrete walkway to ensure safety/trip fall

Time: Less than 1 year

Cost: \$1,500 - \$3,000



22. Possible trip hazards



23. Possible trip hazards

LANDSCAPING \ Driveway

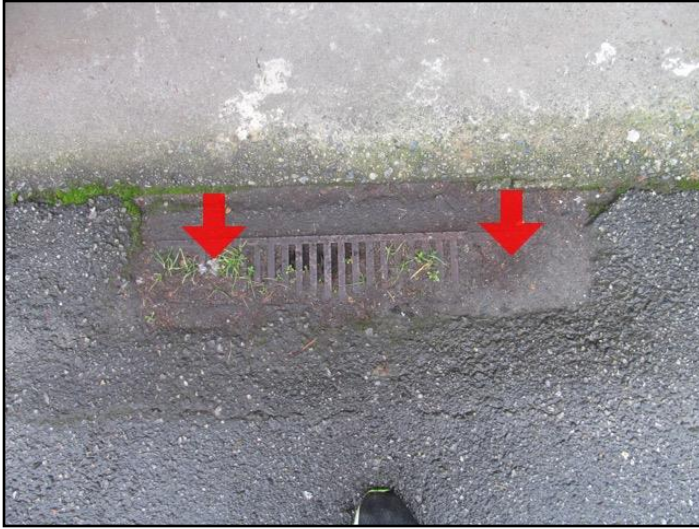
12. Condition: • Observed that drainage at the back of the building is damaged and plugged wit debris and dirt. It is recommended contacting a licensed drainage company for investigation and evaluation of the drainage system.

Location: South

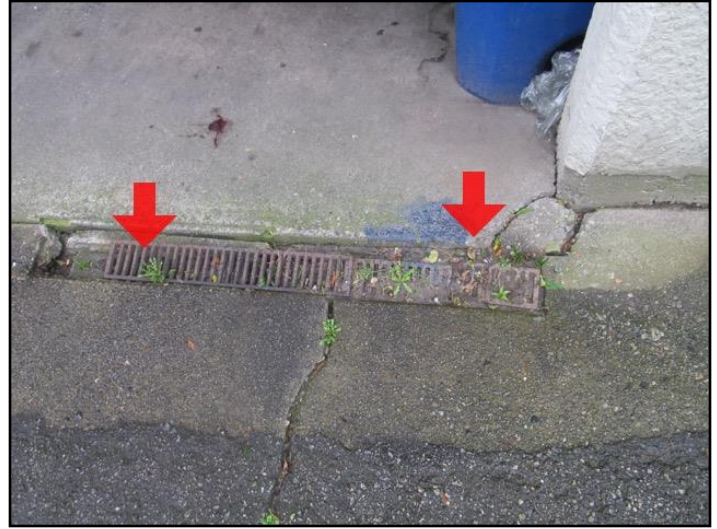
Task: I recommend cleaning and repairing drainage system.

Time: Less than 1 year

Cost: Depends on work needed



24. Drainage system



25. Drainage system

Description

General: • The main buildings concrete reinforced columns and foundation walls are partially visible in the parking area and appear to remain in satisfactory condition. No evidence of any significant deficiencies, movement or unusual settlement is apparent. Observed only some small common visible cracks.



26.



27.

General: • In all inspected units, ceilings and walls remain in satisfactory condition with some small common visible cracks. No other damage noted.

Recommendations

FOUNDATIONS \ General notes

13. Condition: • Typical minor cracks

Observed common typical minor cracks on the foundation wall. This type of cracks are not serious and I only recommended repairing this cracks to prevent water penetration inside the building.

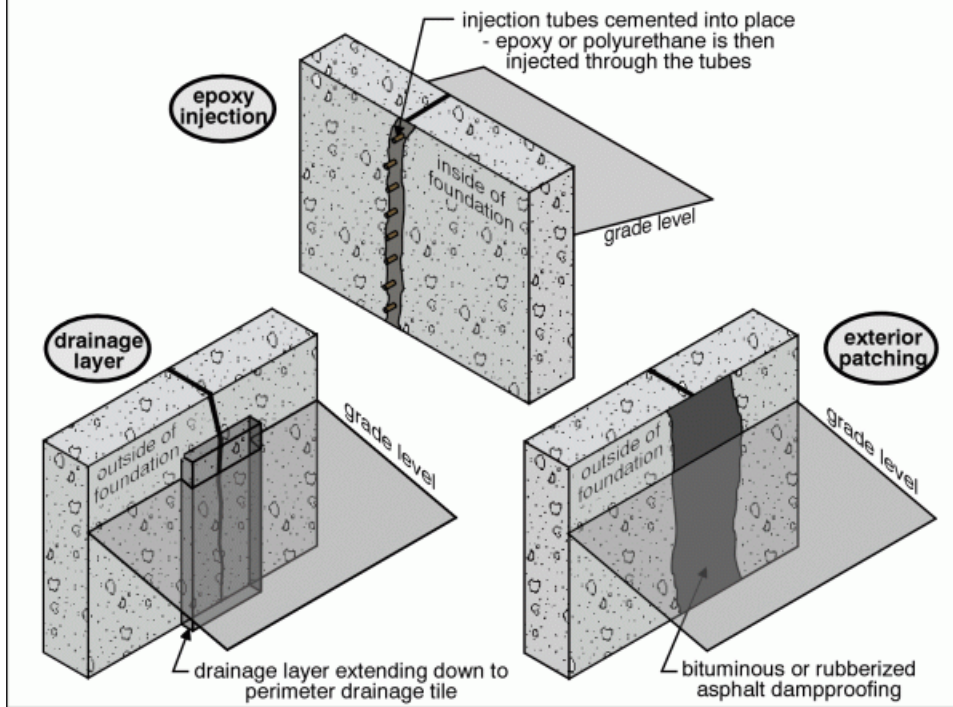
Implication(s): Chance of water entering building

