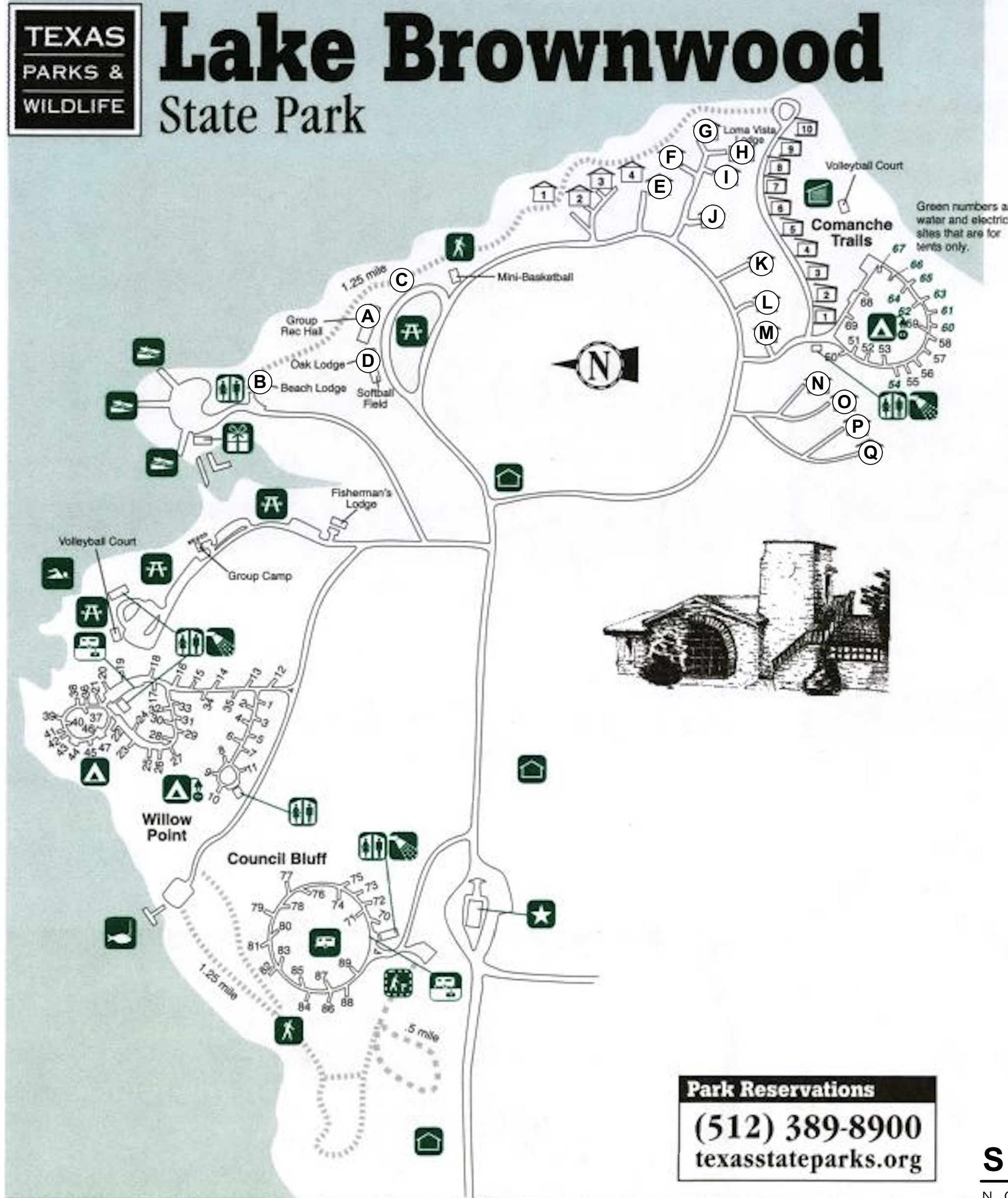


COUNTY LOCATION MAP
NOT TO SCALE



PROJECT SITE KEY

- (A) GROUP RECREATION HALL
- (B) BEACH LODGE
- (C) STAIRCASE PAVILION
- (D) OAK LODGE
- (E) CABIN # 5
- (F) CABIN # 6
- (G) CABIN # 7
- (H) LOMA VISTA LODGE
- (I) CABIN # 9
- (J) CABIN # 10
- (K) CABIN # 11
- (L) CABIN # 12
- (M) CABIN # 13
- (N) CABIN # 14
- (O) CABIN # 15
- (P) CABIN # 16
- (Q) CABIN # 17

