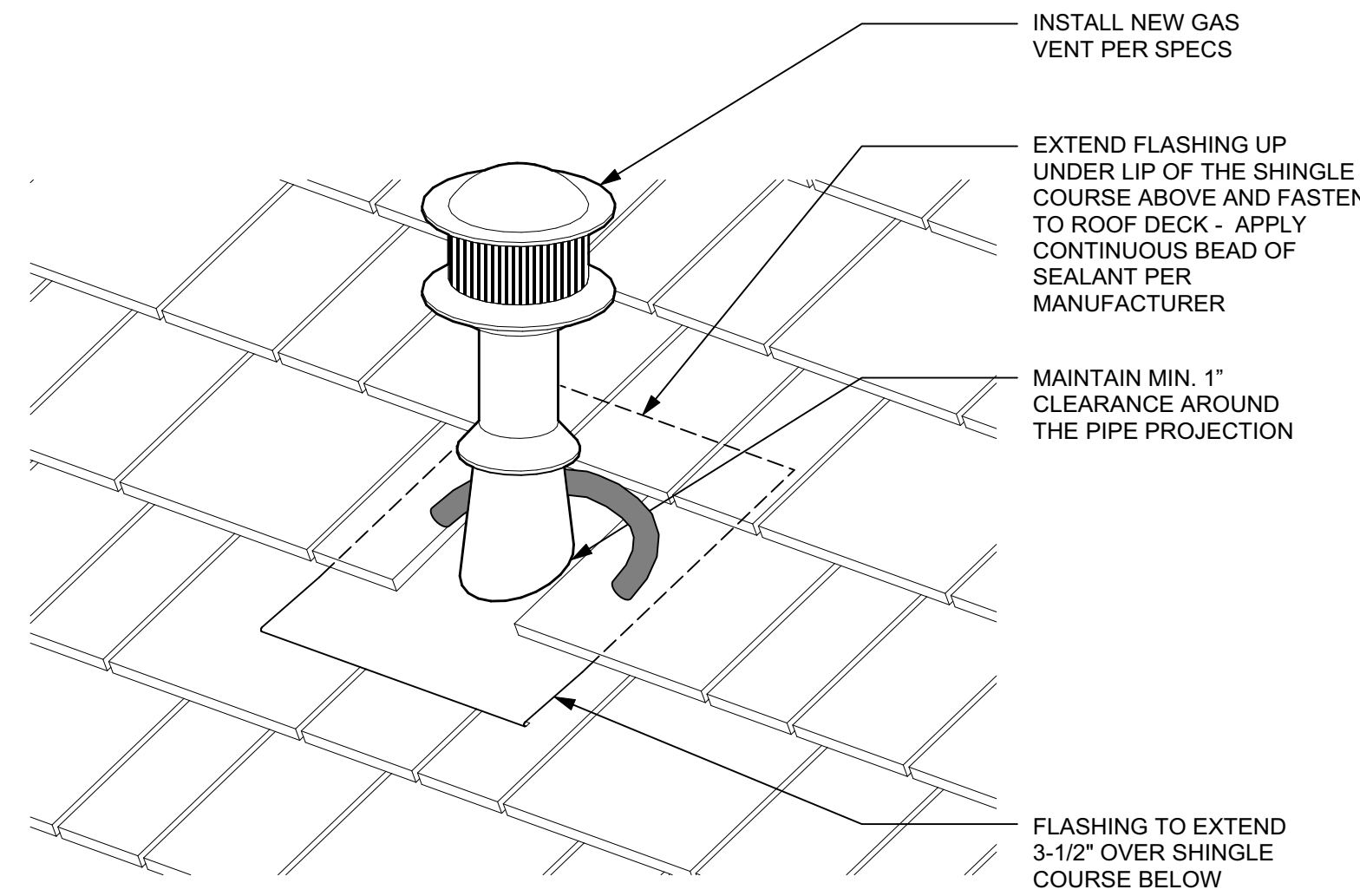
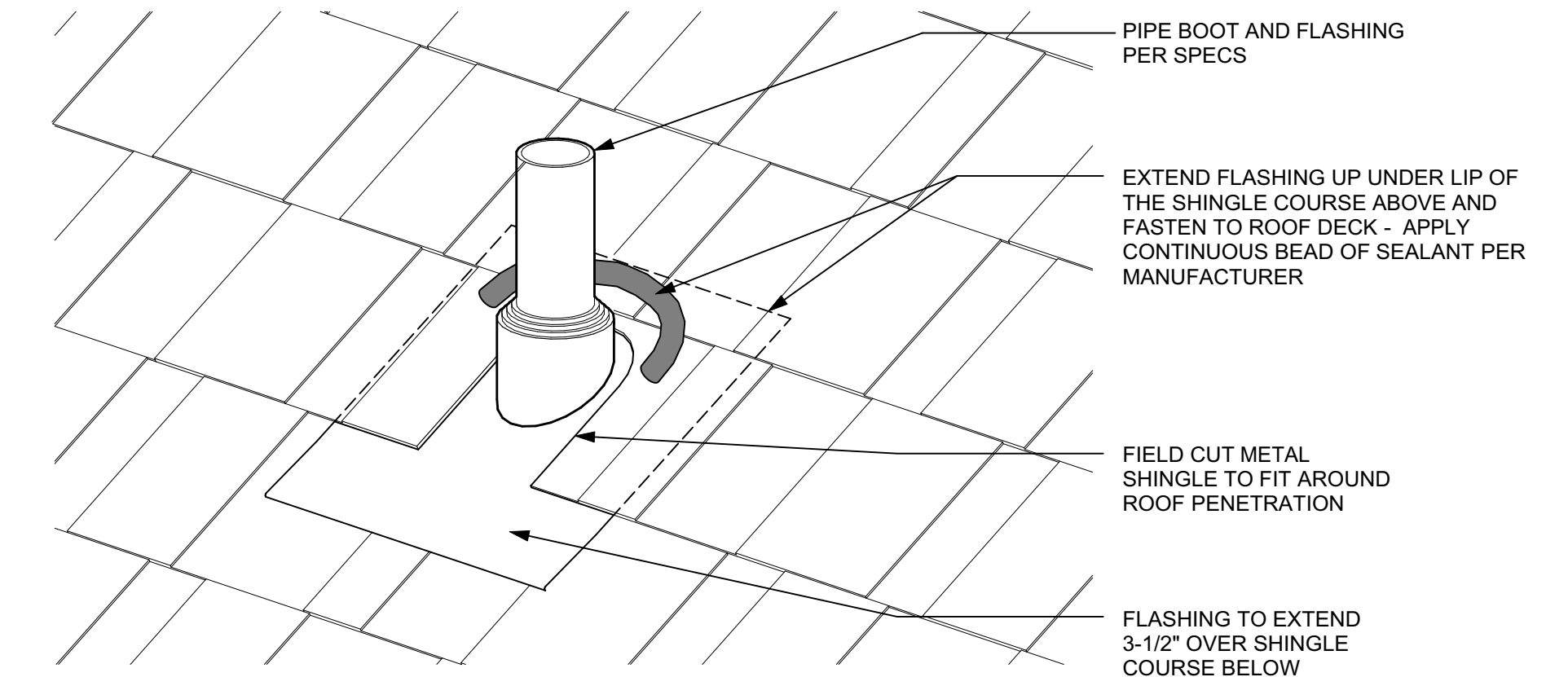


**C1** DETAIL VIEW - ROOF PITCH TRANSITION (DO NOT BEND SHINGLES)  
NOT TO SCALE

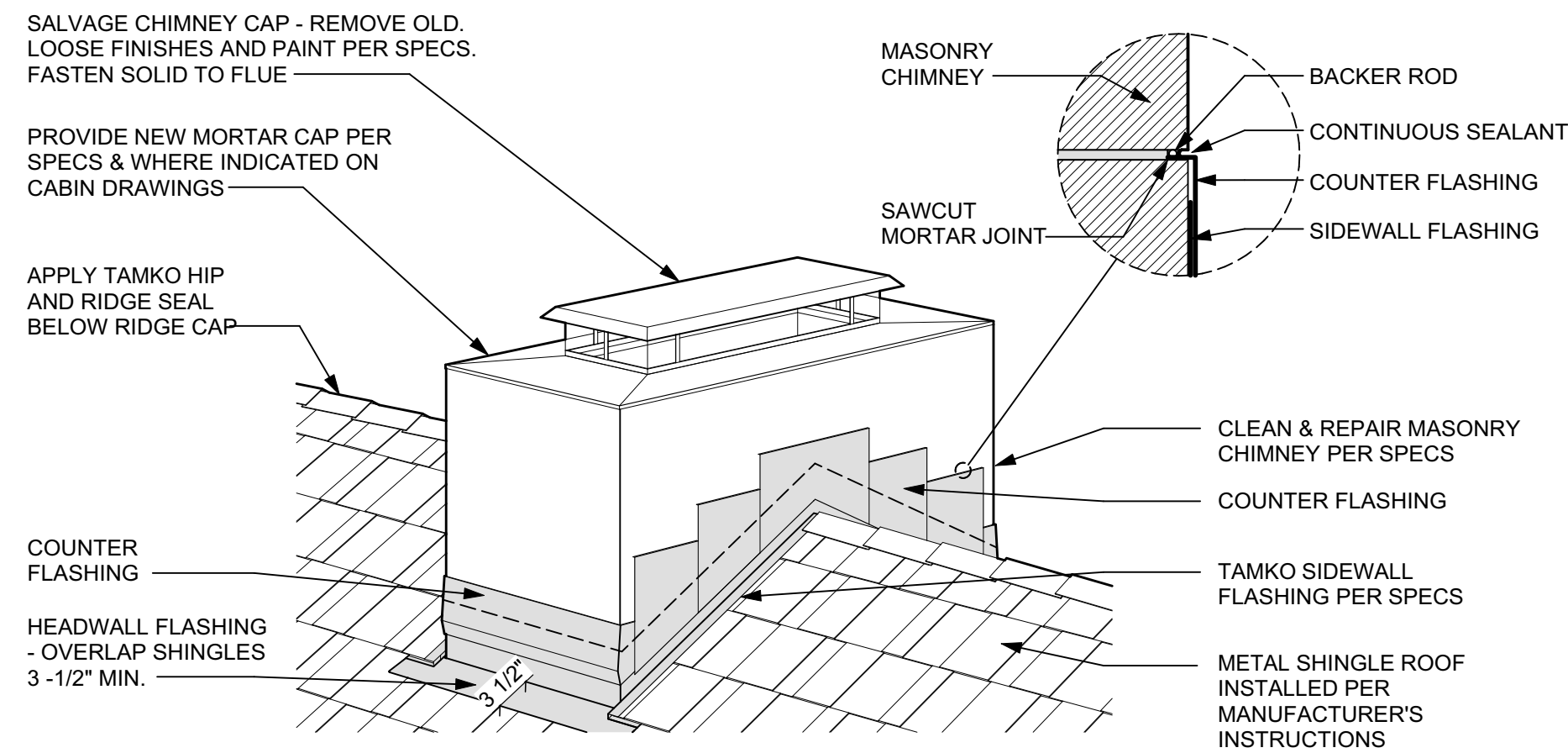


**C2** DETAIL - GAS VENT ROOF PENETRATION  
NOT TO SCALE

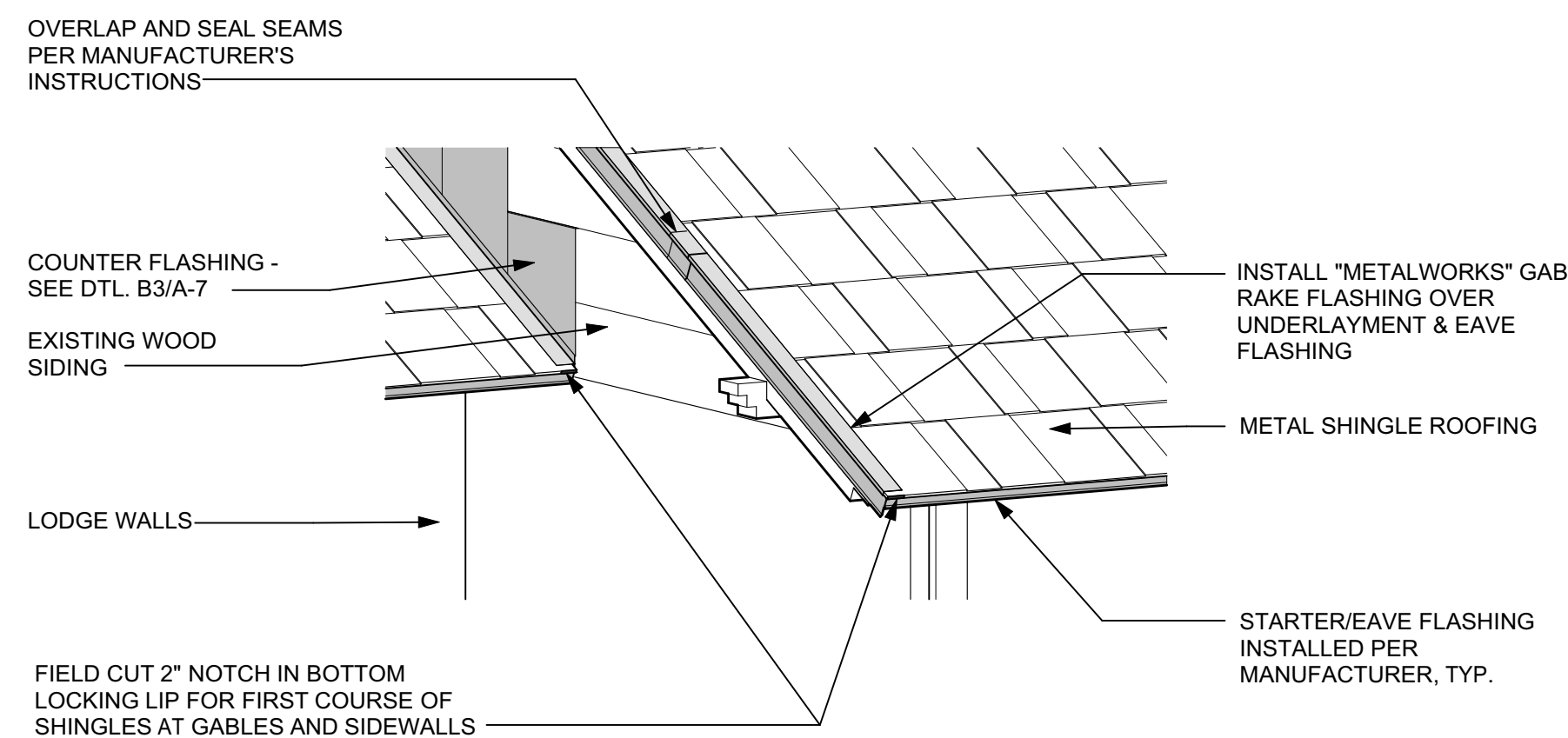


**C3** DETAIL - PLUMBING ROOF PENETRATION  
NOT TO SCALE

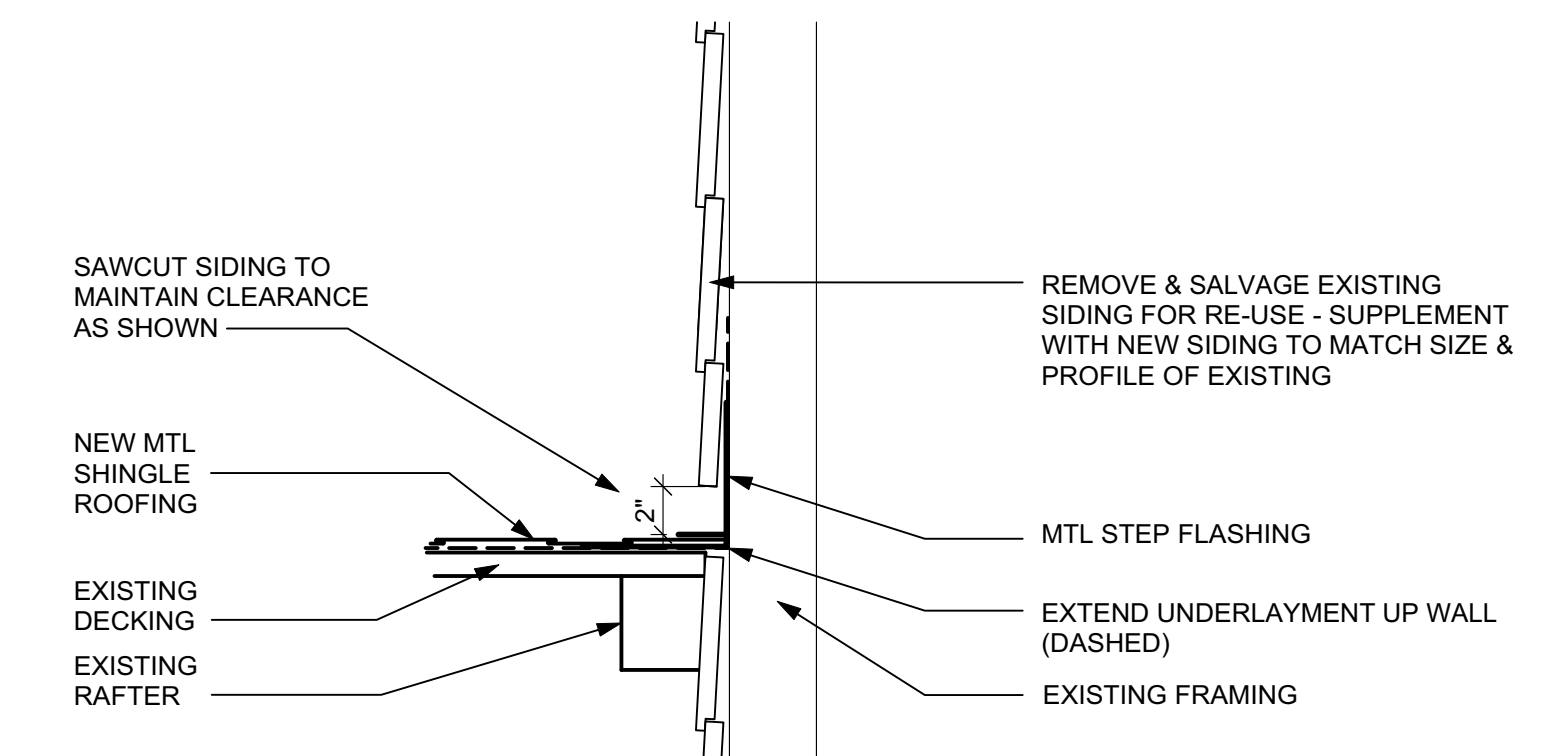
NOTE: CONTRACTOR SHALL PROVIDE AND INSTALL ENTIRE METAL SHINGLE ROOF SYSTEM, INCLUDING MANUFACTURER'S FLASHING AS INDICATED IN DRAWINGS AND SPECS - (STARTER/EAVE, GABLE/RAKE, VALLEY, J-CHANNEL, SIDEWALL, RIDGE AND HIP CAP)