Location: West side

Time: Less than 2 years

Cost: \$500 - \$1500

Patching cracks



Crack repair - epoxy and polyurethane injection

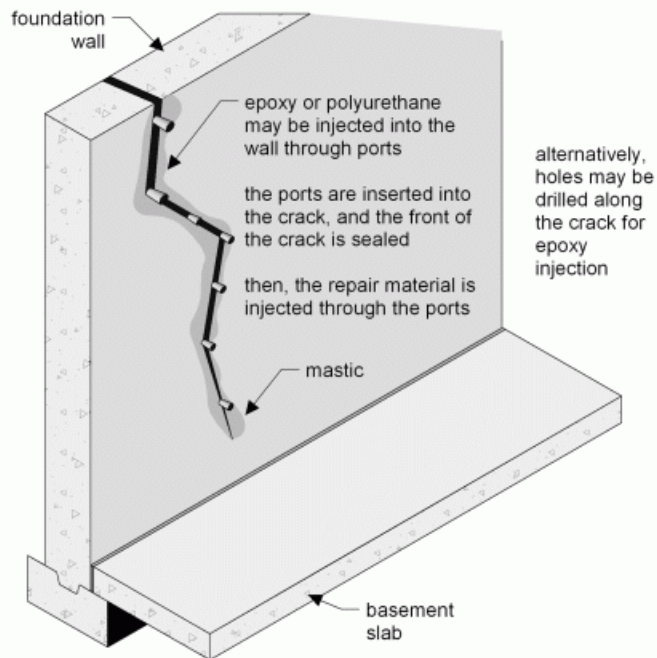
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

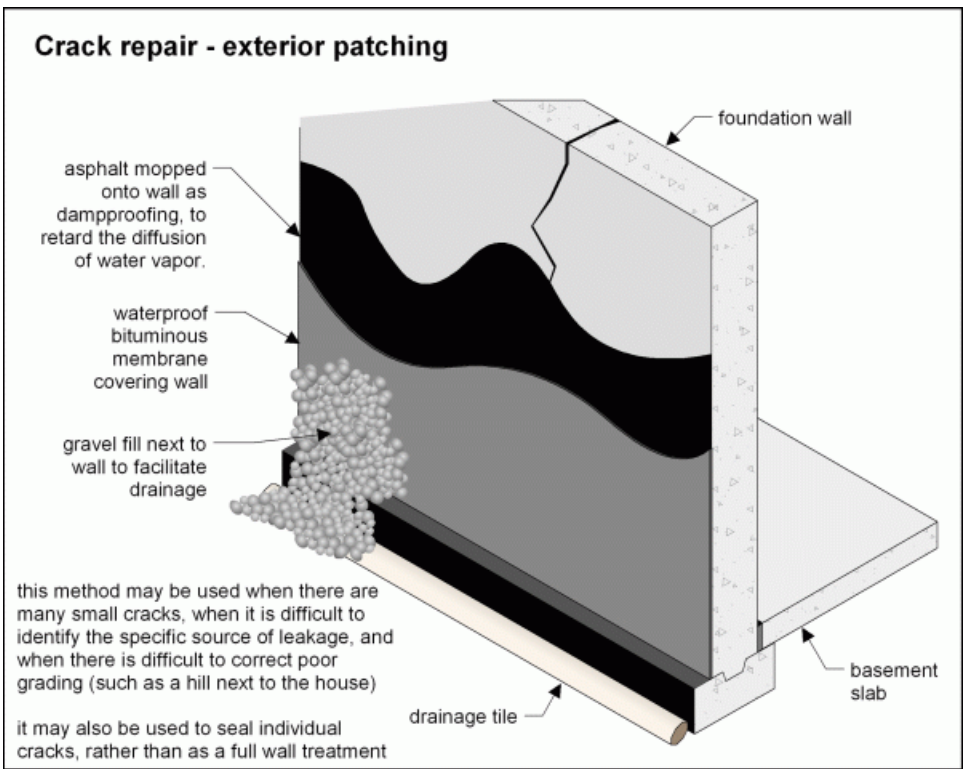
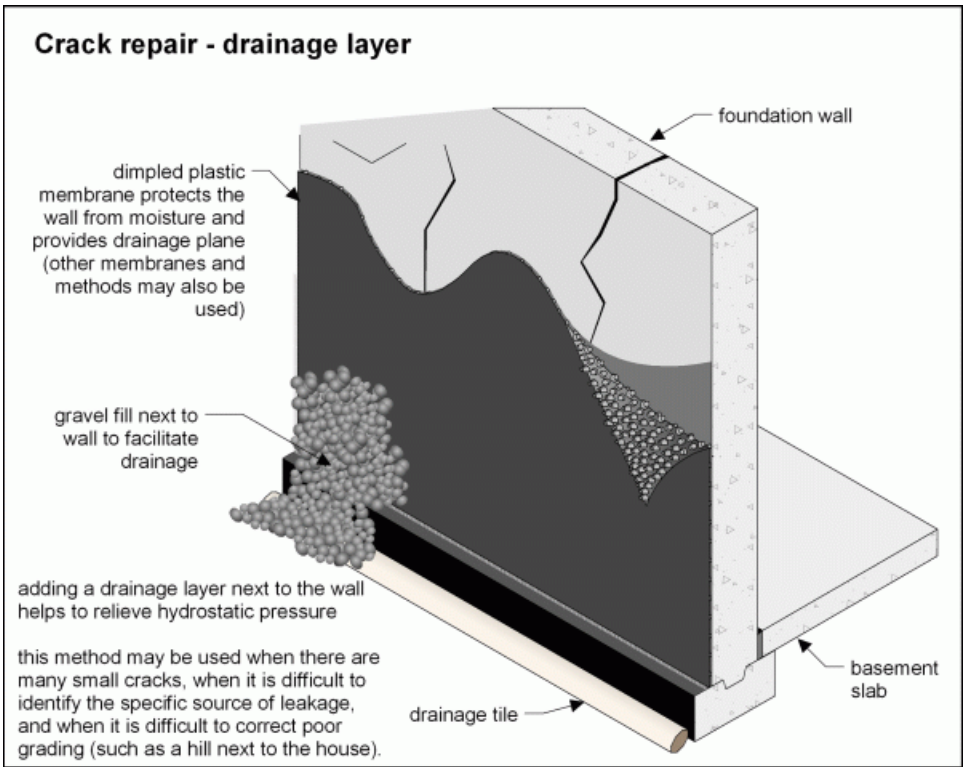
it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