SITE LOCATION MAP
NOT TO SCALE



PROJECT
LAKE BROWNWOOD STATE PARK
ROOF REPLACEMENT

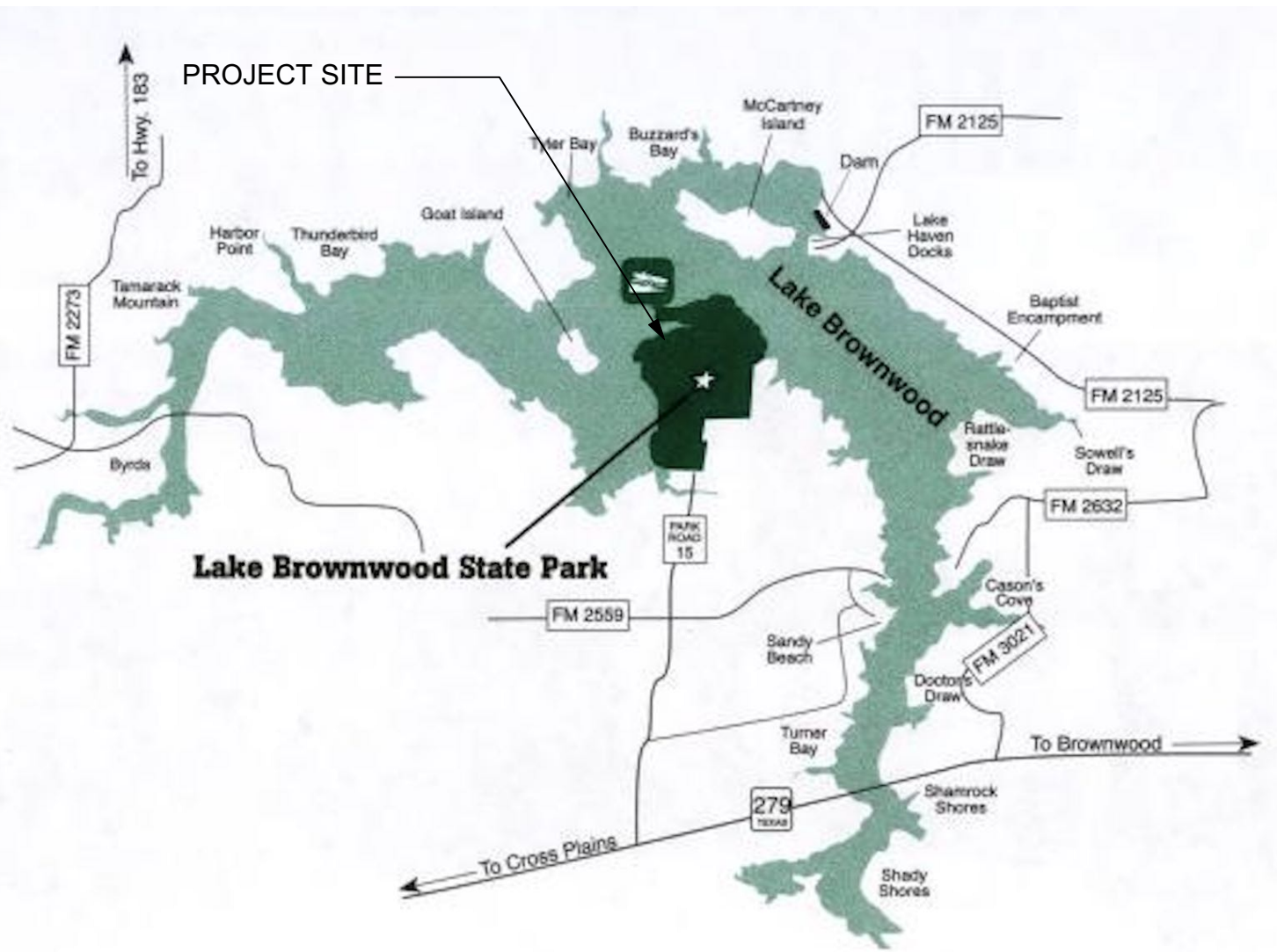
PROJECT NO: 1110153 DATE: APR. 16, 2021

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BUILDING CODE SUMMARY

- A. INTERNATIONAL CODE COUNCIL ADOPTIONS***
- 1. BUILDING CODE INTERNATIONAL BUILDING CODE 2015
 - 2. STRUCTURAL CODE INTERNATIONAL BUILDING CODE 2015
 - 3. PLUMBING CODE INTERNATIONAL PLUMBING CODE 2015
 - 4. MECHANICAL CODE INTERNATIONAL MECHANICAL CODE 2015
 - 5. GAS CODE INTERNATIONAL FUEL GAS CODE 2015
 - 6. RESIDENTIAL CODE INTERNATIONAL RESIDENTIAL CODE 2015
 - 7. EXISTING BUILDINGS INTERNATIONAL EXISTING BUILDING CODE 2015
- * International Fire Code omitted in lieu of TWPD's implementation of National Fire Protection Association codes. International Energy Conservation Code 2015 omitted in lieu of Energy Standard for Buildings, ASHRAE/IESNA Standard 90.1 (2013).
- B. NATIONAL FIRE PROTECTION ASSOCIATION**
- 1. ELECTRIC CODE NATIONAL ELECTRICAL CODE NFPA-70 2020
 - 2. FIRE CODE NFPA - 1 2015
 - 3. LIFE SAFETY CODE NFPA - 101 2015
- C. STATE ENERGY CONSERVATION OFFICE (SECO) / TEXAS COMPTROLLERS OFFICE**
- 1. ENERGY CODES FOR STATE BUILDINGS - See Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch.19, Subchapter C
 - a. COMPLIANCE WITH THE ENERGY CONSERVATION DESIGN STANDARD OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE) / ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA), ENERGY STANDARD FOR BUILDINGS, ASHRAE/IESNA STANDARD 90.1 (2013)
 - b. See SECO website for State Funded Buildings, New Construction and Major Renovation Requirements and SECO Compliance Certification Forms
 - 2. WATER CONSERVATION STANDARDS FOR STATE BUILDINGS - Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch.19, Subchapter C
 - a. COMPLIANCE WITH THE WATER CONSERVATION DESIGN STANDARDS FOR STATE BUILDINGS AND INSTITUTIONS OF HIGHER EDUCATION FACILITIES, STATE ENERGY CONSERVATION OFFICE (SECO), 2016
 - See SECO website for Texas Water Conservation Design Standards, Requirements and SECO Compliance Certification / Reporting Form
- D. ACCESSIBILITY CODES**
- 1. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
 - 2. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES; OUTDOOR DEVELOPED AREAS, NOVEMBER 25, 2013
 - 3. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT CODE, CHAPTER 469
- E. PLAYGROUND SAFETY CODE**
- 1. ASTM F1487-17, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATIONS FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE
 - 2. ASTM F2223-15, STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING



VICINITY MAP
NOT TO SCALE



DESIGN TEAM

ARCHITECT
Hutson Gallagher, Inc.
Chris Hutson, AIA
512-960-0013
chris@hutsongallagher.com

STRUCTURAL ENGINEER
TSEN Engineering
Jamie Buchanan, PE, LEED AP
512-747-4001, Ext. 1005
jbuchanan@tseneng.com



SCOPE OF WORK

- RE-ROOFING OF EXISTING HISTORIC BUILDINGS INCLUDING GROUP RECREATION HALL, BEACH LODGE, OAK LODGE, LOMA VISTA LODGE, STAIRCASE PAVILION AND TWELVE CABINS:
1. REMOVAL OF EXISTING COMPOSITION SHINGLE ROOFS AND ASSOCIATED FLASHINGS
 2. REPAIR AND REPLACEMENT OF ROTTED SHIPLAP DECKING
 3. CLEANING AND REPAIR OF STONE CHIMNEYS
 4. NEW SLOPED MORTAR CAP AT TOP OF CHIMNEYS
 5. INSTALLATION OF NEW METAL ROOF SHINGLES AND FLASHING
 6. INSTALLATION OF NEW MODIFIED BITUMEN ROLL ROOFING AT SELECT LOCATIONS
 7. NEW GUTTERS AND DOWNSPOUTS
 8. REPAIR AND REPLACEMENT OF ROTTED WOOD BEAMS AND TRIM
 9. REMOVAL AND REINSTALLATION OF EXISTING SIDING AS REQUIRED FOR FLASHING
 10. NEW SEALANTS AND EXTERIOR PAINTING FOR REPLACEMENT WOOD SIDING, WOOD BRACKETS AND CHIMNEY CAP
 11. MOCKUPS FOR MASONRY CLEANING METHODS, MASONRY RAKING/ REPOINTING, WOOD EPOXY REPAIR, WOOD BRACKET REPLACEMENT, ROOF SHINGLES/ FLASHING AND PAINT MOCKUPS FOR WOOD SIDING, MISC. FLASHING AND CHIMNEY CAP



TEXAS PARKS AND WILDLIFE

INFRASTRUCTURE DIVISION

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292

gchids 04/27/2021 8:07:32 AM

TEXAS PARKS & WILDLIFE RELEASED FOR SOLICITATION

INFRASTRUCTURE DIVISION

100% SET - CONSTRUCTION DOCUMENTS

ABBREVIATIONS

Table of abbreviations for construction terms, including @ At, A/C Air, AFF Above Finished Floor, and many others.

GENERAL NOTES

CODE COMPLIANCE: ALL WORK PERFORMED SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL CODES, ORDINANCES, AND LAWS, INCLUDING, AS A MINIMUM STANDARD, THE HISTORIC BUILDINGS SECTION OF THE 2015 INTERNATIONAL EXISTING BUILDING CODE.

PERMITTING: CONTRACTOR SHALL APPLY FOR AND FUND ALL APPLICABLE PERMITS AND COORDINATE ALL INSPECTIONS WITH AUTHORITIES HAVING JURISDICTION AS REQUIRED.

TAX EXEMPTION: THIS PROJECT IS TAX EXEMPT. A TAX EXEMPT CERTIFICATE WILL BE PROVIDED BY OWNER UPON REQUEST.

COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES IN THIS CONTRACT. ANY CONFLICTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE WORK BEING INSTALLED.

BID DOCUMENTS: THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS (DRAWINGS) IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL OF THE CONTRACT DOCUMENTS AND WITH ALL OF THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.

FAMILIARITY WITH CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS RELATING TO CONSTRUCTION AND LABOR, AND SHALL FULLY INFORM HIMSELF AS TO THE FACILITIES INVOLVED, THE DIFFICULTIES, RESTRICTIONS, AND LOGICAL EXTENSIONS OF SCOPE ATTENDING THE PERFORMANCE OF THE CONTRACT.

WORK IN HISTORICAL BUILDINGS AND SITES: HISTORICAL DESIGNATION OF THIS BUILDING REQUIRES CONTRACTOR TO EXERCISE SPECIAL CAUTION IN EXECUTING ALL STAGES OF WORK TO PREVENT UNNECESSARY DAMAGE TO HISTORICAL FEATURES, CONDITIONS, OR MATERIALS.

VERIFICATION OF DIMENSIONS: CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, BUILDING ELEVATIONS, AND CONDITIONS BOTH EXISTING AND NEW. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF WORK.

PROTECTION OF BUILDING AND SITE: CONTRACTOR SHALL PROTECT ALL SURFACES NOT SCHEDULED FOR WORK UNDER THIS CONTRACT. ANY DAMAGE TO THE EXISTING STRUCTURE AND SITE THAT OCCURS FOLLOWING THE NOTICE TO PROCEED SHALL BE CORRECTED TO PRE-CONSTRUCTION CONDITION AT NO EXPENSE TO THE OWNER.