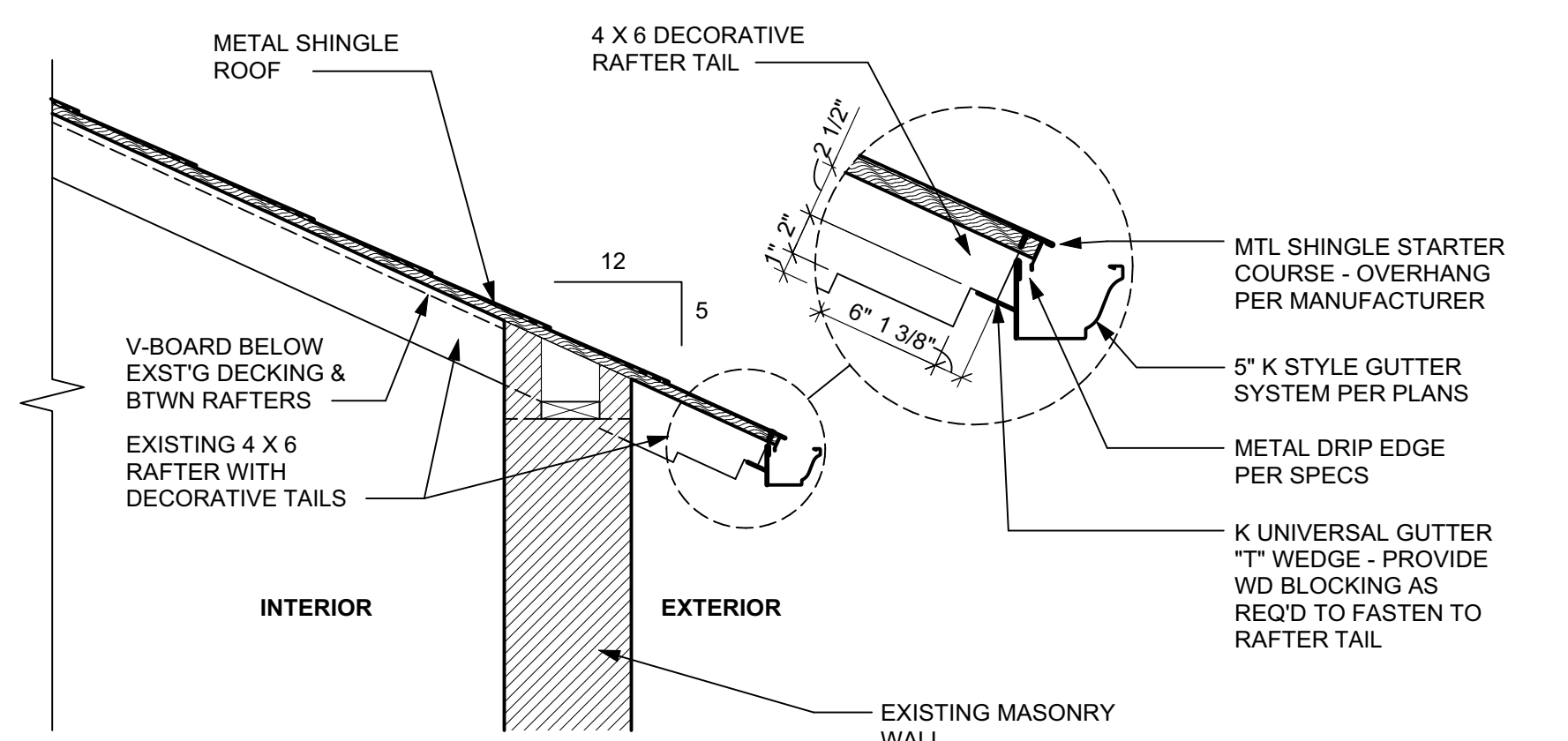
**B1** DETAIL VIEW - CHIMNEY @ GROUP RECREATION HALL  
NOT TO SCALE



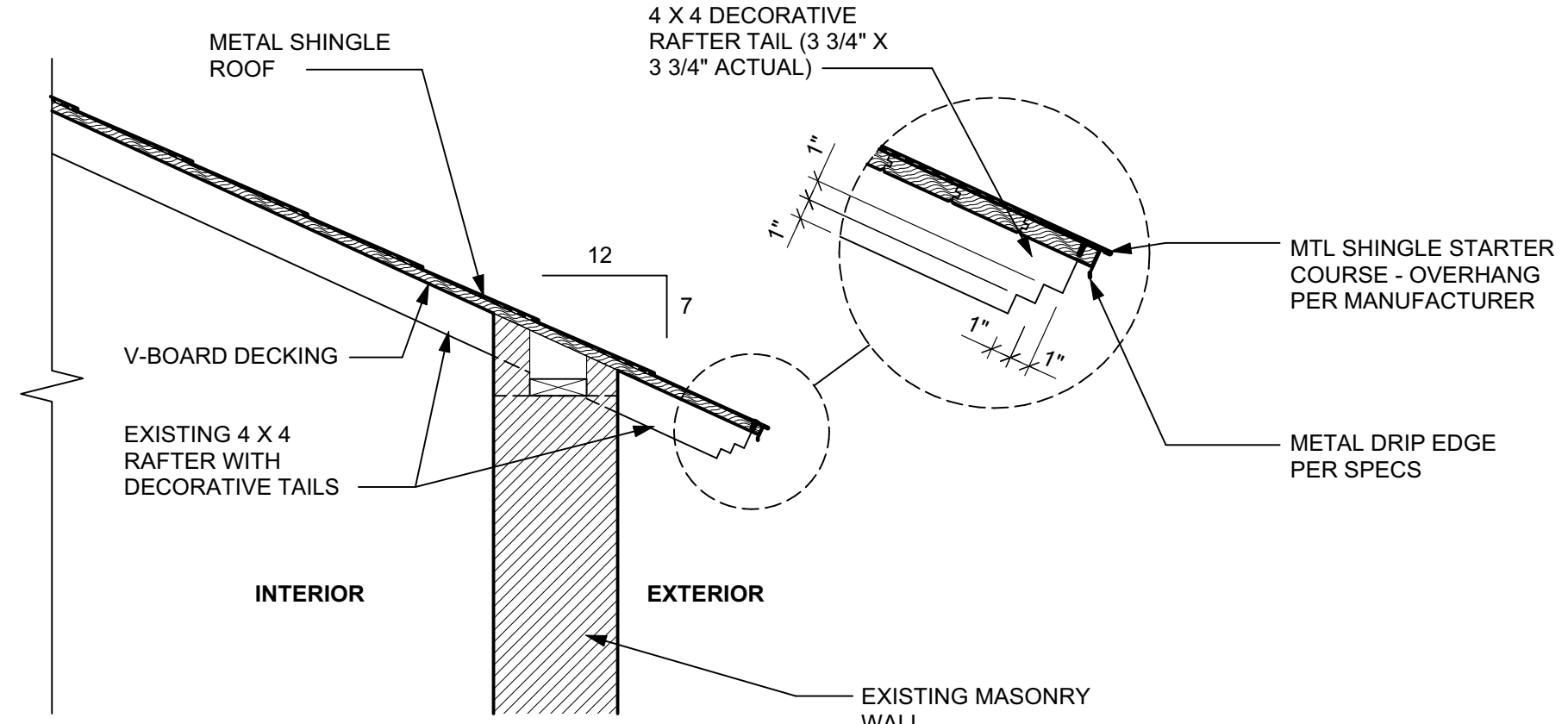
**B2** DETAIL VIEW - BEACH LODGE RAKE/ SIDEWALL FLASHING  
NOT TO SCALE



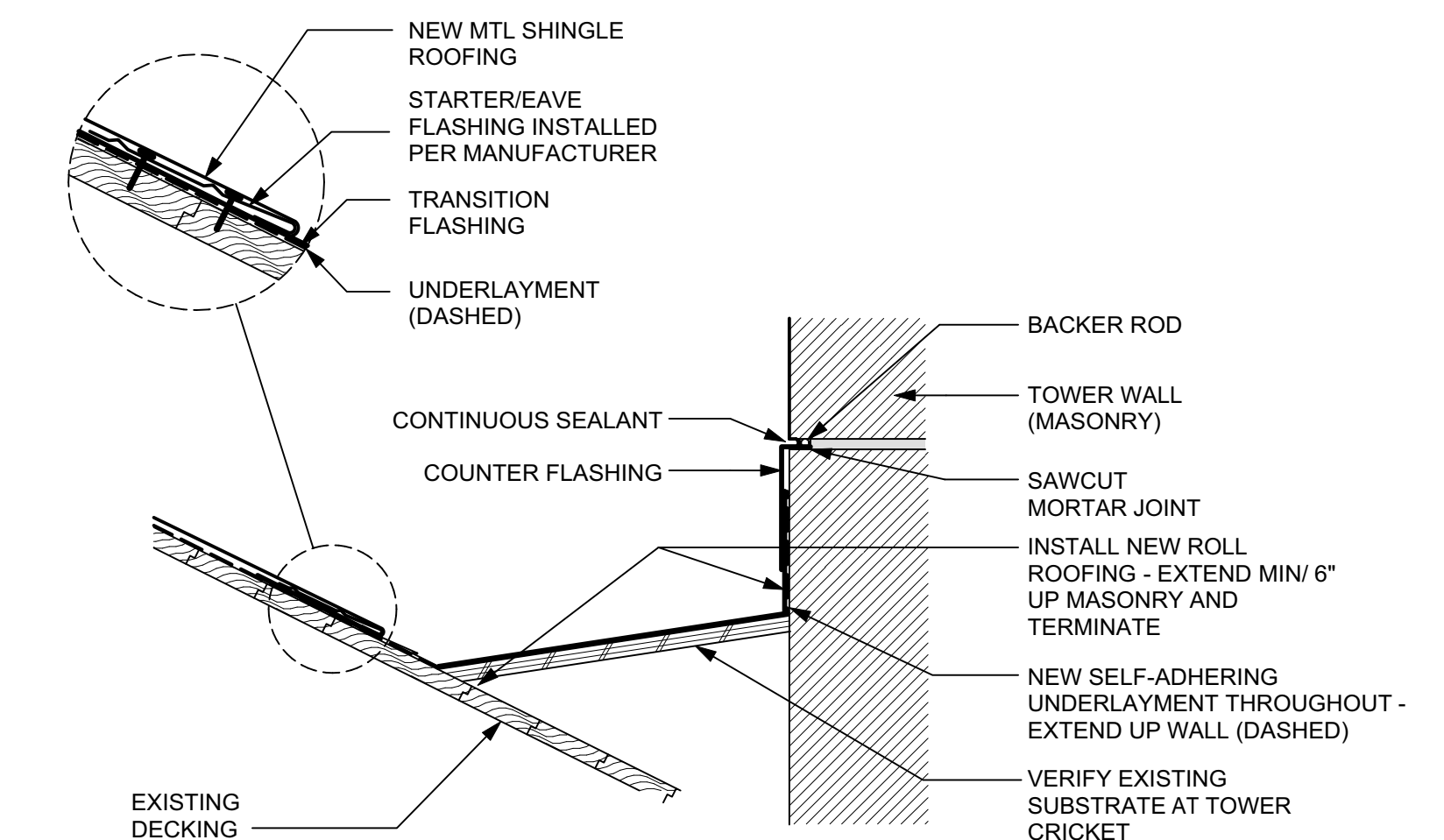
**B3** SECTION - RAKE AND SIDEWALL FLASHING  
NOT TO SCALE



