

# PROJECT SITE KEY

- GROUP RECREATION HALL
- BEACH LODGE

- CABIN # 9

- **CABIN # 15**
- CABIN # 17

- STAIRCASE PAVILION
- OAK LODGE
- CABIN # 5
- CABIN # 6
- LOMA VISTA LODGE
- **CABIN # 11**

- CABIN # 14

- CABIN #7
- **CABIN # 10**
- **CABIN # 12**
- **CABIN # 13**
- **CABIN # 16**

**DESIGN TEAM** 

ARCHITECT

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### **COVER SHEET** GENERAL NOTES, SYMBOLS & SPECS

# SHEET NO. DESCRIPTION

PROJECT

LAKE BROWNWOOD STATE PARK

ROOF REPLACEMENT

INDEX OF DRAWINGS

- A-13 LOMA VISTA LODGE- ROOF PLAN & ELEVS.
- A-14 CABIN #9 ROOF PLAN & ELEVATIONS A-15 CABIN #10 - ROOF PLAN & ELEVATIONS
- A-16 CABIN #11 ROOF PLAN & ELEVATIONS
- A-17 CABIN #12 ROOF PLAN & ELEVATIONS
- BEACH LODGE FLOOR PLAN & ROOF PLAN

  - A-18 CABIN #13 ROOF PLAN & ELEVATIONS
  - A-19 CABIN #14 ROOF PLAN & ELEVATIONS
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  - A-23 STAIRCASE PAVILION, OAK LODGE, LOMA
  - VISTA LODGE & CABIN DETAILS A-24 OAK LODGE & CABIN DETAILS
  - S-1 STRUCTURAL BARGE RAFTER REPLACEMN'

DATE: APR. 16, 2021

# **BUILDING CODE SUMMARY**

### A. INTERNATIONAL CODE COUNCIL ADOPTIONS

SPECIFICATIONS (CONTINUED)

GROUP REC HALL - ELEVATIONS

GROUP REC HALL - FLOOR & ROOF PLANS

BEACH LODGE - ELEVATIONS & DETAILS

STAIRCASE PAVILION - ROOF PLAN & ELEVS.

BEACH LODGE & REC HALL - DETAILS

OAK LODGE - ROOF PLAN & ELEVS.

A-10 CABIN #5 - ROOF PLAN & ELEVATIONS

A-11 CABIN #6 - ROOF PLAN & ELEVATIONS

A-12 CABIN #7 - ROOF PLAN & ELEVATIONS

 BUILDING CODE INTERNATIONAL BUILDING CODE 2015

**PROJECT NO: 1110153** 

SHEET NO. DESCRIPTION

- 2. STRUCTURAL CODE 3. PLUMBING CODE INTERNATIONAL PLUMBING CODE 2015
- 4. MECHANICAL CODE 5. GAS CODE INTERNATIONAL FUEL GAS CODE 2015
- INTERNATIONAL RESIDENTIAL CODE 2015 6. RESIDENTIAL CODE INTERNATIONAL EXISTING BUILDING CODE 2015

\* International Fire Code omitted in lieu of TWPD's implementation of National Fire Protection Association codes. International Energy Conservation Code 2015 omitted in lieu of Energy Standard for Buildings, ASHRAE/IESNA Standard 90.1 (2013).

- **B. NATIONAL FIRE PROTECTION ASSOCIATION** 1. ELECTRIC CODE NATIONAL ELECTRICAL CODE NFPA-70 2020
  - 2. FIRE CODE NFPA - 1 2015

Certification / Reporting Form

- NFPA 101 2015 3. LIFE SAFETY CODE
- C. STATE ENERGY CONSERVATION OFFICE (SECO)/ TEXAS COMPTROLLERS OFFICE 1. ENERGY CODES FOR STATE BUILDINGS - See Energy Conservation Design Standards: Texas Administrative Code,
  - Title 34, Part 1, Ch.19, Subchapter C a. COMPLIANCE WITH THE ENERGY CONSERVATION DESIGN STANDARD OF THE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS (ASHRAE) / ILLUMINATING ENGINEERING
  - SOCIETY OF NORTH AMERICA (IESNA), ENERGY STANDARD FOR BUILDINGS, ASHRAE/IESNA STANDARD 90.1
  - See SECO website for State Funded Buildings, New Construction and Major Renovation Requirements and SECO Compliance Certification Forms 2. WATER CONSERVATION STANDARDS FOR STATE BUILDINGS - Energy Conservation Design Standards: Texas Administrative Code, Title 34, Part 1, Ch.19, Subchapter C
  - INSTITUTIONS OF HIGHER EDUCATION FACILITIES, STATE ENERGY CONSERVATION OFFICE (SECO), 2016 See Seco website for Texas Water Conservation Design Standards, Requirements and SECO Compliance

- 1. US DEPT. OF JUSTICE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2. ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES; OUTDOOR DEVELOPED AREAS, NOVEMBER 25, 2013 3. 2012 TEXAS ACCESSIBILITY STANDARDS, ELIMINATION OF ARCHITECTURAL BARRIERS, TEXAS GOVERNMENT

- E. PLAYGROUND SAFETY CODE 1. ASTM F1487-17, STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATIONS FOR PLAYGROUND
  - EQUIPMENT FOR PUBLIC USE 2. ASTM F2223-15, STANDARD GUIDE FOR ASTM STANDARDS ON PLAYGROUND SURFACING

# **SCOPE OF WORK**

RE-ROOFING OF EXISTING HISTORIC BUILDINGS INCLUDING GROUP RECREATION HALL, BEACH LODGE, OAK LODGE, LOMA VISTA LODGE, STAIRCASE PAVILION AND TWELVE CABINS:

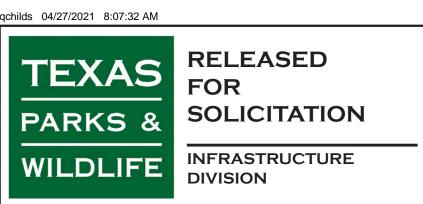
- 1. REMOVAL OF EXISTING COMPOSITION SHINGLE ROOFS AND ASSOCIATED FLASHINGS
- 2. REPAIR AND REPLACEMENT OF ROTTED SHIPLAP DECKING
- 3. CLEANING AND REPAIR OF STONE CHIMNEYS 4. NEW SLOPED MORTAR CAP AT TOP OF CHIMNEYS
- 5. INSTALLATION OF NEW METAL ROOF SHINGLES AND FLASHING 6. INSTALLATION OF NEW MODIFIED BITUMEN ROLL ROOFING AT SELECT LOCATIONS
- 7. NEW GUTTERS AND DOWNSPOUTS
- 8. REPAIR AND REPLACEMENT OF ROTTED WOOD BEAMS AND TRIM 9. REMOVAL AND REINSTALLATION OF EXISTING SIDING AS REQUIRED FOR FLASHING
- 10. NEW SEALANTS AND EXTERIOR PAINTING FOR REPLACEMENT WOOD SIDING, WOOD BRACKETS AND
- 11. MOCKUPS FOR MASONRY CLEANING METHODS, MASONRY RAKING/ REPOINTING, WOOD EPOXY
- REPAIR, WOOD BRACKET REPLACEMENT, ROOF SHINGLES/ FLASHING AND PAINT MOCKUPS FOR WOOD
- SIDING, MISC. FLASHING AND CHIMNEY CAP



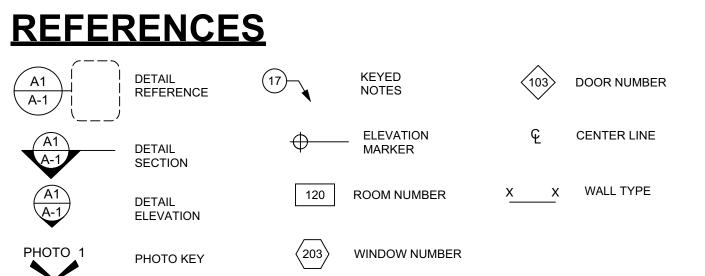
# TEXAS PARKS AND WILDLIFE

INFRASTUCTURE DIVISION

4200 SMITH SCHOOL ROAD · AUSTIN, TEXAS 78744-3292







# **GENERAL NOTES**

CODE COMPLIANCE: ALL WORK PERFORMED SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL CODES, ORDINANCES, AND LAWS, INCLUDING, AS A MINIMUM STANDARD, THE HISTORIC BUILDINGS SECTION OF THE 2015 INTERNATIONAL EXISTING BUILDING CODE.