SITE ACCESS AND STORAGE: EQUIPMENT AND VEHICLE ACCESS LIMITED TO PAVED AREAS. OFF-ROAD ACCESS PROHIBITED UNLESS PREVIOUSLY APPROVED BY OWNER.

HAZARDOUS MATERIALS ABATEMENT/MANAGEMENT: THE OWNER CONDUCTED AN ASBESTOS SURVEY OF THE BUILDING IN 2021. COPIES OF THE REPORT ARE AVAILABLE FROM THE OWNER.

BUILDING MAINTENANCE: MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION.

WARRANTY: ALL WORK SHALL BE WARRANTED BY THE CONSTRUCTION MANAGER FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

FIRE PROTECTION: NO SMOKING SHALL BE PERMITTED ON SITE. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS AT EACH FLOOR OF THE BUILDING UNTIL SUBSTANTIAL COMPLETION.

TEMPORARY FACILITIES: COORDINATE LOCATION AND PLACEMENT OF CONSTRUCTION FENCE, FIELD OFFICE, MATERIAL STORAGE, PORTABLE TOILET, DUMPSTER, ETC. WITH ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.

SAFETY: PERFORM ALL WORK IN A SAFE AND CONSCIENTIOUS MANNER TO PREVENT INJURIES AND DAMAGE TO THE BUILDING, ITS CONTENTS, OR ITS SURROUNDINGS.

STORAGE: ESTABLISH A SECURE STORAGE AREA FOR ALL ITEMS MARKED "REMOVE FOR REINSTALLATION" OR "REMOVE AND SALVAGE". STORAGE IS TO BE A PROTECTED, SECURE, WEATHERPROOF LOCATION TO PREVENT DAMAGE TO MATERIALS.

ROOF GENERAL NOTES

THESE NOTES APPLY TO ALL ROOFS -

- A. MAINTAIN ROOF IN WATERTIGHT CONDITION DURING THE COURSE OF THE PROJECT. DO NOT LEAVE SUBSTRATE EXPOSED DURING NON-WORKING HOURS.
B. VERIFY EXISTING DIMENSIONS, INCLUDING ROOF SLOPES AND NOTE ANY DISCREPANCIES TO ARCHITECT.
C. INSPECT DECKING AFTER REMOVAL OF EXISTING ROOF AND PRIOR TO PERFORMING WORK.
D. ROOFING SUBCONTRACTOR SHALL WARRANT AND GUARANTEE ALL LABOR AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER SUBSTANTIAL COMPLETION.

SYMBOLS

Table of symbols for construction materials: BRICK MASONRY, CONCRETE BLOCK MASONRY, CONCRETE, FRAMING WOOD, BLOCKING, FINISHED WOOD, EARTH, PLYWOOD, BATT INSULATION, PLASTER OR STUCCO, STEEL, STONE, NEW WOOD OR METAL STUD PARTITION OR SHAFT WALL.

SPECIFICATIONS

DIVISION 01- GENERAL REQUIREMENTS:

B. UNIT PRICES:

- 1. AN UNIT PRICE is an amount proposed by bidders and stated on the Bid Form as a price per unit of measurement for materials and/or services that will be added to or deducted from the contract Sum.
2. SCHEDULE OF UNIT PRICES:
a. UNIT PRICE No. 1: Replacement of additional wood shiplap decking beyond that indicated in the drawings and specifications.

C. SELECTIVE DEMOLITION:

- 1. EXTENT of selective demolition work is indicated on drawings. Refer to Structural Drawings for sequencing of the work, and inspection and temporary shoring requirements.
2. DEMOLITION requires that the selective removal, salvage, or reinstallation of certain elements of work be supervised or performed by the entity responsible for subsequent repair and restoration.
3. PROVIDE AND INSTALL temporary weather-tight protection for all parts of the exterior wall, roof, windows and doors that are open during construction.
4. SALVAGE ITEMS: Where indicated on Drawings, carefully remove indicated items and salvage to secure dry storage for reuse or conveyance to Owner as indicated.

D. MATERIAL SUBSTITUTIONS:

- 1. SUBMIT ALL REQUESTS FOR SUBSTITUTION of materials to the Architect in writing. In each request identify the product or fabrication or installation method to be replaced by the substitution; include related specification section and drawing numbers, and complete documentation of the product originally specified to permit comparison with the substitution.
2. PROVIDE COMPLETE COST INFORMATION, including a proposal of the net change, if any in the Contract Sum.
3. PROVIDE CERTIFICATION by the Contractor to the effect that, in the Contractor's opinion, after thorough evaluation, the proposed substitution will result in work that in every significant respect is equal-to or better than the work required by the Contract Documents.

E. TEMPORARY SCAFFOLDING & SUPPORTS:

- 1. GENERAL: The design, construction and safety of all temporary supports, hoists, chutes, scaffolds, staging, ladders, platforms, formwork, bracing, railings, and similar items needed for proper execution of the work shall be the responsibility of the Contractor.
2. SECURITY: Prevent use of temporary scaffolding and supports by unauthorized personnel by enclosing with plywood partitions or similar barricades when not in use.

F. TEMPORARY FACILITIES:

- 1. REGULATIONS: Comply with industry standards and applicable laws and regulations of authorities having jurisdiction, including but not limited to: building code requirements, health and safety regulations, utility company regulations, environmental protection regulations, and local police, fire department and rescue squad rules.
2. PARKING: Contractor shall coordinate parking with building Owner.
3. FIELD OFFICE: A separate field office is not required.
4. TEMPORARY TOILETS: Do not use existing toilet fixtures or facilities. Provide self-contained single-occupant toilets.
5. FIRE EXTINGUISHERS: Provide portable, UL-rated, class "ABC" dry chemical extinguishers at all floor levels, including the attic, throughout the work.

G. PROJECT COORDINATION - TEXAS HISTORICAL COMMISSION:

- 1. Because these state-owned buildings are over 50-years old, review by the Texas Historical Commission is required per the ANTIQUITIES CODE OF TEXAS as listed in the Texas Natural Resource Code, Title 9, Chapter 191.
a. Contractor shall be aware that failure to conduct the project according to the THC approved contract documents and the terms of this permit may result in cancellation of the permit.
b. TPWD is responsible for notifying THC and obtaining the necessary approval and permits.

H. WARRANTIES & LIEN RELEASES:

- 1. CONTRACTORS' WARRANTIES: Upon completion of construction, the General Contractor and all Sub-Contractors shall warrant, in writing, against defects in materials and workmanship for a period of not less than one year from the date of Substantial Completion.
2. PRODUCT WARRANTIES: Contractor shall provide written warranties published by individual manufacturers for particular products and are specifically endorsed by the manufacturer to the Owner.
3. SUBMITTAL: Submit draft copy written warranties to the Architect for review prior to the date certified for Substantial Completion.

I. PROJECT CLOSEOUT:

- 1. Preliminary Procedures: Before requesting inspection for certification of Substantial Completion, complete the following.
a. Prepare and submit a comprehensive list of items to be completed or corrected prior to final payment.
b. Provide draft as-built copies of Record Drawings, Record Specifications, and Operation and Maintenance Manuals for Architect review.
c. Advise Owner in writing of pending insurance change-over requirements, if any.
d. Discontinue or change over and remove temporary facilities from the site, along with construction tools, mock-ups, and similar elements.

DIVISION 02- SITE CONDITIONS:

A. HAZARDOUS MATERIALS:

- 1. THE OWNER HAS CONDUCTED A HAZARDOUS MATERIALS SURVEY of the exterior of the Lake Brownwood State Park buildings in this contract. No asbestos-containing material was found during the survey.
a. If suspicious material is uncovered during the work, General Contractor shall notify owner immediately.
b. The Architect has no responsibility or liability for design, removal of or testing for asbestos/lead management/abatement.

DIVISION 03- CONCRETE:

NO CONCRETE WORK IS ANTICIPATED

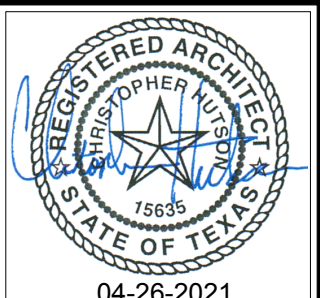
DIVISION 04- MASONRY:

A. SUMMARY: Masonry work includes the following:

- 1. Cleaning and removal of existing sealants, asphaltic materials from siles and top of chimneys.
2. Masonry repair and repointing at chimneys.
3. Removal of existing mortar and installation of new mortar cap at chimneys.
4. Masonry repair and repointing at walls adjacent to roof flashing.
5. All masonry work to be completed prior to roof installation to avoid damage.