**A1** SECTION DETAIL - EAVE @ GROUP RECREATION HALL  
SCALE: 3/4" = 1'-0"



**A2** SECTION DETAIL - EAVE @ BEACH LODGE  
SCALE: 3/4" = 1'-0"



**A3** SECTION DETAIL - FLASHING AT REC HALL TOWER  
NOT TO SCALE



PHOTO 1 WEST ELEVATION

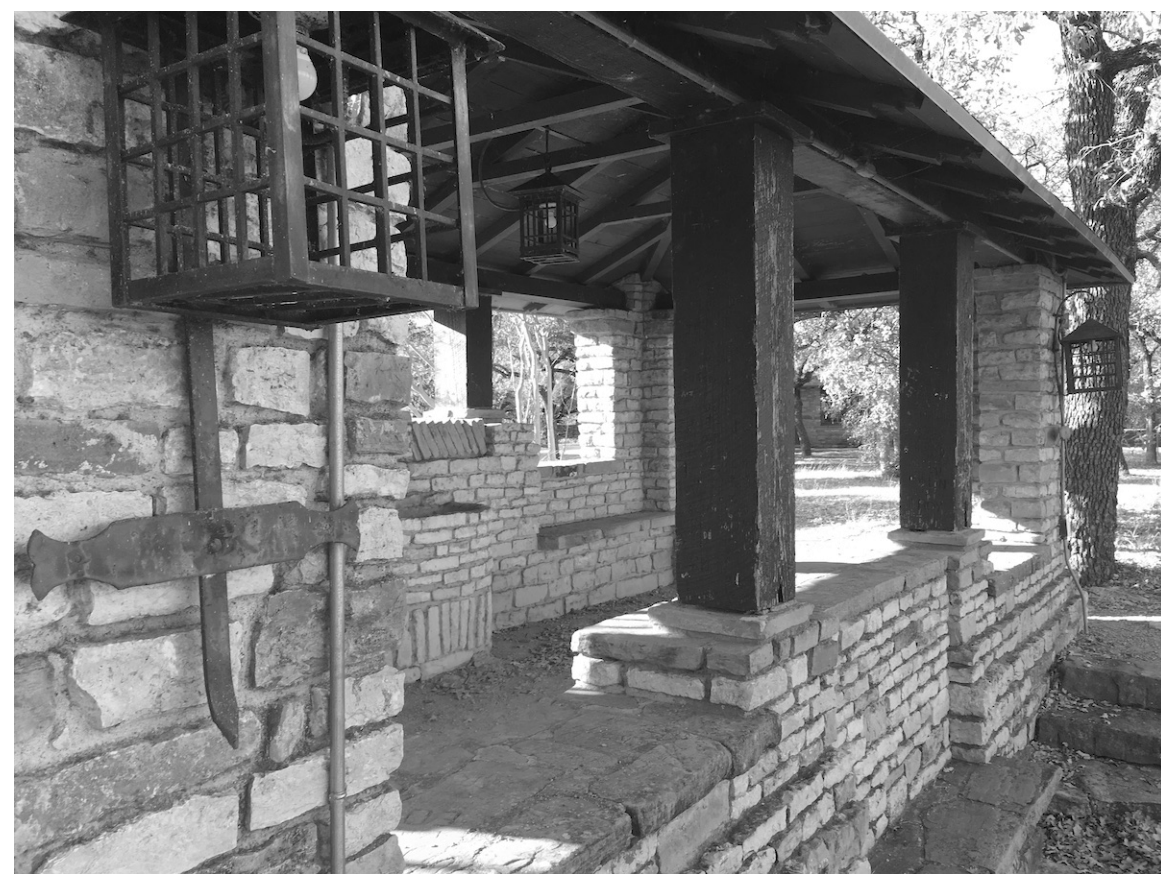


PHOTO 2 VIEW FROM SOUTHEAST



PHOTO 3 SEVERE ROT AT COLUMN BASE

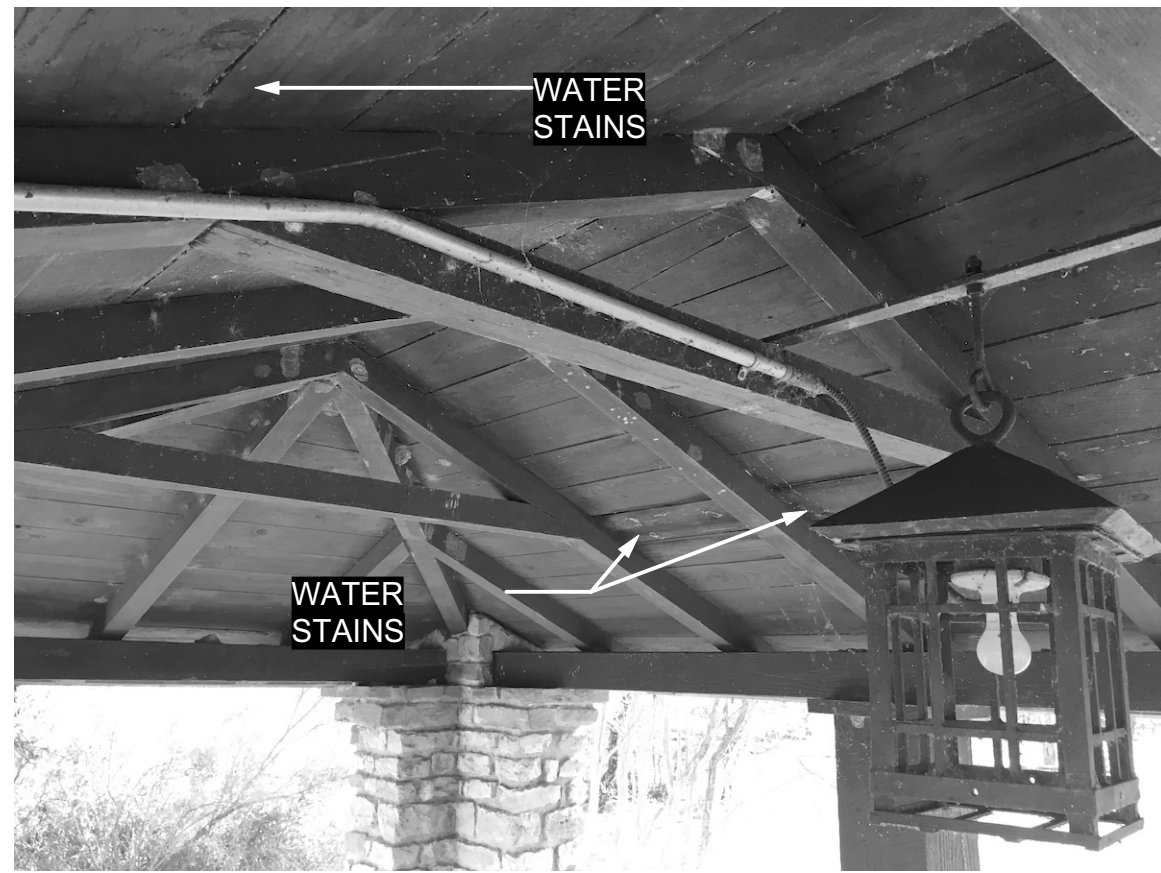


PHOTO 4 WATER STAINS UNDERSIDE OF ROOF



PHOTO 5 WATER STAINS AT DECK UNDERSIDE



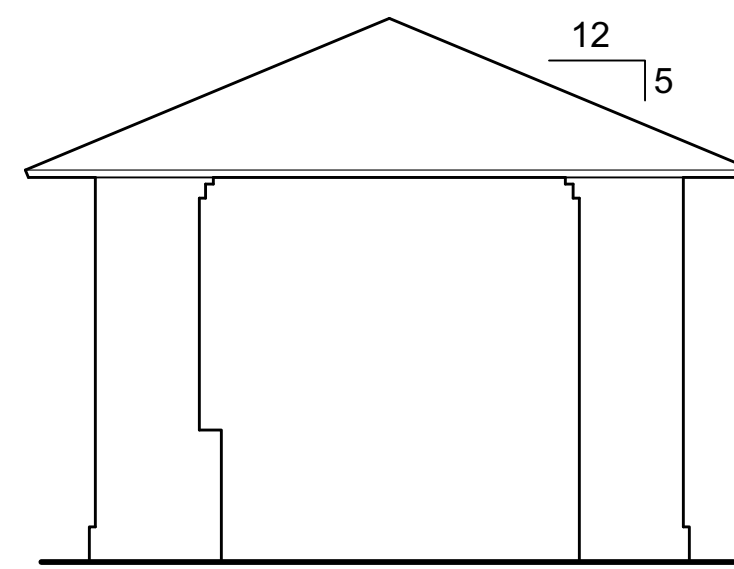
PHOTO 6 SEVERE LOSS OF SHINGLES ROOF LOOKING NORTH



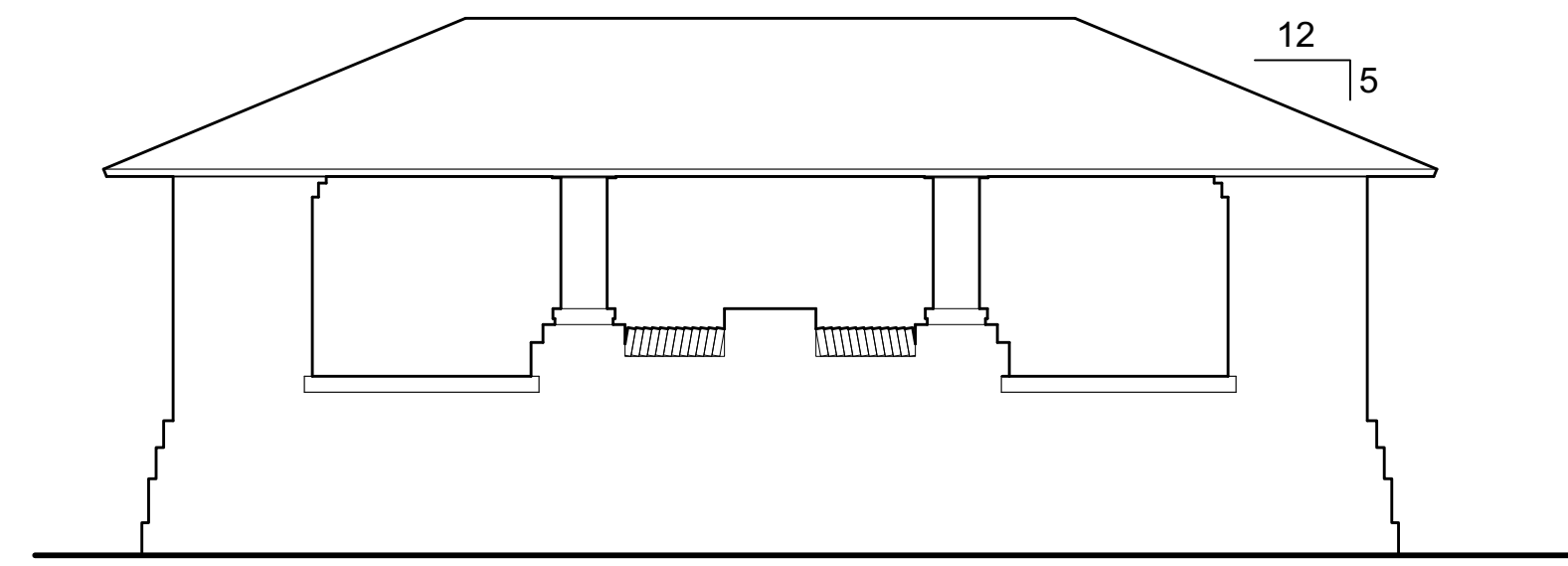
PHOTO 7 SEVERE LOSS OF SHINGLES ROOF LOOKING SOUTH



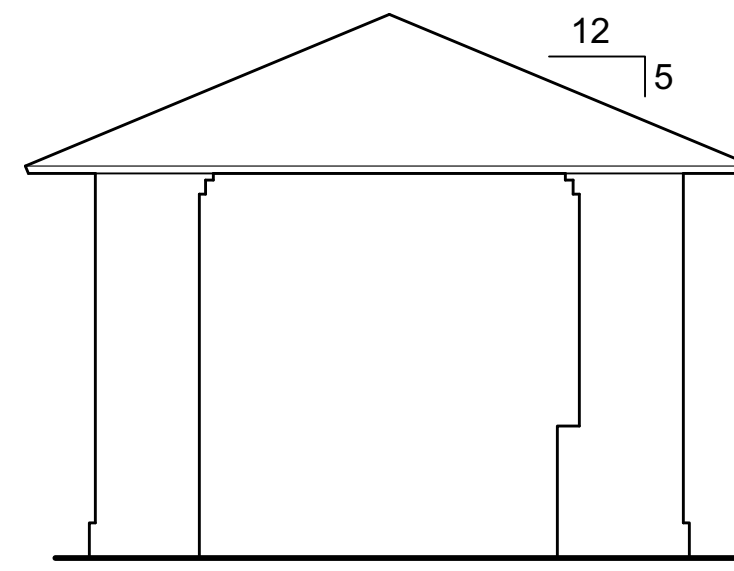
PHOTO 8 EXPOSED DECK AND DEBRIS BUILD-UP WHERE SHINGLE DAMAGED



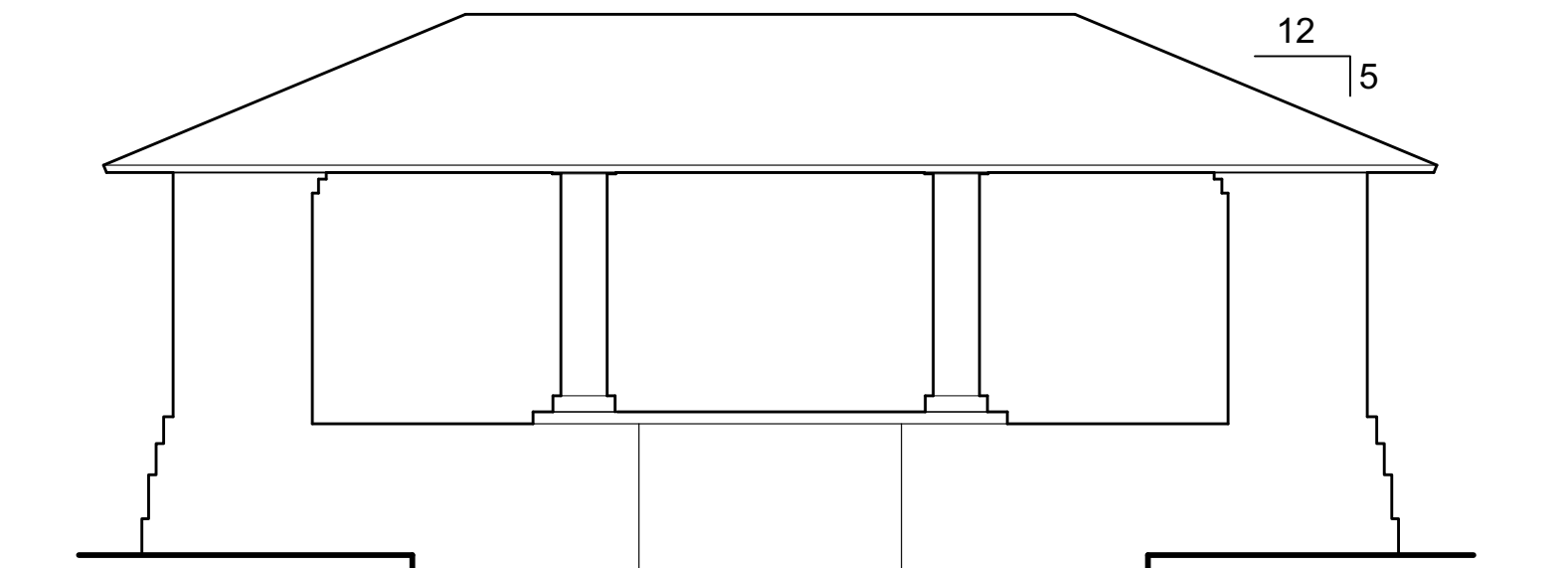
SOUTH



WEST

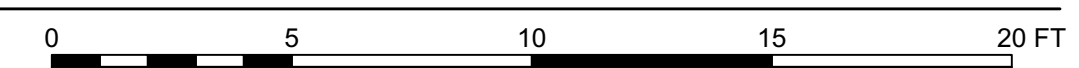


NORTH



EAST

**B1** EXTERIOR ELEVATIONS - STAIRCASE PAVILLION  
SCALE: 1/4" = 1'-0"



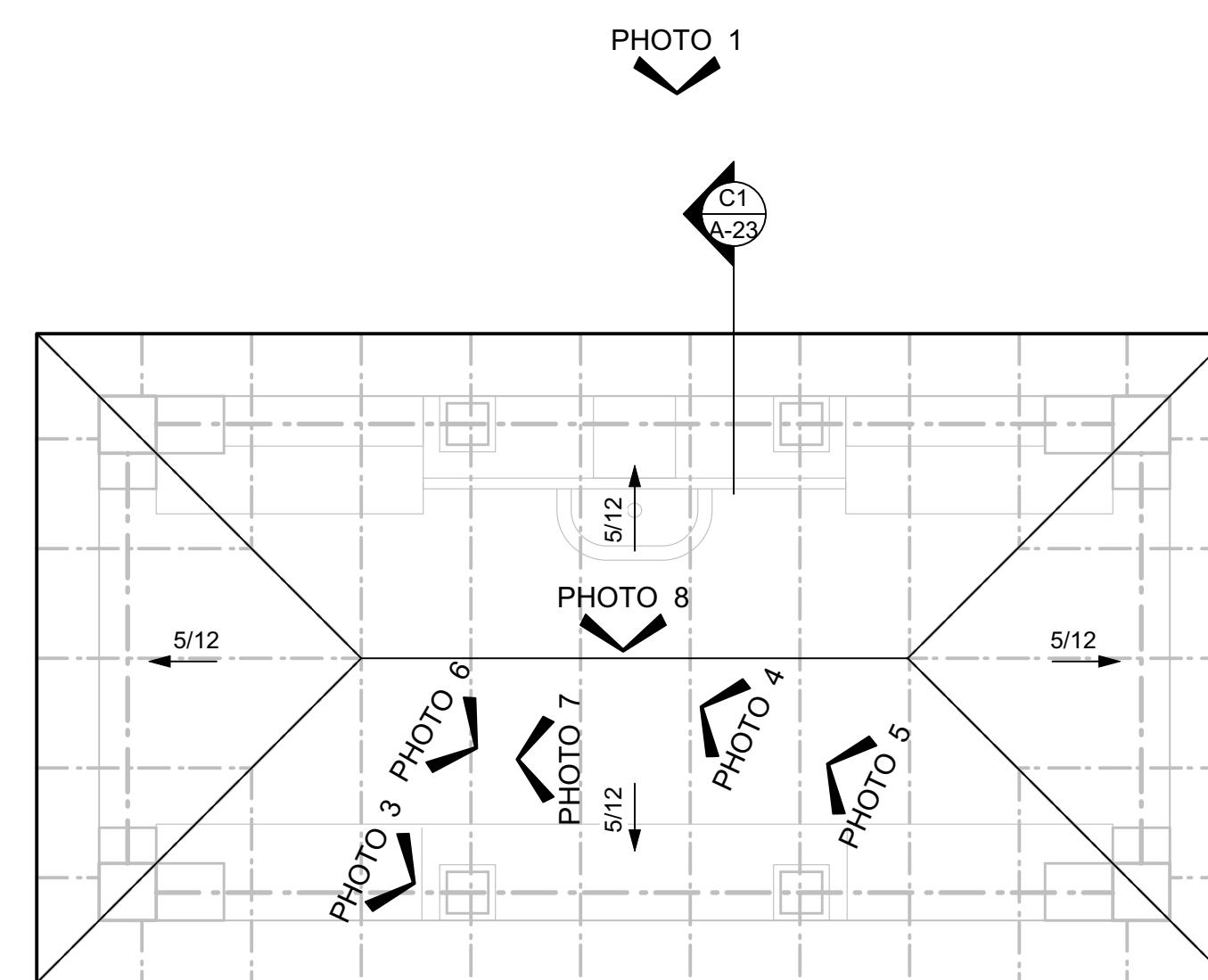
**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
5 IN 12	424 SF	= 460 SF
TOTAL ROOF AREA		= 460 SF

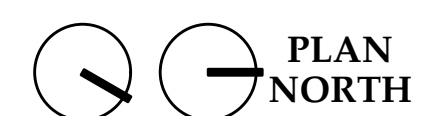
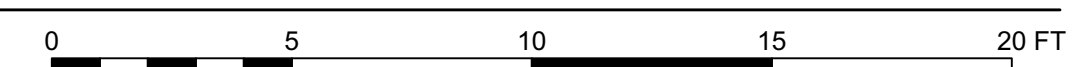
**PLAN NOTES**

- NOTES APPLY TO STAIRCASE PAVILLION ONLY

- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 25% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. CLEAN UNDERSIDE OF ROOF DECK AND WOOD FRAMING TO REMOVE COBWEBS AND INSECT NESTS. REPAINT ENTIRE UNDERSIDE. NO WORK AT EXISTING BEAMS AND COLUMNS.
- F. PROTECT HISTORIC WROUGHT IRON LIGHT FIXTURES DURING REPAIRS.