PERMITTING: CONTRACTOR SHALL APPLY FOR AND FUND ALL APPLICABLE PERMITS AND COORDINATE ALL INSPECTIONS WITH AUTHORITIES HAVING JURISDICTION AS REQUIRED.

TAX EXEMPTION: THIS PROJECT IS TAX EXEMPT. A TAX EXEMPT CERTIFICATE WILL BE PROVIDED BY OWNER UPON

COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES IN THIS CONTRACT. ANY CONFLICTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE WORK BEING INSTALLED. FAILURE TO DO SO WILL

BID DOCUMENTS: THE INFORMATION CONTAINED IN THESE CONSTRUCTION DOCUMENTS (DRAWINGS) IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL OF THE CONTRACT DOCUMENTS AND WITH ALL OF THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.

MAKE THE CONTRACTOR RESPONSIBLE FOR THE COST TO CORRECT THE WORK.

FAMILIARITY WITH CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS RELATING TO CONSTRUCTION AND LABOR, AND SHALL FULLY INFORM HIMSELF AS TO THE FACILITIES INVOLVED, THE DIFFICULTIES, RESTRICTIONS, AND LOGICAL EXTENSIONS OF SCOPE ATTENDING THE PERFORMANCE OF THE CONTRACT. THE CONTRACTOR SHALL THOROUGHLY EXAMINE AND FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR BY THE EXECUTION OF THE CONTRACT SHALL IN NO WAY BE RELIEVED OF ANY OBLIGATION UNDER THE CONTRACT BECAUSI OF HIS FAILURE TO RECEIVE OR EXAMINE ANY FORM OR LEGAL DOCUMENT OR TO VISIT THE SITE AND INFORM HIMSELF THOROUGHLY REGARDING ANY AND ALL CONDITIONS AND REQUIREMENTS THAT MAY IN ANY MANNEF AFFECT THE WORK TO BE PERFORMED UNDER THE CONTRACT. LACK OF KNOWLEDGE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATIONS AND RESPONSIBILITIES ASSUMED UNDER THE

WORK IN HISTORICAL BUILDINGS AND SITES: HISTORICAL DESIGNATION OF THIS BUILDING REQUIRES CONTRACTOR TO EXERCISE SPECIAL CAUTION IN EXECUTING ALL STAGES OF WORK TO PREVENT UNNECESSARY DAMAGE TO HISTORICAL FEATURES, CONDITIONS, OR MATERIALS. CONTRACTOR TO APPRISE ALL SUB-CONTRACTORS AND WORKMEN OF SPECIAL PRECAUTIONS REQUIRED WHEN WORKING WITH HISTORIC BUILDINGS. CONTRACTOR TO MONITOR THE WORK OF ALL TRADES TO PREVENT UNNECESSARY OR OTHERWISE AVOIDABLE DAMAGE TO HISTORICAL FEATURES, CONDITIONS, OR MATERIALS. CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND OWNER AS CONCEALED HISTORICAL CONDITIONS ARE UNCOVERED DURING THE COURSE OF THE WORK AND SHALL ALLOW AND FACILITATE THE DOCUMENTATION OF THOSE CONDITIONS.

VERIFICATION OF DIMENSIONS: CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, BUILDING ELEVATIONS AND CONDITIONS BOTH EXISTING AND NEW. REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT BEFORE BEGINNING ANY PHASE OF WORK. DO NOT SCALE DRAWINGS. ALL NEW PARTITIONS SHALL BE MARKED ON THE EXISTING FLOOR SURFACE FOR REVIEW BY THE ARCHITECT PRIOR TO WALL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALL ACCURATE FIELD DIMENSIONS AND MEASUREMENTS INCLUDING SLOPE.

PROTECTION OF BUILDING AND SITE: CONTRACTOR SHALL PROTECT ALL SURFACES NOT SCHEDULED FOR WORL UNDER THIS CONTRACT. ANY DAMAGE TO THE EXISTING STRUCTURE AND SITE THAT OCCURS FOLLOWING THE NOTICE TO PROCEED SHALL BE CORRECTED TO PRE-CONSTRUCTION CONDITION AT NO EXPENSE TO THE OWNER CONTRACTOR SHALL KEEP THE BUILDING SECURE AND WEATHER-TIGHT AT ALL TIMES. ALL NEW PENETRATIONS SHALL BE MARKED ON THE EXISTING SURFACES FOR REVIEW BY THE ARCHITECT PRIOR TO THEIR DEMOLITION LANDSCAPING, HARDSCAPING, AND ALL OUTDOOR FURNITURE MUST BE PROTECTED BY CONTRACTOR FROM

SITE ACCESS AND STORAGE: EQUIPMENT AND VEHICLE ACCESS LIMITED TO PAVED AREAS. OFF-ROAD ACCESS PROHIBITED UNLESS PREVIOUSLY APPROVED BY OWNER. MATERIAL STORAGE LIMITED TO PAVED SURFACES APPROVED BY OWNER.

HAZARDOUS MATERIALS ABATEMENT/MANAGEMENT: THE OWNER CONDUCTED AN ASBESTOS SURVEY OF THE BUILDING IN 2021. COPIES OF THE REPORT ARE AVAILABLE FROM THE OWNER. THE ARCHITECT HAS NO RESPONSIBILITY OR LIABILITY FOR DESIGN, REMOVAL OF, OR TESTING FOR ASBESTOS, LEAD, AND PCBS OR FOR MANAGEMENT OR ABATEMENT. CONTRACTOR SHALL ENGAGE SERVICES OF ITS OWN SPECIALIST CONSULTANTS AS NECESSARY FOR THE MANAGEMENT/ABATEMENT TREATMENTS, MONITORING, AND LEGAL DISPOSAL OF <u>LEAD PAIN</u> AND SHALL INCLUDE COSTS THEREOF IN THE BID. CONTRACTOR SHALL ASSUME ALL EXISTING PAINT CONTAINS LEAD CONTRACTOR SHALL FOLLOW ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS REGARDING THE PROPER AND SAFE MANAGEMENT, REMOVAL AND DISPOSAL OF LEAD-CONTAINING PAINTS AND WASTE MATERIALS GENERATED BY FINISH REMOVAL

BUILDING MAINTENANCE: MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION.

WARRANTY: ALL WORK SHALL BE WARRANTED BY THE CONSTRUCTION MANAGER FOR A PERIOND OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. REFER TO THE GENERAL CONDITIONS OF THE CONTRACT AND INDIVIDUAL SECTIONS OF DIVISIONS 2 THROUGH 26 FOR SPECIFIC WARRANTY DETAILS.

FIRE PROTECTION: NO SMOKING SHALL BE PERMITTED ON SITE. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS AT EACH FLOOR OF THE BUILDING UNTIL SUBSTANTIAL COMPLETION.

TEMPORARY FACILITIES: COORDINATE LOCATION AND PLACEMENT OF CONSTRUCTION FENCE. FIELD OFFICE. MATERIAL STORAGE, PORTABLE TOILET, DUMPSTER, ETC. WITH ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. REFER TO DIVISION 1 SECTION "TEMPORARY FACILITIES".

SAFETY: PERFORM ALL WORK IN A SAFE AND CONSCIENTIOUS MANNER TO PREVENT INJURIES AND DAMAGE TO THE BUILDING. ITS CONTENTS. OR ITS SURROUNDINGS. CONTRACTOR SHALL MAINTAIN OSHA STANDARDS FOR JOB SAFETY AND WORKER PROTECTION AND COMPLY WITH ALL REQUIREMENTS OF THE HEALTH AND SAFETY CODE OF TEXAS, CHAPTER 756, SUBCHAPTER C FOR ADEQUATE TRENCH PROTECTION, BARRICADES, SIGNS, ETC.

STORAGE: ESTABLISH A SECURE STORAGE AREA FOR ALL ITEMS MARKED "REMOVE FOR REINSTALLATION" OR "REMOVE AND SALVAGE". STORAGE IS TO BE A PROTECTED, SECURE, WEATHERPROOF LOCATION TO PREVENT DAMAGE TO MATERIALS. COORD STORAGE LOCATION W/ OWNER.