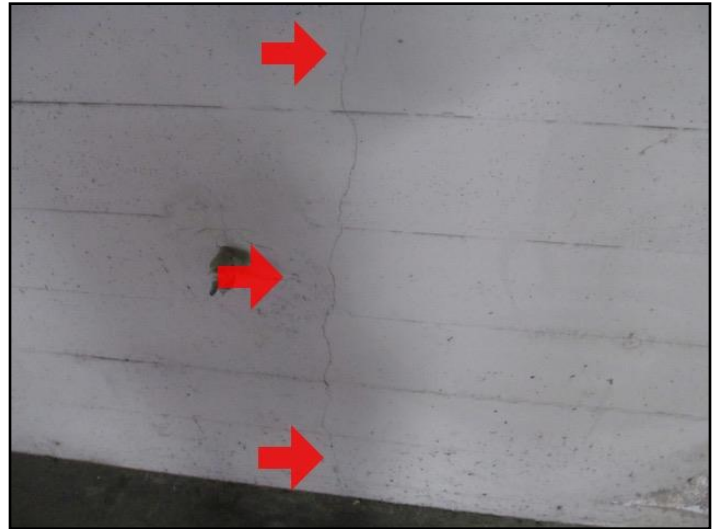
however, it hardens slowly, and if there is space at the back of the crack, it may leak out







28. Typical minor cracks



29. Typical minor cracks

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE

Description

General: • Observed that cover on the high voltage systems where opened at the time of the inspection. It is required that this cover is closed as it is dangerous of potential contact with these high voltage systems. The buildings main electrical service is fed overhead and enters the building in the electrical room (West side). The building has a 500-amp main switch providing power to the various units 60-amp and in unit #107 100-amp switch panels. This service equipment is original and remains in fairly satisfactory and operational condition. I suggest replacing the equipment in the near future to avoid unexpected equipment failure as well recommend contacting insurance provider for more information about this old equipment.



30.



31.



32. 55-amp



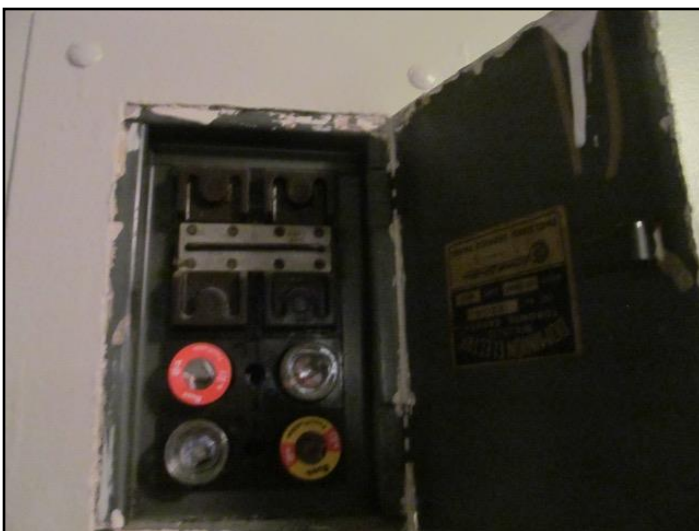
33.