**A2** ROOF PLAN - STAIRCASE PAVILLION  
SCALE: 1/4" = 1'-0"



**A1** PHOTOGRAPHS - EXISTING CONDITIONS  
NOT TO SCALE



PHOTO 1 EAST ELEVATION



PHOTO 2 SOUTH ELEVATION



PHOTO 3 VIEW FROM NORTHWEST



PHOTO 4 MORTARED FLASHING AT NORTH GABLE

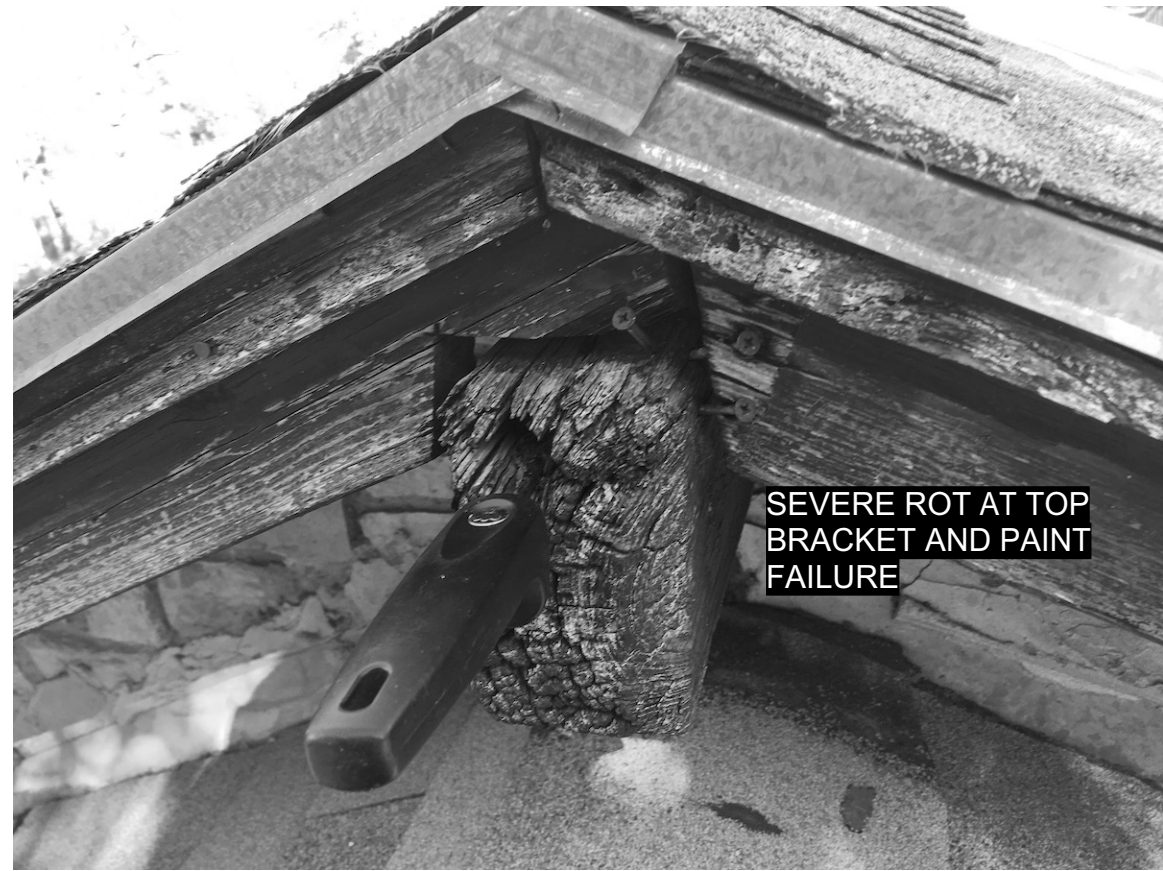


PHOTO 5 SEVERE ROT AT NORTH GABLE

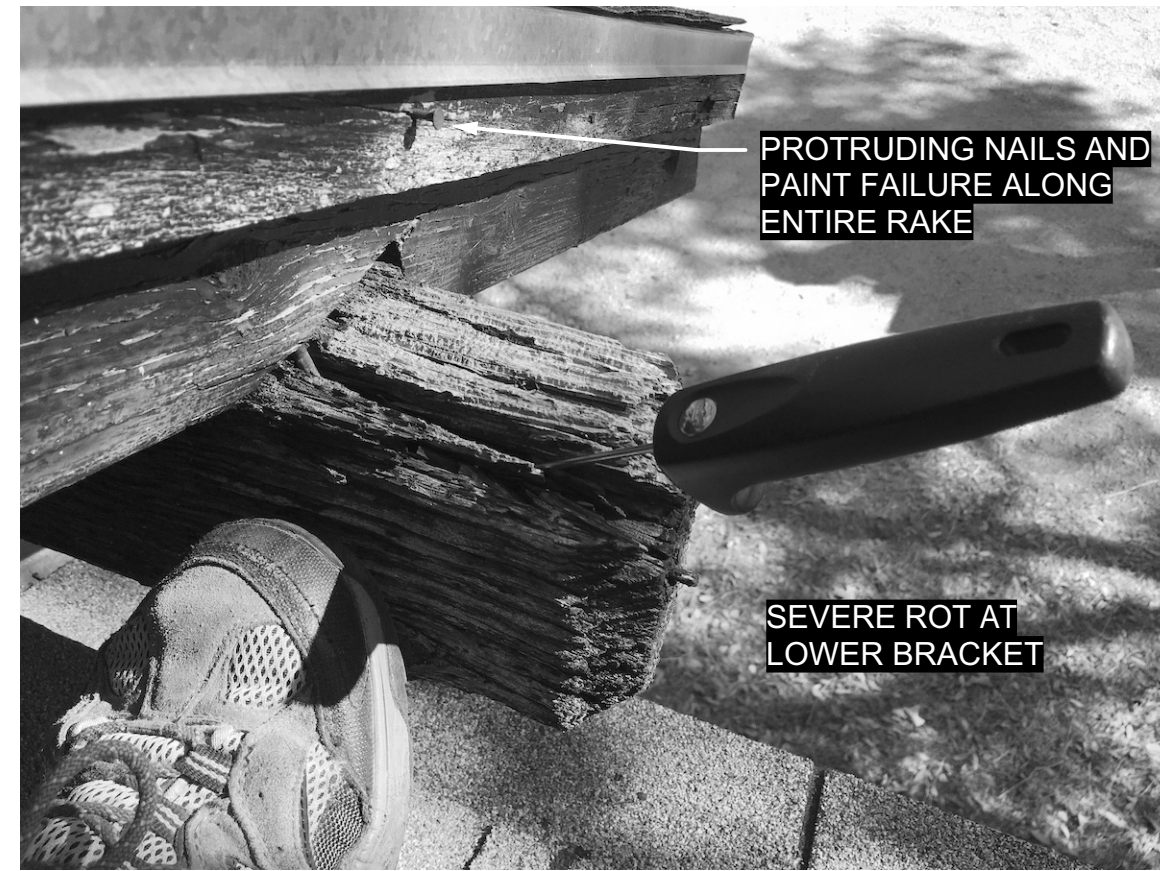


PHOTO 6 SEVERE ROT AT NORTH GABLE

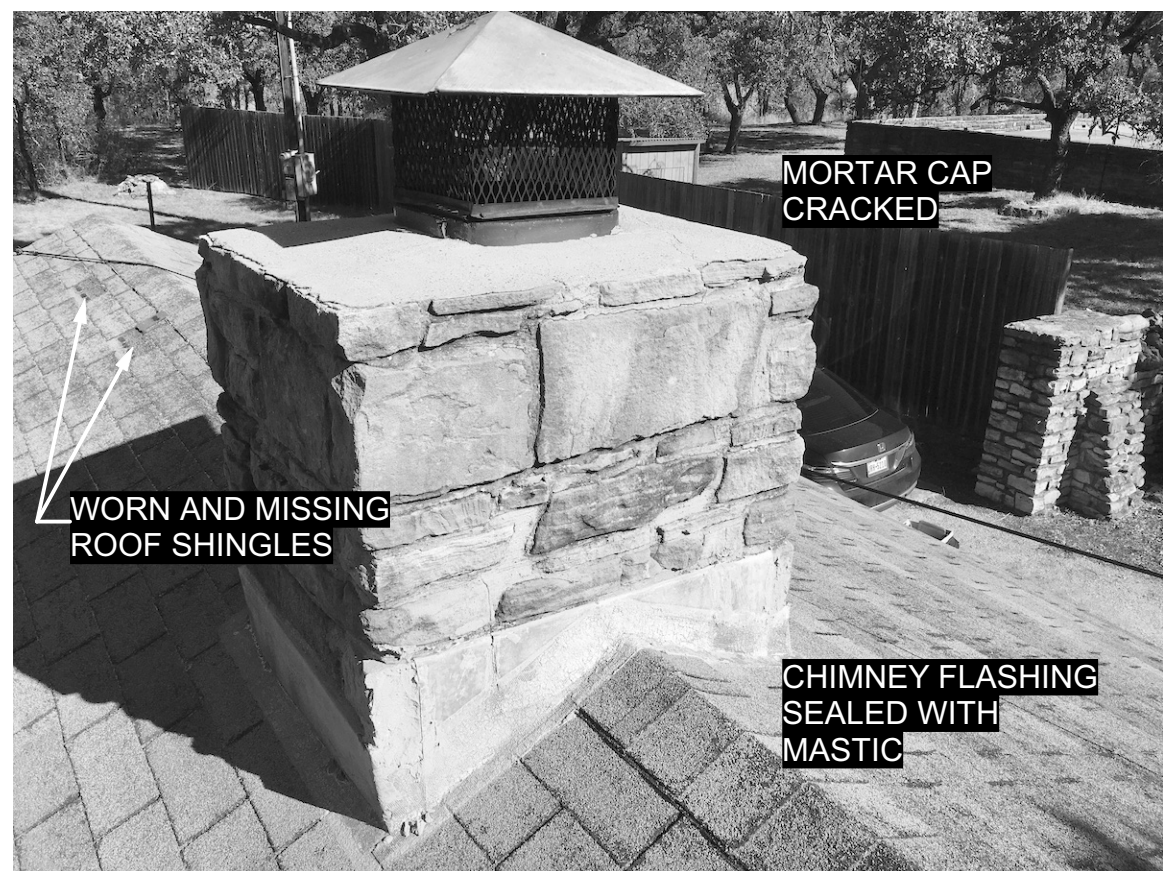


PHOTO 7 NORTH CHIMNEY

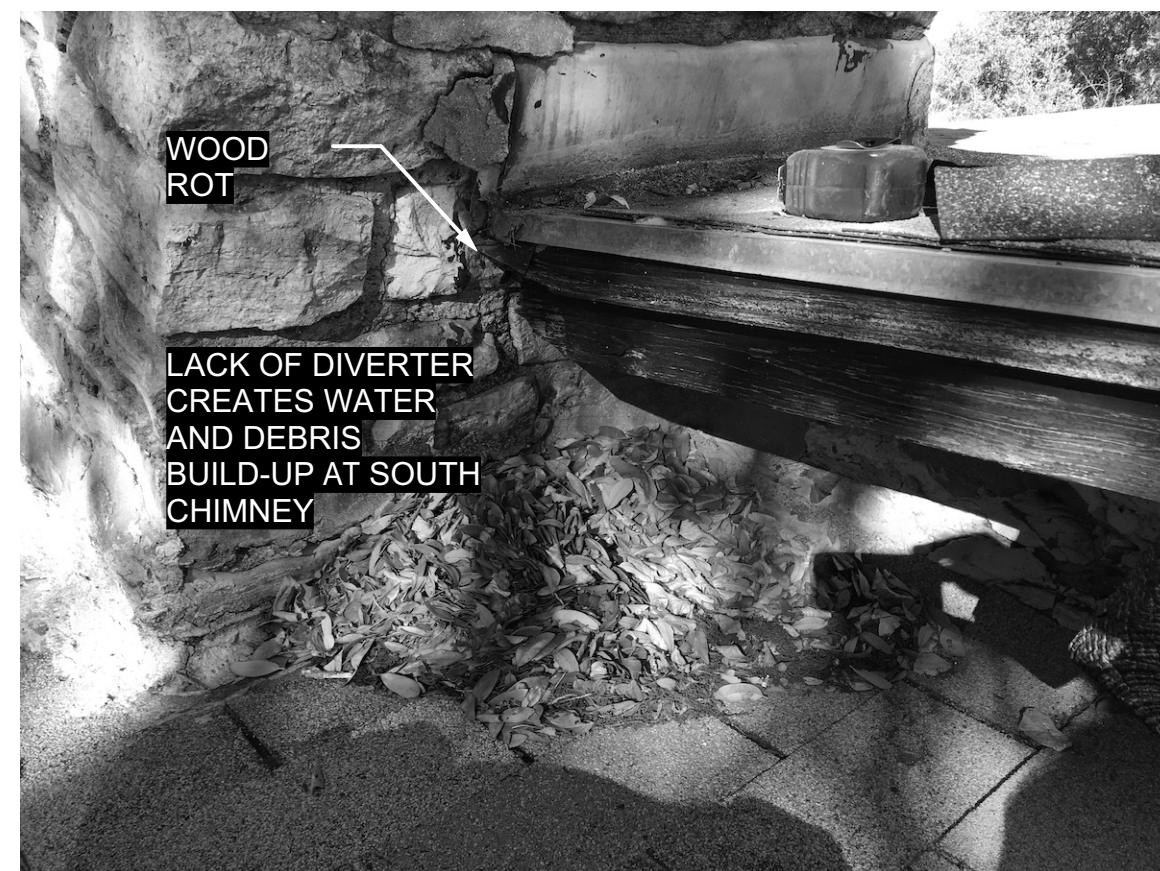
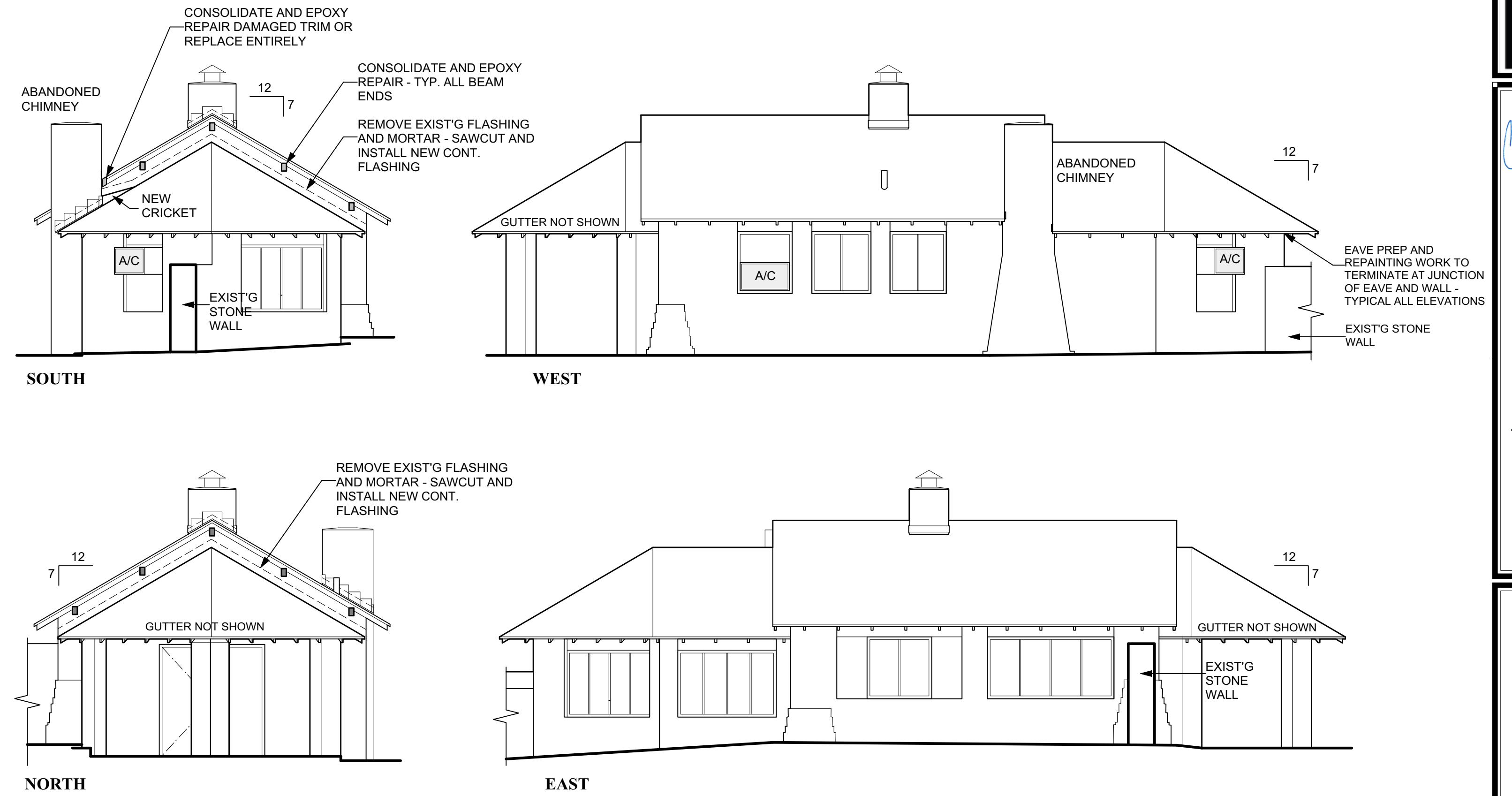
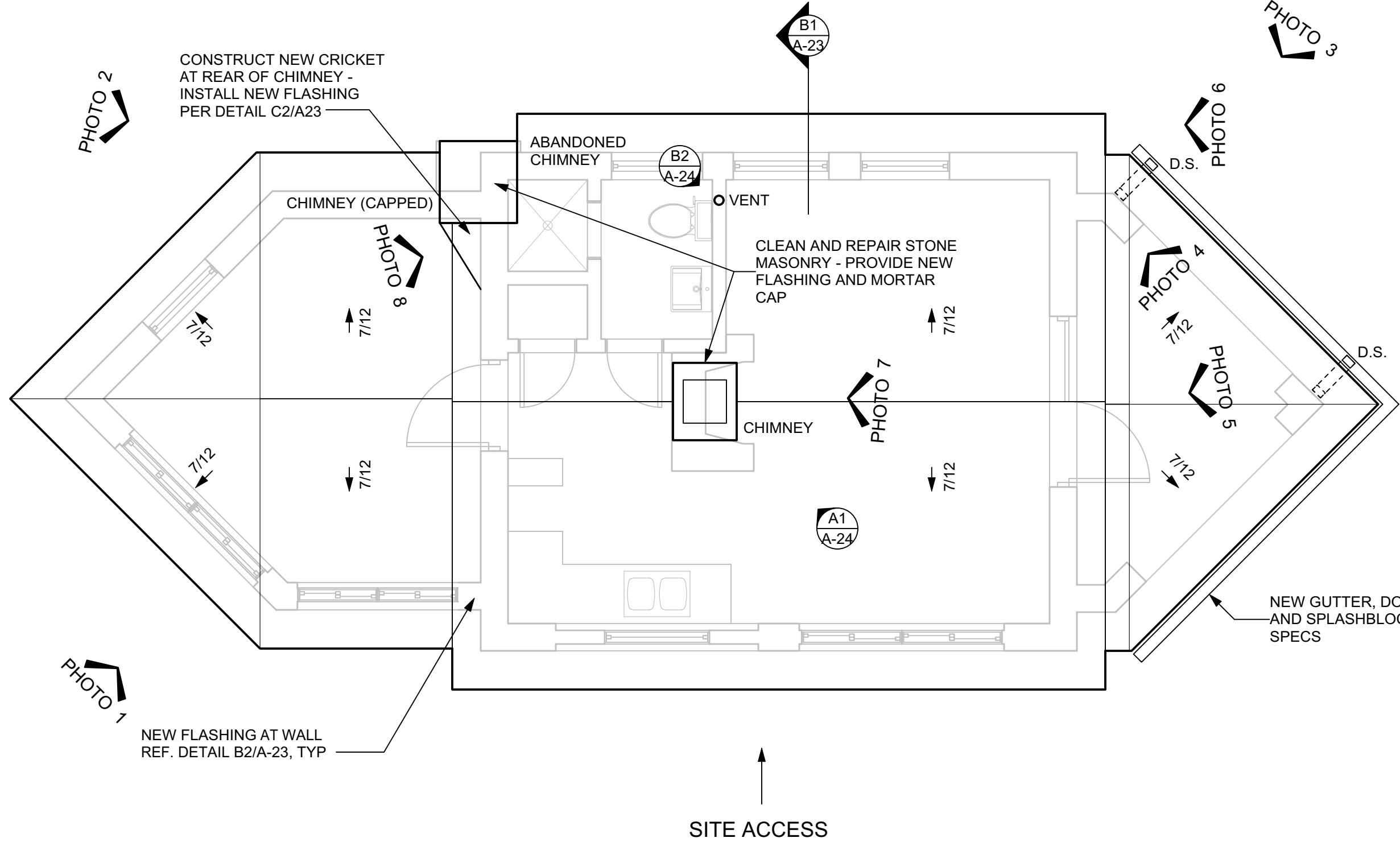
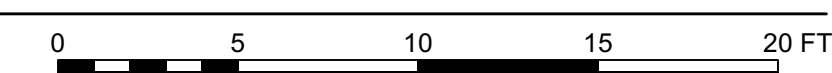