B. SUBMITTALS & MOCK-UPS:

- 1. PRODUCT DATA: Submit manufacturer's technical data for each product used, including recommendations for their application and use.
a. Submit final approved repointing mortar mixes for chimney caps as part of Record Documents.
b. Submit final approved repointing mortar mixes for chimney caps as part of Record Documents.
2. SAMPLES: Submit samples prior to erecting mockups of each of the following:
a. Submit each type of mortar for pointing and setting in the form of sample strips of mortar 6 inches long by 1/2 inch wide set in aluminum or plastic channels.
b. Submit one pound dry sample of sand aggregate.



Hutson | Gallagher
1206 Quail Park Drive
Austin, Texas 78758
Phone: (512) 960-0013
www.HutsonGallagher.com

LAKE BROWNWOOD STATE PARK
ROOF REPLACEMENT
PROJECT NUMBER: 1110153

DATE: 04/26/2021
DESIGNED BY: CHRIS H.
DRAWN BY: PAT N.
REVIEWED BY:

no. revision. date

SHEET TITLE

GENERAL NOTES, SYMBOLS & SPECIFICATIONS

SHEET NUMBER

A-1

100% SET - CONSTRUCTION DOCUMENTS



PHOTO 1 SOUTH ELEVATION

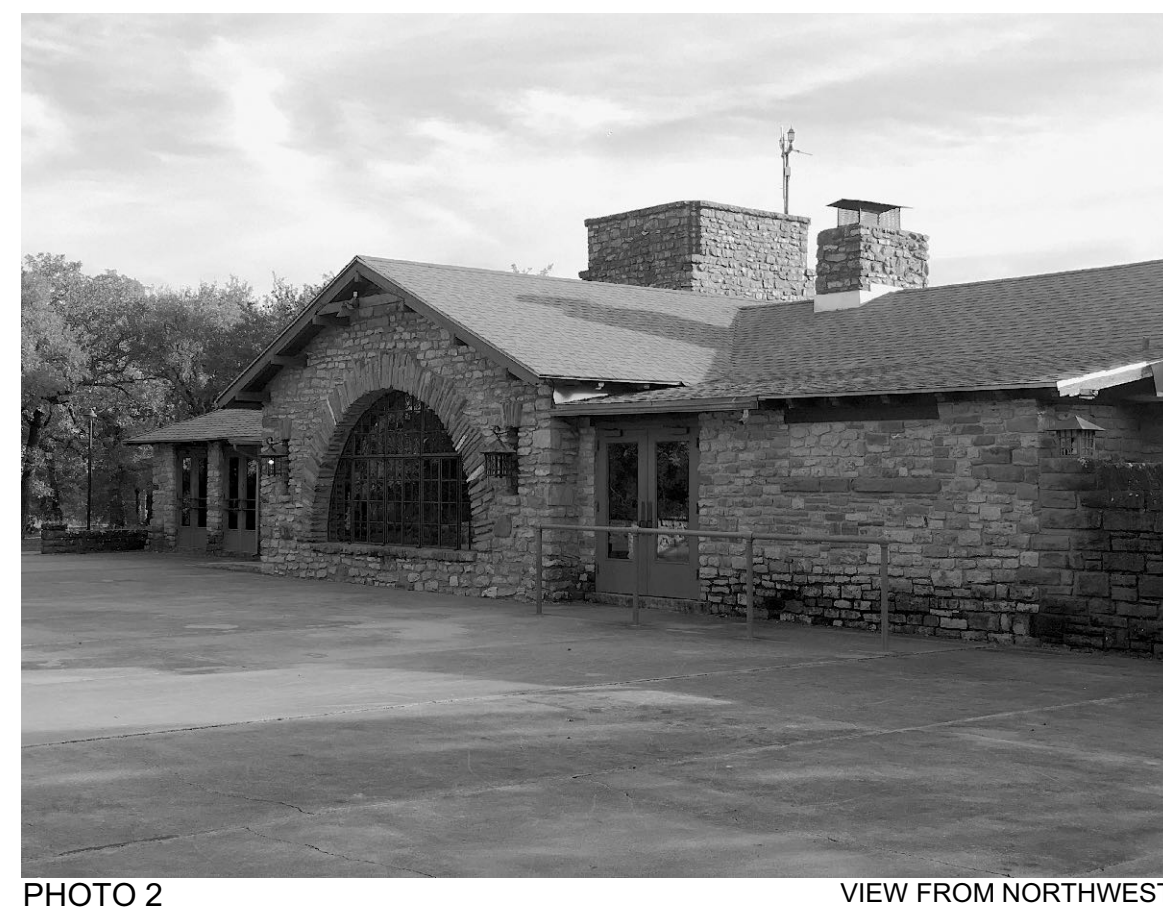


PHOTO 2 VIEW FROM NORTHWEST

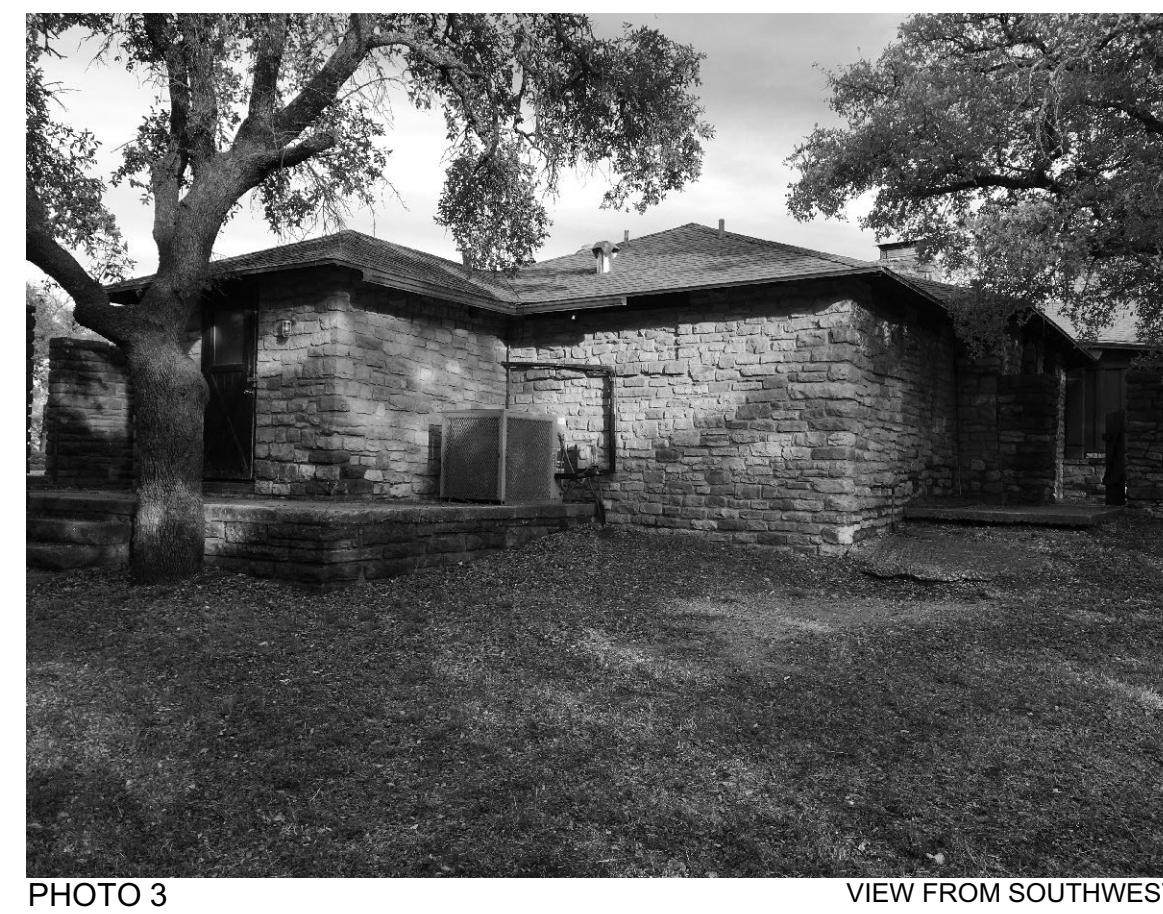


PHOTO 3 VIEW FROM SOUTHWEST



PHOTO 4 VIEW FROM TOWER LOOKING NORTHWEST



PHOTO 5 EAVE AT SOUTH ENTRY



PHOTO 6 VIEW OF TOWER CRICKET

PHOTO 2

PHOTO 3

PHOTO 6

PHOTO 1

PHOTO 4

ROOF CALCULATIONS

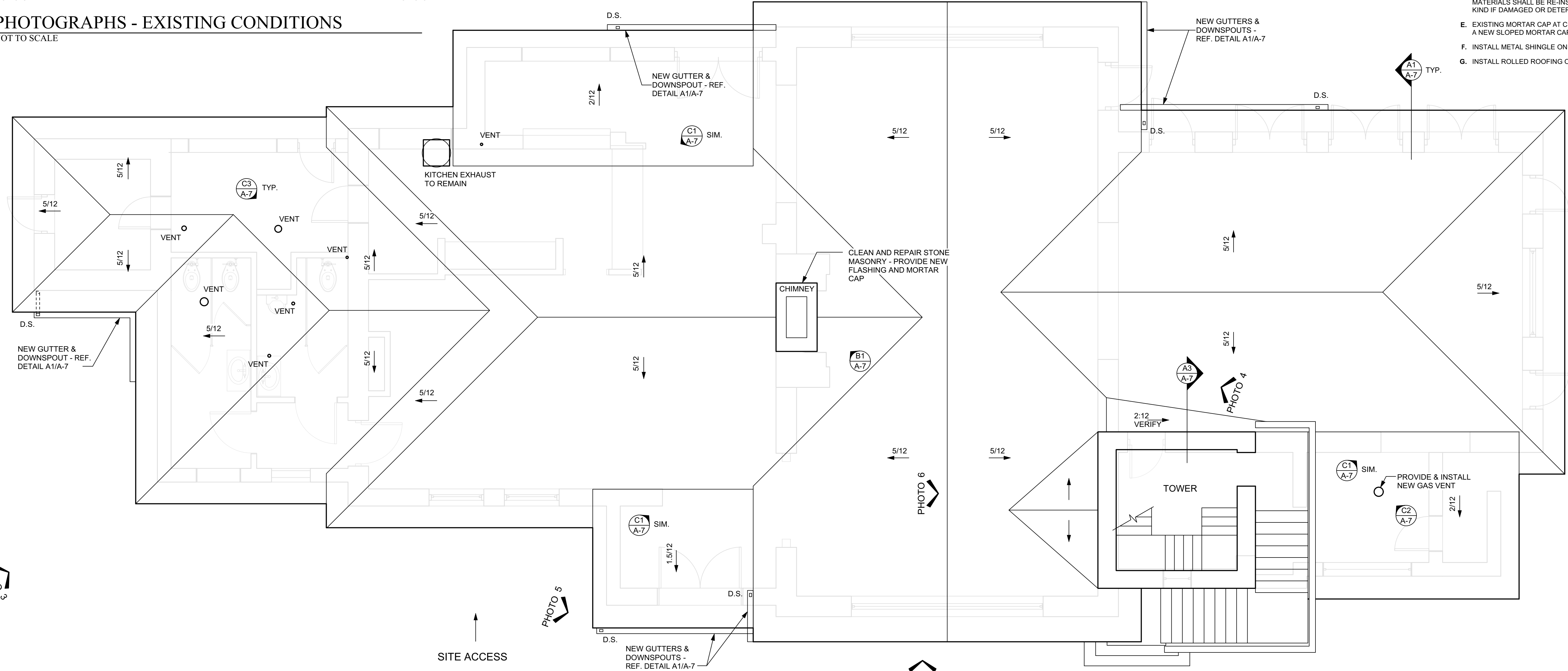
PITCH	ROOF PLAN	SURFACE AREA
1.5 IN 12	136 SF	= 135 SF
2 IN 12	422 SF	= 428 SF
5 IN 12	3,359 SF	= 3,639 SF
TOTAL		= 4,202 SF

PLAN NOTES

- NOTES APPLY TO GROUP RECREATION HALL ONLY
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING.
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.
- F. INSTALL METAL SHINGLE ON ALL ROOFS W >3/12 SLOPE.
- G. INSTALL ROLLED ROOFING ON ALL ROOFS W <3/12 SLOPE.

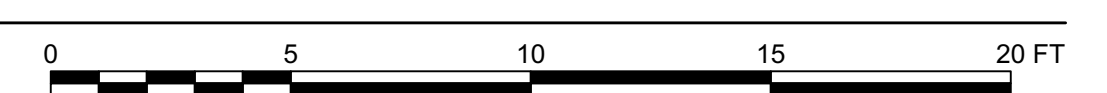
A2 PHOTOGRAPHS - EXISTING CONDITIONS

NOT TO SCALE



A1 ROOF PLAN - GROUP RECREATION HALL

SCALE: 1/4" = 1'-0"