General: • All renovated units are upgraded with 60-amp breaker electrical panel (some electrical panels don't have a main disconnect). Units that are not renovated, has a fuse electrical panels. Fuses electrical panels are now red flagged by most insurance companies.

I recommend upgrading them to modern breaker panels any time within the next few years.

Time: Less than 2 years

Cost: \$3,500 - \$4,000



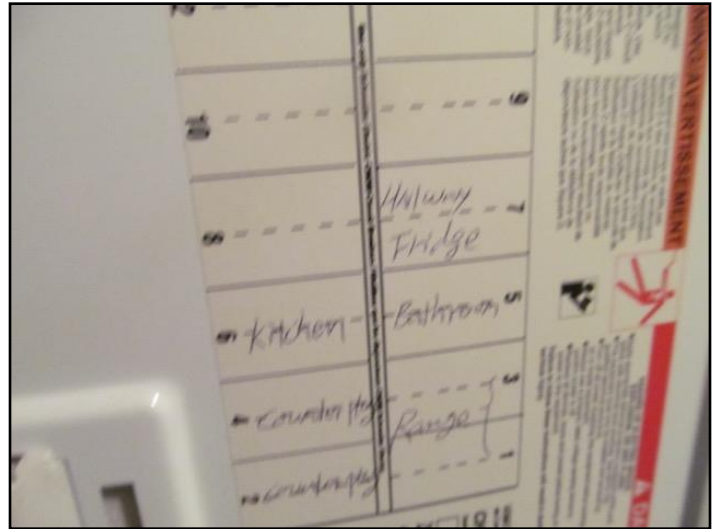
34.



35.



36.



37.



38.



39.



40.

Service entrance cable and location:

- [Overhead](#)

The property has overhead electrical services supplied to the main electrical room (West side) of the building, and a natural gas service provided to a single meter located on the West of the building. These services all remain in functional condition.

I recommend keeping the area around your natural gas meter clear ensures that you, the meter reader or emergency responders can reach it safely at all times.



41. Gas meeter



42. Overhead

Service entrance cable and location: • Overhead

The property has overhead electrical services supplied to the main electrical room (West side) of the building, and a natural gas service provided to a single meter located on the West of the building. These services all remain in functional condition.

I recommend keeping the area around your natural gas meter clear ensures that you, the meter reader or emergency responders can reach it safely at all times.

System grounding material and type: • Grounding for the electrical system is located in the boiler room (bonded to the water line). All clamps are metal and they are in unsatisfactory condition.

Implication(s): Electric shock

Location: West side

Task: I recommend contacting qualified trade person for replacing all clamps.

Cost: \$300 - \$500



43. Rusted clamps



44. Rusted clamps

Distribution wire (conductor) material and type: • All visible branch circuit wiring is copper as visible in renovated units. All wiring seems to be in satisfactory condition however, minor electrical repairs are required.

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • The electrical receptacles that are tested were functional at the time of the inspection. All inspected renovated apartments have GFCI receptacles installed in the bathroom and the kitchen and all were functional at the time of the inspection.



45. Functional electrical outlet - kitchen



46. Functional electrical outlet - bathroom

Recommendations

RECOMMENDATIONS \ General

14. Condition: • This service equipment is original and remains in fairly satisfactory and operational condition. I suggest replacing the equipment in the near future to avoid unexpected equipment failure as well recommend contacting insurance provider for more information about this old equipment.

Implication(s): Unexpected equipment failure

Location: Electrical room

Time: In the near future

Cost: \$20,000 - \$25,000



47.

DISTRIBUTION SYSTEM \ Lights

15. Condition: • The various exterior wall mounted light fixtures were noted to be in fair satisfactory condition with only minor repairs required and some missing fixture covers to be replaced.

The interior lighting inspected is all in fair satisfactory condition, some damaged fixtures need repair or to be replaced.

Not all lights were tested for operation on the day of the inspection. Not all switches were determined for use.