# **ROOF GENERAL NOTES**

THESE NOTES APPLY TO ALL ROOFS -

- MAINTAIN ROOF IN WATERTIGHT CONDITION DURING THE COURSE OF THE PROJECT. DO NOT LEAVE SUBSTRATE EXPOSED DURING NON-WORKING HOURS.
- VERIFY EXISTING DIMENSIONS, INCLUDING ROOF SLOPES AND NOTE ANY DISCREPENCIES TO ARCHITECT.
- INSPECT DECKING AFTER REMOVAL OF EXISTING ROOF AND PRIOR TO PERFORMING WORK DOCUMENT ANY PRE-EXISTING DAMAGE OR LEAKS WITH DRAWINGS AND PHOTOGRAPHS.
- ROOFING SUBCONTRACTOR SHALL WARRANT AND GUARANTEE ALL LABOR AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER SUBSTANTIAL COMPLETION. REFER TO SPECIFICATIONS FOR MANUFACTURER WARRANTY REQUIREMENTS AND ADDITIONAL DETAILS.
- E. DO NOT STORE CONSTRUCTION MATERIALS ON ROOF SURFACES.

PROVIDE DOCUMENTATION TO OWNER AND ARCHITECT.

- EXISTING OVERHEAD ELECTRIC SERVICE: COORDINATE WITH EXISTING UTILITY PROVIDER FOR PROTECTION DURING CONSTRUCTION.
- G. REMOVE ALL EXISTING CHIMNEY FLASHING AND ASSOCIATED SEALANT. CLEAN MASONRY TO REMOVE EXCESS SEALANT, ASPHALT, TAR OR OTHER MATERIAL. REFER TO SPECIFICATIONS FOR DETAILS.
- H. PROVIDE NEW ROOF FLASHING AT EACH EXISTING ROOF PENETRATION.
- PROVIDE MOCK-UPS OF ROOF SYSTEM AT EAVE AND RAKE FOR REVIEW BY OWNER AND ARCHITECT. MOCK-UPS SHALL DEMONSTRATE THE PROPOSED RANGE OF AESTHETIC EFFECTS AND WORKMANSHIP. MAINTAIN MOCK-UPS IN PLACE UNLESS DIRECTED OTHERWISE BY OWNER AND ARCHITECT.
- NEW VENT SYSTEMS FOR ALL GAS-FIRED APPLIANCES SHALL BE INSTALLED ACCORDING TO LOCAL AND STATE CODES, AND THE CURRENT EDITION OF THE NATIONAL FUEL GAS CODE, ANSI Z2223.1 (NFPA 54).
- EXISTING METAL FLUE CAPS AT CHIMNETS TO BE REMOVED, REPAIRED AS NEEDED, CLEANED OF RUST, RE-PAINTED AND RE-INSTALLED IN ORIGINAL LOCATIONS. REFER TO SPECIFICATIONS

# **SYMBOLS**

EARTH

	BRICK MASONRY	PLYWOOD
	CONCRETE BLOCK MASONRY	BATT INSULATION
,	 CONCRETE	PLASTER OR STUCCO
	FRAMING WOOD	STEEL
	BLOCKING	STONE
	FINISHED WOOD	NEW WOOD OR METAL STUD PARTITION OR SHAFT WALL

# **SPECIFICATIONS**

#### **DIVISION 01- GENERAL REQUIREMENTS:**

#### B. UNIT PRICES:

- 1. AN UNIT PRICE is an amount proposed by bidders and stated on the Bid Form as a price per unit of measurement for materials and/or services that will be added to or deducted from the contract Sum by appropriate modification in the event the estimated quantities of Work required by Contract Documents are increased or decreased.
- 2. SCHEDULE OF UNIT PRICES:
- a. <u>UNIT PRICE No. 1:</u> Replacement of additional wood shiplap decking beyond that indicated in the drawings and specifications. Cost per square foot.

#### C. SELECTIVE DEMOLITION:

- 1. EXTENT of selective demolition work is indicated on drawings. Refer to Structural Drawings for sequencing of the work, and inspection and temporary shoring requirements. Demolition includes
- a. Remove all existing roofing materials down to wood deck. Remove associated, flashing, crickets, vent flashing, etc. unless noted otherwise.
- Remove all existing gutters and downspouts unless noted otherwise.
- c. Remove all deteriorated or unsound roof decking after inspection. Remove selected wood members including beams, rake boards, and trim as noted on Drawings.
- d. Remove existing finishes including siding, wood trim, as required for new flashing installation.
- e. Remove, salvage and reinstallation of metal flue caps. Removal and replacement of mortar caps at chimney as noted on Drawings.
- 2. DEMOLITION requires that the selective removal, salvage, or reinstallation of certain elements of work be supervised or performed by the entity responsible for subsequent repair and restoration.
- 3. PROVIDE AND INSTALL temporary weather-tight protection for all parts of the exterior wall, roof, windows and doors that are open during construction. Remove protection at completion of work.
- 4. SALVAGE ITEMS: Where indicated on Drawings, carefully remove indicated items and salvage to secure dry storage for reuse or conveyance to Owner as indicated.
- 5. REMOVE AND SALVAGE FOR REUSE: All work designated "remove and salvage for reuse" shall be completed by the subcontractor or tradesman who will be performing the reinstallation. Carefully remove designated element to secure storage in preparation for reinstallation.
- 6. IF UNANTICIPATED mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of the conflict. Submit report to Architect in written, accurate detail. Pending receipt of directive from Owner, rearrange selective demolition schedule as necessary to continue overall job progress
- 7. REPAIR demolition performed in excess of that required. Return structures and surfaces to remain to conditions existing prior to commencement of selective demolition work. Repair adjacent construction or surfaces soiled or damaged by selective demolition work

#### D. MATERIAL SUBSTITUTIONS:

- 1. SUBMIT ALL REQUESTS FOR SUBSTITUTION of materials to the Architect in writing. In each request identify the product or fabrication or installation method to be replaced by the substitution; include related specification section and drawing numbers, and complete documentation of the product originally specified to permit comparison with the substitution. Provide complete product data, drawings and description of products, and fabrication and installation procedures. Provide samples where applicable or requested by the Owner or
- 2. PROVIDE COMPLETE COST INFORMATION, including a proposal of the net change, if any in the Contract Sum.
- 3. PROVIDE CERTIFICATION by the Contractor to the effect that, in the Contractor's opinion, after thorough evaluation, the proposed substitution will result in work that in every significant respect is equal-to or better than the work required by the Contract Documents, and that it will perform adequately in the application indicated.
- 4. ARCHITECT'S ACTION: Do not use substitution products in the work until written acceptance by

# E. TEMPORARY SCAFFOLDING & SUPPORTS:

- 1. GENERAL: The design, construction and safety of all temporary supports, hoists, chutes, scaffolds, staging, ladders, platforms, formwork, bracing, railings, and similar items needed for proper execution of the work shall be the responsibility of the Contractor. Such apparatus, equipment, construction, and use shall meet applicable requirements of labor law, federal safety regulations, and other applicable laws, codes, and regulations of authorities having jurisdiction.
- 2. SECURITY: Prevent use of temporary scaffolding and supports by unauthorized personnel by enclosing with plywood partitions or similar barricades when not in use.

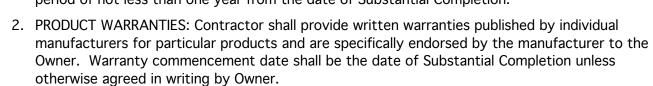
# F. TEMPORARY FACILITIES:

- 1. REGULATIONS: Comply with industry standards and applicable laws and regulations of authorities having jurisdiction, including but not limited to: building code requirements, health and safety regulations, utility company regulations, environmental protection regulations, and local police, fire department and rescue squad rules.
- 2. PARKING: Contractor shall coordinate parking with building Owner.
- 3. FIELD OFFICE: A separate field office is not required.
- 4. TEMPORARY TOILETS: Do not use existing toilet fixtures or facilities. Provide self-contained single-occupant toilets. Keep toilets clean and supplied throughout the course of the Work. Have sewage and waste hauled off-site and properly disposed in accordance with local regulations. Locate toilets near the Work site and secluded from view insofar as possible.
- 5. FIRE EXTINGUISHERS: Provide portable, UL-rated, class "ABC" dry chemical extinguishers at all floor levels, including the attic, throughout the work.
- 6. TEMPORARY ELECTRIC: Contractor shall be permitted to use the facility's electrical power during
- 7. TEMPORARY WATER: Contractor shall be allowed use of existing building water from available hose bibs during the Work.
- 8. MAINTENANCE & REMOVAL: Maintain facilities in good operating condition until removal. Remove
- each temporary facility when the need has ended, or no later than Substantial Completion. Repair damaged Work, clean exposed surfaces and replace construction that cannot be satisfactorily repaired. Repair all damage to landscaping as acceptable to Architect and Owner.