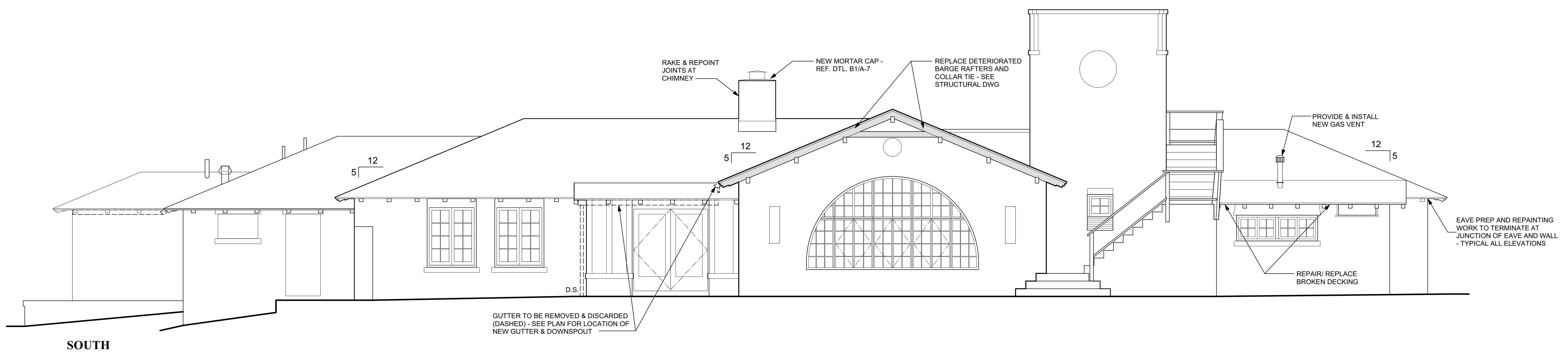
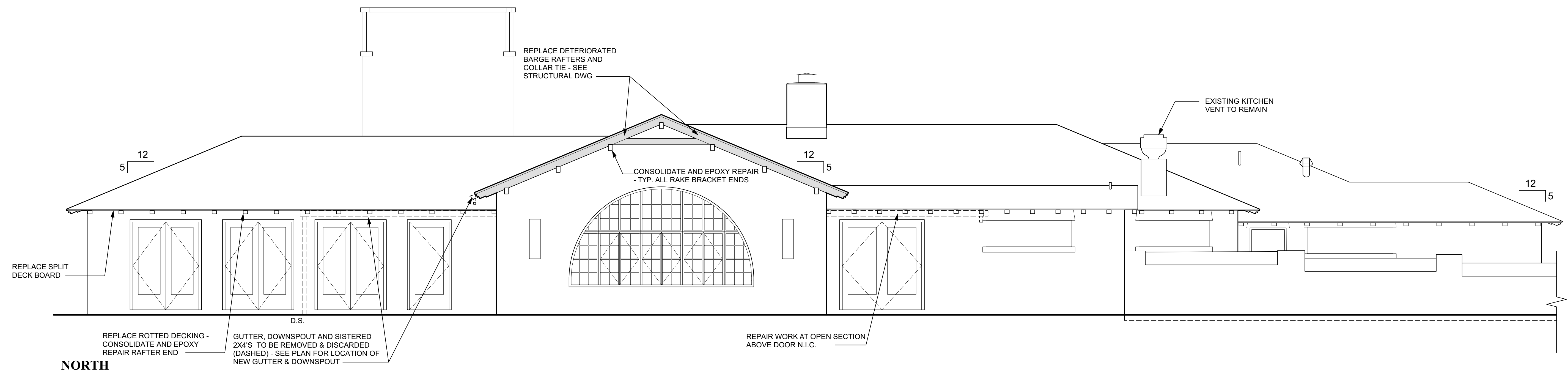
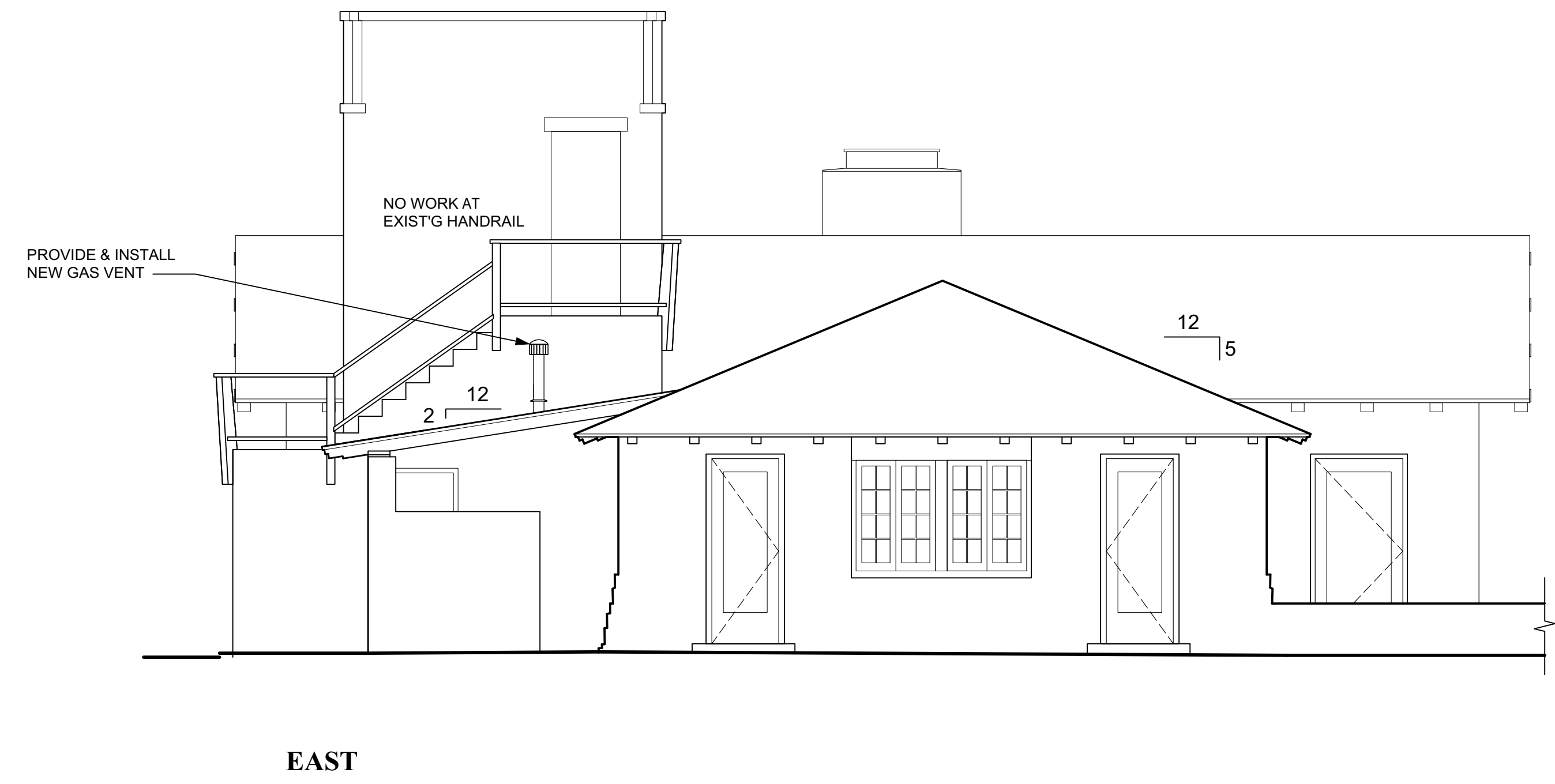
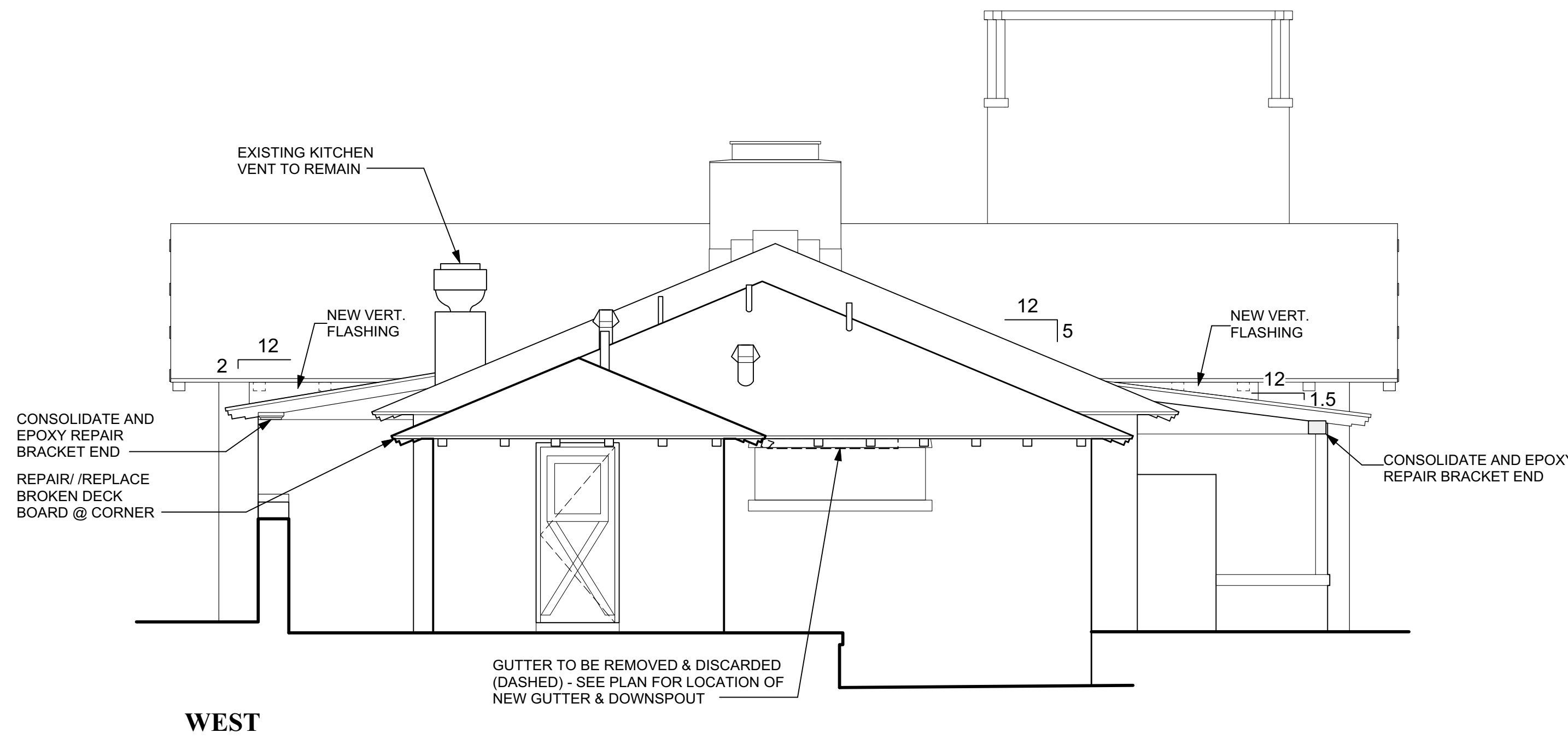