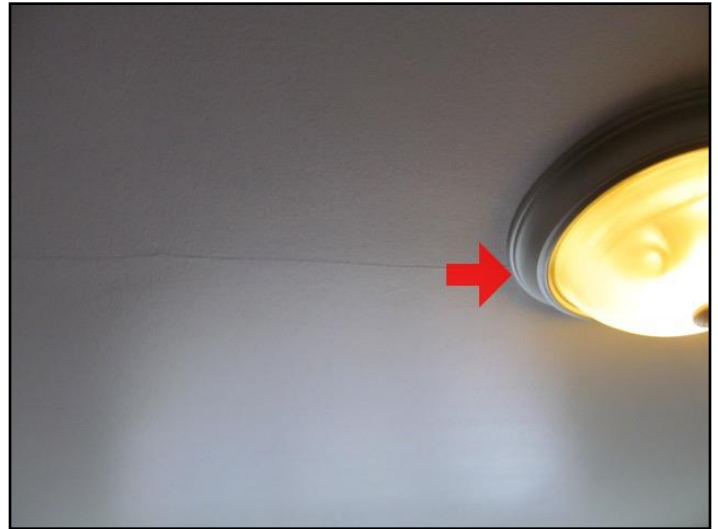
Emergency lighting not tested for operation and is to be confirmed by the service provider.

Time: Less than 1 year

Cost: Minor



48.



49.



50.

Description

General: • The building has two natural gas hot water boilers that are in good operating condition with no visible damage. The manufacturing date of the boiler was not determined, it appears to be installed within the last 6 to 8 years and has an expected service life of 15-20 years. All circulation pumps are functional and appear to remain in good condition.



51. Gas hot water boilers

System type: • [Boiler](#)

Fuel/energy source: • [Gas](#)

Boiler manufacturer: • Burnham

Heat distribution:

• [Baseboards](#)

The building has radiant hot water baseboard heaters that are in unsatisfactory condition to fairly satisfactory condition, some signs of previous leakage were noted on the day of the inspection along with damaged shut off valve handle and loose metal covers. No current leaks were seen on the day of the inspection.



52. Baseboards



53. Baseboards

Recommendations

CHIMNEY AND VENT \ Masonry chimney

16. Condition: • [Loose, missing or deteriorated masonry](#)

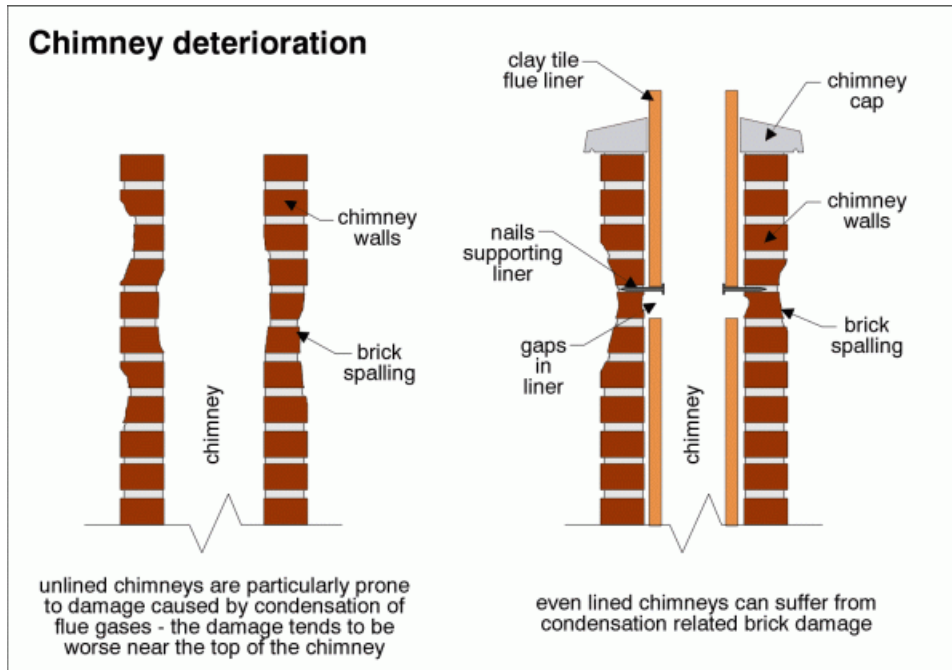
Observed damaged chimney that needs to be repaired.

Implication(s): Material deterioration

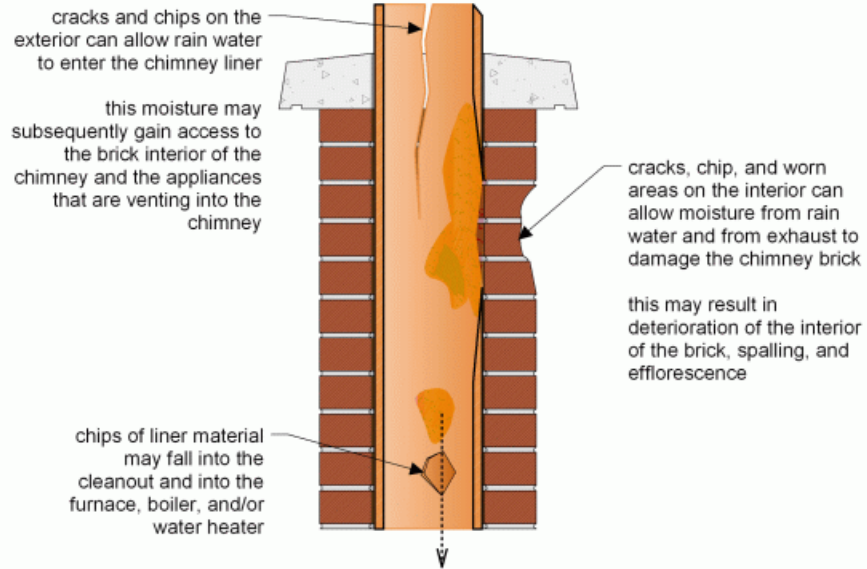
Location: Roof

Time: Ongoing

Cost: \$500 - \$1,000



Deteriorated clay chimney liner



54. Loose, missing or deteriorated masonry

Description

Attic/roof ventilation:

- Turbine vent

A turbine is installed directly on the top of a roof and uses wind power to suck hot and humid air out of the attic.



55. Turbine vent

Attic/roof ventilation: • Turbine vent

A turbine is installed directly on the top of a roof and uses wind power to suck hot and humid air out of the attic.

Limitations

General: • The building has no visible insulation and the condition of any insulation could not be determined and is not part of this building condition report.

Description

General: • The various faucets and fixtures include stainless-steel kitchen sinks. All faucets and fixtures inspected are in unsatisfactory to fairly satisfactory and satisfactory condition with some chipped, stained and damaged on sinks toilets and tubs.



56.



57.



58.



59.



60.



61.



62.



63.



64.



65.



66.

General: • The building has one model "Bradford White" hot water holding storage tank located in the boiler room. The tank has a capacity of 100 US gallons, and manufactured in September 2009. The tank is near the end of life expectancy. The expected service life for this type of tank is between 8 and 10 years.

Observed missing seismic straps. There is a floor drain in the boiler room nearby the tank.



67.

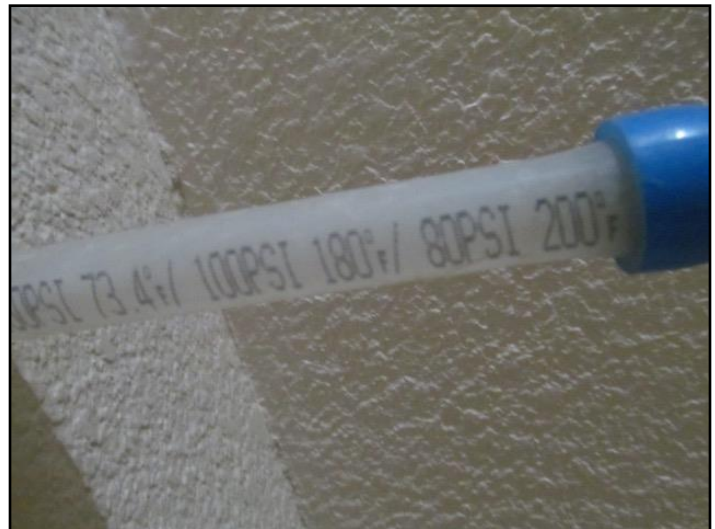
Water supply source (based on observed evidence):

- Public

The water to the building is supplied by a metered city service. The city water enters the building in the boiler room. The visible waterline is the copper pipe and all renovated apartments are upgraded with PEX water piping. The domestic water plumbing system as a whole appears to be in fair satisfactory condition to satisfactory condition. Some copper piping in the building has reached an age where pinhole type leaks may develop, and replacement may be necessary within the next 5 years or so.



68. Public



69. Public



70. Public



71. Public

Main water shut off valve at the: • Boiler room

Waste and vent piping in building: • [Plastic](#)

Waste and vent piping in building: • During the inspection, observed waste disposal piping cast iron and some upgraded plastic piping in the building. All drainage that were tested at various sinks and toilets throughout the building were functional on the time of the inspection.



72.

73.



74.

75.

Exterior hose bibb (outdoor faucet): • The hose bibb is in unsatisfactory condition and also there is no back- flow prevention and bib is not frost protected.



76.

Recommendations

WATER HEATER \ Life expectancy

17. **Condition:** • [Near end of life expectancy](#)

Implication(s): No hot water

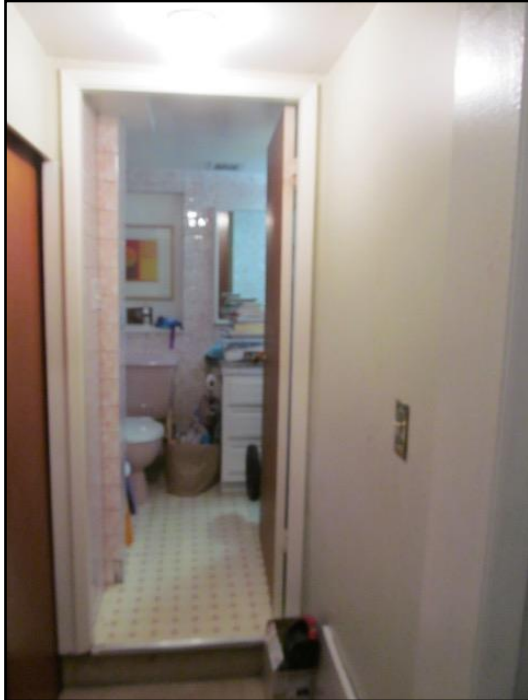
Location: First Floor boiler room

Time: Less than 2 years

Cost: \$8,000 - \$10,000

Description

General: • The interior flooring materials throughout the building is a mixture of ceramic tile, carpet, laminate and hardwood floors. Overall, the flooring is in fairly satisfactory condition to satisfactory condition with no major damage or issues that need immediate repairs.