# G. PROJECT COORDINATION - TEXAS HISTORICAL COMMISSION:

- 1. Because these state-owned buildings are over 50-years old, review by the Texas Historical Commission is required per the ANTIQUITIES CODE OF TEXAS as listed in the Texas Natural Resource Code, Title 9, Chapter 191.
- a. Contractor shall be aware that failure to conduct the project according to the THC approved contract documents and the terms of this permit may result in cancellation of the permit.
- b. TPWD is be responsible for notifying THC and obtaining the necessary approval and permits.
- H. WARRANTIES & LIEN RELEASES:

#### 1. CONTRACTORS' WARRANTIES: Upon completion of construction, the General Contractor and all Sub-Contractors shall warrant, in writing, against defects in materials and workmanship for a period of not less than one year from the date of Substantial Completion.



- 3. SUBMITTAL: Submit draft copy written warranties to the Architect for review prior to the date certified for Substantial Completion. Submit final executed original warranties to Architect prior to Final Completion.
- 4. LIEN RELEASES: Submit signed and notarized Partial Releases of Lien from General Contractor and all subcontractors and major suppliers starting with the second application for payment. Submit Final Releases of Lien from General Contractor and all subcontractors and major suppliers upon application for final payment.

#### I. PROJECT CLOSEOUT:

- 1. <u>Preliminary Procedures</u>: Before requesting inspection for certification of Substantial Completion, complete the following. List any exceptions in the request.
- a. Prepare and submit a comprehensive list of items to be completed or corrected prior to final
- b. Provide draft as-built copies of Record Drawings, Record Specifications, and Operation and Maintenance Manuals for Architect review
- c. Advise Owner in writing of pending insurance change-over requirements, if any.
- d. Discontinue or change over and remove temporary facilities from the site, along with construction tools, mock-ups, and similar elements.
- Submit specific warranties, workmanship bonds, maintenance agreements, final certifications and similar documents.
- f. Obtain and submit releases enabling the Owner unrestricted use of the Work and access to services and utilities; include occupancy permits, operating certificates and similar releases.
- g. Deliver tools, spare parts, extra stock, and similar items to the Owner
- h. In the Application for Payment that coincides with or directly follows the date that Substantial Completion is claimed, show 100 percent completion for the portion of the Work claimed as substantially complete. Include supporting documentation for completion as indicated in these Contract Documents and a statement showing an accounting of changes to the Contract Sum.
- 2. Final Acceptance: Within 30 days of the date of Substantial Completion and before requesting Final Observation for certification of Final Acceptance and final payment, complete the following. List any exceptions in the request.
- a. Submit the final payment request and supporting documentation not previously submitted
- i. Submit signed and notarized Releases of Lien from General Contractor and all subcontractors and major suppliers.
- ii. Submit an updated final statement, accounting for final additional changes to the Contract Sum. Refund all un-used allowances to the Owner through Change
- b. Submit a certified copy of the Architect's previous observation dated list of items to be completed or corrected, stating that each item has been completed or otherwise resolved for acceptance, and the list has been endorsed and dated by the Architect
- c. Submit Consent of Surety Company to Final Payment (form supplied by Owner).
- d. Submit final copies of Record Drawings, Record Specifications, and Operation and Maintenance Manuals. Include certificates of insurance for products and completed operations where required.
- e. Completion of final cleaning and paint/finish touch-up.

# **DIVISION 02- SITE CONDITIONS:**

# A. HAZARDOUS MATERIALS:

- 1. THE OWNER HAS CONDUCTED A HAZARDOUS MATERIALS SURVEY of the exterior of the Lake Brownwood State Park buildings in this contract. No asbestos containing material was found during the survey. Copies of the report are available from the Owner. Refer to Hazardous Material Removal Specifications attached separately for locations, and removal scope.
- a. If suspicious material is uncovered during the work, General Contractor shall notify owner immediately. Owner will contract separately to test suspect material and remove any identified asbestos-containing materials.
- b. The Architect has no responsibility or liability for design, removal of or testing for asbestos/lead management/abatement. Extent of Architect's involvement includes only coordination with Asbestos Consultant.

# **DIVISION 03- CONCRETE:**

NO CONCRETE WORK IS ANTICIPATED

# **DIVISION 04- MASONRY:**

# A. <u>SUMMARY</u>: Masonry work includes the following:

- 1. Cleaning and removal of existing sealants, asphaltic materials from sides and top of chimneys.
- 2. Masonry repair and repointing at chimneys.
- 3. Removal of existing mortar and installation of new mortar cap at chimneys. 4. Masonry repair and repointing at walls adjacent to roof flashing.
- 5. All masonry work to be completed prior to roof installation to avoid damage.

# B SUBMITTALS & MOCK-UPS:

- 1. PRODUCT DATA: Submit manufacturer's technical data for each product used, including recommendations for their application and use. Include applicable test reports and certifications substantiating that products comply with requirements.
- a. Submit final approved repointing mortar mixes for each approved color as part of Record
- b. Submit final approved repointing mortar mixes for chimney caps as part of Record

# 2. SAMPLES: Submit samples prior to erecting mockups of each of the following:

- a. Submit each type of mortar for pointing and setting in the form of sample strips of mortar 6 inches long by 1/2 inch wide set in aluminum or plastic channels. Note: Multiple colors may be required to match different locations.
- b. Submit one pound dry sample of sand aggregate. Note type and location of source on
- 3. FIELD-CONSTRUCTED MOCK-UPS: Prior to start of general masonry restoration, prepare the following sample panels on building where directed by Architect. Obtain Architect's acceptance before proceeding with the work.







04-26-2021

Fallagh  $\omega \propto \omega$ 

DATE: 04/26/2021 **DESIGNED BY:** CHRIS H. DRAWN BY: PAT N REVIEWED BY:

no. revision.

**SHEET TITLE** 

GENERAL NOTES,

SYMBOLS &

**SPECIFICATIONS** 

SHEET NUMBER

- b. Raking/Repointing: Prepare mock-up areas for demonstrating methods and quality of workmanship expected in <u>removal</u> of mortar from joints and for demonstrating quality of materials and workmanship expected in <u>repointing</u> mortar joints. Verify exact locations.
- c. Mortar Cap: Prepare mock-up showing typical new mortar cap at cnimnet.

#### C PRODUCTS:

- 1. GENERAL: New pointing/repointing mortar is to match original mortar in color, composition, texture, and tooling. The following specification is intended as a starting point for appropriate mixing of historic mortar. Adjustments to the mix will be required to match the historic mortar.
- 2. MASONRY CLEANING: Contractor shall inspect masonry surface to determine location and types of stains. All stains to be removed unless noted otherwise. Consult with Architect to determine proper removal method for stains not listed herein.
- a. Asphalt and Tar Removal: Prosoco Sure Klean Asphalt & Tar Remover. (www.prosoco.com)
- 3. MORTAR: Mix proportions are examples and shall be revised to suit project requirements based on mortar analysis. Mix mortar materials in the following proportions:
- a. Setting / Repointing Mortar Equivalent to Type S (1:1/2:4-1/2) 1 part white portland cement, 1/2 parts lime, 4-1/2 parts sand aggregate.
- b. Mortar Cap: Equivalent to Type S above with synthetic fiber-reinforcement (multifilament polypropylene stucco fiber that is non-corrosive, chemically inert, and 100% alkali proof.)
- 4. STONE: Salvage, clean and re-use existing stone to the maximum extent possible. No new stone is specified. If new units are required, consult with Architect and Owner prior to proceeding.