PHOTO 4 WALL OFFSET AT NORTHEAST SIDE OF BUILDING

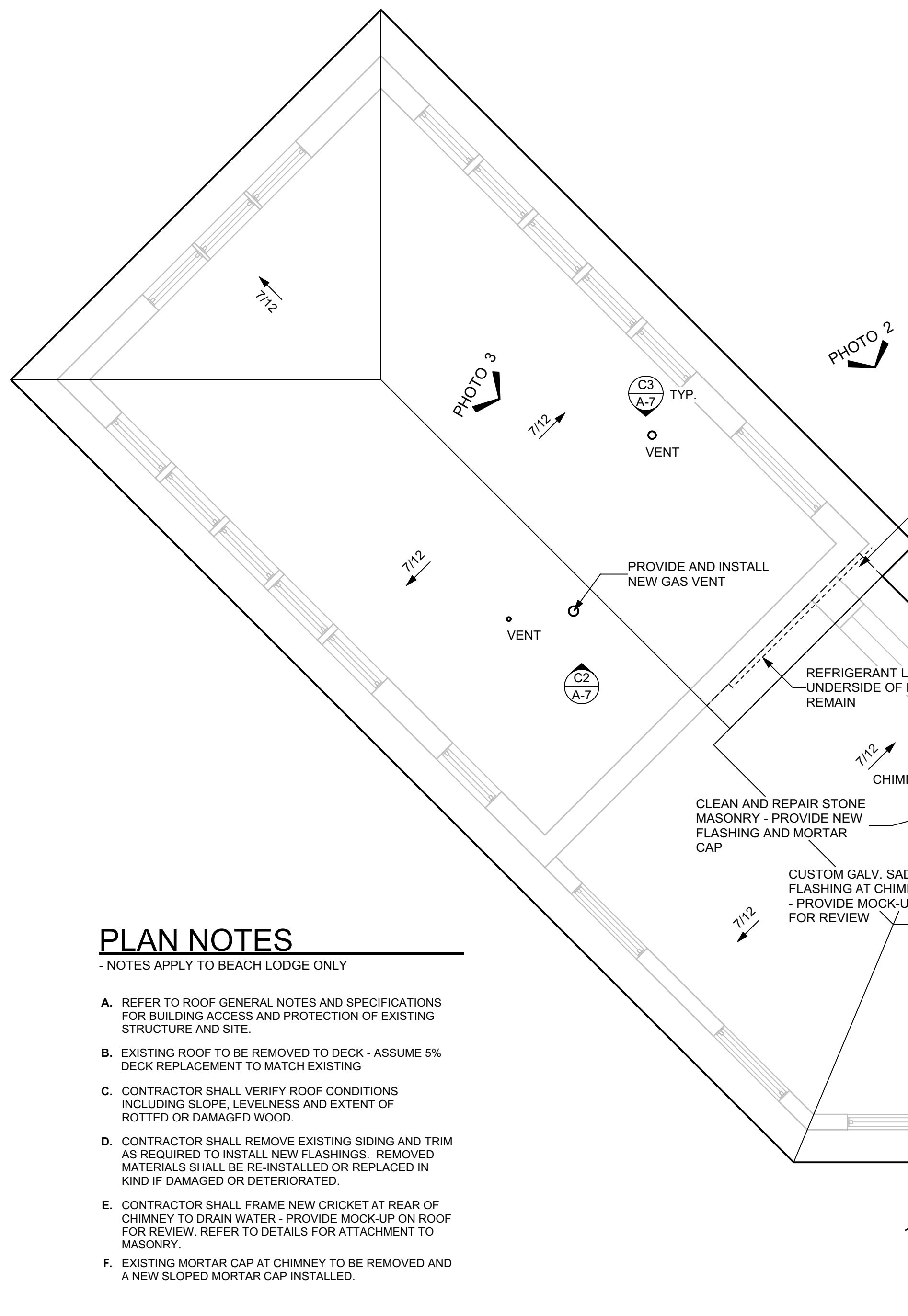
PHOTO 5 CHIMNEY FLASHING

PHOTO 6 ROOF INTERSECTION AT SOUTHWEST ELEVATION

A2 PHOTOGRAPHS - EXISTING CONDITIONS
NOT TO SCALE

ROOF CALCULATIONS

PITCH	ROOF PLAN	SURFACE AREA
7 IN 12	2,871 SF	=3,324 SF
TOTAL ROOF AREA		=3,324 SF



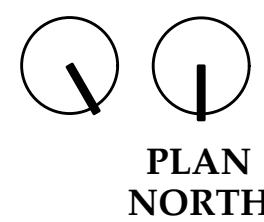
PLAN NOTES

- NOTES APPLY TO BEACH LODGE ONLY

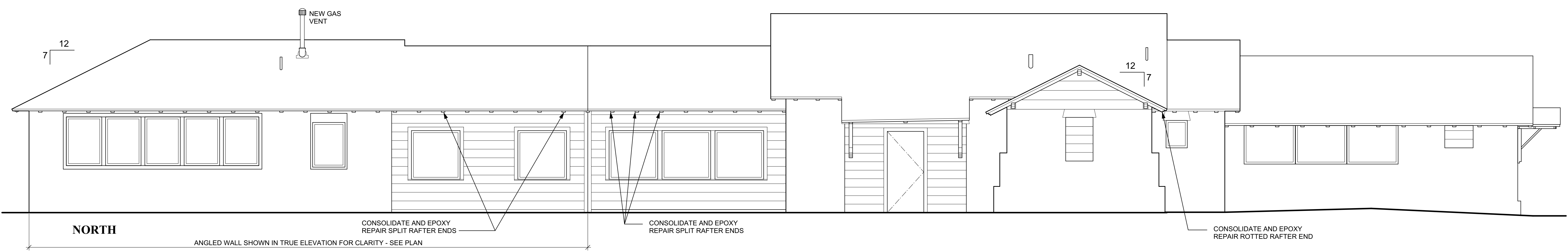
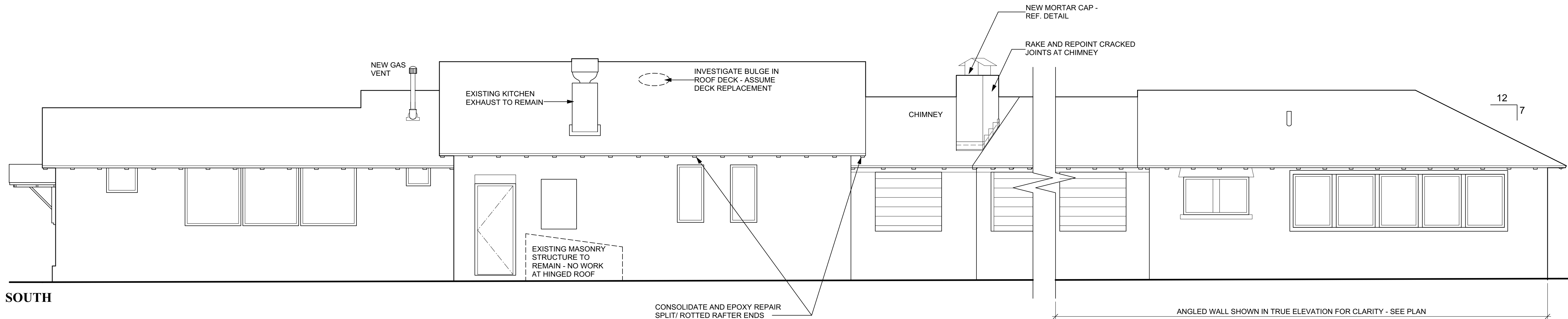