PHOTO 8 SOUTH CHIMNEY INTERSECTION AT ROOF



**B1 EXTERIOR ELEVATIONS - OAK LODGE**  
 SCALE: 3/16" = 1'-0"



**ROOF CALCULATIONS**

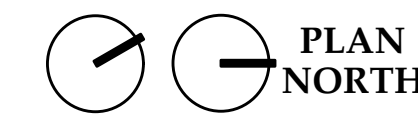
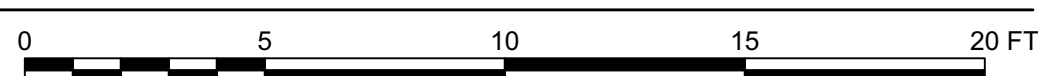
PITCH	ROOF PLAN	SURFACE AREA
7/12	833 SF	= 965 SF
TOTAL ROOF AREA		= 965 SF

**PLAN NOTES**

- NOTES APPLY TO OAK LODGE CABIN ONLY
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. CONTRACTOR SHALL FRAME NEW CRICKET AT REAR OF ABANDONED CHIMNEY TO DRAIN WATER - REFER TO DETAILS FOR ATTACHMENT TO MASONRY.
- F. EXISTING MORTAR CAP AT CHIMNEYS TO BE REMOVED AND NEW SLOPED MORTAR CAPS INSTALLED.

**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
 NOT TO SCALE

**A2 ROOF PLAN - OAK LODGE**  
 SCALE: 1/4" = 1'-0"



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 www.HutsonGallagher.com

LAKE BROWNWOOD STATE PARK  
 ROOF REPLACEMENT  
 PROJECT NUMBER: 1110153

DATE: 04/26/2021  
 DESIGNED BY:  
 CHRIS H.  
 DRAWN BY: PAT N.  
 REVIEWED BY:

no. revision. date

SHEET TITLE

OAK LODGE - ROOF PLAN & ELEVATIONS

SHEET NUMBER

A-9



PHOTO 1 VIEW FROM NORTHWEST



PHOTO 2 SOUTH ELEVATION



PHOTO 3 EAST ELEVATION



PHOTO 4 EAVE AND GUTTER AT SOUTHEAST



PHOTO 5 ROOF



PHOTO 6 WEST ELEVATION

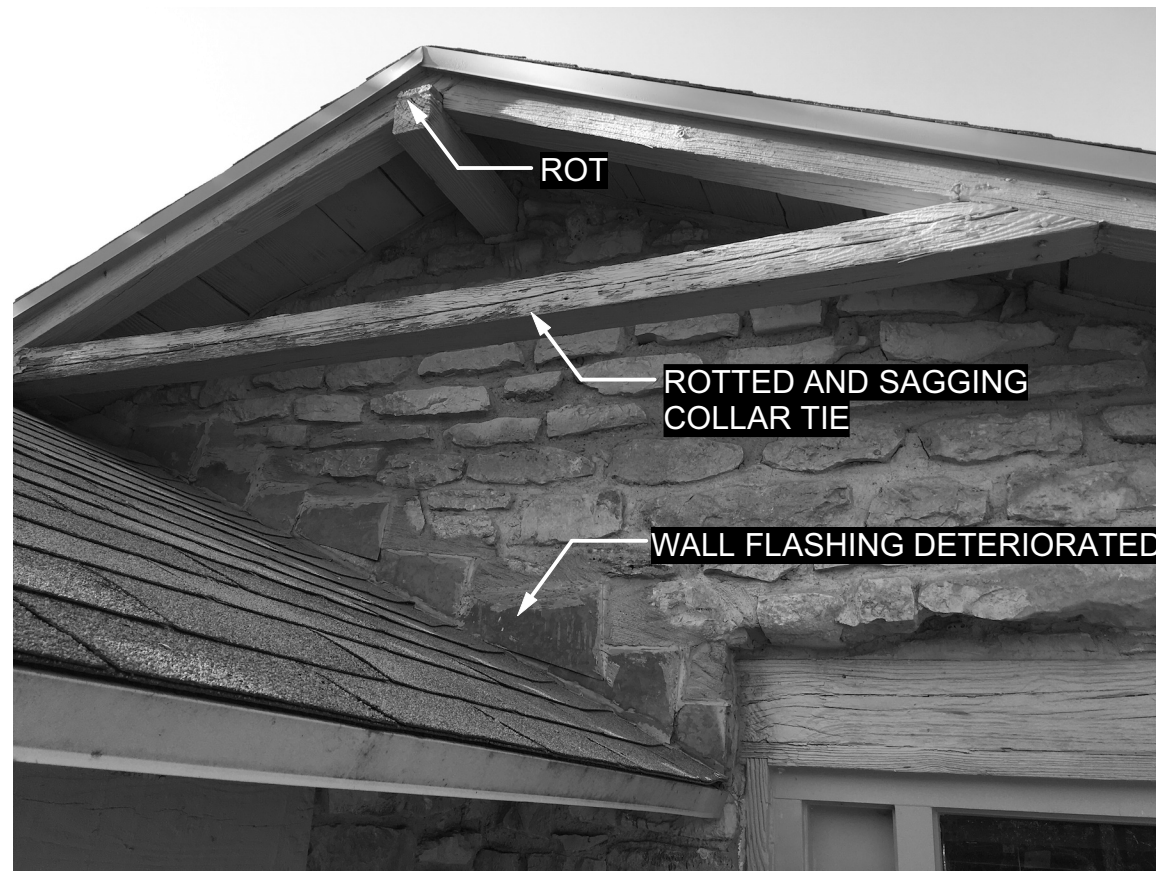
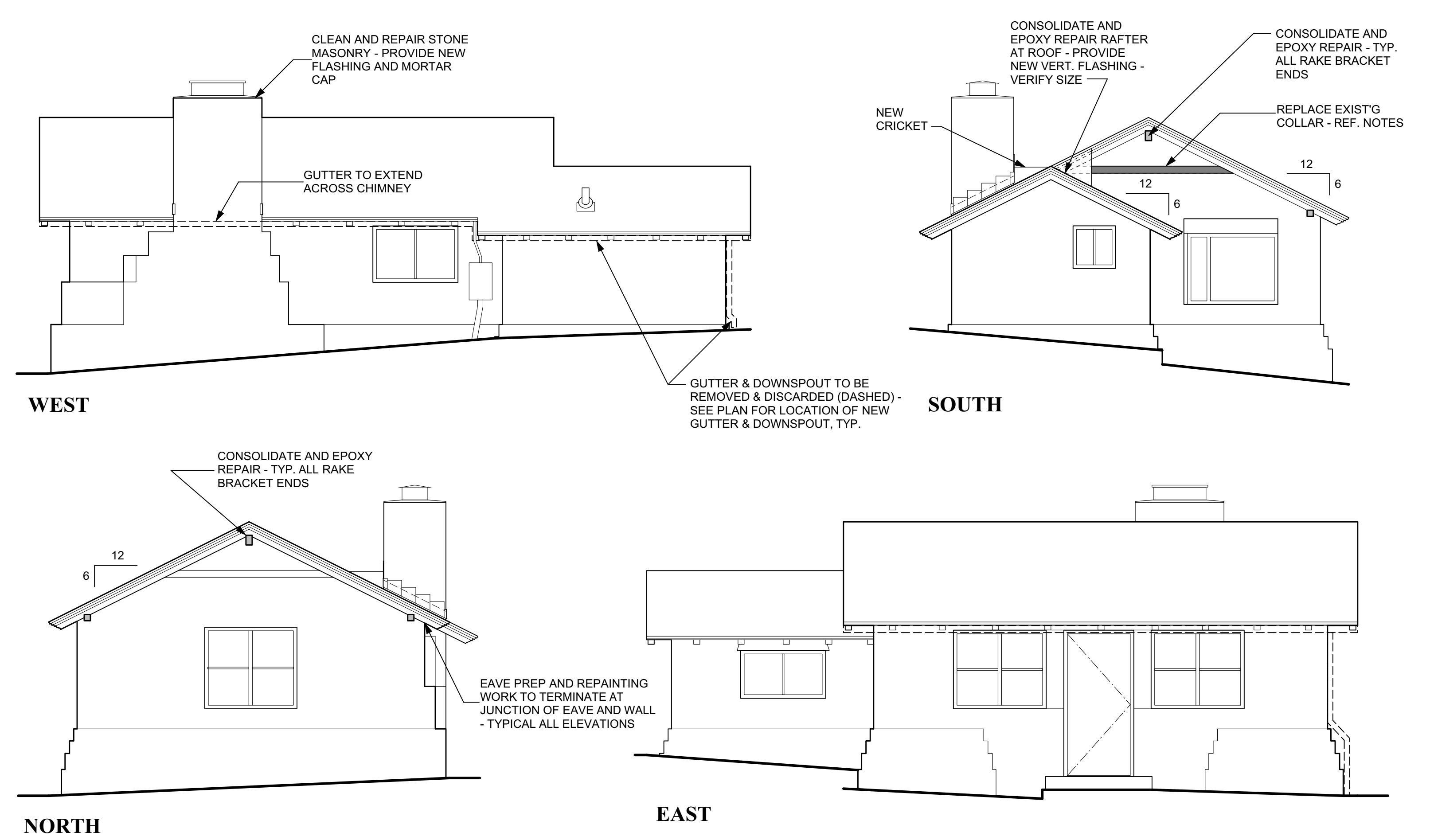


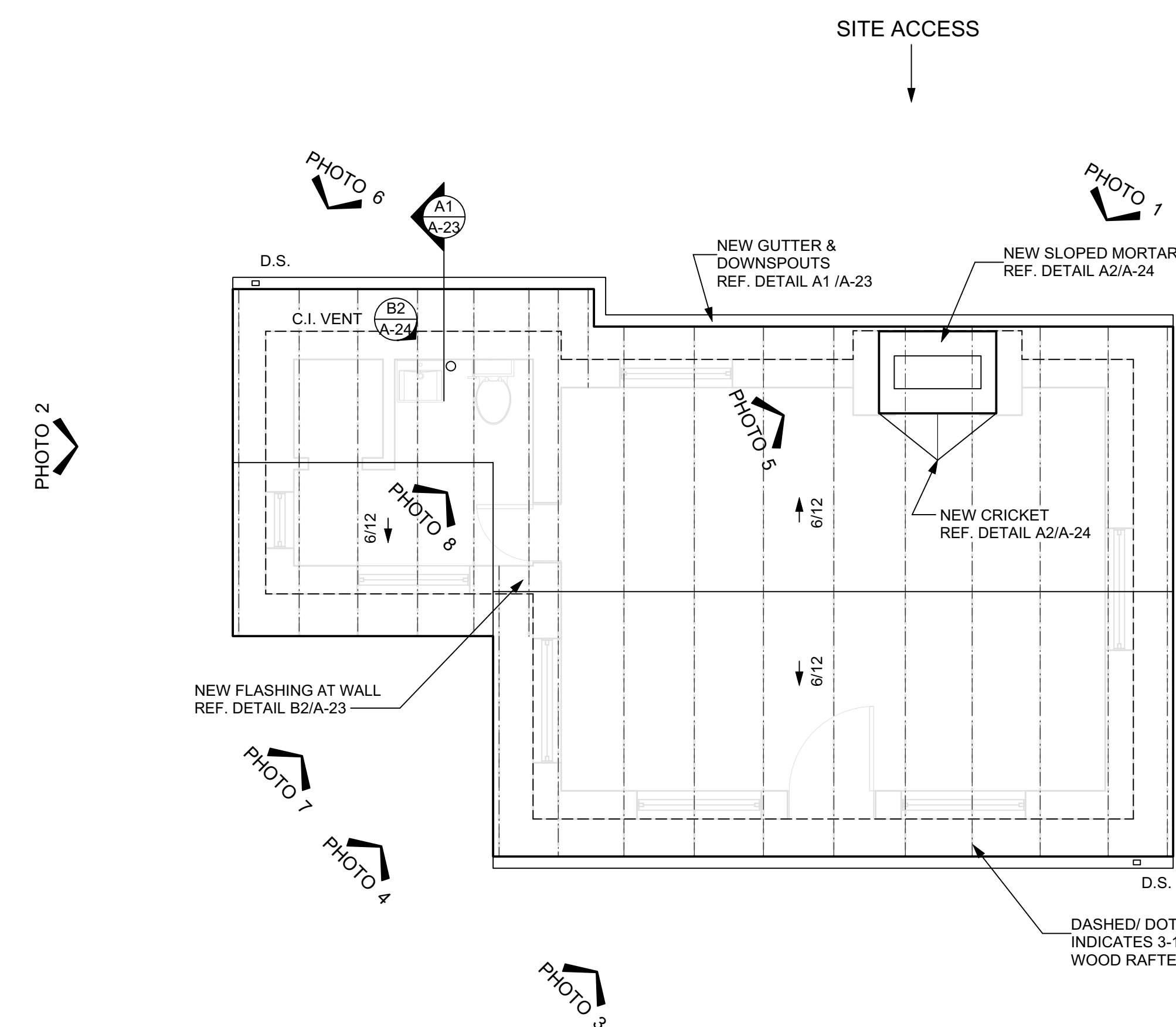
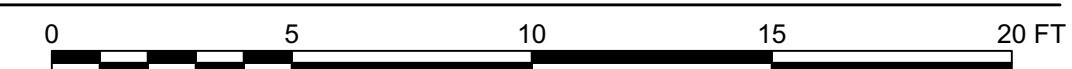
PHOTO 7 SOUTH ELEVATION