#### D. RAKING AND REPOINTING:

- 1. ABATEMENT: Removal of asbestos-containing materials is specified elsewhere. Do not proceed with chimney work until all hazardous materials are removed.
- 2. PROTECTION: Protect surrounding materials on building and site during operations.
- 3. RAKING: Rake out damaged or cracked mortar by hand with chisel and mallet, unless otherwise indicated. Do not spall edges of masonry units or widen joints. Use of power-operated rotary hand saws and grinders will not be permitted without approval of the Architect.
- 4. DEPTH: Rake out mortar from joints to depths equal to 2-1/2 times their widths but not less than 1/2 inch nor less than that required to expose sound, un-weathered mortar.
- 5. RINSING: After raking, rinse masonry joint surfaces with water to remove any remaining dust and mortar particles.
- 6. REPOINTING: Apply first layer of pointing mortar to areas where existing mortar was removed to depths greater than surrounding areas. Apply in layers not greater than 3/8 inch until a uniform depth is formed. Compact each layer thoroughly and allow to become thumb-print hard before applying next layer.
- 7. TOOLING: When mortar is thumbprint hard, tool joints to match existing at exposed locations. Remove excess mortar from edge of joint by brushing.
- 8. CLEANING: After mortar has fully hardened, thoroughly clean exposed masonry surfaces of excess mortar and foreign matter using stiff nylon or bristle brushes and clean water. Use of metal scrapers or wire brushes will not be permitted. Use of acid or alkali cleaning agents will not be permitted.

#### E. MORTAR CAP AT CHIMNEYS:

- 1. REMOVAL: Remove and salvage existing metal flue covers for reinstallation. Remove all existing mortar at chimney caps.
- 2. REPOINTING (CHIMNEY TOPS): Assume repointing of top of chimneys as noted above.
- 3. APPLICATION: Apply mortar directly to chimney, leaving a gap of 1/4" between mortar and claytile flue. Mortar to slope approximately 1" per foot. Do not feather outside edge. Assume min. 3/8" thickness at edge.
- 4. CURING: Cover mortar cap with wet burlap or plastic to prevent shrinkage cracks. Maintain for 36 hours or until mortar is fully cured.

# **DIVISION 05- METALS:**

REFER TO DIVISION 7 FOR METAL FLASHINGS AND GUTTERS.

# A. SUMMARY: Metal work includes the following

1. Removal, repair (if needed), re-painting and reinstallation of existing metal chimney flue caps.

# B. SUBMITTALS & MOCK-UPS:

- 1. MOCK-UPS: Prepare the following mock-ups for review. Obtain Architect's acceptance before proceeding with the work.
- a. Mock-up repairs (if needed) and reinstallation of each type of chimney cap. Coordinate with installation of new mortar caps.

# C. REPAIR AND REINSTALLATION:

- 1. REMOVAL: Carefully remove each chimney cap from top of chimney. Label each to ensure reinstallation in same location.
- 2. REPAIR: Investigate each chimney cap and determine any needed repairs. Types of repairs may include additional welding, new connectors, or replacement of existing components.
- 3. CLEANING AND REPAINTING: Clean chimney caps to remove existing rust prior to repainting. Refer to Division 9 for rust removal and paint products. Assume spray application for paint per manufacturer's instructions.
- 4. REINSTALLATION: Reinstall chimney caps in previous locations.
- a. For caps anchored with fasteners, assume re-anchoring with hex-head masonry screws with neoprene gasket. All anchors to be galvanized or stainless steel.
- b. For caps set in mortar, assume re-anchoring in mortar. Confirm procedure and sequencing during mock-up.

# **DIVISION 06- WOOD, PLASTICS & COMPOSITES:**

# A. SUMMARY: Carpentry work includes the following:

- Removal and replacement of damaged shiplap roof decking
- 2. New wood trim, siding, and other wood where noted on the Drawings
- 3. Treatment and epoxy repair of rotted wood in selected areas.

# B SUBMITTALS & MOCK-UPS:

- 1. PRODUCT DATA: Submit manufacturer's technical data for each product used, including recommendations for their application and use.
- a. Submit product data for all wood used for repair or replacement.
- b. Submit product data for all fasteners, connectors, adhesives and accessories.
- c. Submit product data for wood epoxy system and mildewcide/fungicide.
- d. Submit product data for new underlayment used at areas of siding removal and reinstallation or replacement.

- 2. SAMPLES: Submit samples prior to erecting mockups of each of the following:
- a. Submit sample of replacement decking along with a section of existing for comparison.
- b. Submit sample of replacement exterior siding along with a section of existing for comparison.
- 3. FIELD-CONSTRUCTED MOCK-UPS: Prior to start of general wood repair, prepare the following sample panels on building where directed by Architect. Obtain Architect's acceptance before proceeding with the work.
- a. Epoxy repair: Demonstrate materials and methods to be used for consolidation and epoxy repair of damaged wood. Coordinate location with Owner and Architect.
- b. Bracket replacement: Provide mock-up of replacement brackets at exterior gables. (Both solid wood and built-up types)

#### C. ROUGH CARPENTRY:

- 1. Comply with applicable framing rules of referenced building code.
- 2. Dimension lumber (2-inches to 4-inches thick): No. 2 grade Southern Pine, kiln dried to 15 percent moisture content, surfaced S4S.
- 3. Preservative Treatment: Alkaline Copper Quaternary (ACQ) treated per applicable requirements of AWPA C2 (Lumber) and AWPA C9 (plywood).
- 4. All structural fasteners in pressure treated wood shall be Type 316 Stainless steel. All other exterior fasteners shall be stainless steel or hot-dipped galvanized (G90 or G185)
- 5. Set carpentry work accurately to required levels and lines, with members plumb and true and accurately cut and fitted.
- 6. Decking Repair and Replacement:
- a. Remove all deficient decking and replace with new material. All new decking to match existing. Contractor to verify profile and thickness.
- 1) Assume 5% decking replacement on all Cabins, Loma Vista Lodge, Oak Lodge, and Beach Lodge and Group Recreation Hall.
- 2) Assume 25% decking replacement on Staircase Pavilion.
- 3) Contractor to calculate and track exact amounts during construction. Additional deck repair or replacement, if required, will be done per Division 1 Section "Unit Prices".
- Re-secure any loose or improperly nailed decking. Rotted decking shall be removed at least 2' back from the visible areas of rot and to the next rafter. Ends of boards must be supported from below on rafters.
- c. Notify Architect and Owner if replacement will exceed listed percentages and provide photos and other documentation as acceptable to both parties.
- d. Examine repaired roof deck for compliance with requirements for substrates, installation tolerances, and other conditions affecting performance of Work of this Section. Do not proceed with roof installation until unsatisfactory conditions have been corrected.
- i. Notify Architect of any irregularities in roof deck construction, including asymmetry, sagging, bowing, or other deflection.
- e. Mark areas of deck replacement on Record Drawings.

### D. FINISH CARPENTRY:

- 1. Exterior Siding: Remove, salvage and reinstall existing wood and siding where necessary for new roof flashing. Replace all deteriorated or damaged siding and trim components with new matching materials
- a. Provide new felt underlayment under all reinstalled siding. Underlayment to be Tamko Tam-Felt ASTM D226 Type II saturated felt or approved equal (min. 25lbs per sq.).
- b. Lap new underlayment under any existing felt paper above the work area. Lap paper over new wall flashing at roof level for proper drainage. Lap adjacent sheets vertically and horizontally per manufacturer.
- 2. Exterior Trim: Salvage and re-use existing trim to the extent possible. New trim shall be pressure treated Southern Yellow Pine KDAT 15 per SPIB 260.3, B&B Finish match existing profiles unless noted otherwise. Provide samples of existing and new for approval.