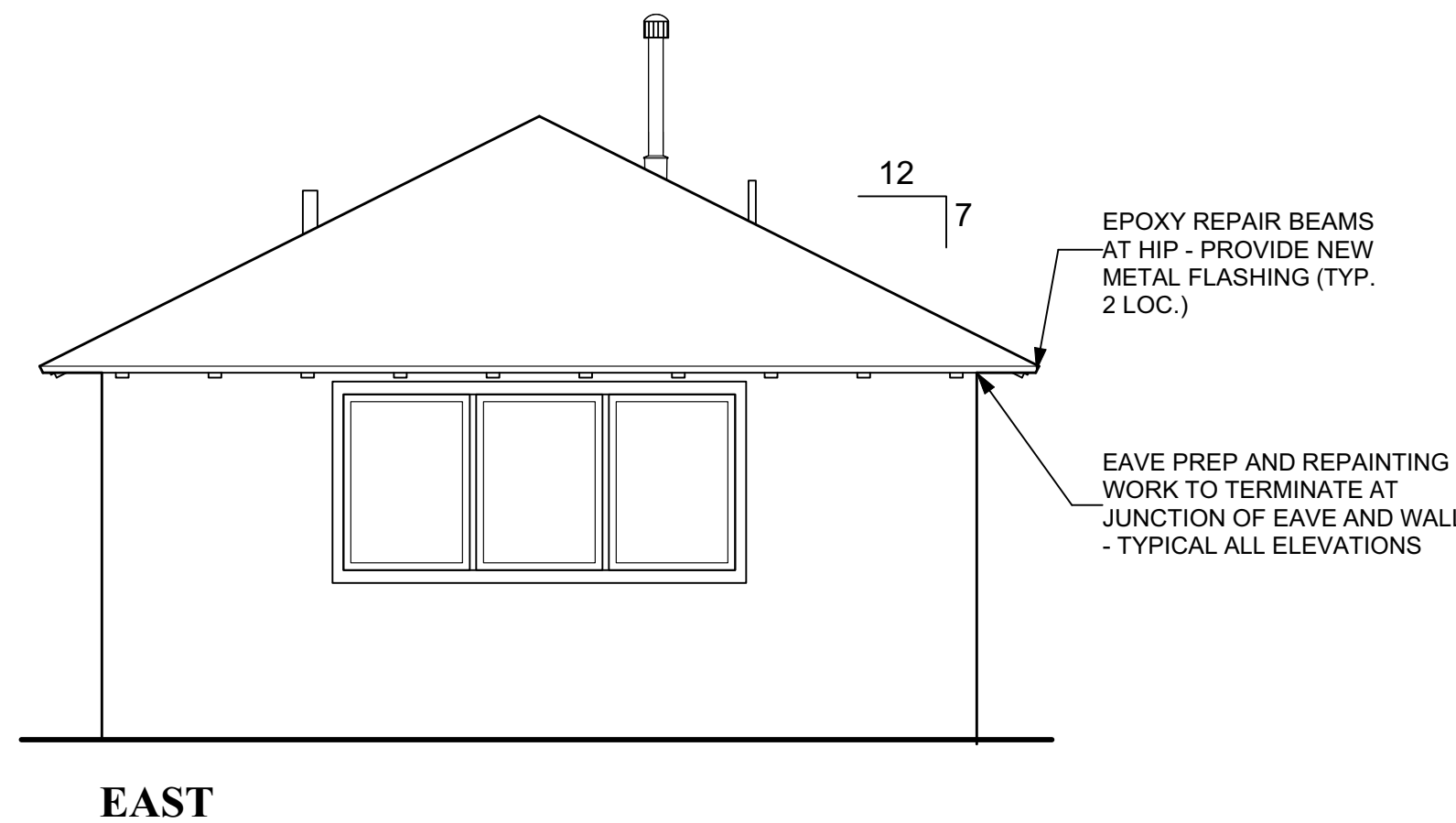
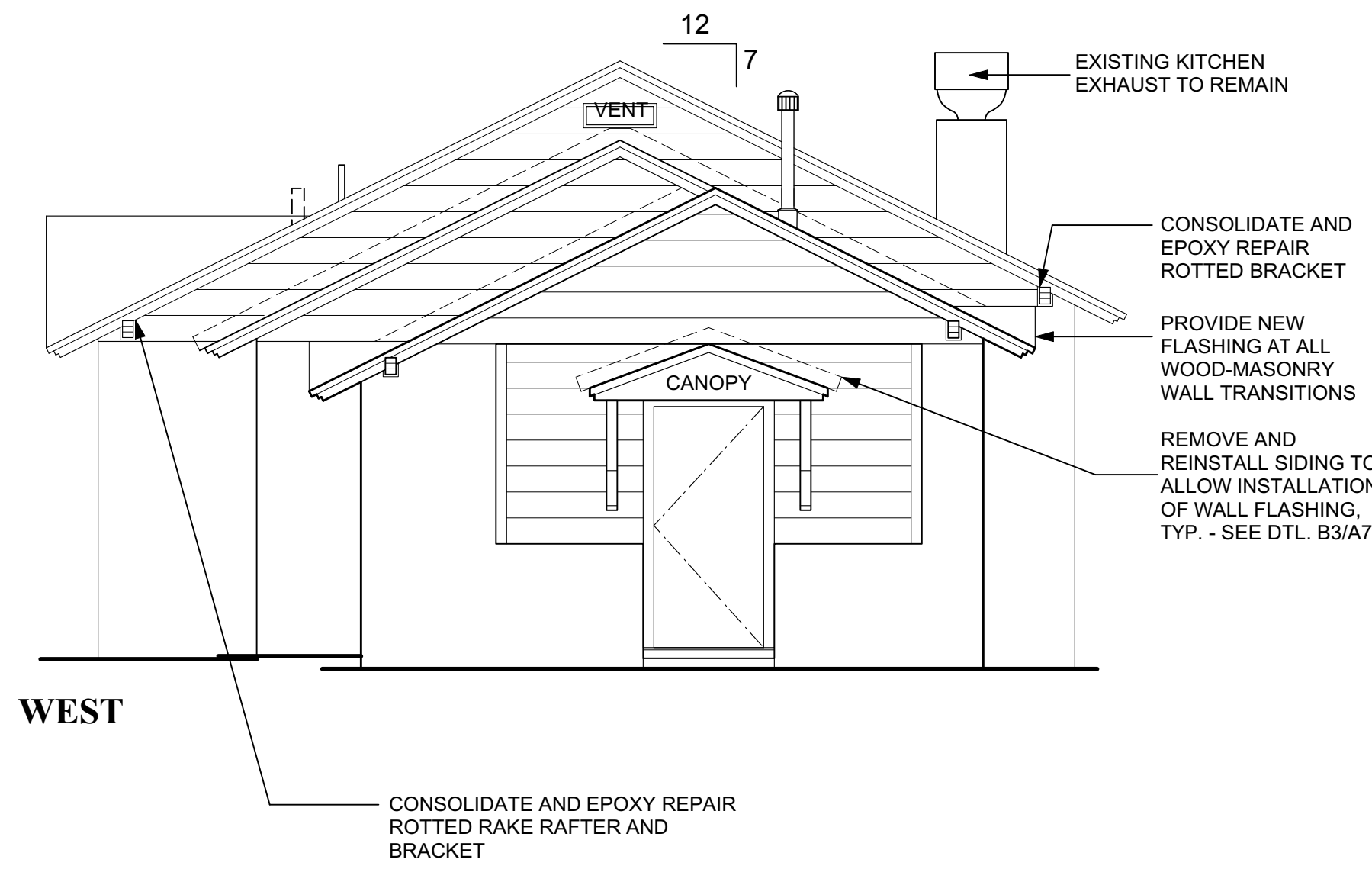
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. CONTRACTOR SHALL FRAME NEW CRICKET AT REAR OF CHIMNEY TO DRAIN WATER - PROVIDE MOCK-UP ON ROOF FOR REVIEW. REFER TO DETAILS FOR ATTACHMENT TO MASONRY.
- F. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.

A1 ROOF PLAN - BEACH LODGE

SCALE: 1/4" = 1'-0"



0 5 10 15 20 FT



A1 EXTERIOR ELEVATIONS - BEACH LODGE
SCALE: 1/4" = 1'-0"