PHOTO 8 SOUTH ELEVATION



**B1 EXTERIOR ELEVATIONS - CABIN #5**  
SCALE: 1/4" = 1'-0"

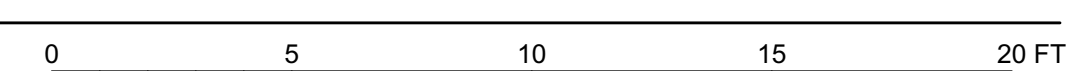
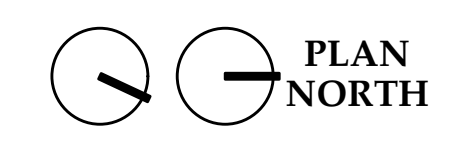


**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
6 IN 12	571 SF	= 639 SF
TOTAL ROOFING AREA		= 639 SF

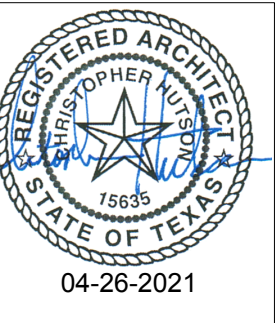
**PLAN NOTES**

- NOTES APPLY TO CABIN 5 ONLY
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. CONTRACTOR SHALL FRAME NEW CRICKET AT REAR OF CHIMNEY TO DRAIN WATER - REFER TO DETAILS FOR ATTACHMENT TO MASONRY.
- F. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.



**A2 ROOF PLAN - CABIN #5**  
SCALE: 1/4" = 1'-0"

**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE



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DATE: 04/26/2021  
DESIGNED BY: CHRIS H.  
DRAWN BY: PAT N.  
REVIEWED BY:

no. revision. date

SHEET TITLE  
CABIN #5 - ROOF  
PLAN & ELEVATIONS

SHEET NUMBER  
A-10

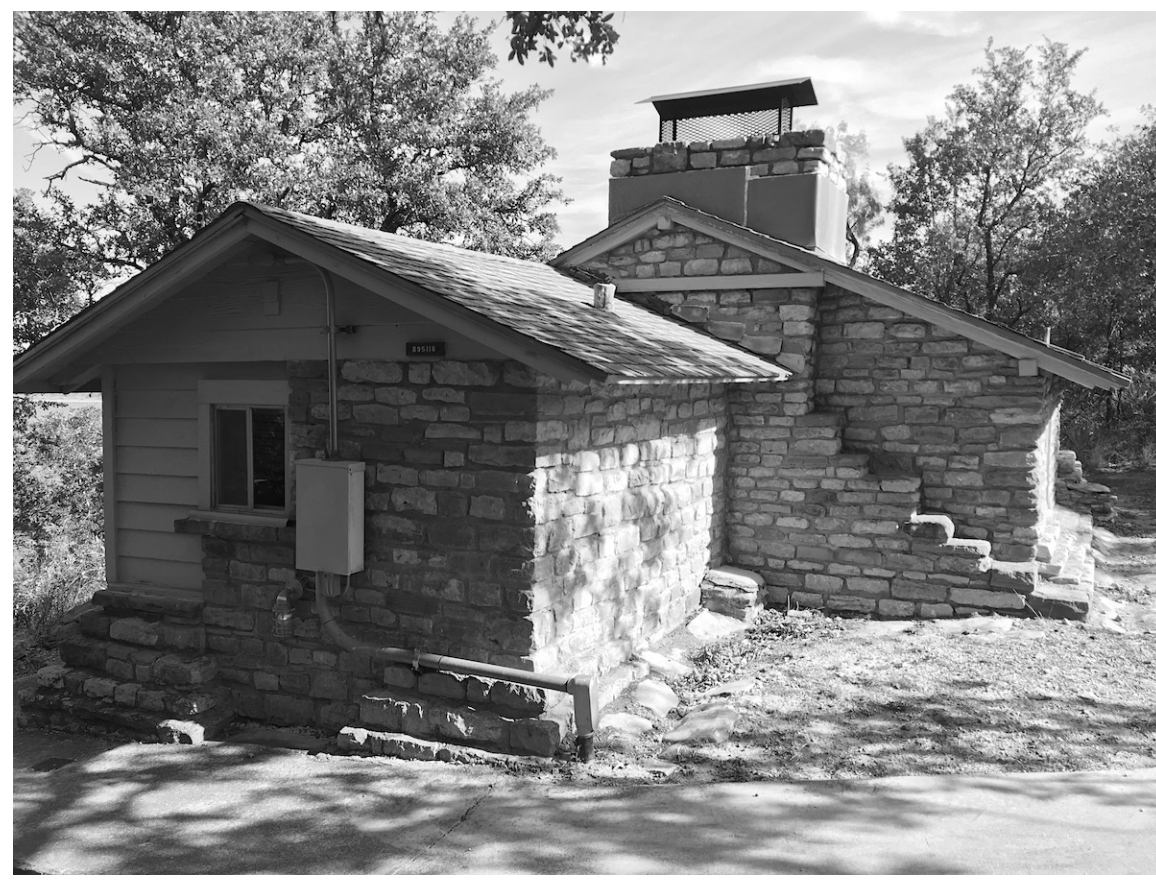


PHOTO 1 VIEW FROM SOUTHWEST



PHOTO 2 VIEW FROM SOUTHEAST



PHOTO 3 EAST ELEVATION



PHOTO 4 NORTH ELEVATION



PHOTO 5 DETAIL AT WEST ELEVATION



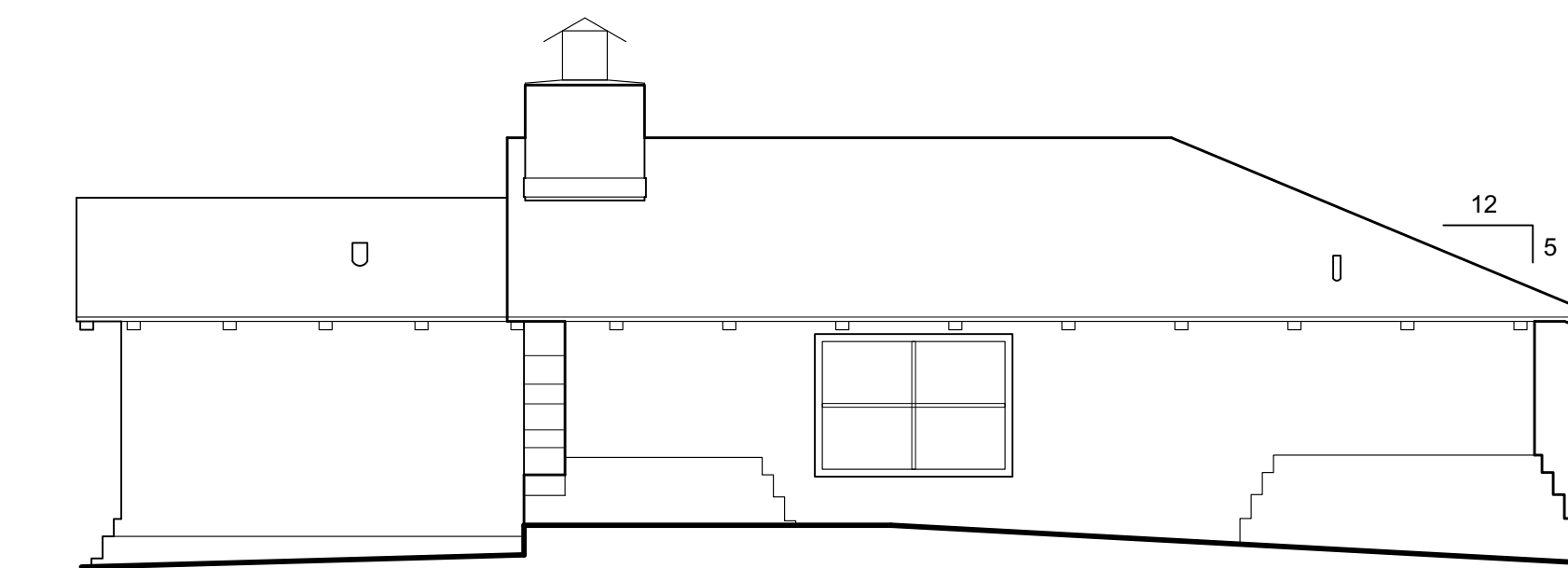
PHOTO 6 WEST ELEVATION



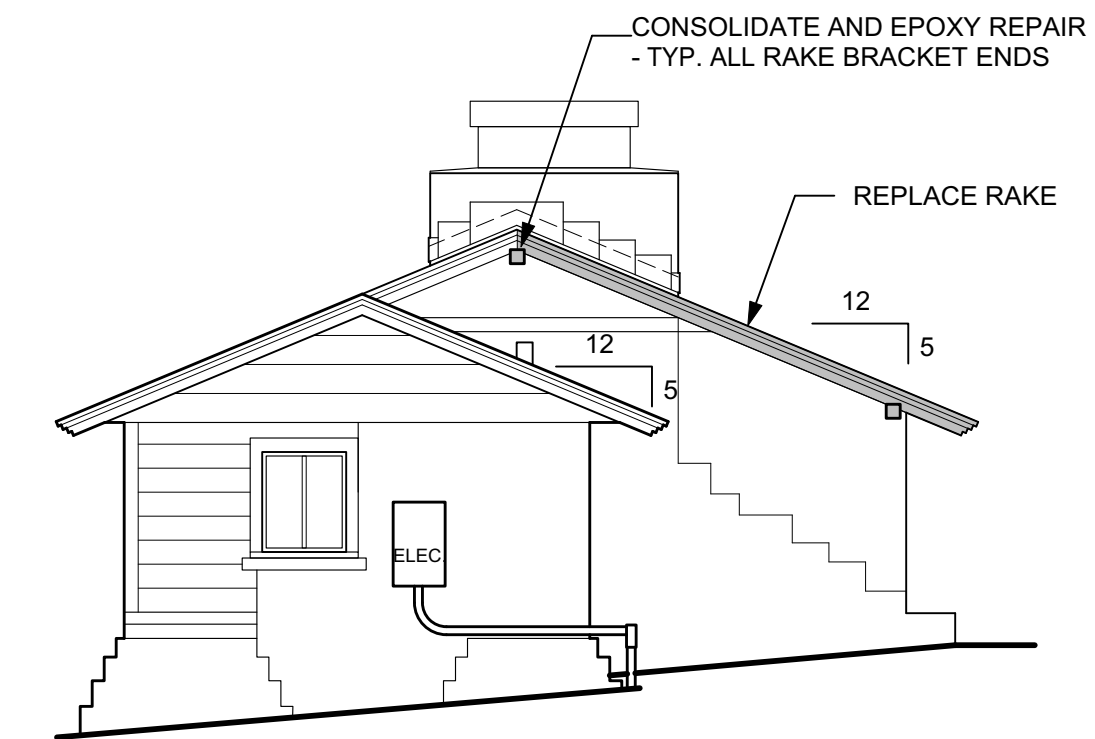
PHOTO 7 CHIMNEY DETAIL



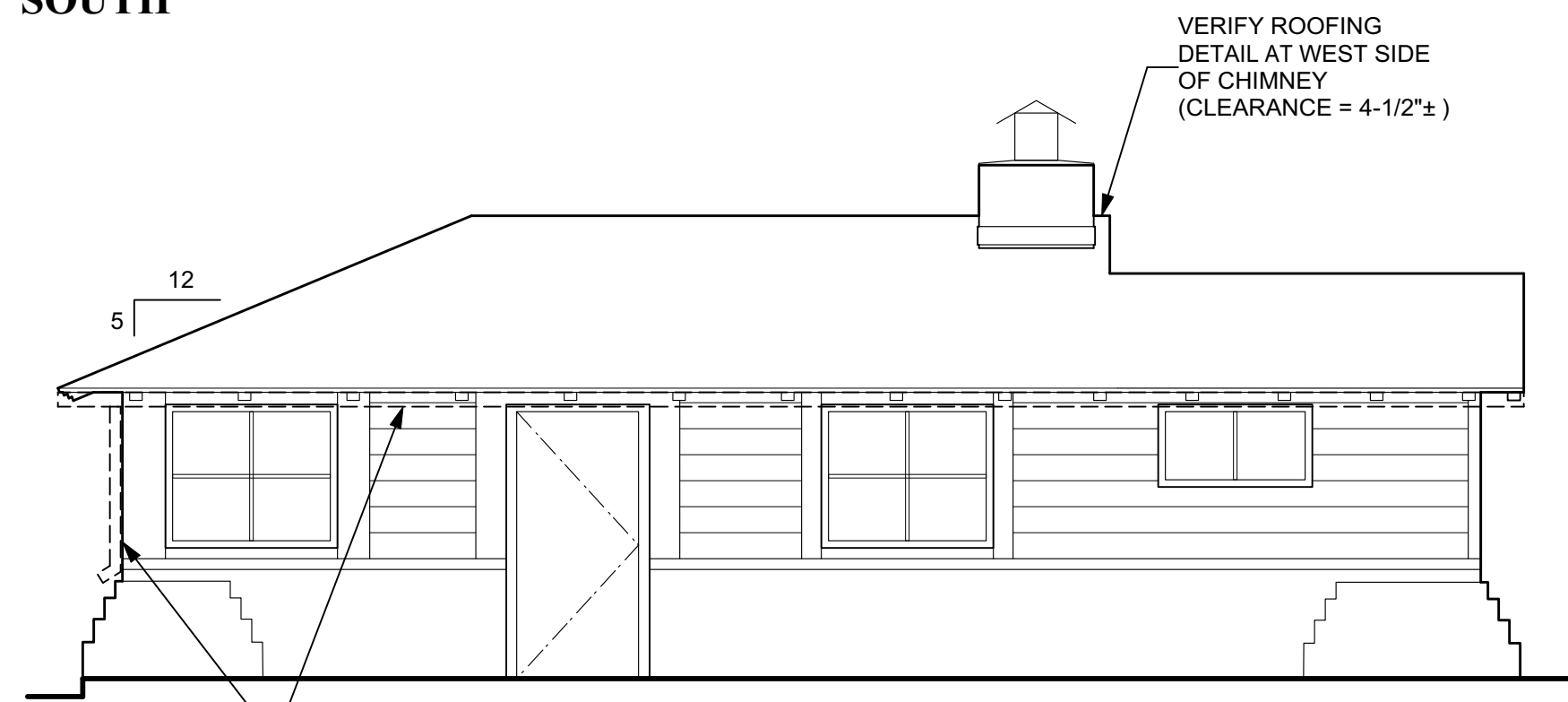
PHOTO 8 EAVE AT WEST ELEVATION



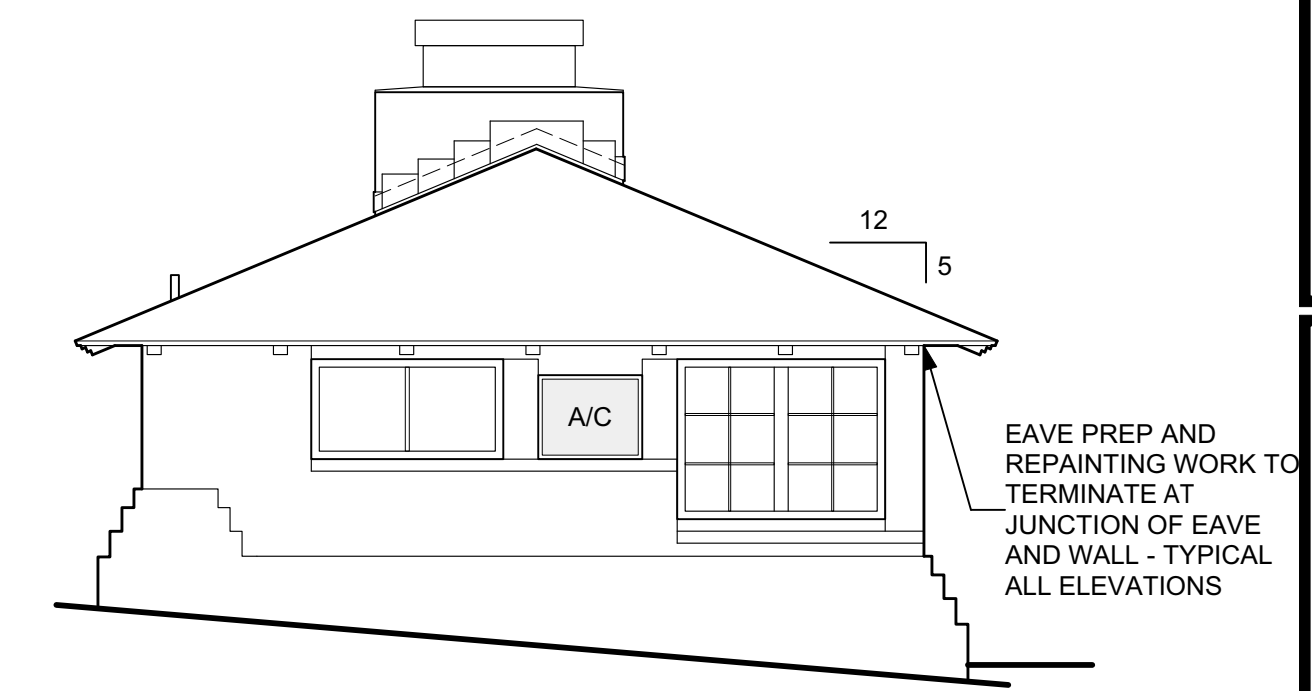
SOUTH



WEST

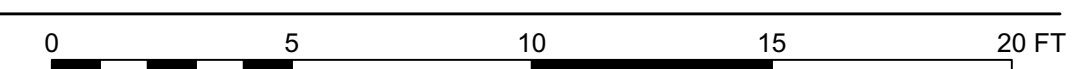


NORTH



EAST

**B1** EXTERIOR ELEVATIONS - CABIN #6  
SCALE: 1/4" = 1'-0"



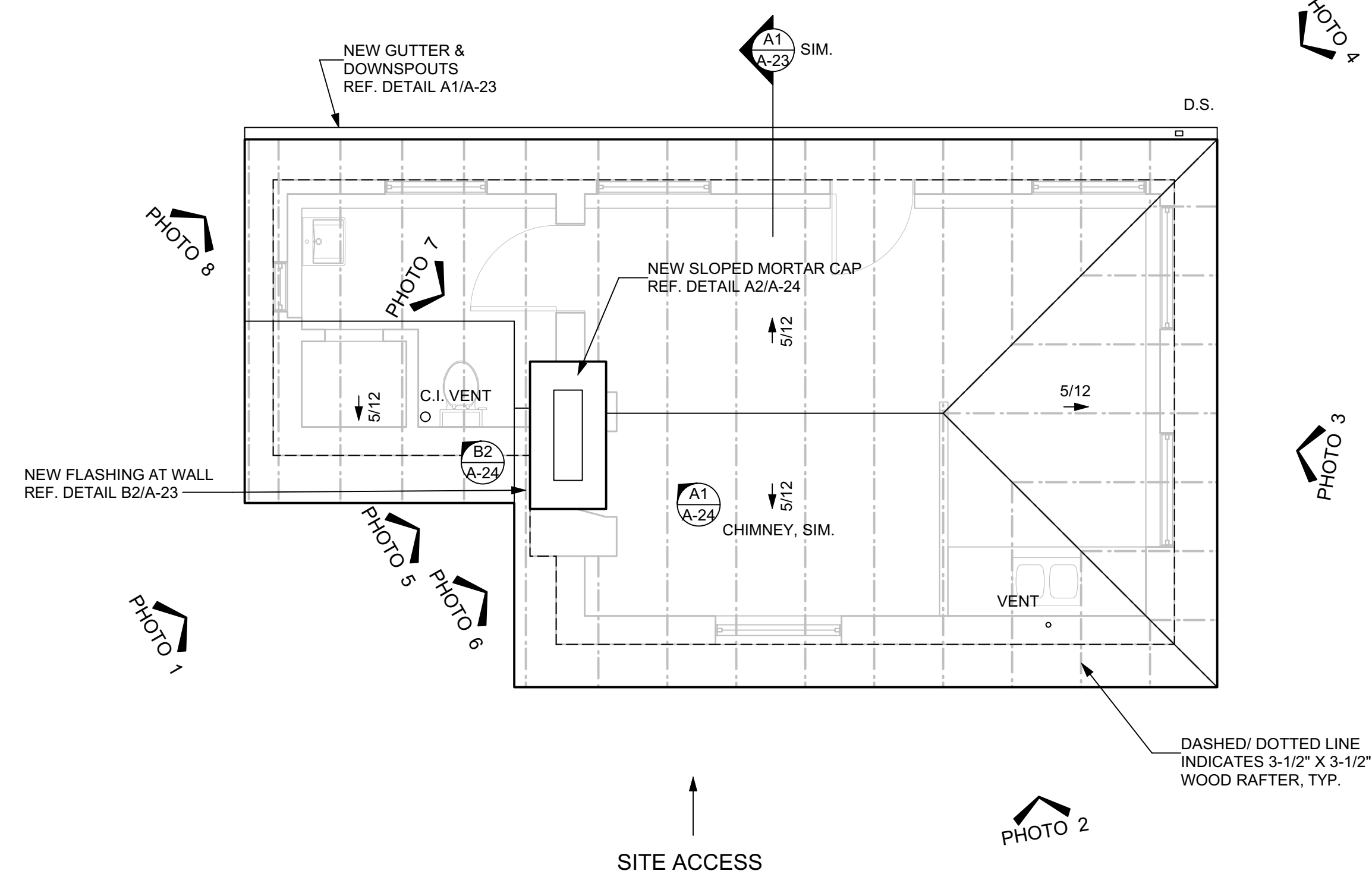
**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
5 IN 12	584 SF	= 633 SF
TOTAL ROOF AREA		= 633 SF

**PLAN NOTES**

- NOTES APPLY TO CABIN 6 ONLY

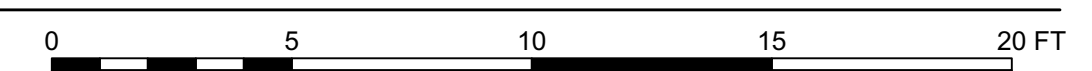
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.



SITE ACCESS

PLAN NORTH

**A2** ROOF PLAN - CABIN #6  
SCALE: 1/4" = 1'-0"



**A1** PHOTOGRAPHS - EXISTING CONDITIONS  
NOT TO SCALE





PHOTO 1 WEST ELEVATION



PHOTO 2 DETAIL OF ROOF OVER ENTRY



PHOTO 3 VIEW FROM SOUTHEAST



PHOTO 4 EAVE AND GUTTER AT SOUTHEAST



PHOTO 5 ROTTED RAFTER END



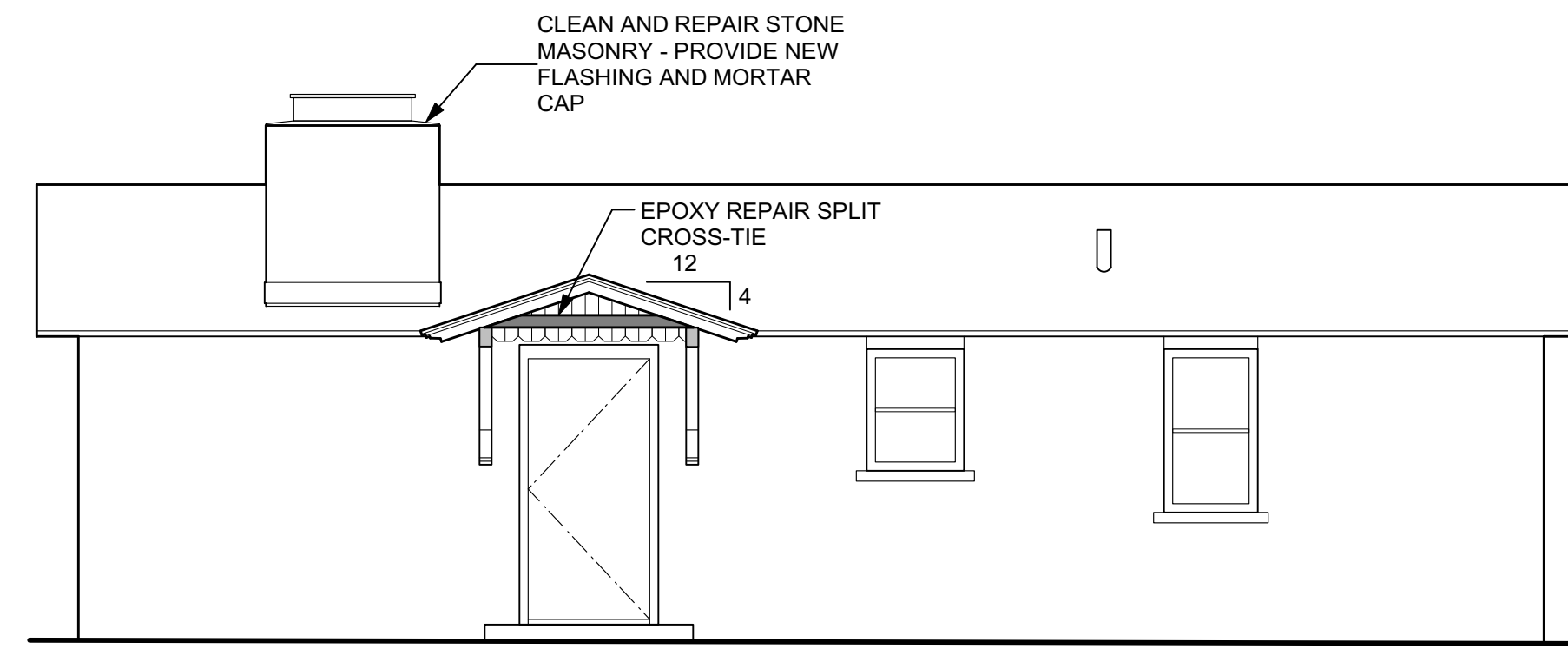
PHOTO 6 ROOF LOOKING NORTH



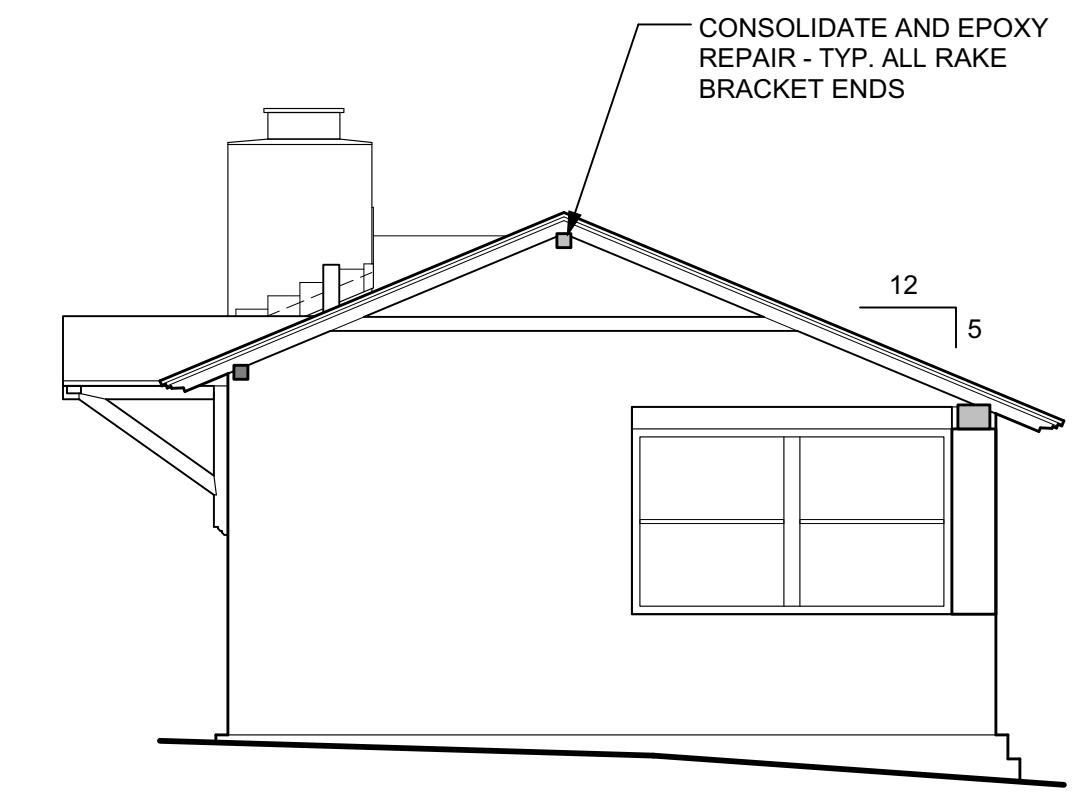
PHOTO 7 DETAIL AT CHIMNEY CAP



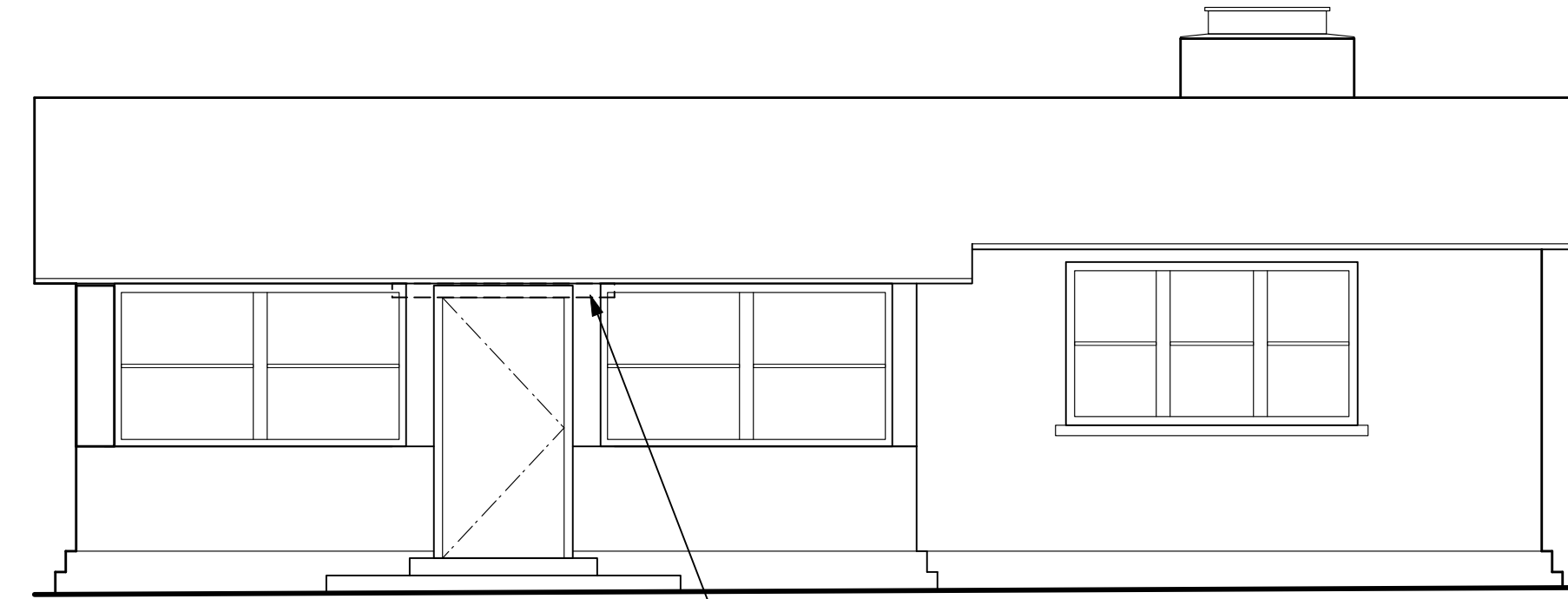
PHOTO 8 DETAIL AT CHIMNEY CRICKET



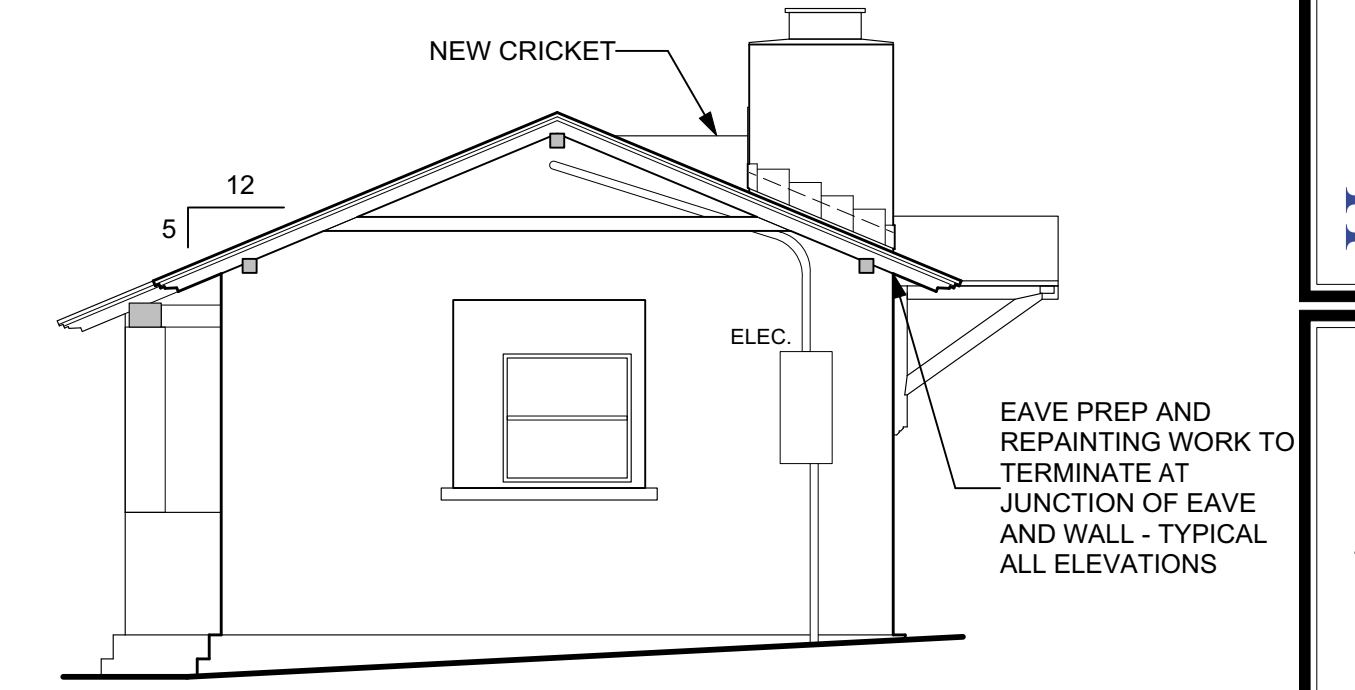
WEST



SOUTH

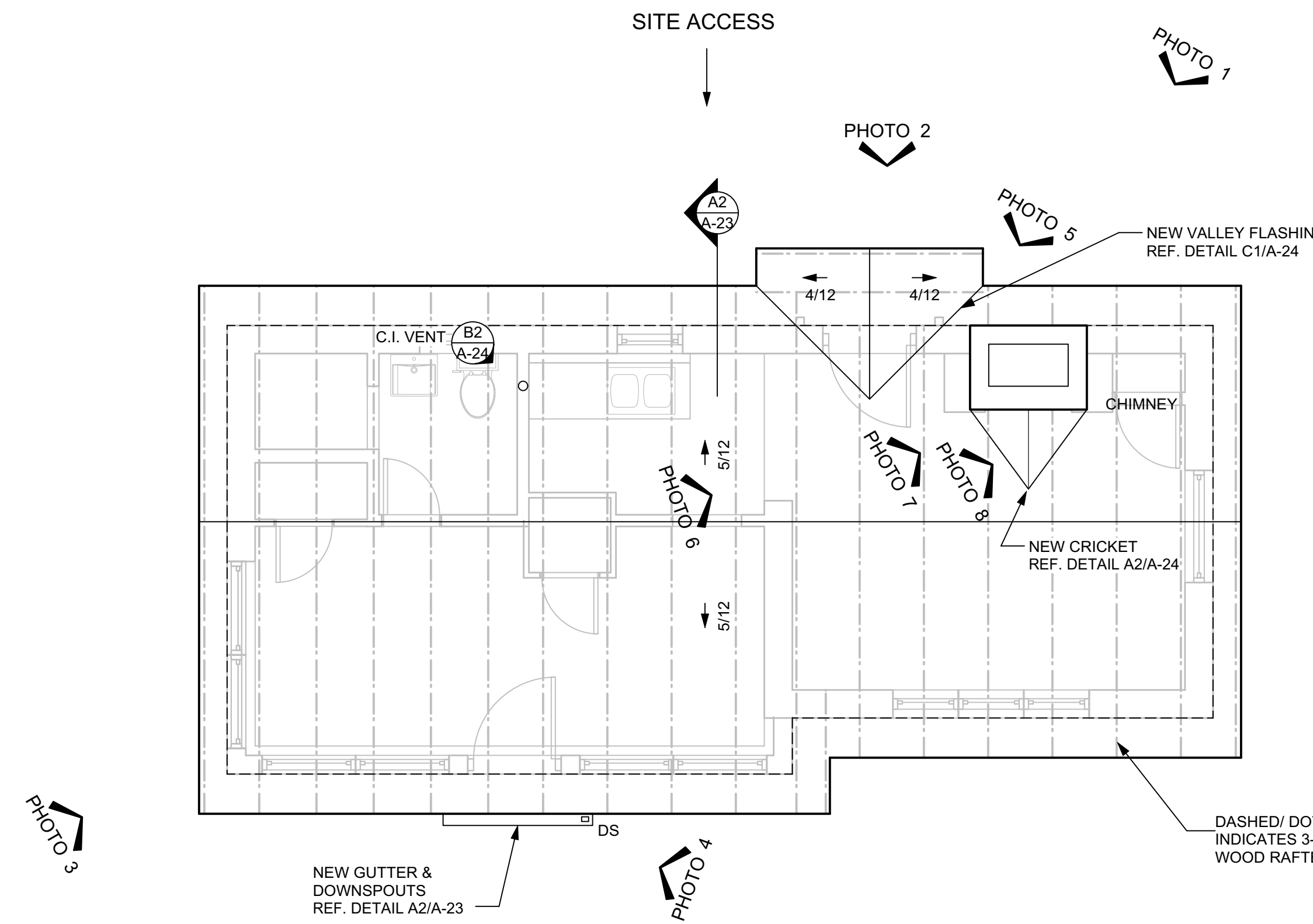
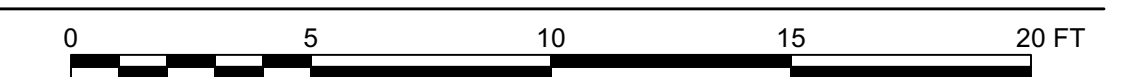


EAST



NORTH

**B1** EXTERIOR ELEVATIONS - CABIN #7  
SCALE: 1/4" = 1'-0"

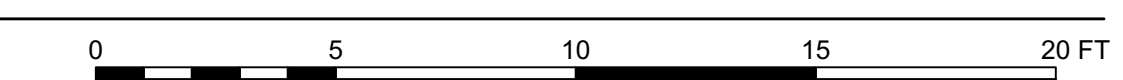
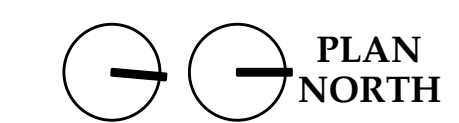


**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
4 IN 12	27 SF	= 29 SF
5 IN 12	642 SF	= 696 SF
<b>TOTAL ROOF AREA</b>		<b>= 725 SF</b>

**PLAN NOTES**

- NOTES APPLY TO CABIN 7 ONLY
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. CONTRACTOR SHALL FRAME NEW CRICKET AT REAR OF CHIMNEY TO DRAIN WATER - REFER TO DETAILS FOR ATTACHMENT TO MASONRY.
- F. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.



**A2** ROOF PLAN - CABIN #7  
SCALE: 1/4" = 1'-0"

**A1** PHOTOGRAPHS - EXISTING CONDITIONS  
NOT TO SCALE



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CHRIS H.  
DRAWN BY: PAT N.  
REVIEWED BY:

no. revision. date

**SHEET TITLE**

CABIN #7 - ROOF  
PLAN & ELEVATIONS

**SHEET NUMBER**

A-12



PHOTO 1 VIEW FROM SOUTHEAST



PHOTO 2 SOUTH ELEVATION



PHOTO 3 WEST ELEVATION



PHOTO 4 NORTH ELEVATION



PHOTO 5 ROOF LOOKING NORTHWEST



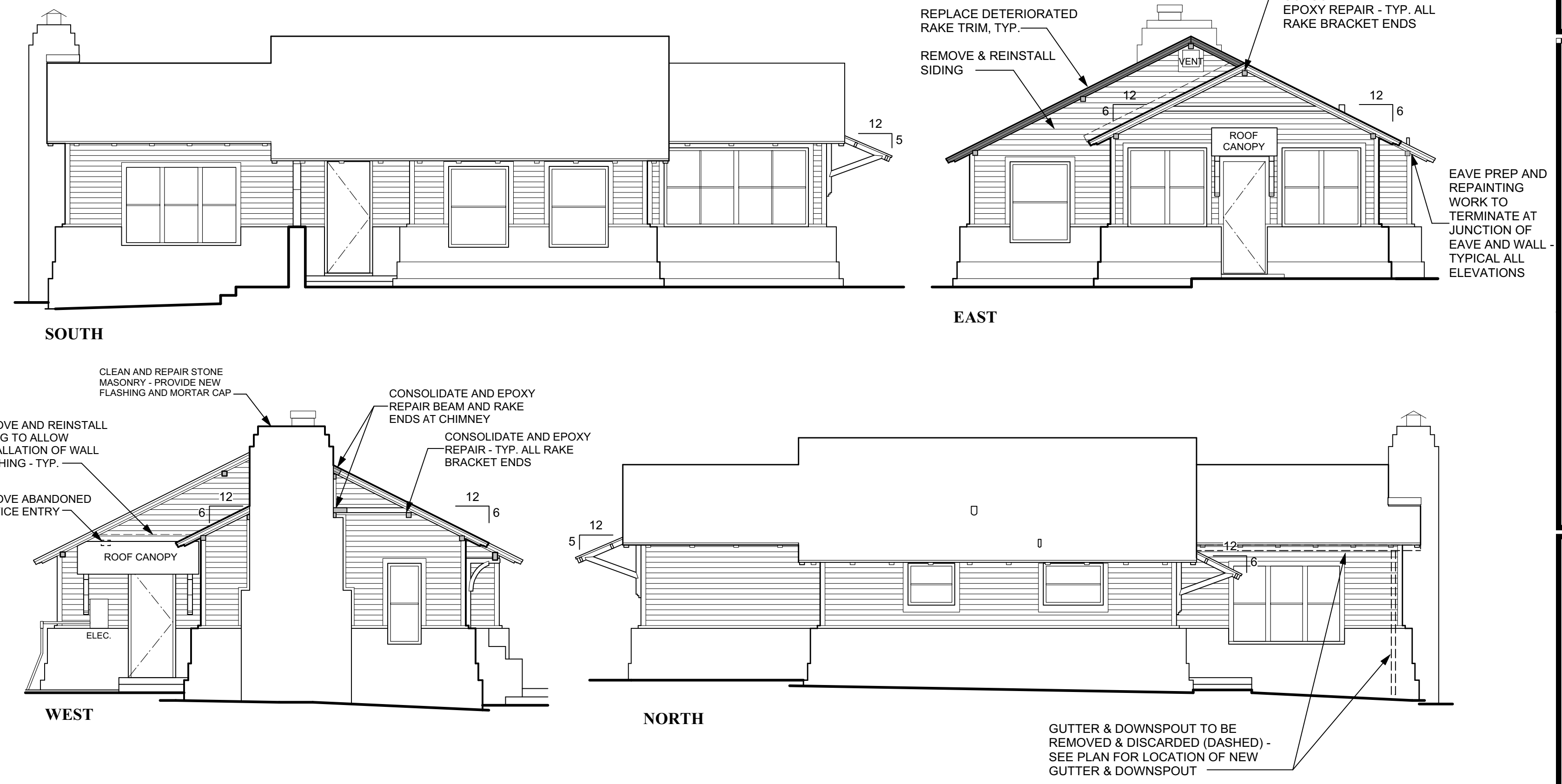
PHOTO 6 WEST ELEVATION



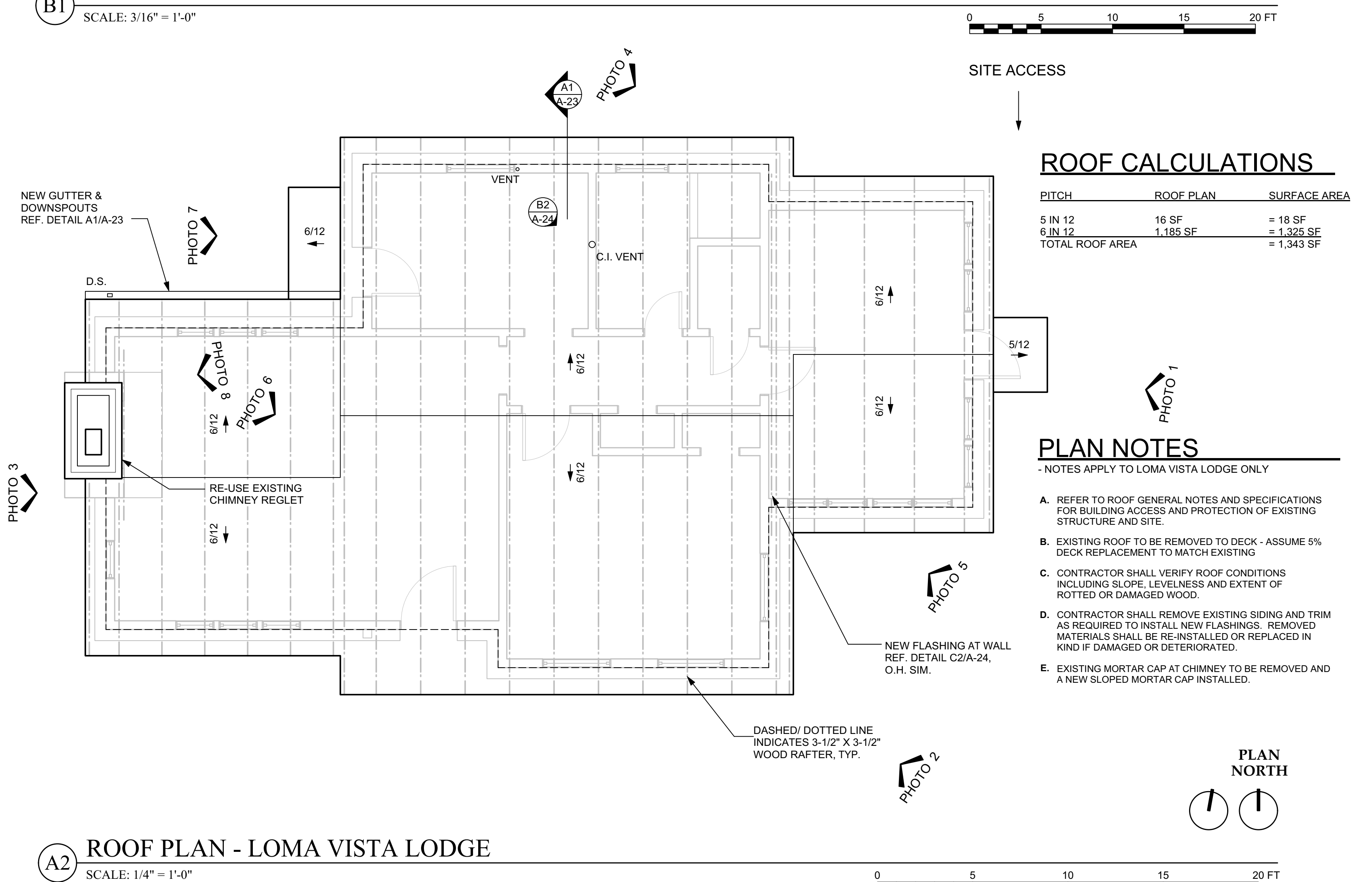
PHOTO 7 WEST ELEVATION



PHOTO 8 ROOF LOOKING WEST



**B1 EXTERIOR ELEVATIONS - LOMA VISTA LODGE**  
SCALE: 3/16" = 1'-0"



**A2 ROOF PLAN - LOMA VISTA LODGE**  
SCALE: 1/4" = 1'-0"

**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE

**TEXAS PARKS & WILDLIFE**

REGISTERED ARCHITECT  
STATE OF TEXAS  
15835  
04-26-2021

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**LAKE BROWNWOOD STATE PARK**  
ROOF REPLACEMENT  
PROJECT NUMBER: 1110153

DATE: 04/26/2021  
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**SHEET TITLE**  
LOMA VISTA LODGE - ROOF PLAN & ELEVATIONS

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100% SET - CONSTRUCTION DOCUMENTS