# 3. Interior Trim: No new trim anticipated

- 4. Beam Replacement: New beams shall be sawn WRCLA Western Red Cedar Grade D and Better Clear or approved equal. Match existing dimensions and profile.
- 5. Install new work plumb, level, true and straight with no distortions. Shim as required using concealed shims. Install to a tolerance of 1/8" in 8'-0" for plumb and level horizontal lines; and with 1/16" maximum offset in flush adjoining surfaces and 1/8" maximum offsets in revealed adjoining surfaces.
- 6. Scribe and cut work to fit adjoining work, and refinish cut surfaces or repair damaged finish at
- 7. Standing and Running Trim: Install with minimum number of joints possible, using full-length pieces (from maximum length of lumber available). Stagger joints in adjacent and related members. Cope at returns, miter at corners, to produce tight fitting joints with full surface contact throughout length of joint. Use scarf joints for end-to-end joints.
- 8. Backprime and Prime Lumber for painted finish exposed on the exterior prior to installation. Comply with requirements of section on painting within Division-9 for primers and their application.

# E. <u>WOOD REPAIR</u>:

- 1. Treat, consolidate and repair <u>rotted wood beam ends and other locations</u> with Abatron wood epoxy system or approved equal as noted on the Drawings. Provide mock-up for approval.
- a. <u>Mildewcide/Fungicide</u>: 10% water-borne solution of copper naphthenate (Copper-Green Wood Preservative or approved equal)
- b. Epoxy Repair Materials: Approved equal to products of Abatron, Inc., 5501 95th Avenue, Kenosha, WI 53144; Telephone: (414) 653-2000; Fax: (414) 653-2019.
- i. Consolidant: LiquidWood.
- ii. Patch: WoodEpox.

# 2. Execution:

- a. Remove all rotted, loose or otherwise unsound wood from element to be restored.
- b. Apply mildewcide over surface to be patched. Allow to dry per manufactures instructions.
- c. Strengthen and stabilize wood using consolidant epoxies which saturate the bare wood. Then fill with epoxy patching compound and sand. Use epoxy compounds to build up missing or damaged parts of members duplicating existing profiles. Sand patch smooth to uniform surface plane matching original surface.

# **DIVISION 07- THERMAL AND MOISTURE PROTECTION:**

- A. <u>SUBMITTALS</u>: Submit product data for each type of product specified.
- B. <u>QUALITY ASSURANCE</u>: A single Installer shall perform the Work of this section and shall be a firm employing persons <u>with not less than ten (10) years successful experience in roofing with a minimum of three (3) completed installations of metal shingle roofing systems similar to this project.</u>
- 1. Provide documentation of Installer's experience. Include list of completed projects with project names, addresses, names of Architects and Owners, and other information specified.

- C. <u>REFERENCES</u>: Except as otherwise shown or specified, comply with applicable recommendations and details of "<u>Architectural Sheet Metal Manual" by SMACNA, latest edition</u>. Conform to dimensions and profiles shown in the Contract Documents, except as modified by reference to SMACNA details.
- D. <u>MOCK-UPS</u>: Prior to installing shingles, erect a minimum 4 foot-by-4 foot (min.) mockup pitched roof panel matching slope of existing roof, using each type of the shingles selected to verify selections and to demonstrate aesthetic effects as well as qualities of materials and execution. Mock-up to include flashing. Accepted mock-up will be the standard by which completed work of this section is judged.
- 1. <u>Build mockup on site at location</u> directed by Architect and schedule completion of mockups to allow Architect's review during the monthly progress meeting. Notify Architect in advance of the monthly progress meeting when mockup will be ready for review.
- 2. Obtain Architect's acceptance of mockup before start of final unit of Work.
- E. DELIVERY, STORAGE, AND HANDLING:
- 1. <u>Deliver</u> materials to project site in manufacturer's unopened bundles or containers with labels
- 2. <u>Handle and store</u> materials at project site to prevent water damage, staining, or other physical damage. Store roll goods on end. Comply with manufacturer's recommendations for job site storage, handling, and protection.
- F. EXTRA MATERIALS:
- Deliver extra materials to Owner packaged with protective covering for storage and identified with labels clearly describing contents.
- 2. Furnish quantity of full-size roofing shingles equal to <u>2 percent</u> of each type of shingle installed.

#### G. PRODUCTS:

- Underlayment All valleys, ridges, eaves, rakes and around all penetrations: TAMKO TW Metal & Tile Underlayment (self-adhering SBS modified asphalt)
- 2. Underlayment Fire Resistance: GAF VersaShield Fire-Resistant Roof Deck Protection
- 3. Valley Flashing: TAMKO 24" wide W-Valley (1-rib, hemmed edges) 26-gauge galvanized steel (G-60) per ASTM A-653.
- 4. Metal Shingles: TAMKO Metalworks Steel Shingles AstonWood Series with preformed ridge caps clips, sidewall flashing and all other required accessories. Shingle color to be selected by Owner and Architect.
- a. Shingle material: 28 gauge 0.0162" (0.041148 cm) thickness, G-90 galvanized.
- b. Length: 23.5" length standard
- c. Size: Shingle width—overall: 39-3/4", height—overall: 12-5/8"
- d. Exposure: 12" standard
- e. Coating: Kynar 500 or Hynar 5000 70% PVDF resin-based coating.
- f. Fire Rating: Class "A" per UL 790 Note See Manufacturer details for achieving Class A fire rating.
- d. Impact Resistance: Class "4" per UL 2218
- e. Wind Resistance: per ASTM D3161, Class F
- h. Warranty: Provide <u>TAMKO 50-year Limited Warranty and Arbitration Agreement</u>. Coordinate all required warranty inspections.
- 5. Shingle Fasteners: 11 or 12 gauge galvanized steel nails or screws with 3/8" (1cm) heads. Stainless Steel nails and other stainless steel fasteners should not be used with this product. The minimum length of fastener is 1 1/2" (3.8cm). Fasteners must penetrate the deck by at least 1/2" (1.3cm) (FIELD VERIFY LENGTH TO PREVENT PENETRATION OF INTERIOR CEILINGS AND
- EXTERIOR SOFFITS)

  6. Edge Flashing: 2-1/2" x 1-1/2" 26-gauge galvanized steel (G-60) per ASTM A-653
- 7. Wall Flashing & Counter Flashing: 1-1/2" x 1-1/2" 28-gauge galvanized steel (G-60) per ASTM
- 8. Custom Flashing: Custom fabricated from 26-gauge galvanized steel (G-60) per ASTM A-653
- Self-Adhering Roofing self-adhering SBS modified bitumen membrane as manufactured by GAF or approved equal meeting requirements of ASTM D6164, Type 1:
- a. Underlayment: GAF Liberty SBS Self-Adhering Base/Ply Sheet.
- b. Cap Sheet: GAF Liberty SBS Self-Adhering Cap Sheet. Color to be selected by Owner and Architect.
- 10. Roof Boots: One-piece rubber TPE roof boot with pest screen as equal to Bullet Boot as manufactured by Bullet Products LLC. (https://www.bulletproducts.com) Color to be selected by Owner and Architect.11. Gas Vents: Galvanized Type B Gas Vent assembly equal to Metalbest. Assembly to include cap,
- draft hood connector, flashing, and storm collar. Comply with manufacturer's instructions and International Fuel Gas Code (IFGC).

  12. Gutters and Downspouts: 24 gauge galvanized steel K-Style Gutters 5-inch width with 3" x 5"
- downspouts. Provide wire guards at each downspout location. Provide slip-joints at all a. Finish to be Kynar 500. Color to be selected by Owner and Architect from manufacturer's
- standard colors. Provide touch-up paint by manufacturer.

  13. Sealants: GE Sealants & Adhesives M90015 Supreme Silicone or approved equal.

# H. EXECUTION:

- Temporary Protection and Monitoring: Maintain roof in a water-tight condition after demolition until new roof can be installed.
- a. Apply one layer of felt or approved equal temporary underlayment horizontally over entire exposed surface lapping succeeding courses a minimum of 2-1/2 inches. Cover all open
- penetrations and ensure proper drainage.b. Wrap chimney to protect top and sides from water penetration.
- c. Monitor interior ceilings during demolition and re-roofing work. Notify Owner and Architect
- immediately of any damage.2. Roofing Demolition: Completely remove existing roof, underlayment, edge trim and all flashings to roof deck surface.
- a. Remove any remaining nails, staples or other materials that may interfere with installation of new roof.