77.



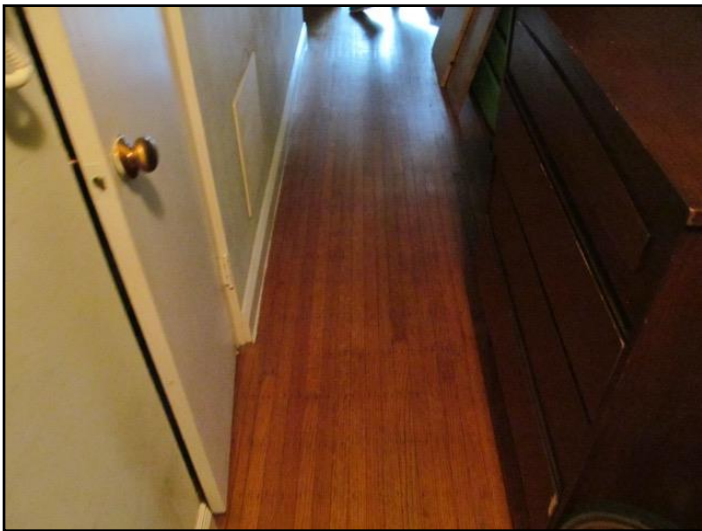
78.



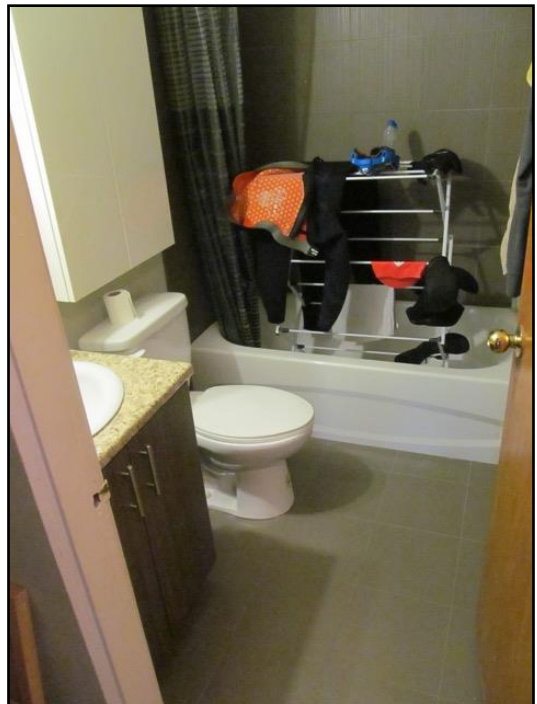
79.



80.



81.



82.



83.



84.

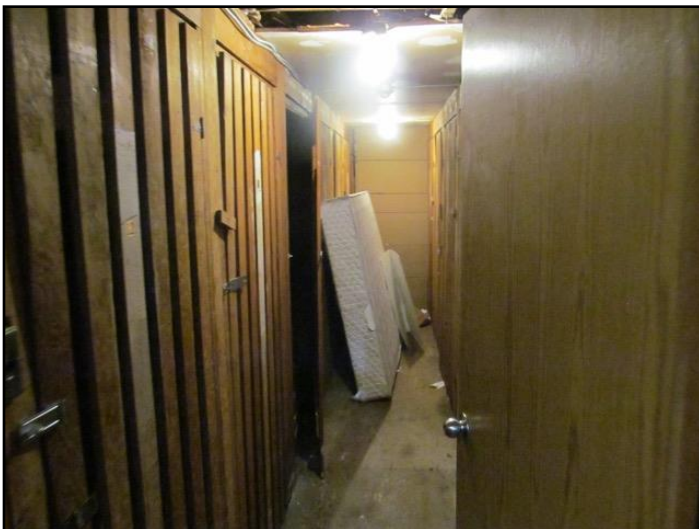


85.

General: • The building has two storage rooms with wood lockers. The ceiling in these storage rooms has large holes that need to be repaired. All walls around need to be repaired and painted. Many locker doors are damaged and need to be repaired.

Time: Ongoing

Cost: \$1,500 - \$2,500



86.



87.

Major wall and ceiling finishes: • The interior walls and ceiling materials throughout the building is a mixture of painted and textured gypsum board and are in unsatisfactory to fairly satisfactory and satisfactory condition. The most unsatisfactory walls and ceilings are in units that are not renovated, locker rooms and common area bathroom. Various suites have dry water stained and repaired ceilings from previous leaks. Observed not properly installed drainage located in the common area bathroom ceiling.