3. Roof Inspection: Inspect roof after demolition and note areas of decking that are rotted, split or

- b. Remove all sealants, roof tar and asphaltic materials from existing roof surfaces. <u>Clean masonry to remove any paint or sealant residue at flashing locations per Division 4.</u>
- otherwise damaged. Note gaps or deficiencies that do not comply with existing codes or roofing manufacturer's written instructions.
- Decking Repair and Replacement: Refer to DIV 6.
   Masonry Cleaning: Remove all existing asphaltic, silicone, latex and other previous sealants and mastic from masonry surfaces. Refer to DIV 4.
- 6. Self-Adhering Membrane Install self-adhering leak barrier at eaves, rakes, valleys, around dormers and other locations as required by manufacturer. Install and lap all seams per manuf.
- 7. Underlayment: Install and lap all seams per roof manufacturer's requirements and building codes.

- 8. Roof Installation: Install roofing tiles in accordance with manufacturer's recommendations and with details.
- 9. Splash blocks: Provide pre-cast concrete splash blocks where indicated on Drawings. Min. 18" length.

#### I. JOINT SEALANTS:

- 1. <u>Execution</u>: Clean out joints immediately before installing joint sealants to comply with recommendations of joint sealant manufacturer and the following requirements:
- a. Remove all foreign material from joint substrates that could interfere with adhesion of joint sealant, including dust, paints (except for permanent, protective coatings tested and approved for sealant adhesion and compatibility by sealant manufacturer), old joint sealants, oil, grease, waterproofing, water repellents, water, surface dirt, and frost.
- b. Remove all existing asphaltic, silicone, latex and other previous sealants and mastic from masonry surfaces (Refer to DIV 4) to produce a clean, sound substrate capable of developing optimum bond with joint sealants. Remove loose particles remaining from above cleaning operations by vacuuming or blowing out joints with oil-free compressed air.
- c. Provide and install closed cell, non-gassing type backer rods where necessary to provide bond breaker and prevent three-sided adhesion.
- d. Install sealants by proven techniques that result in sealants directly contacting and fully wetting joint substrates, completely filling recesses provided for each joint configuration, and providing uniform, cross-sectional shapes and depths relative to joint widths that allow optimum sealant movement capability.
- e. Tool sealants to form smooth, uniform beads of configuration indicated, to eliminate air pockets, and to ensure contact and adhesion of sealant with sides of joint. Remove excess sealants from surfaces adjacent to joint.
- f. Clean off excess sealants or sealant smears adjacent to joints as work progresses by methods and with cleaning materials approved by manufacturers.

# **DIVISION 08- OPENINGS:**

NO WINDOW AND DOOR WORK IS ANTICIPATED

# **DIVISION 09- FINISHES:**

A. SCOPE: Work includes surface preparation, painting, and finishing of exposed exterior items and surfaces throughout the project. Provide minimum of 2 finish coats for each application. <u>All colors to match existing unless noted otherwise</u>.

C. MOCK-UPS: On exterior wall surfaces and other components which have been cleaned and prepared

for painting, provide full-coat paint samples on at least 4 sq. ft. of surface until required sheen, color,

- B. SUBMITTALS: Submit product data for each type of product specified.
- 1. All colors to match existing unless noted otherwise.

2. Final acceptance of colors will be from job-applied samples.

# D. QUALITY ASSURANCE:

and texture are obtained.

- 1. <u>Subcontractor Qualifications</u>: Finish removal work shall be performed by a firm with successful experience in similar work on not fewer than five completed previous projects comparable to this project in nature and complexity, and which is capable of certifying these qualifications. Workers shall be experienced in the type of work required, including removal of lead-based paints.
- 2. <u>Regulatory Requirements</u>: Comply with all applicable regulations of the Environmental Protection Agency and state, county, and local authorities having jurisdiction.

# PODLICTS

- E. PRODUCTS1. MANUFACTURERS: Subject to compliance with requirements, paint systems shall be Sherwin-Williams Company (S-W) or approved equal.
  - a. Exterior Wood S-W A-100 Exterior Alkyd Wood Primer Y24W20 (Not required on previously painted surfaces).
- b. Exterior Wood -Finish: S-W: Duration Exterior Satin Latex Coating, K33c. Exposed Flashings Primer: S-W Kem Kromik Universal Metal Primer B50AZ6.
- d. Exposed Flashings Finish: S-W Sher-Cryl HPA High Perform. Acrylic (Gloss).e. Gutter & Downspouts: Provide touch-up paint for Kynar finish.
- f. Metal Flue Caps Rust Removal: EVAPO-RUST or approved equal.

# g. Metal Flue Caps - Paint: Rust-Oleum 7778502 High Heat Protective Enamel, Black (Satin)F. HAZARDOUS MATERIALS:

Contractor shall assume all existing paint contains lead unless specifically noted otherwise in the hazardous materials survey. Contractor shall follow all applicable federal, state and local laws and regulations regarding the proper and safe management, removal and disposal of lead containing paints and all waste materials generated by finish removal.

# 1. Exterior wood shall be scraped and sanded per specs to "sound and tight" condition. Complete stripping is not required, except in areas of epoxy repair.

H. PAINT APPLICATION:

G. PAINT SURFACE PREPARATION:

- 2. Metal surfaces shall be cleaned of all existing rust. Follow manufacturer's instructions for cleaning, soaking and rinsing rusted materials.
- Follow manufacturer's instructions for temperature and humidity requirements for application.
   Clean and prepare surfaces to be coated according to the manufacturer's instructions for each
- particular substrate condition and as specified.3. Do not apply coatings over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to forming a durable coating film.
- 4. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

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STATE PARK

ROOF REPLACEMEN

DATE: 04/26/2021 DESIGNED BY: CHRIS H. DRAWN BY: PAT N. REVIEWED BY:

no. revision. date

SHEET TITLE

SPECIFICATIONS

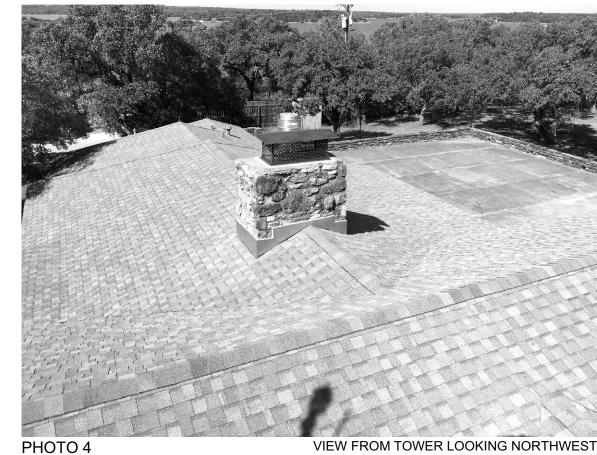
SHEET NUMBER

A-2





VIEW FROM SOUTHWES











# ROOF CALCULATIONS

PITCH	ROOF PLAN	SURFACE AREA
1.5 IN 12	136 SF	= 135 SF
2 IN 12	422 SF	= 428 SF
5 IN 12	3,359 SF	= 3,639 SF
TOTAL		= 4,202 SF

# **PLAN NOTES**

- NOTES APPLY TO GROUP RECREATION HALL ONLY

- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- **B.** EXISTING ROOF TO BE REMOVED TO DECK ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING.
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND
- **G.** INSTALL ROLLED ROOFING ON ALL ROOFS W <3/12 SLOPE.

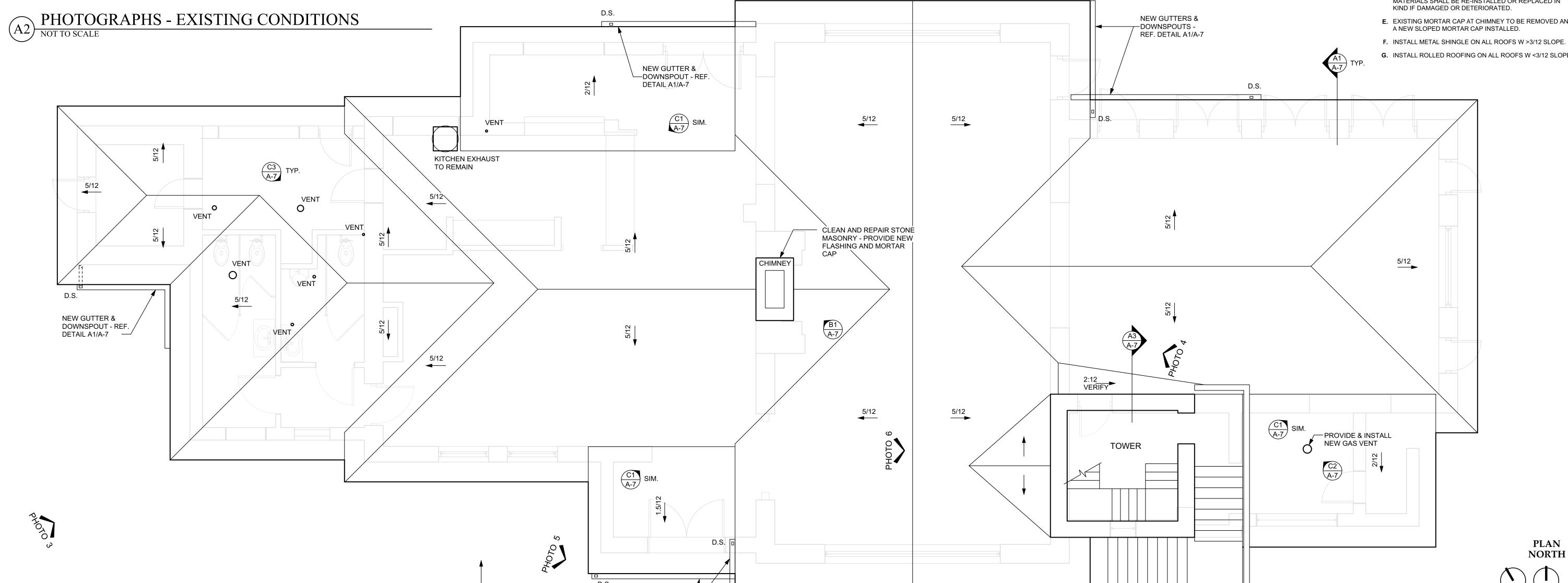


PHOTO 1

NEW GUTTERS & DOWNSPOUTS - REF. DETAIL A1/A-7 -

SITE ACCESS





DATE: 04/26/2021 DESIGNED BY: CHRIS H. DRAWN BY: PAT N. REVIEWED BY:

SHEET TITLE

GROUP REC HALL -ROOF PLAN

SHEET NUMBER

ROOF PLAN - GROUP RECREATION HALL





DATE: 04/26/2021 DESIGNED BY: CHRIS H. DRAWN BY: PAT N. REVIEWED BY: no. revision. date

SHEET TITLE GROUP REC HALL **ELEVATIONS** 

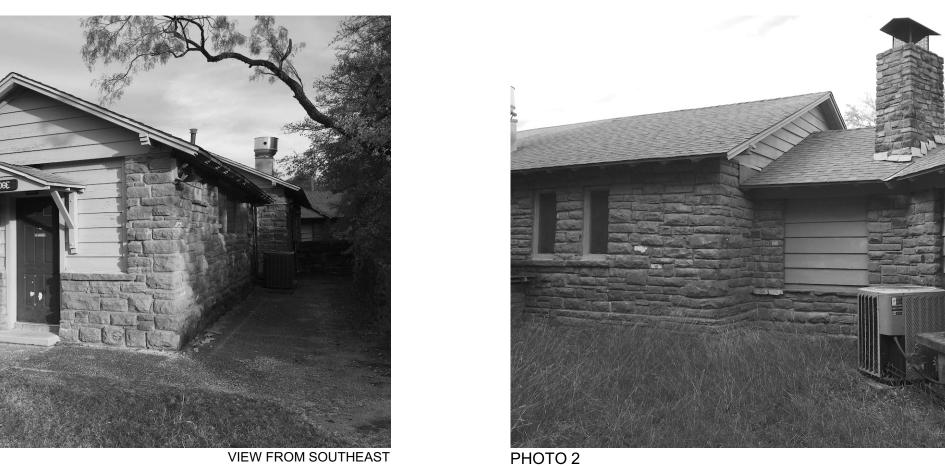
SHEET NUMBER

no. revision. date

SHEET TITLE BEACH LODGE -**ROOF PLAN** 

SHEET NUMBER

NORTH





VIEW FROM SOUTH

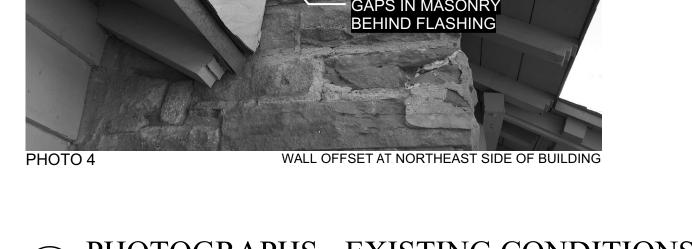




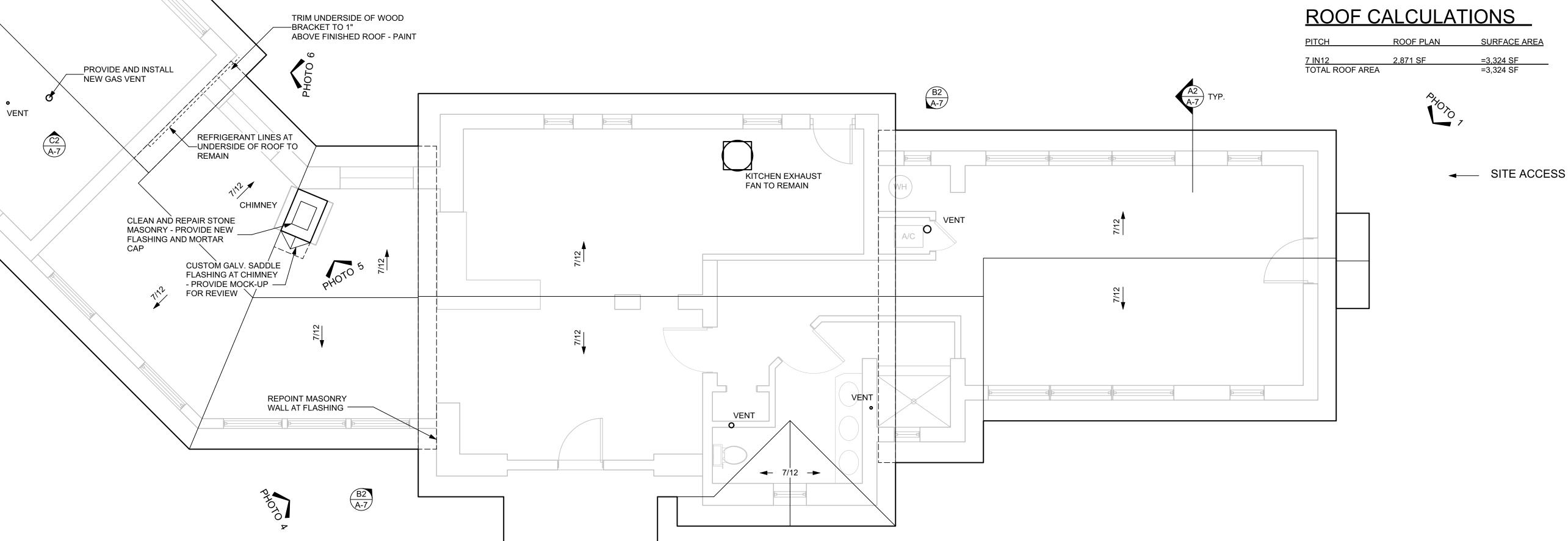
PHOTO 1











A1 ROOF PLAN - BEACH LODGE

SCALE: 1/4" = 1'-0"

PLAN NOTES

STRUCTURE AND SITE.

ROTTED OR DAMAGED WOOD.

- NOTES APPLY TO BEACH LODGE ONLY

A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING

**B.** EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5%

D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.

E. CONTRACTOR SHALL FRAME NEW CRICKET AT REAR OF CHIMNEY TO DRAIN WATER - PROVIDE MOCK-UP ON ROOF

FOR REVIEW. REFER TO DETAILS FOR ATTACHMENT TO

F. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.

DECK REPLACEMENT TO MATCH EXISTING

C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF





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BEACH LODGE -ELEVATIONS

SHEET NUMBER