88.



89.



90.



91.



92.

Windows: • The patio doors and windows installed throughout the building are the original single metal framed units that are in unsatisfactory condition to fairly satisfactory condition with some visible damage, and deterioration.

Various window sills inspected have some moisture damage caused by leaving window open during wet weather and condensation buildup.

In some units observed water present on the window sill which is caused by windows condensation. Condensation on the inside of single glazed windows is a common problem and it requires more maintenance than on double glaze windows.

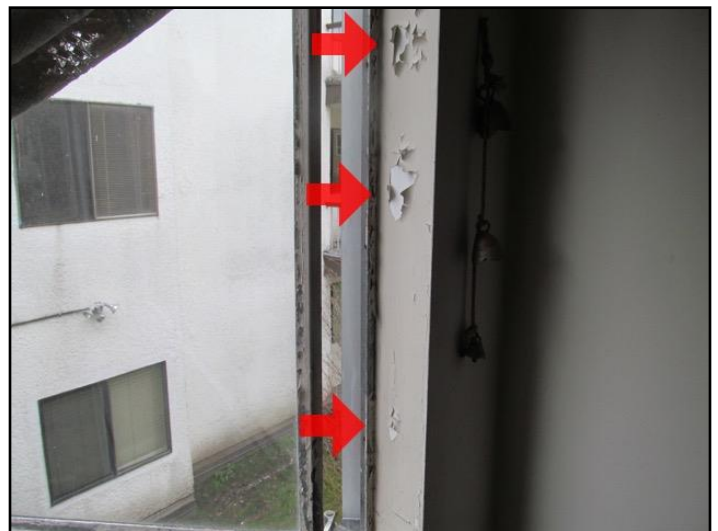
I recommend possible replacement of patio doors & windows.

Time: Less than 6 years

Cost: \$45,000 - \$50,000



93.



94.



95.



96.

Doors: • The building has a various mixed doors that are in fairly satisfactory condition to satisfactory condition with some

INTERIOR

2012 Cornwall Avenue, Vancouver, BC February 4, 2021

Report No. 1054

www.primushomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

REFERENCE

visible damage and some minor wear and tear. The rear entrance door and service entrance door are fairly satisfactory condition with some wear and tear and some repairs are required.



97.



98.



99.



100.

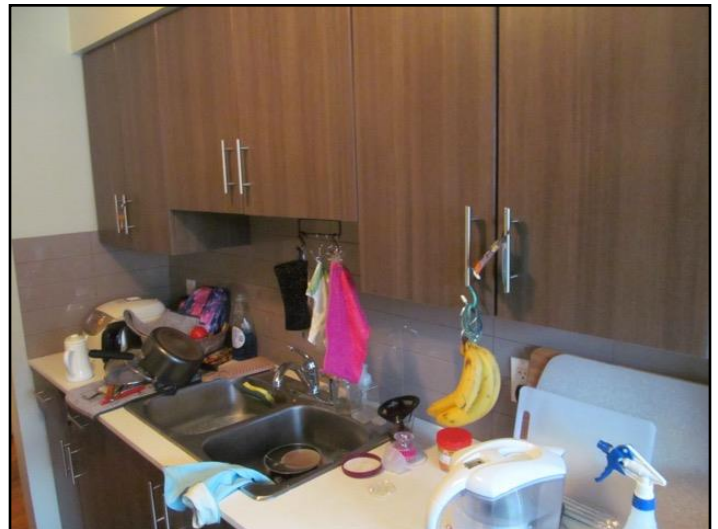


101.

Counters and cabinets: • The suites inspected in the building have different type and materials of the cabinets and counter tops. They are in fairly satisfactory condition to satisfactory condition with some stains along with typical wear and tear type damage. All inspected door and drawer hardware were functional.



102.



103.



104.



105.



106.



107.

Stairs and railings: • The building has two separate sets of interior wood framed stairs with floor mounted handrails. These stairs and handrails are in fairly satisfactory condition with no visible trip hazards or damage.



108.



109.



110.

Inventory Exhaust Fan: • There are various bathroom exhaust fans and kitchen fans. Some inspected bathroom fans are noisy and some are partially blocked with debris and need cleaning but are otherwise in fairly satisfactory operating condition. There is no installed bathroom exhaust fan in penthouse suite 301.



111. Kitchen



112. Bathroom



113. Bathroom



114. Bathroom



115. Kitchen

Inventory Thermostat: • During the inspection, it is observed that there is no thermostat present inside units. The only option for turning on/off heat is to use shut of valve which is located on the heating baseboard.

Limitations

Not included as part of a building inspection:

- Security systems and intercoms

The phone and security systems were not inspected and are not part of this inspection report.

Not included as part of a building inspection: • The fire sprinkler system and equipment, including all piping, valves and testing is not part of this inspection report. For a full report on these components I recommend contacting professionals to inspect and report as required. • The phone and security systems were not inspected and are not part of this inspection report.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS