

PHOTO 1 NORTH ELEVATION



PHOTO 2 WEST ELEVATION



PHOTO 3 SOUTH ELEVATION



PHOTO 4 EAST ELEVATION



PHOTO 5 ROT AT BEAM NEAR ENTRANCE

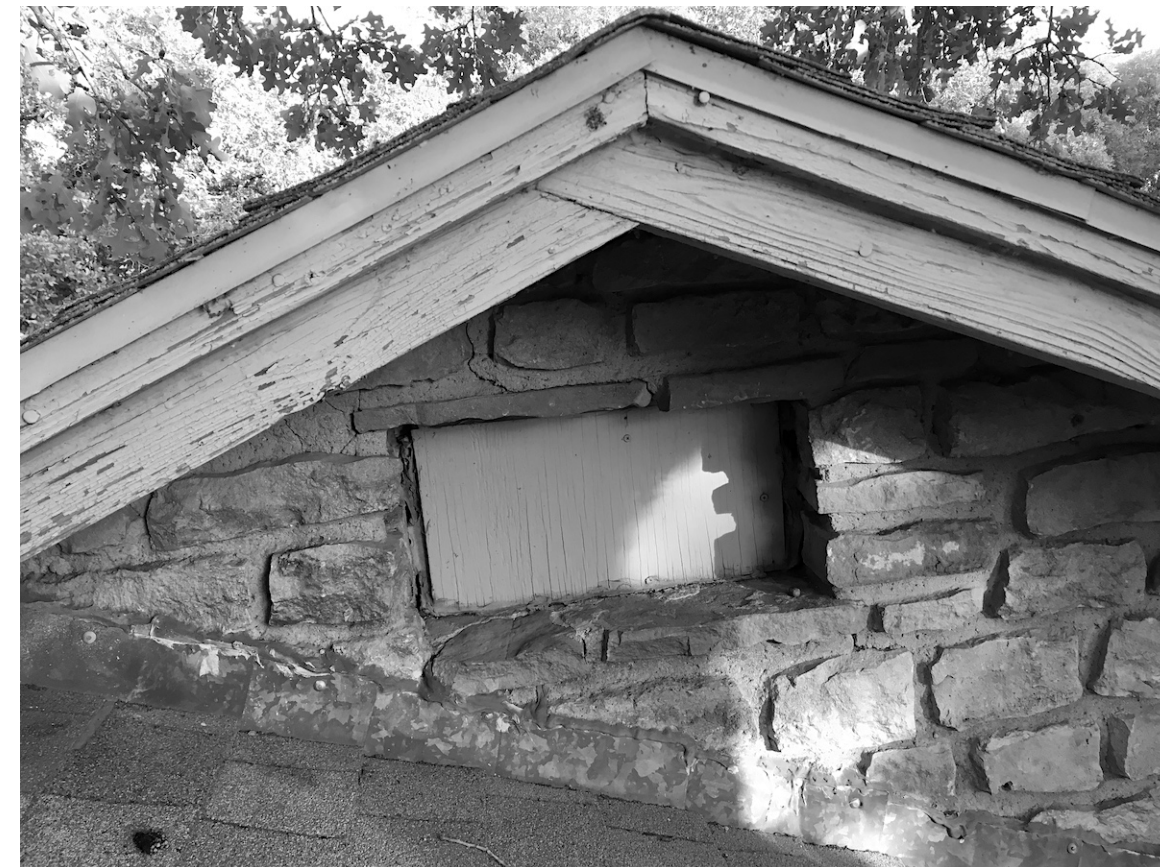


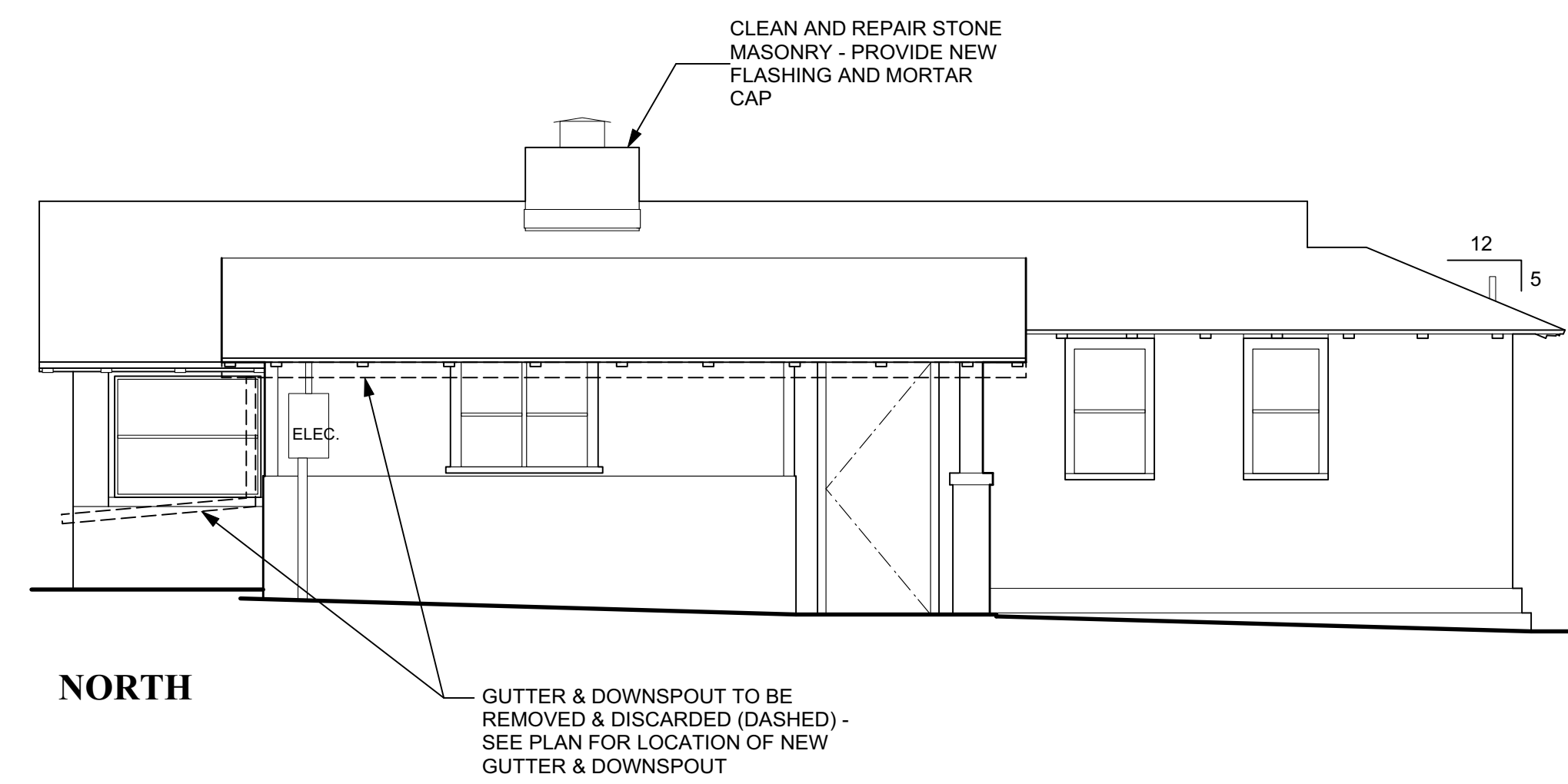
PHOTO 6 WEST GABLE



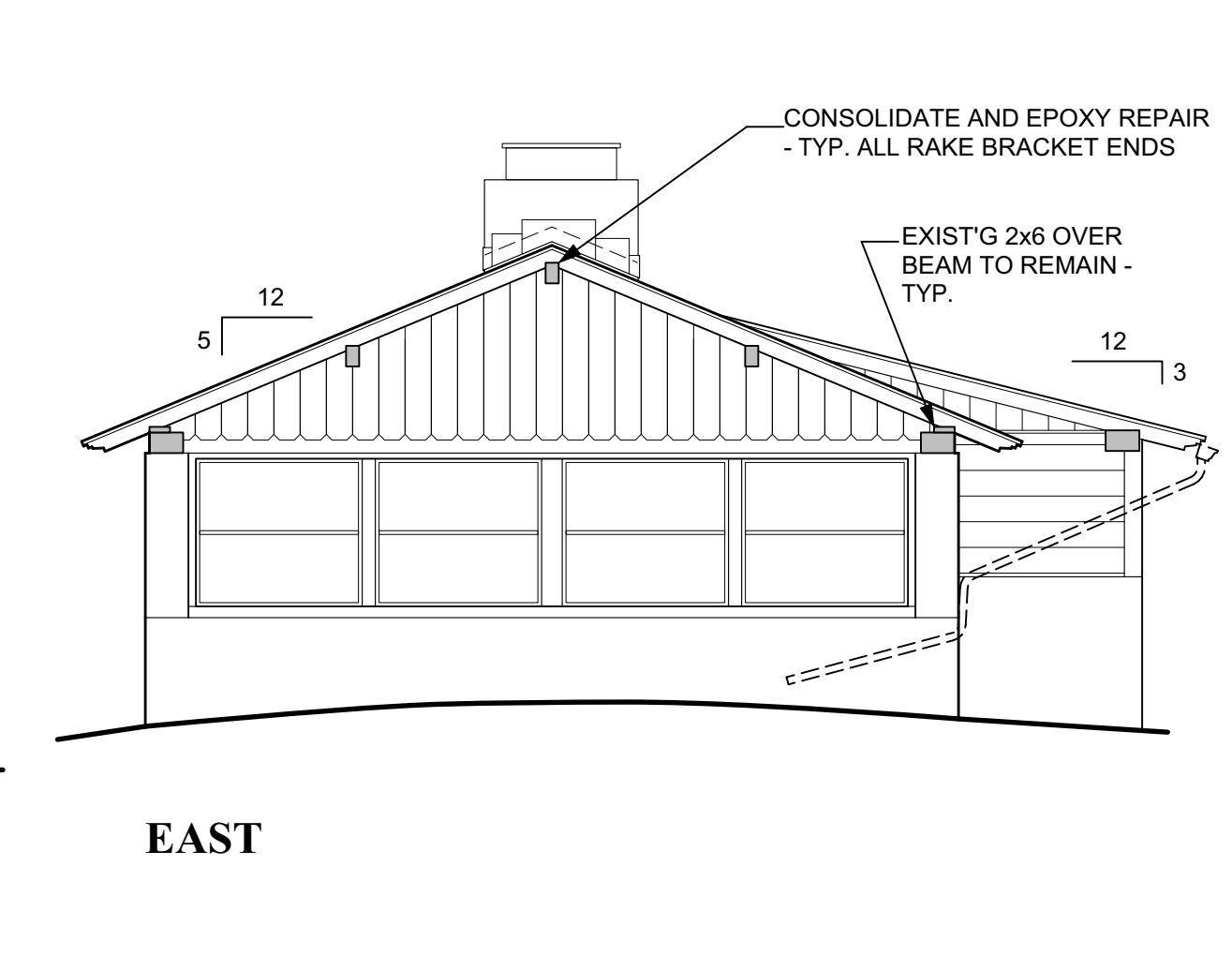
PHOTO 7 FLASHING AT ROOF OFFSET



PHOTO 8 DETAIL OF CHIMNEY



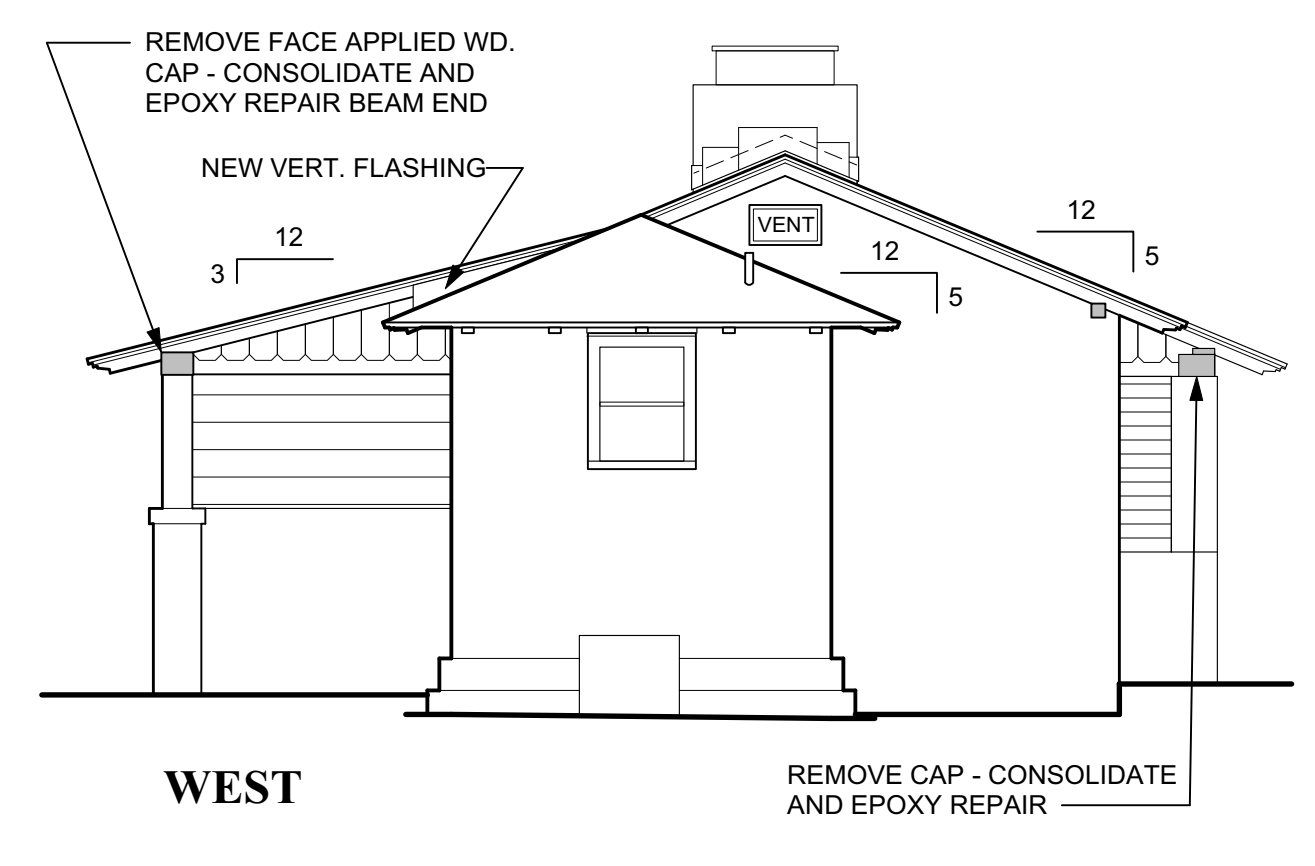
NORTH



EAST

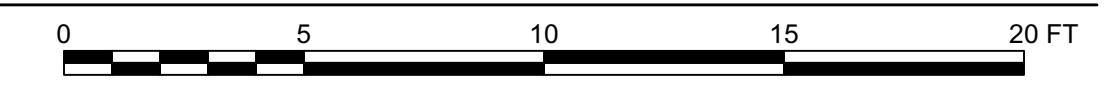
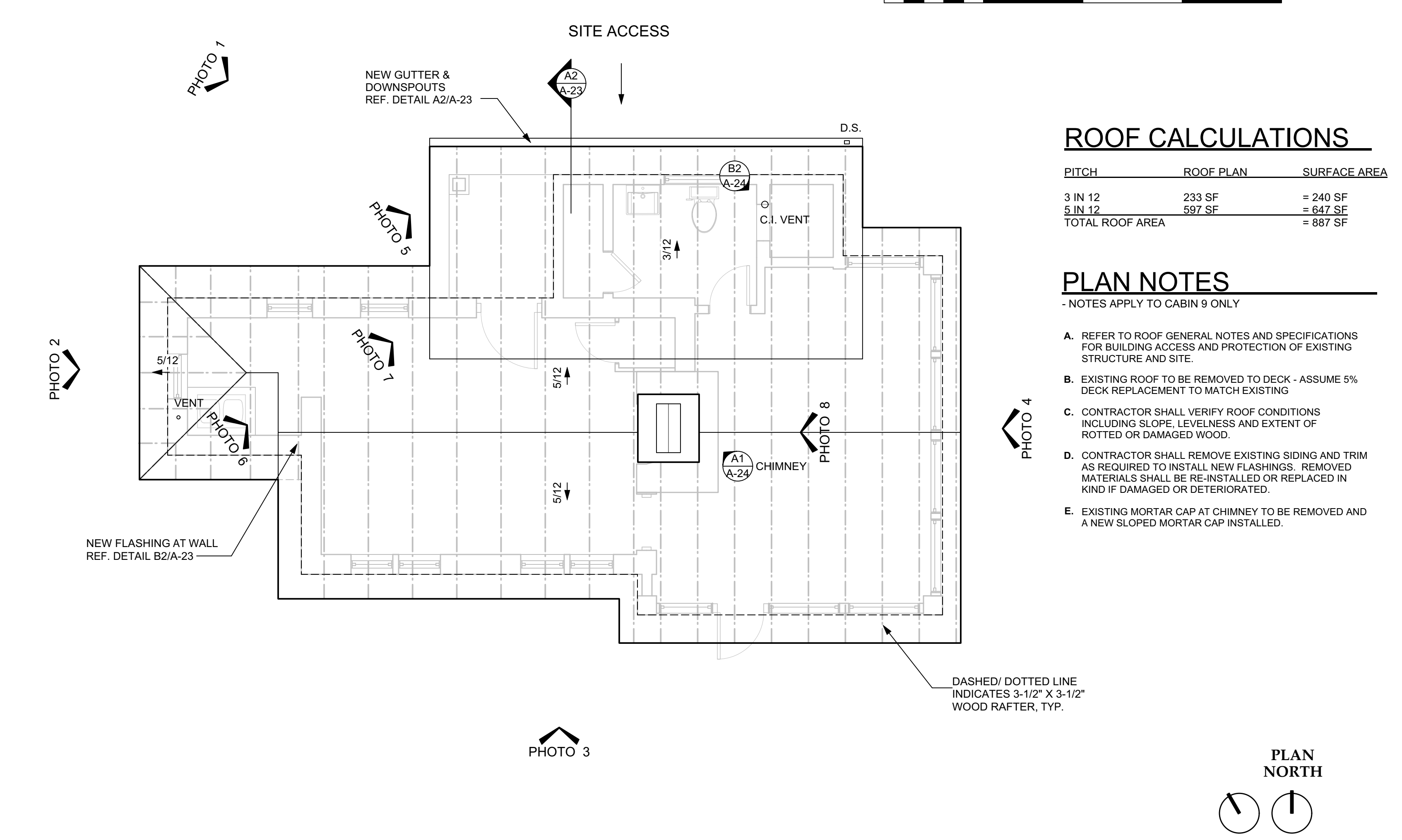


SOUTH



WEST

**B1 EXTERIOR ELEVATIONS - CABIN #9**  
SCALE: 1/4" = 1'-0"

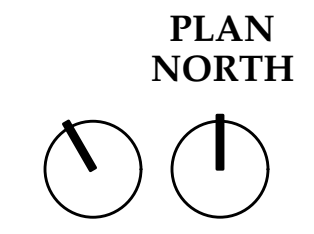


**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
3 IN 12	233 SF	= 240 SF
5 IN 12	597 SF	= 647 SF
TOTAL ROOF AREA		= 887 SF

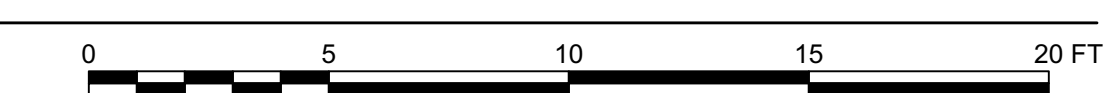
**PLAN NOTES**  
- NOTES APPLY TO CABIN 9 ONLY

- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.



**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE

**A2 ROOF PLAN - CABIN #9**  
SCALE: 1/4" = 1'-0"



**TEXAS PARKS & WILDLIFE**

REGISTERED ARCHITECT  
CHRIS H. HUTSON  
STATE OF TEXAS  
15635  
04-26-2021

Hutson | Gallagher  
1206 Quail Park Drive  
Austin, Texas 78758  
Phone: (512) 960-0013  
www.HutsonGallagher.com

**LAKE BROWNWOOD STATE PARK**  
ROOF REPLACEMENT  
PROJECT NUMBER: 1110153

DATE: 04/26/2021  
DESIGNED BY: CHRIS H.  
DRAWN BY: PAT N.  
REVIEWED BY:

no. revision. date

**SHEET TITLE**  
CABIN #9 - ROOF PLAN & ELEVATIONS

**SHEET NUMBER**  
A-14

100% SET - CONSTRUCTION DOCUMENTS



PHOTO 1 NORTH ELEVATION



PHOTO 2 SOUTH ELEVATION



PHOTO 3 WEST ELEVATION



PHOTO 4 DETAIL AT NORTH ELEVATION WINDOW



PHOTO 5 CHIMNEY AND CRICKET



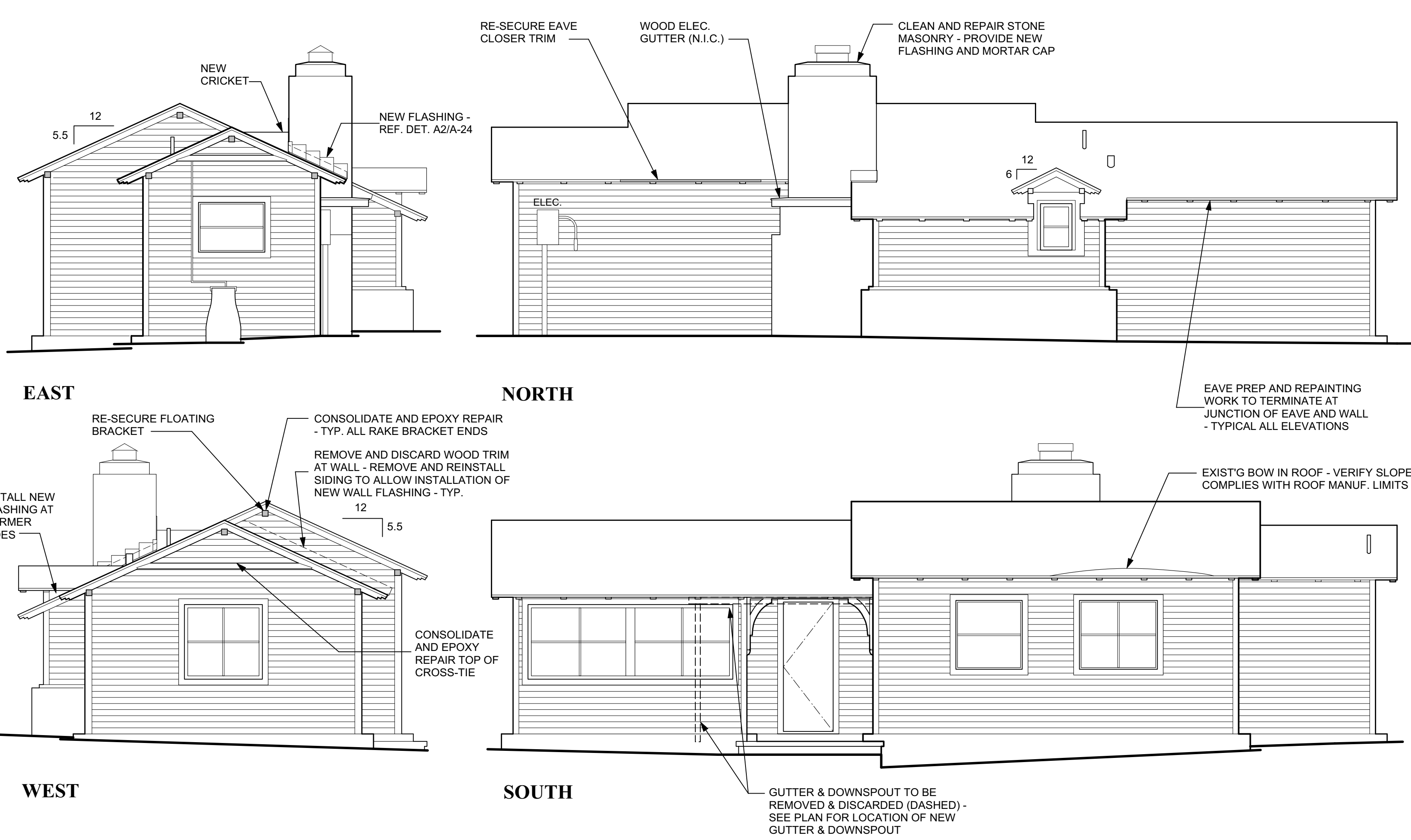
PHOTO 6 CRACKED MORTAR AT CHIMNEY



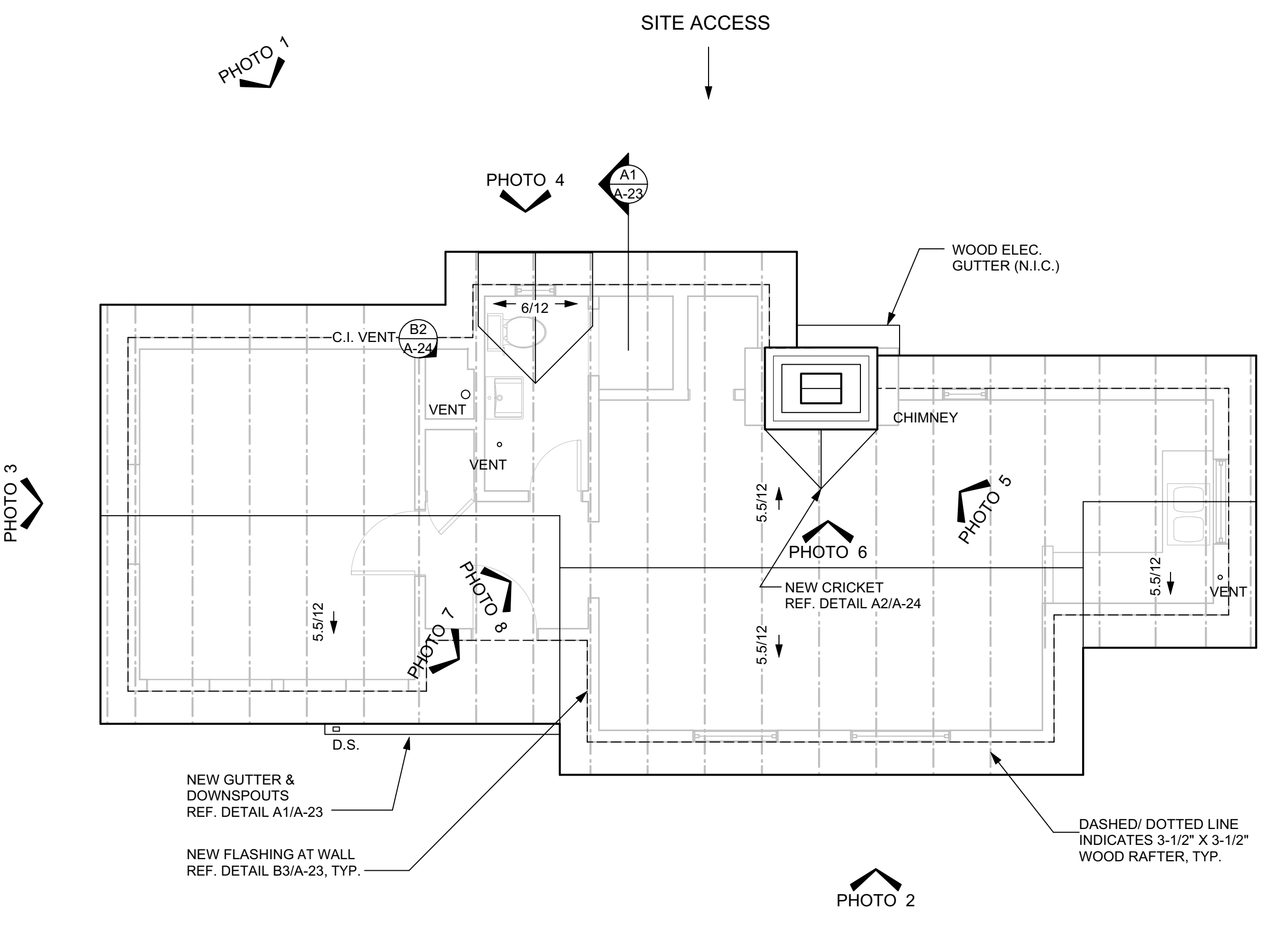
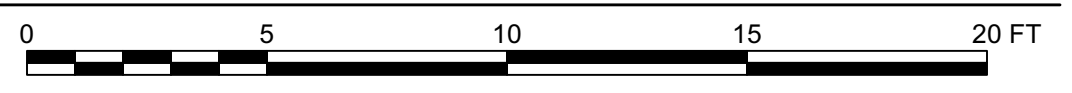
PHOTO 7 ROOF TERMINATION AT WEST GABLE



PHOTO 8 ROTTED WOOD AT WEST GABLE



**B1 EXTERIOR ELEVATIONS - CABIN #10**  
SCALE: 1/4" = 1'-0"



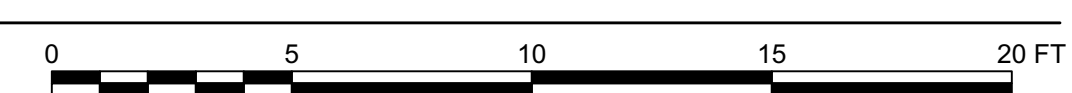
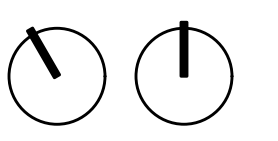
**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
5.5 / 12	752 SF	= 828 SF
6 / 12	18 SF	= 20 SF
TOTAL ROOF AREA		= 848 SF

**PLAN NOTES**

- NOTES APPLY TO CABIN 10 ONLY
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. CONTRACTOR SHALL FRAME NEW CRICKET AT REAR OF CHIMNEY TO DRAIN WATER - REFER TO DETAILS FOR ATTACHMENT TO MASONRY.
- F. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.

PLAN NORTH



**A2 ROOF PLAN - CABIN #10**  
SCALE: 1/4" = 1'-0"

**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE

**TEXAS PARKS & WILDLIFE**

REGISTERED ARCHITECT  
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15635  
04-26-2021

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**SHEET TITLE**  
CABIN #10 - ROOF PLAN & ELEVATIONS

**SHEET NUMBER**  
A-15

100% SET - CONSTRUCTION DOCUMENTS



PHOTO 1 NORTH ELEVATION



PHOTO 2 SOUTH ELEVATION



PHOTO 3 VIEW FROM NORTHEAST



PHOTO 4 WEST ELEVATION



PHOTO 5 DETAIL AT CHIMNEY



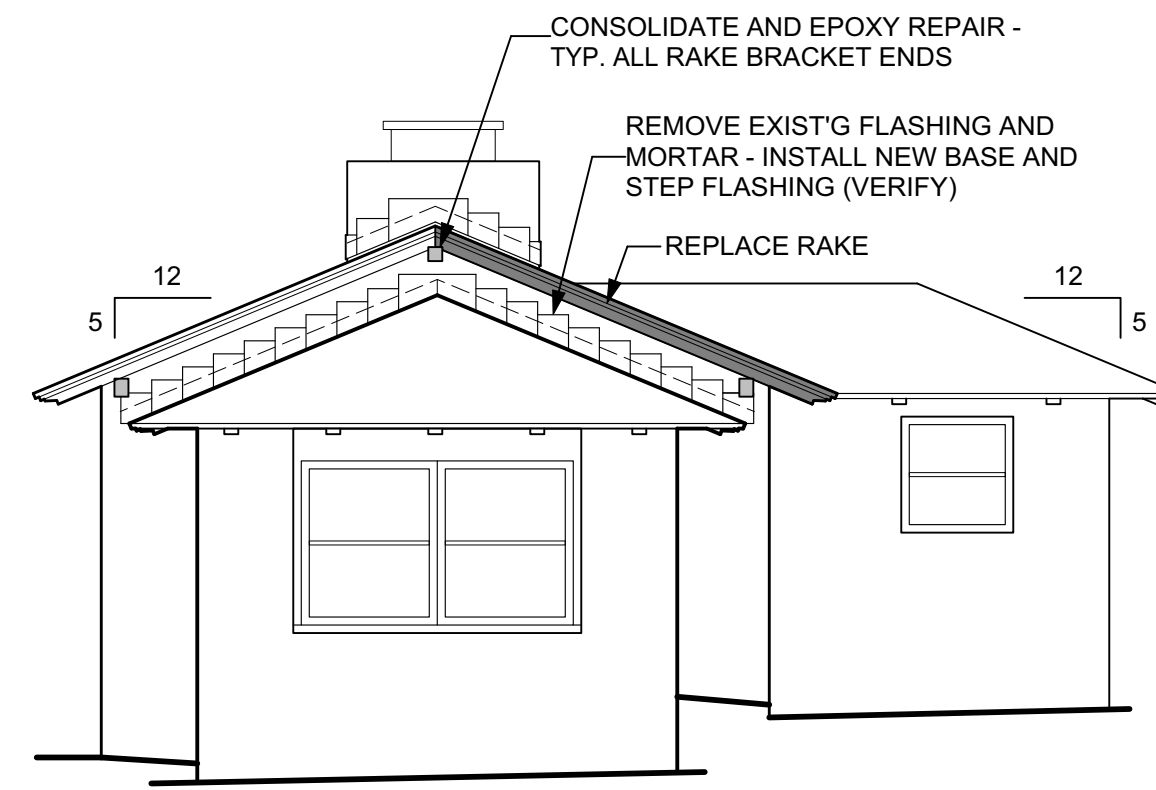
PHOTO 6 WEST GABLE



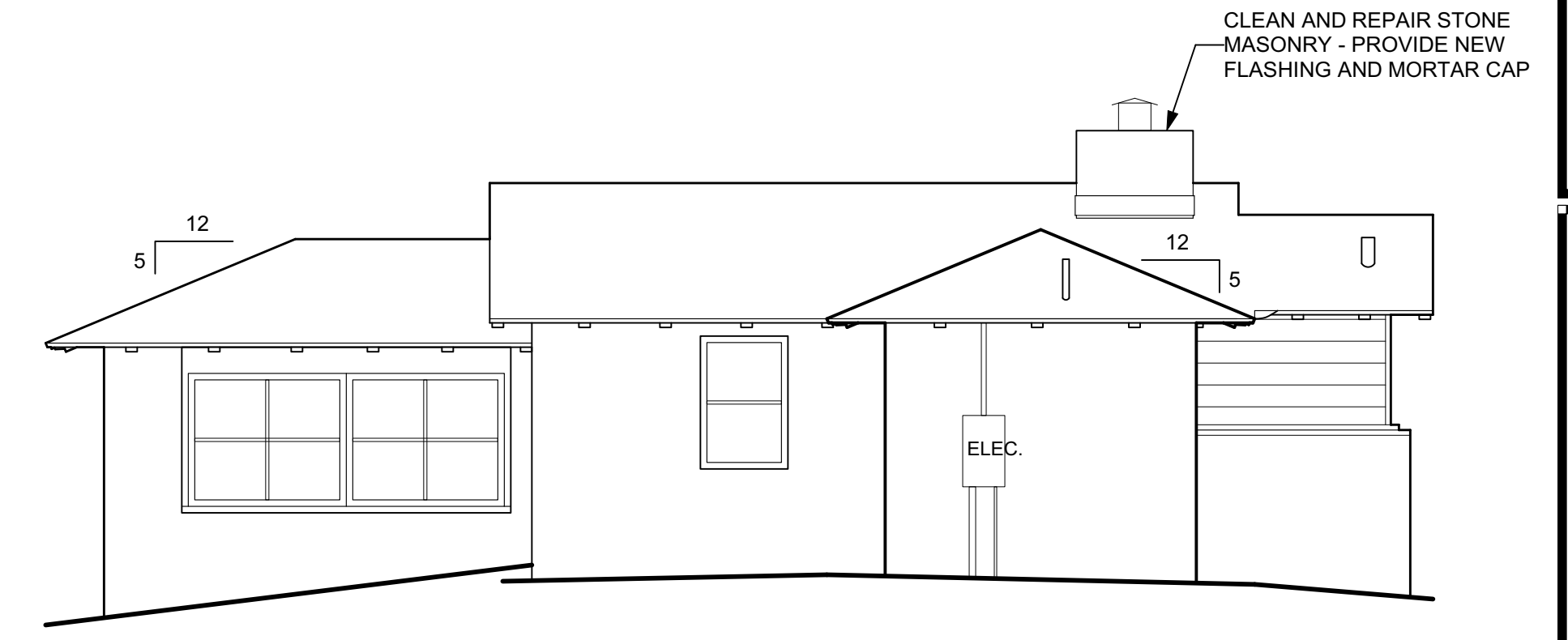
PHOTO 7 RAKE AT EAST GABLE



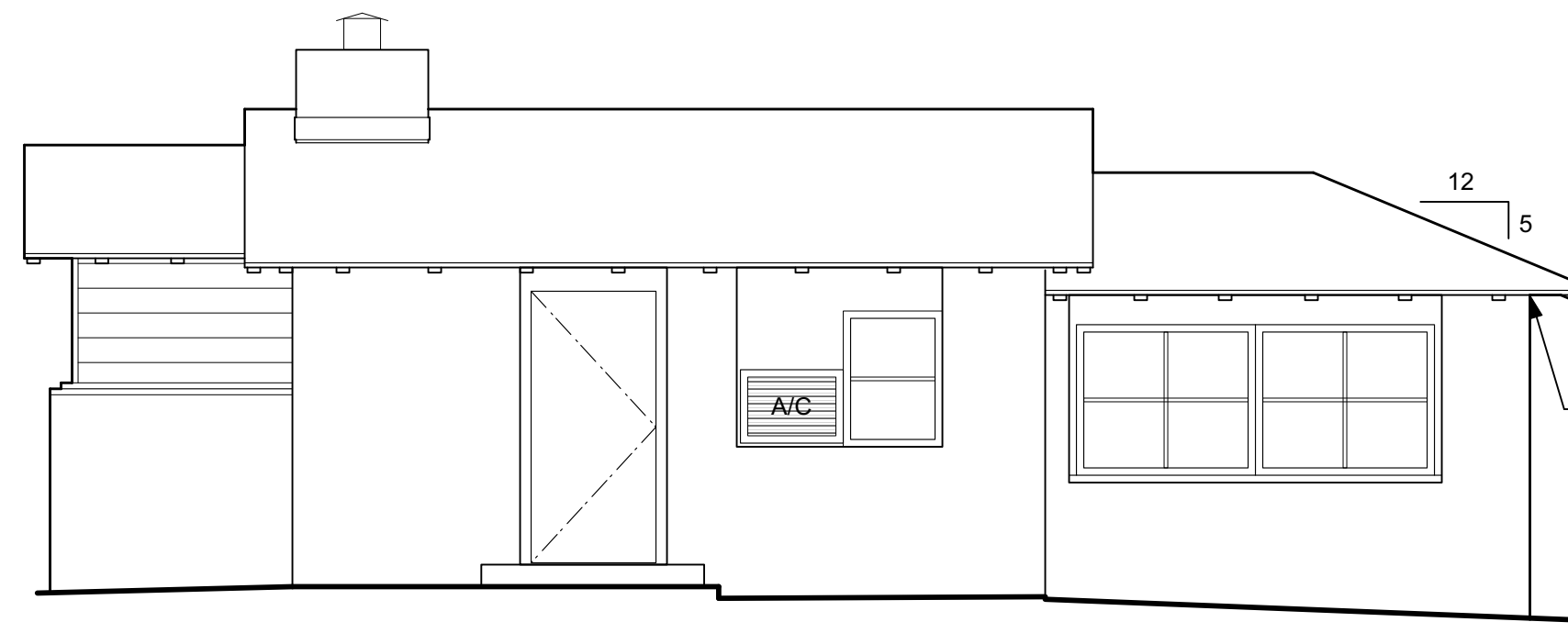
PHOTO 8 MORTARED FLASHING AT EAST LOWER ROOF



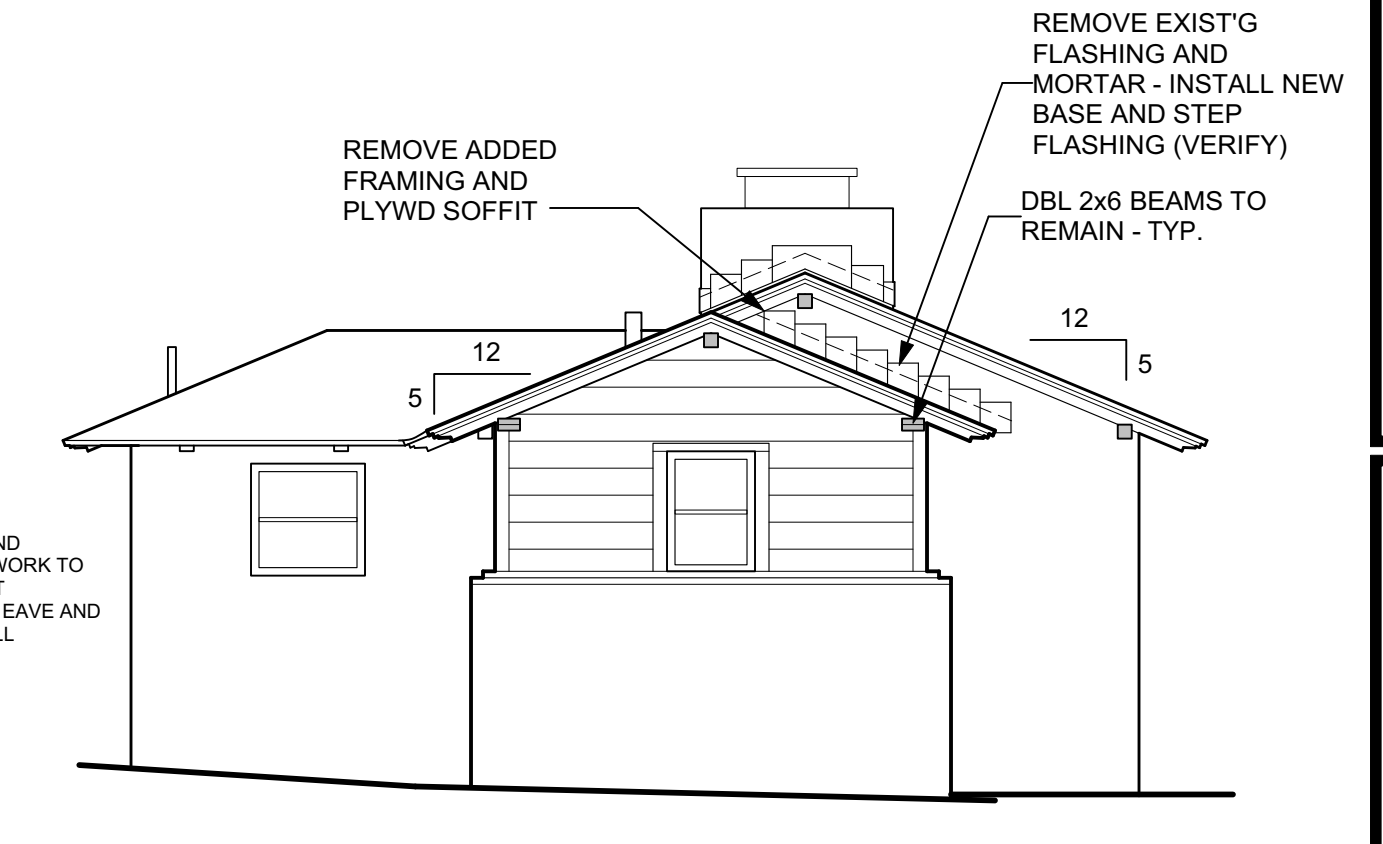
EAST



NORTH

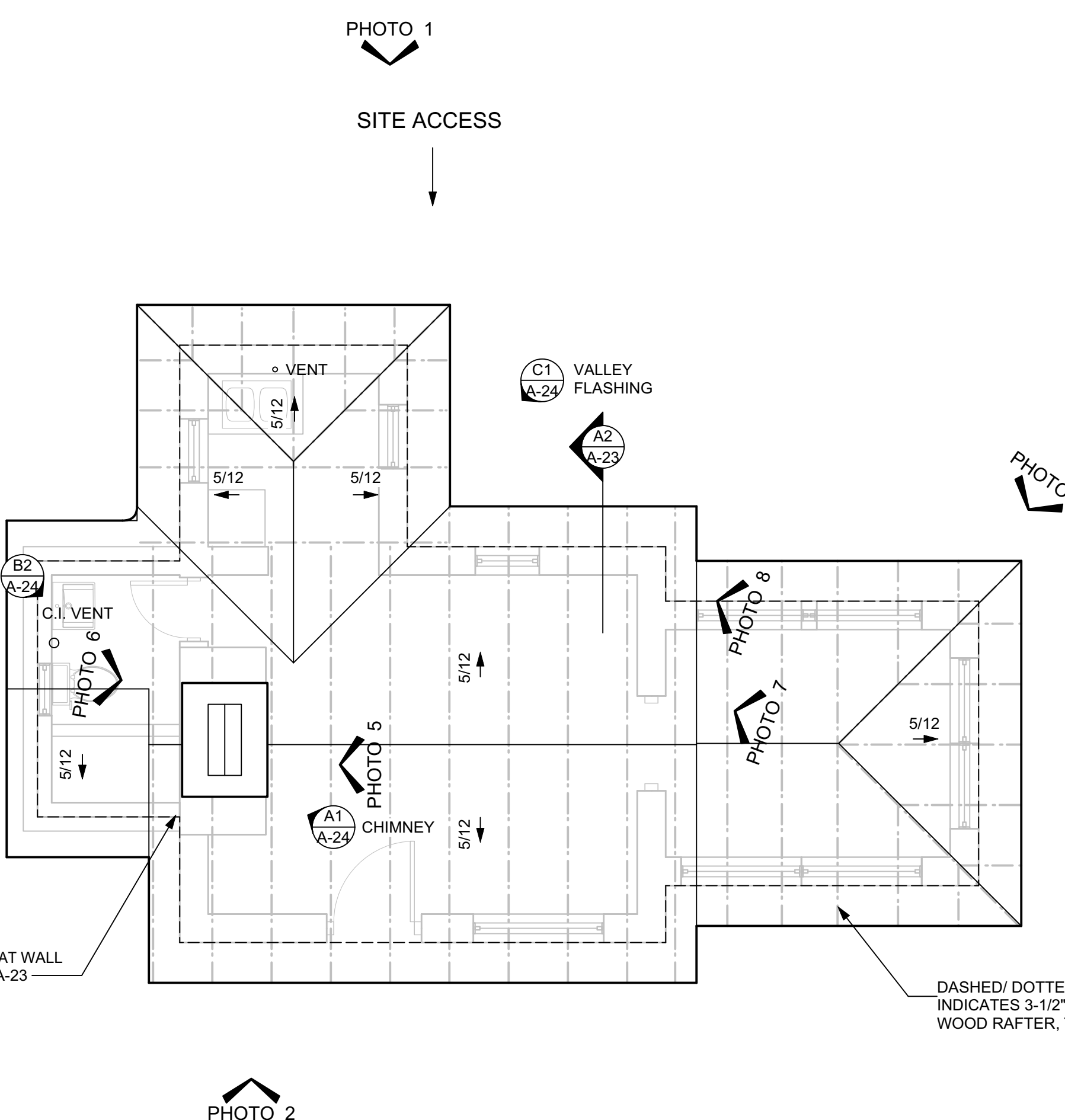
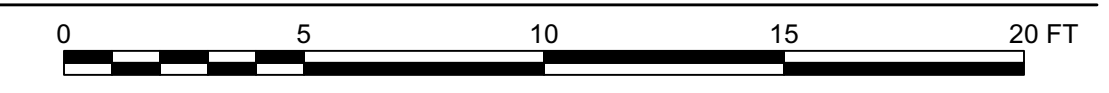


SOUTH



WEST

**B1** EXTERIOR ELEVATIONS - CABIN #11  
SCALE: 1/4" = 1'-0"



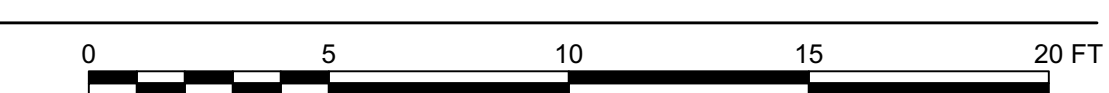
**ROOF CALCULATIONS**

PITCH	ROOF PLAN	SURFACE AREA
5 IN 12	615 SF	= 667 SF
TOTAL ROOF AREA		= 667 SF

**PLAN NOTES**  
- NOTES APPLY TO CABIN 11 ONLY

- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.

PLAN NORTH



**A2** ROOF PLAN - CABIN #11  
SCALE: 1/4" = 1'-0"

**A1** PHOTOGRAPHS - EXISTING CONDITIONS  
NOT TO SCALE



Hutson | Gallagher  
1206 Quail Park Drive  
Austin, Texas 78758  
Phone: (512) 960-0013  
www.HutsonGallagher.com

DATE: 04/26/2021  
DESIGNED BY:  
CHRIS H.  
DRAWN BY: PAT N.  
REVIEWED BY:

no. revision. date

SHEET TITLE

CABIN #11 - ROOF  
PLAN & ELEVATIONS

SHEET NUMBER

A-16



PHOTO 1 VIEW FROM NORTHEAST



PHOTO 2 SOUTH ELEVATION



PHOTO 3 WEST ELEVATION



PHOTO 4 RAKE AT EAST ELEVATION



PHOTO 5 ROOF LOOKING SOUTHWEST



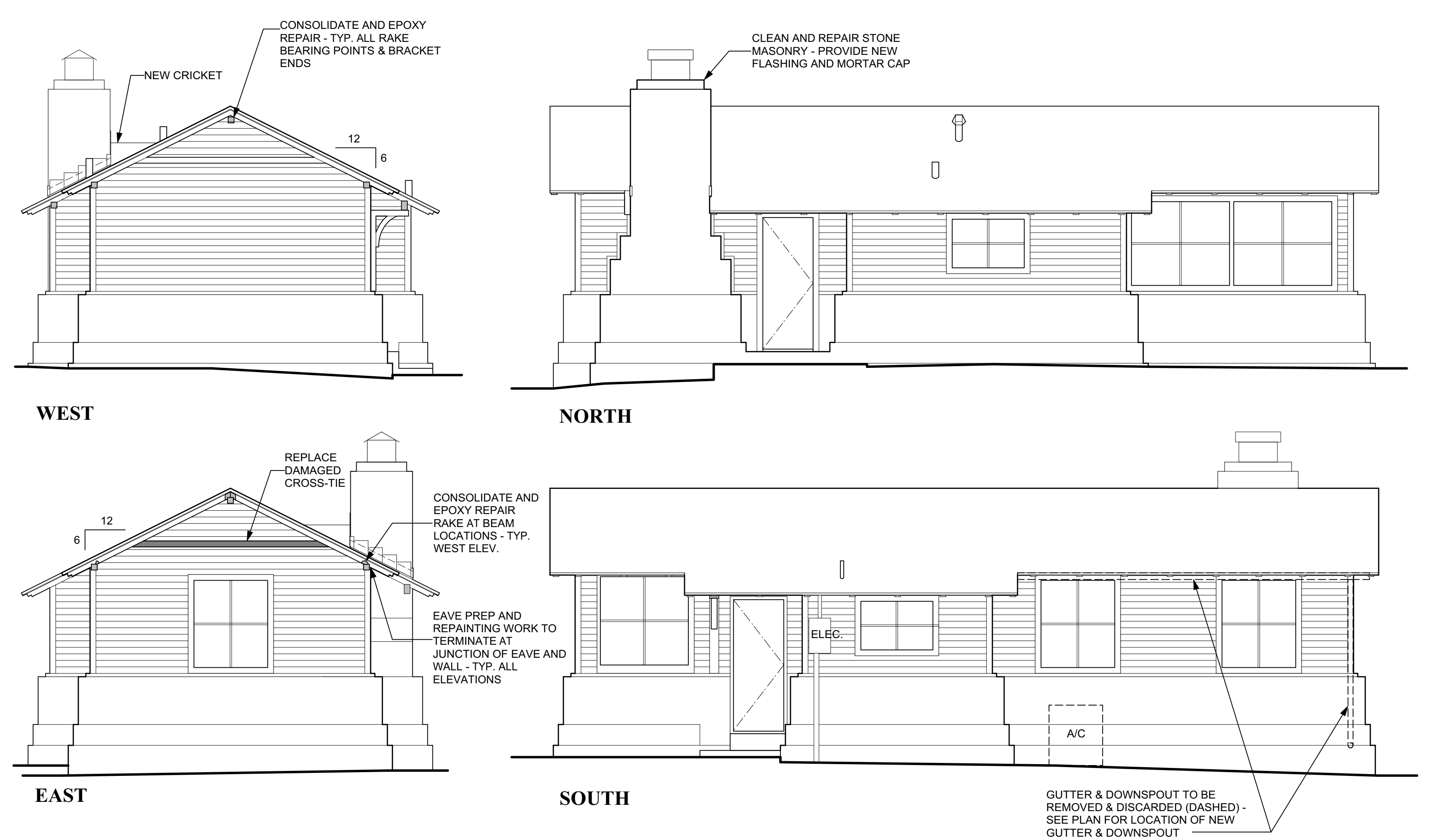
PHOTO 6 RAKE DETAIL AT WEST ELEVATION



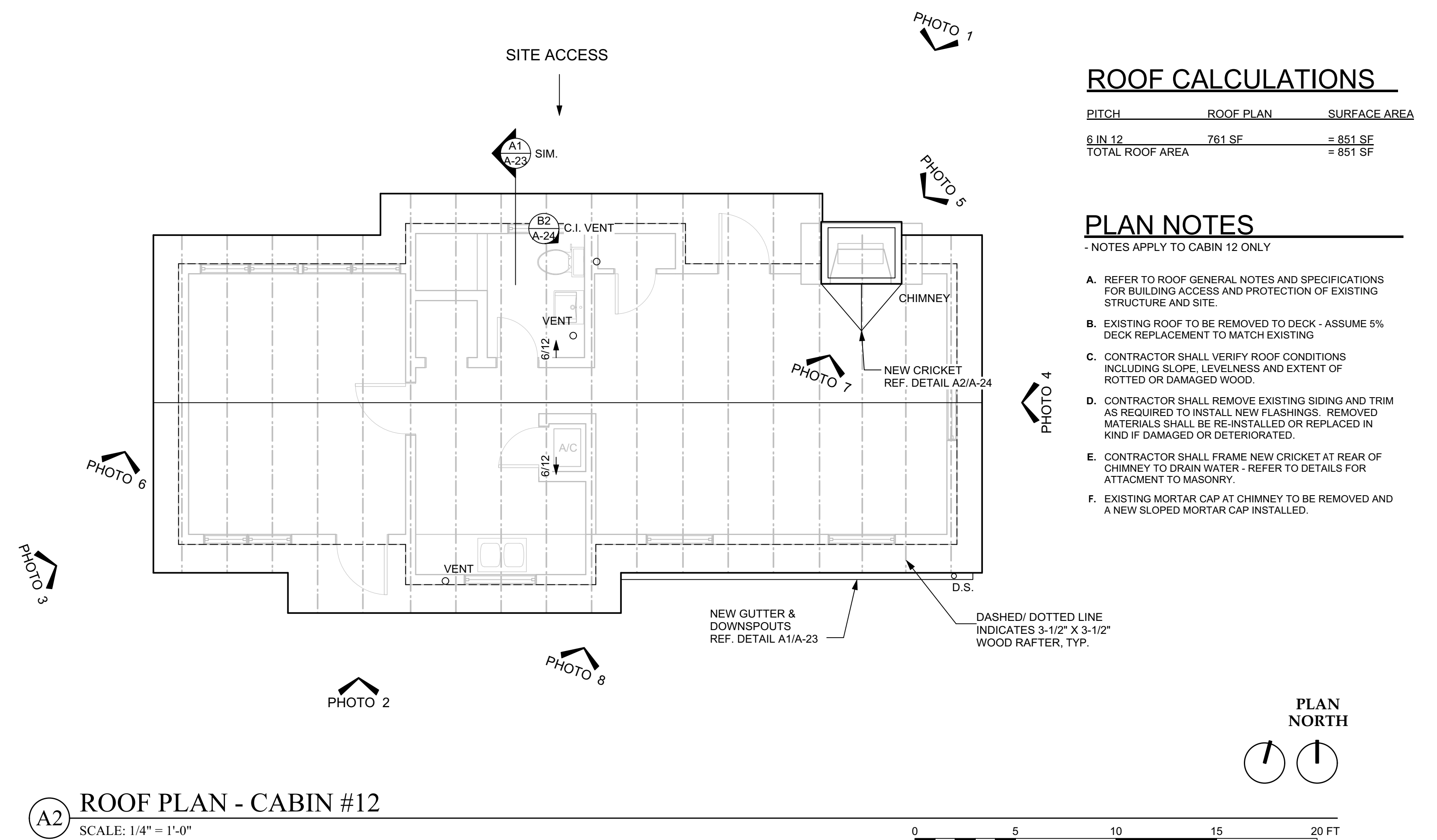
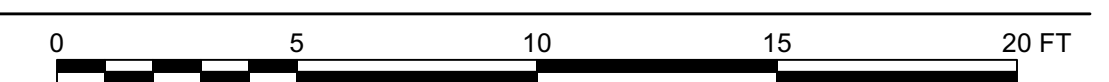
PHOTO 7 CHIMNEY CRICKET



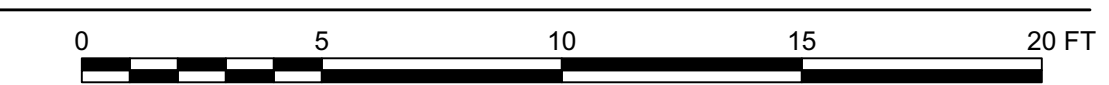
PHOTO 8 EAVE AT WEST ELEVATION



**B1 EXTERIOR ELEVATIONS - CABIN #12**  
SCALE: 1/4" = 1'-0"



**A2 ROOF PLAN - CABIN #12**  
SCALE: 1/4" = 1'-0"



**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE



PHOTO 1 VIEW FROM SOUTHEAST



PHOTO 2 WEST ELEVATION



PHOTO 3 RAKE AT NORTHWEST CORNER



PHOTO 4 RAKE AT SOUTHWEST CORNER



PHOTO 5 ROOF OVER ENTRY



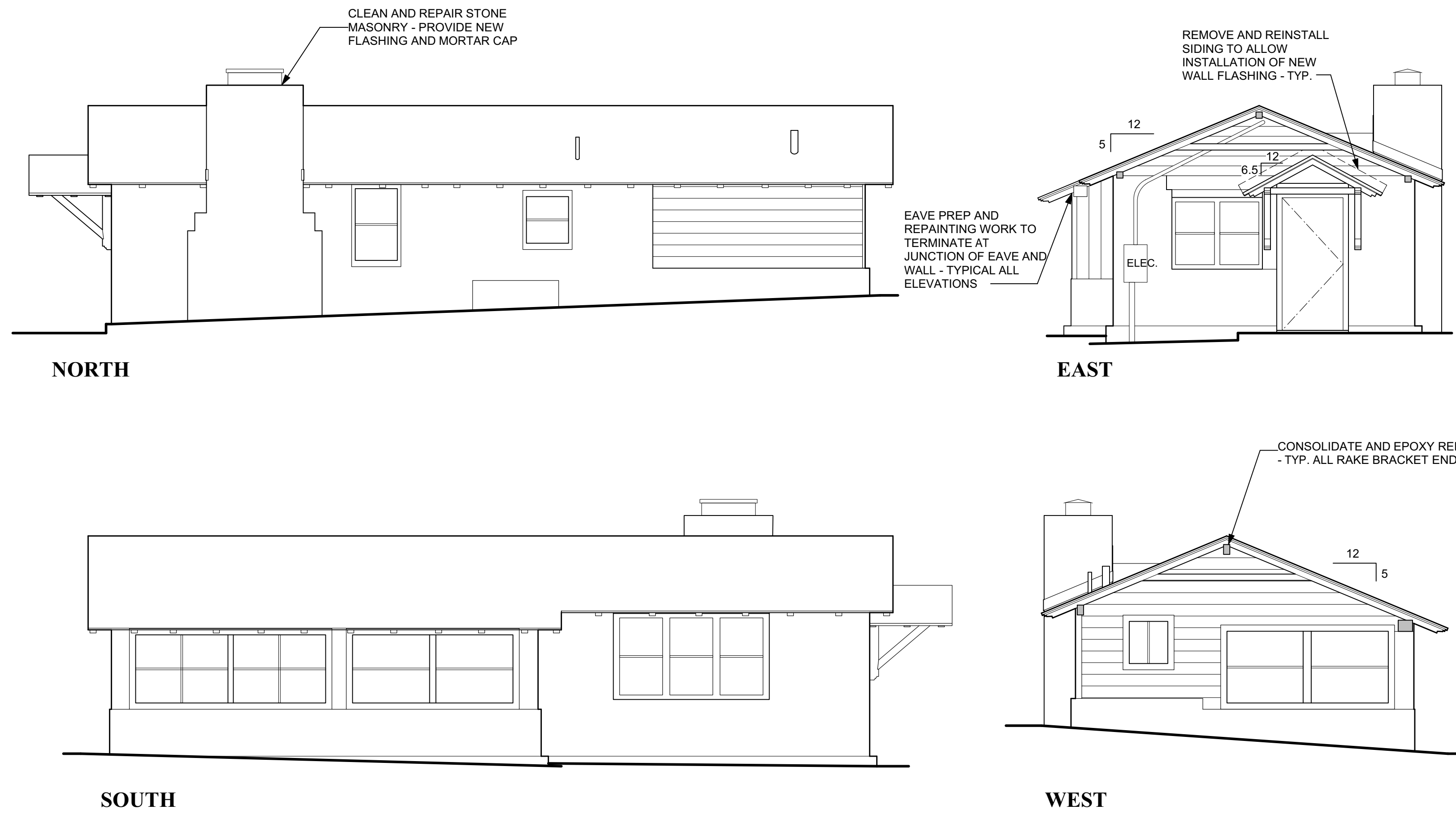
PHOTO 6 ROOF OVER ENTRY



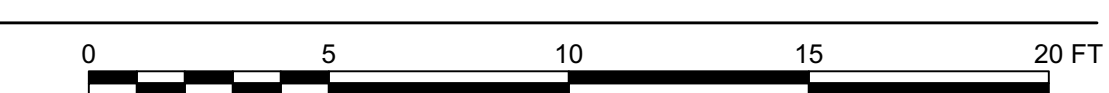
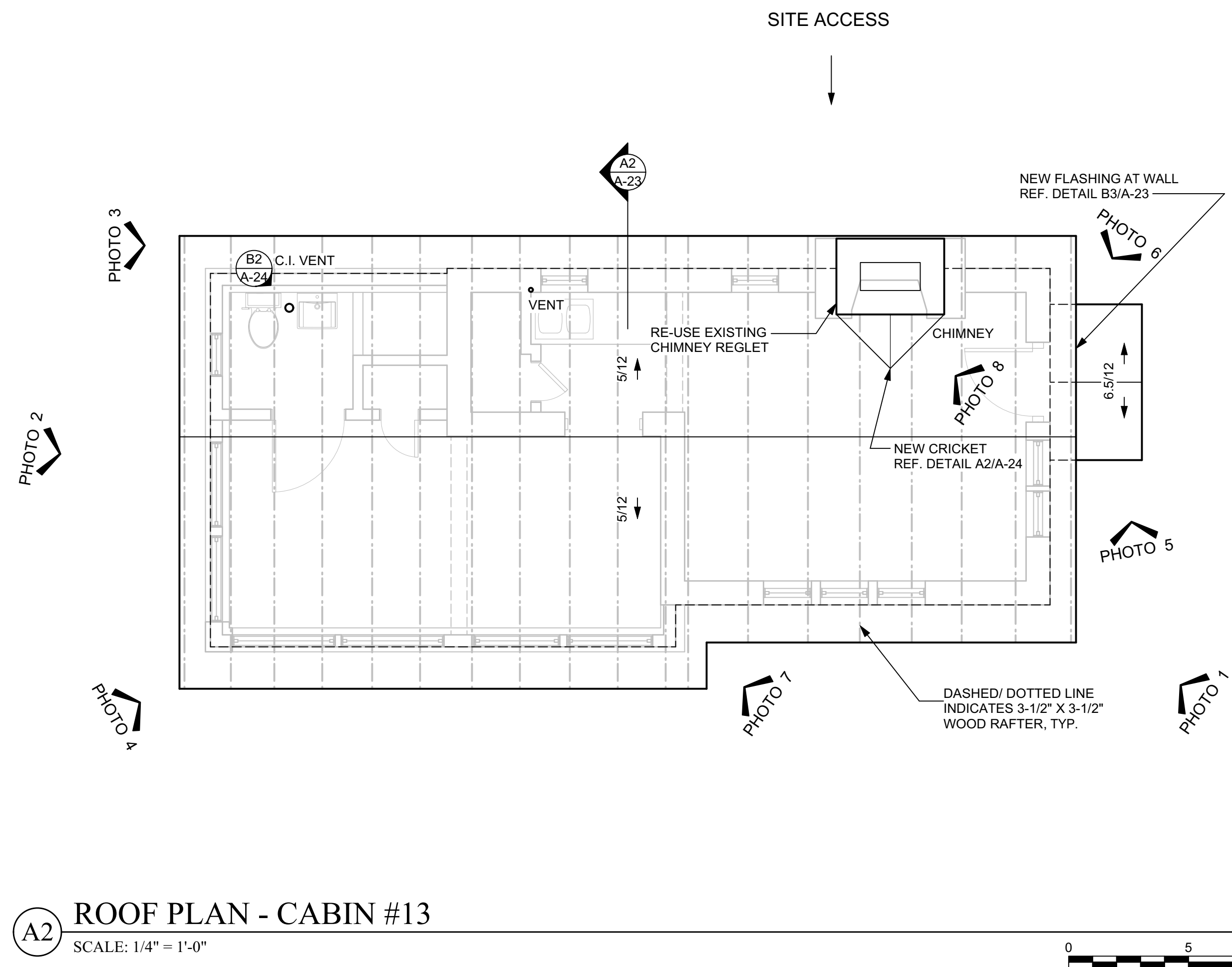
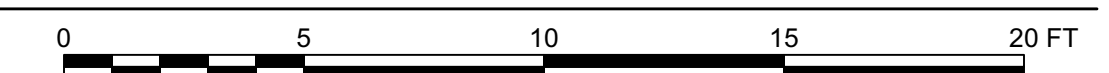
PHOTO 7 BEAM AT SOUTH WALL OFFSET



PHOTO 8 CHIMNEY AND CRICKET



**B1 EXTERIOR ELEVATIONS - CABIN #13**  
SCALE: 1/4" = 1'-0"



**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE

**A2 ROOF PLAN - CABIN #13**  
SCALE: 1/4" = 1'-0"

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**LAKE BROWNWOOD STATE PARK**  
ROOF REPLACEMENT  
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DRAWN BY: PAT N.  
REVIEWED BY: no. revision. date

**SHEET TITLE**  
CABIN #13 - ROOF PLAN & ELEVATIONS

**SHEET NUMBER**  
**A-18**

100% SET - CONSTRUCTION DOCUMENTS



PHOTO 1 VIEW FROM SOUTHWEST



PHOTO 2 VIEW FROM SOUTHEAST



PHOTO 3 NORTH ELEVATION



PHOTO 4 DETAIL AT CHIMNEY



PHOTO 5 WEST GABLE

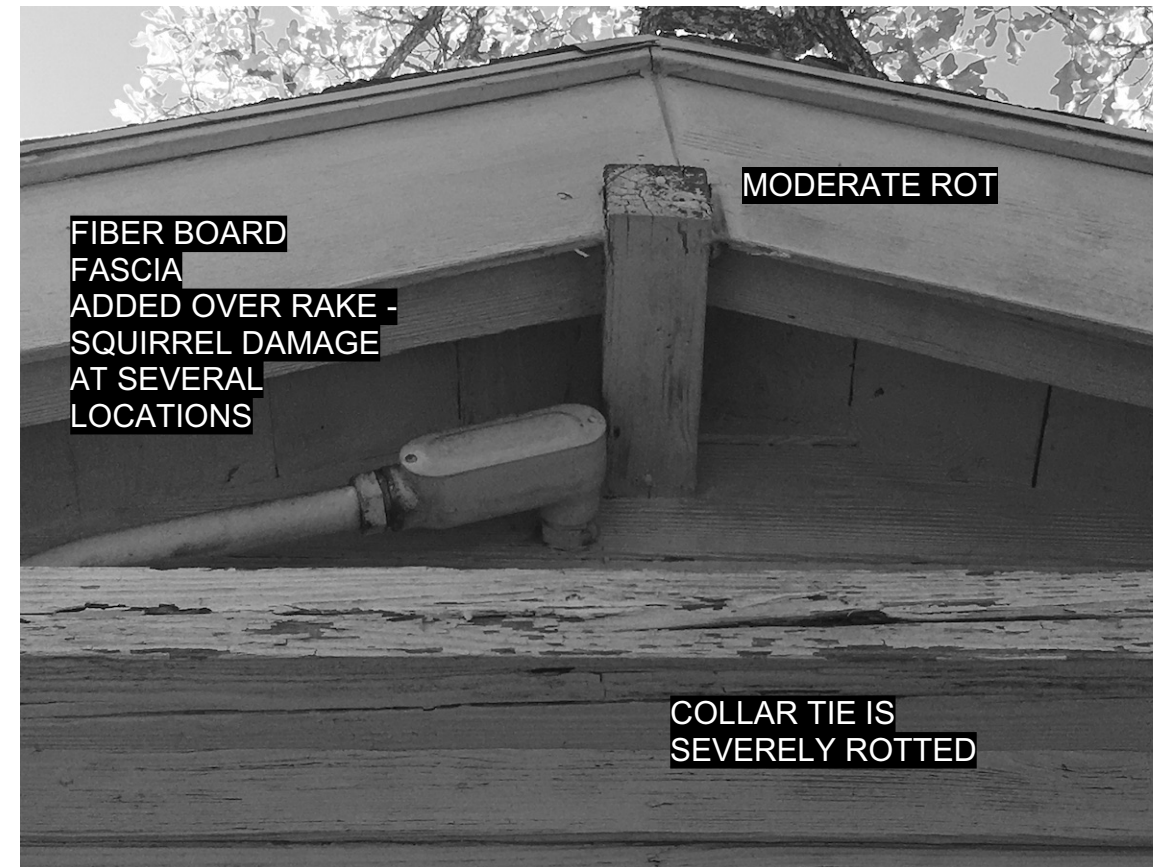


PHOTO 6 EAST GABLE

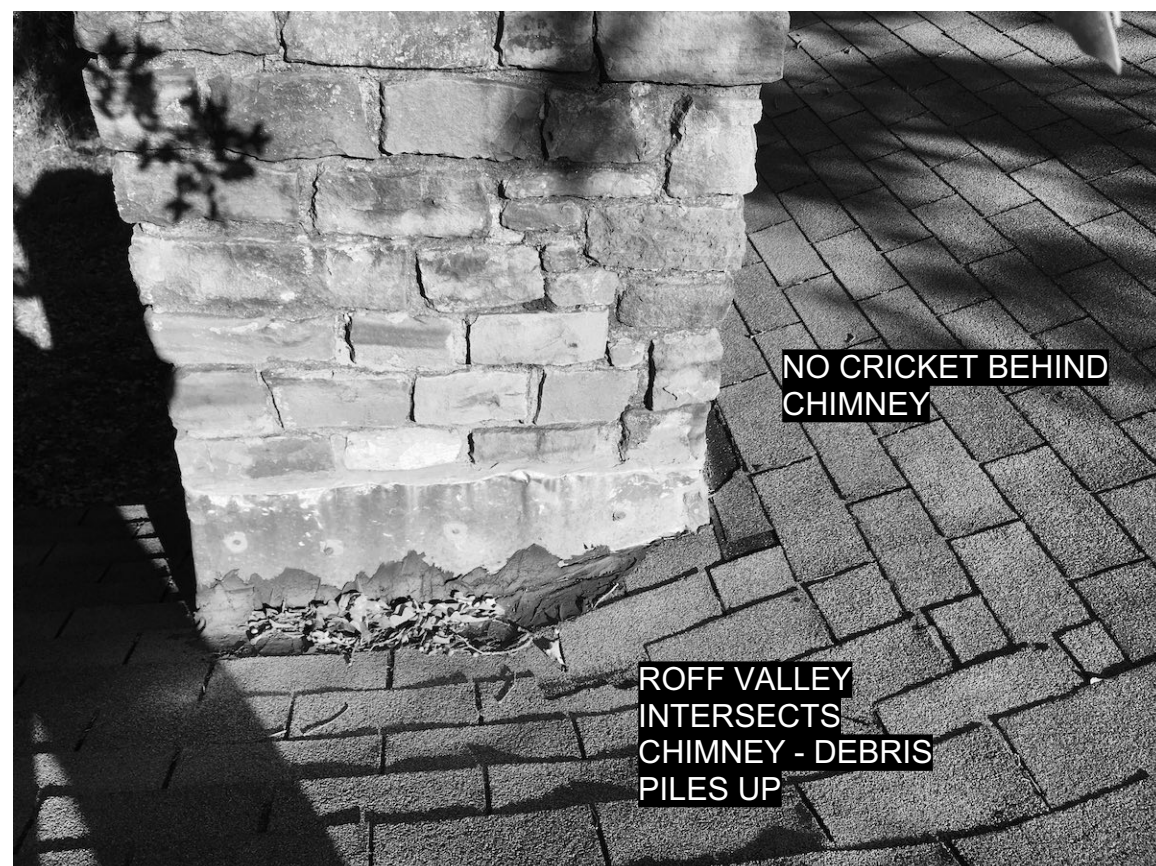


PHOTO 7 ROOF VALLEY AT CHIMNEY

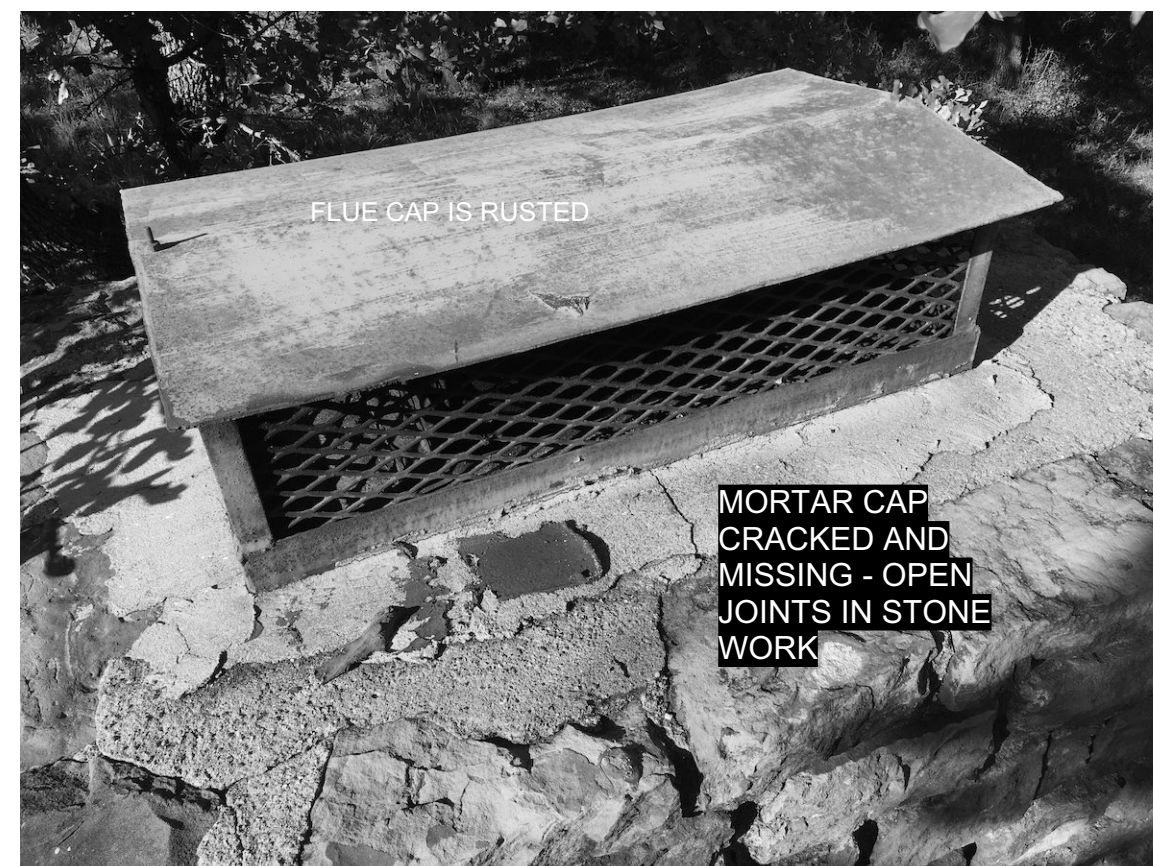
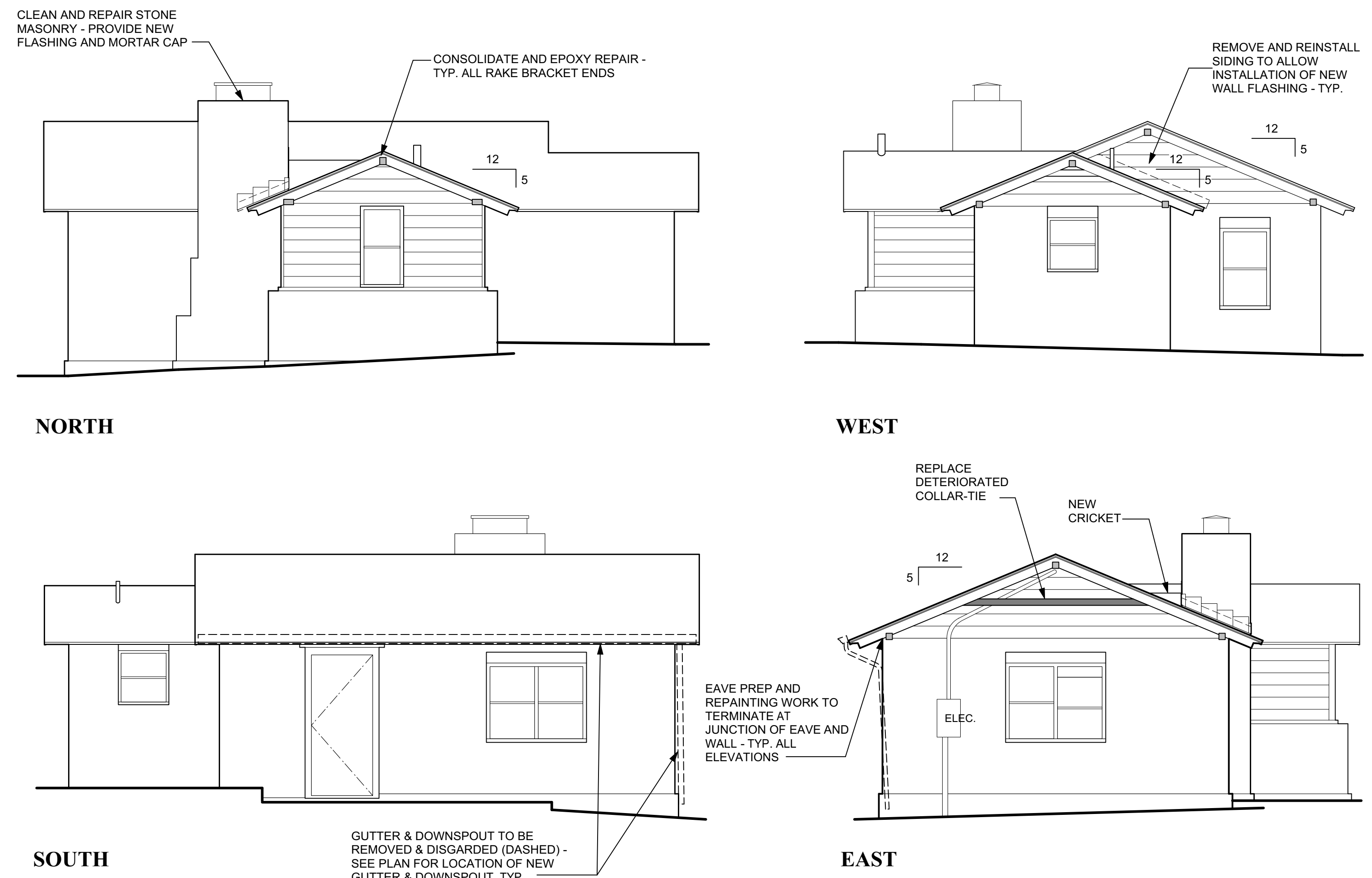


PHOTO 8 CHIMNEY CAP



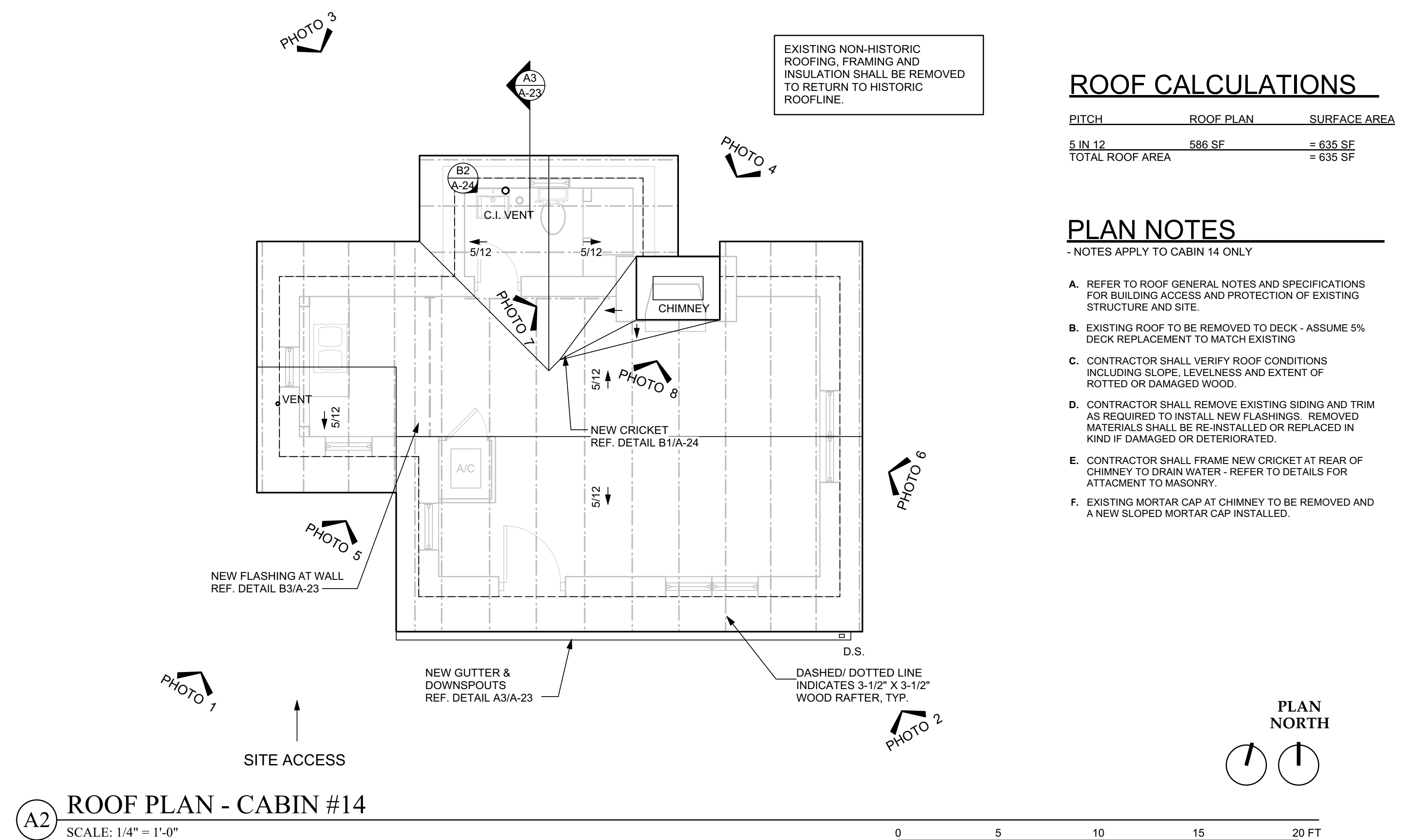
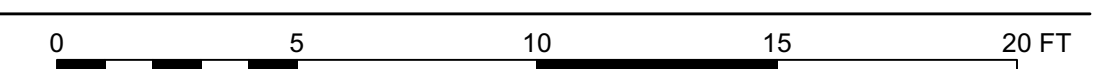
NORTH

WEST

SOUTH

EAST

**B1 EXTERIOR ELEVATIONS - CABIN #14**  
SCALE: 1/4" = 1'-0"



**A2 ROOF PLAN - CABIN #14**  
SCALE: 1/4" = 1'-0"

**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE



PHOTO 1 SOUTH ELEVATION



PHOTO 2 EAST ELEVATION



PHOTO 3 GABLE DETAIL AT EAST ELEVATION

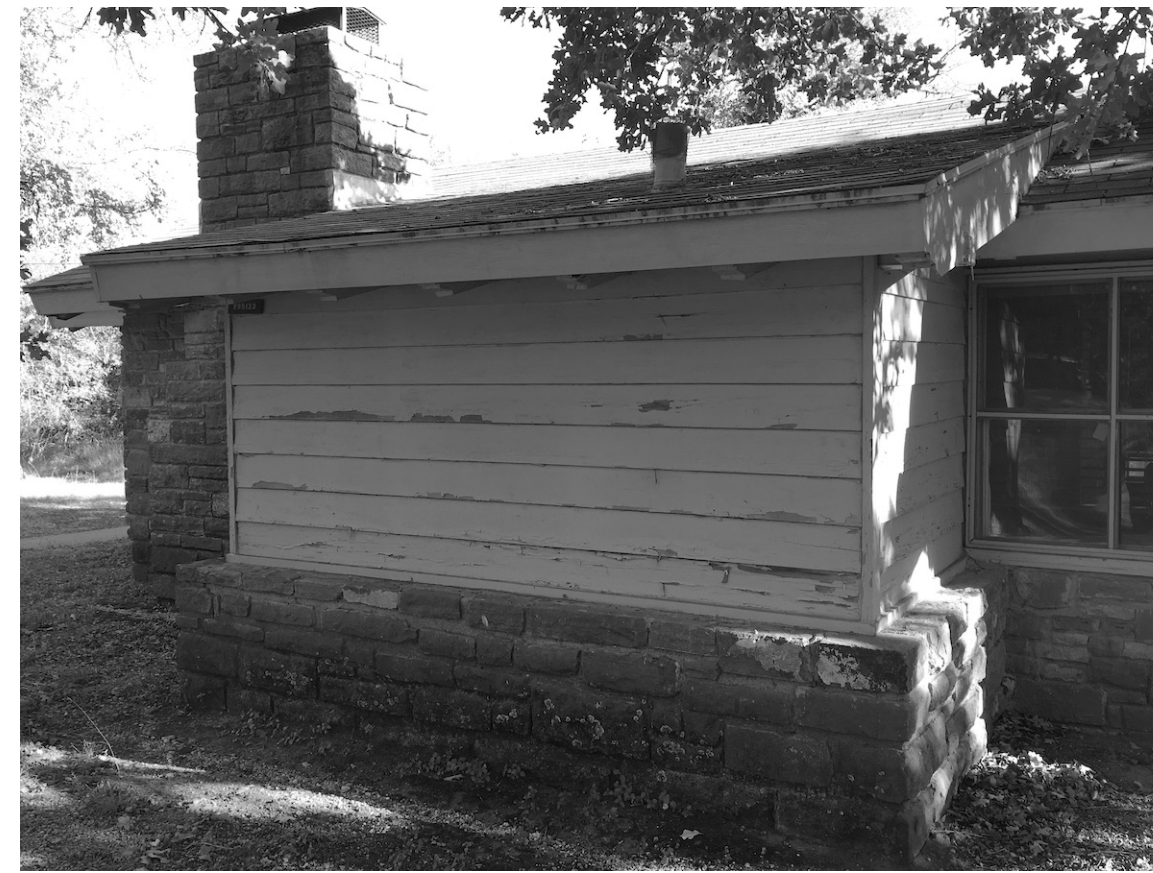


PHOTO 4 NORTH ELEVATION



PHOTO 5 BEAM AT NORTHEAST CORNER



PHOTO 6 BEAM AT NORTH CORNER

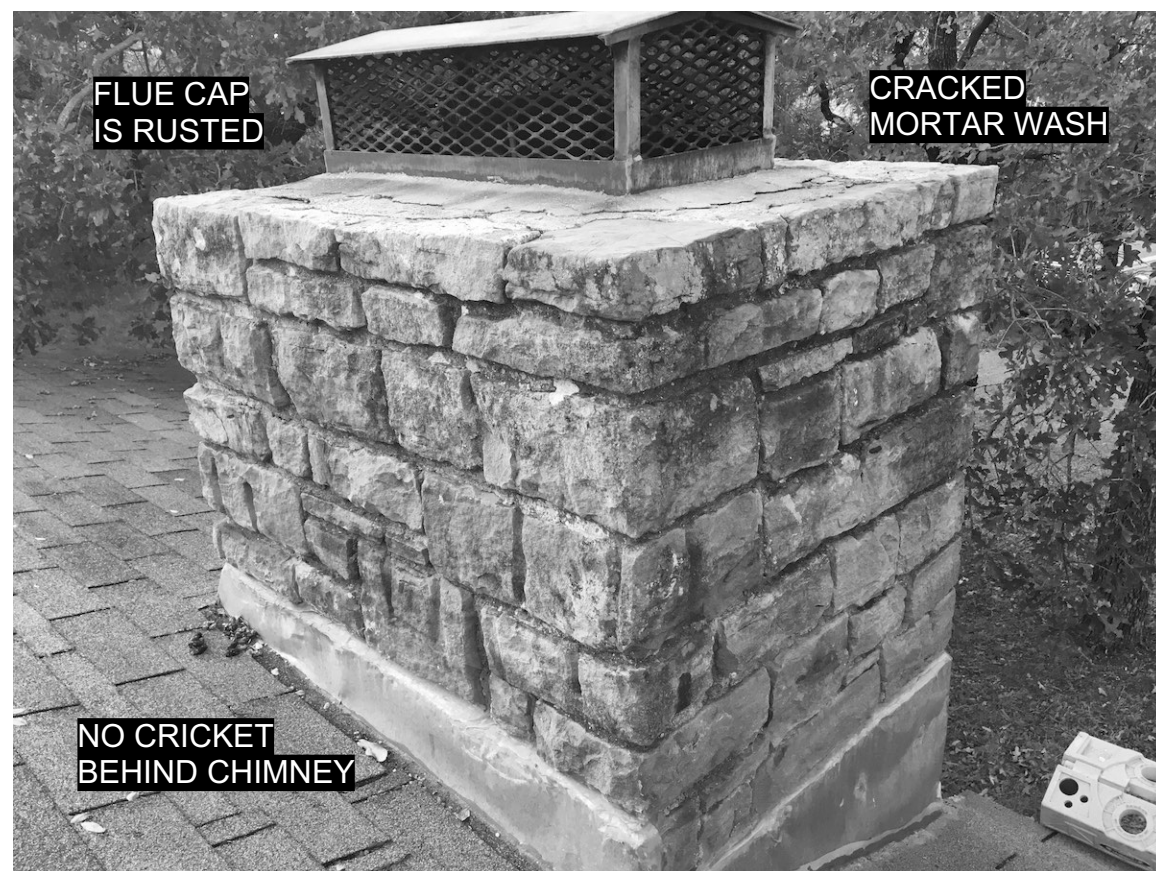
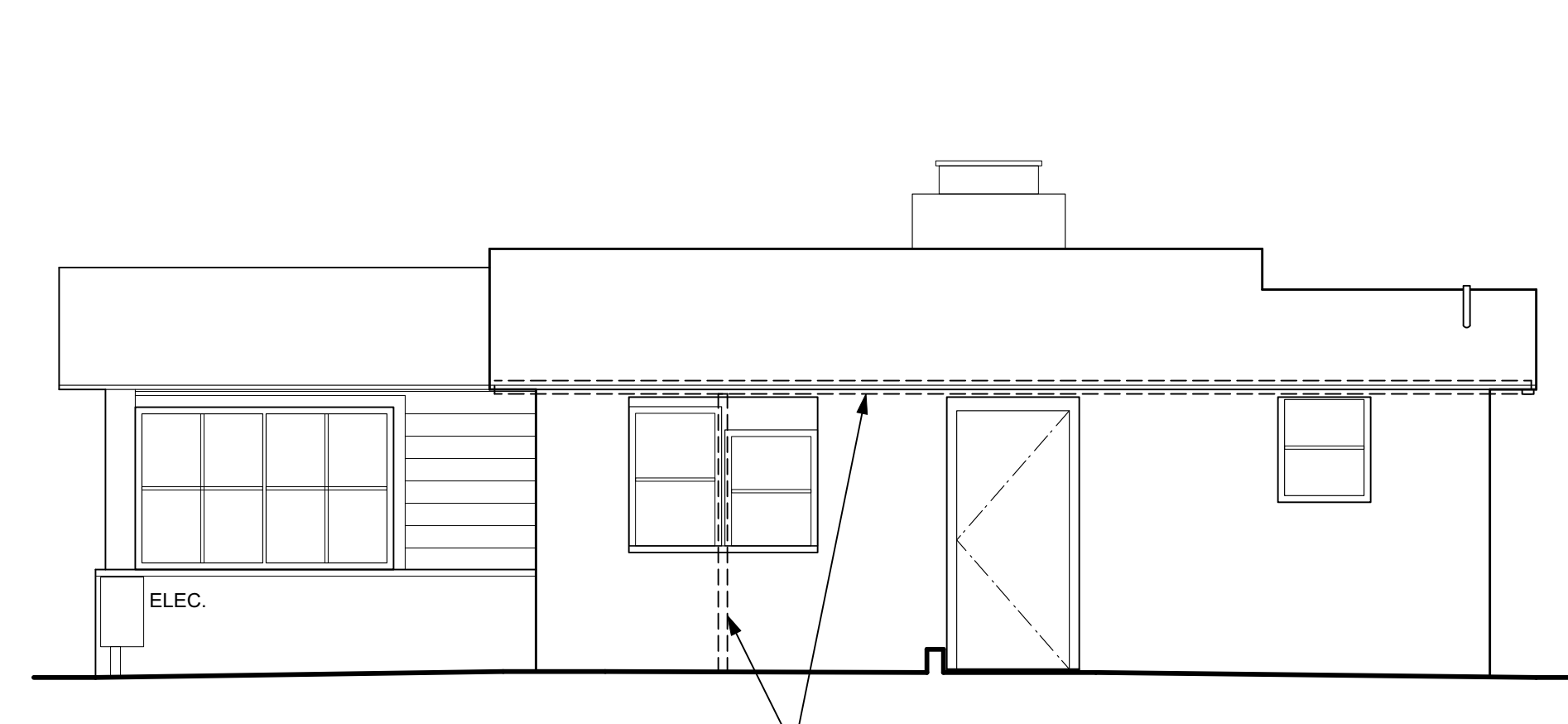


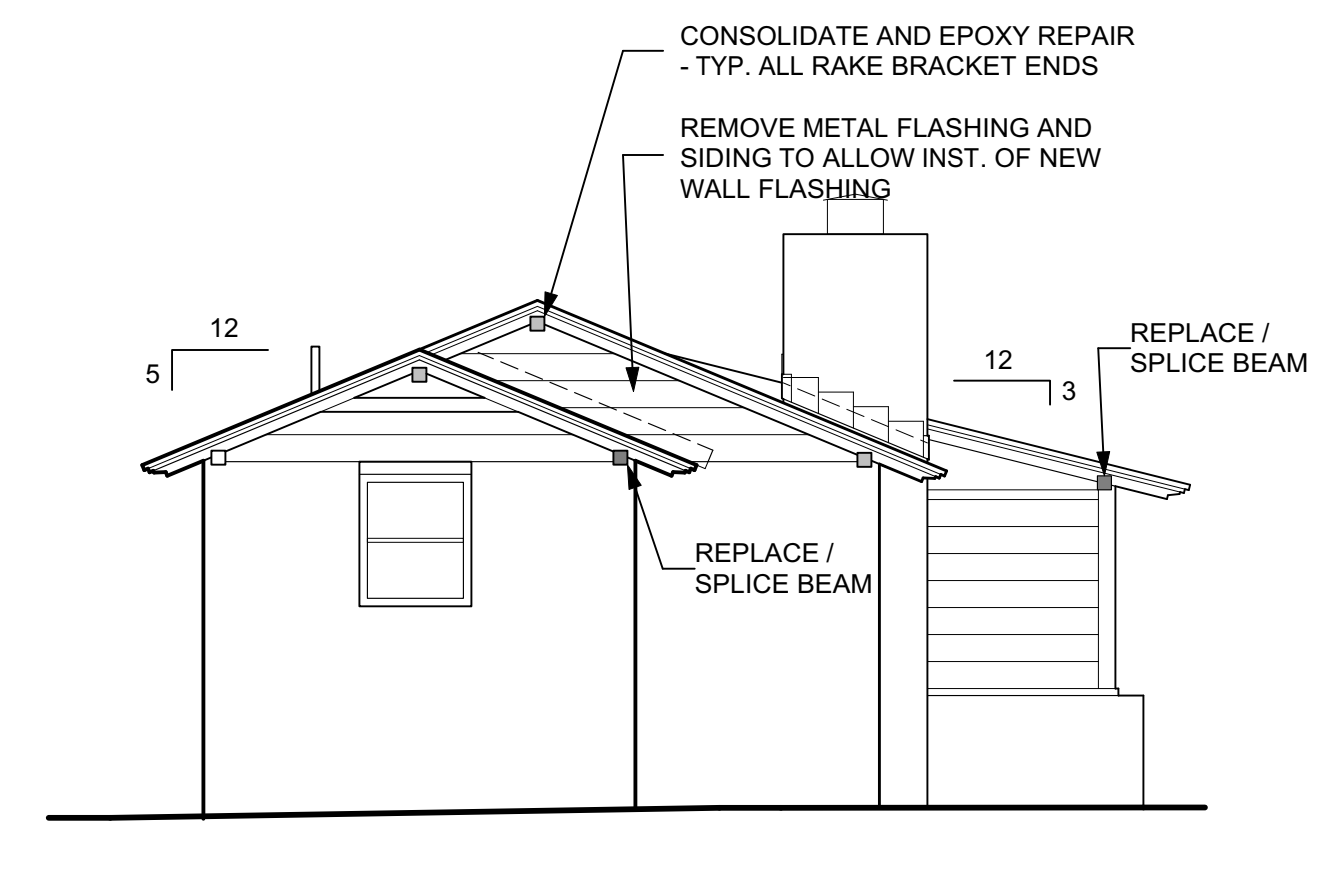
PHOTO 7 CHIMNEY



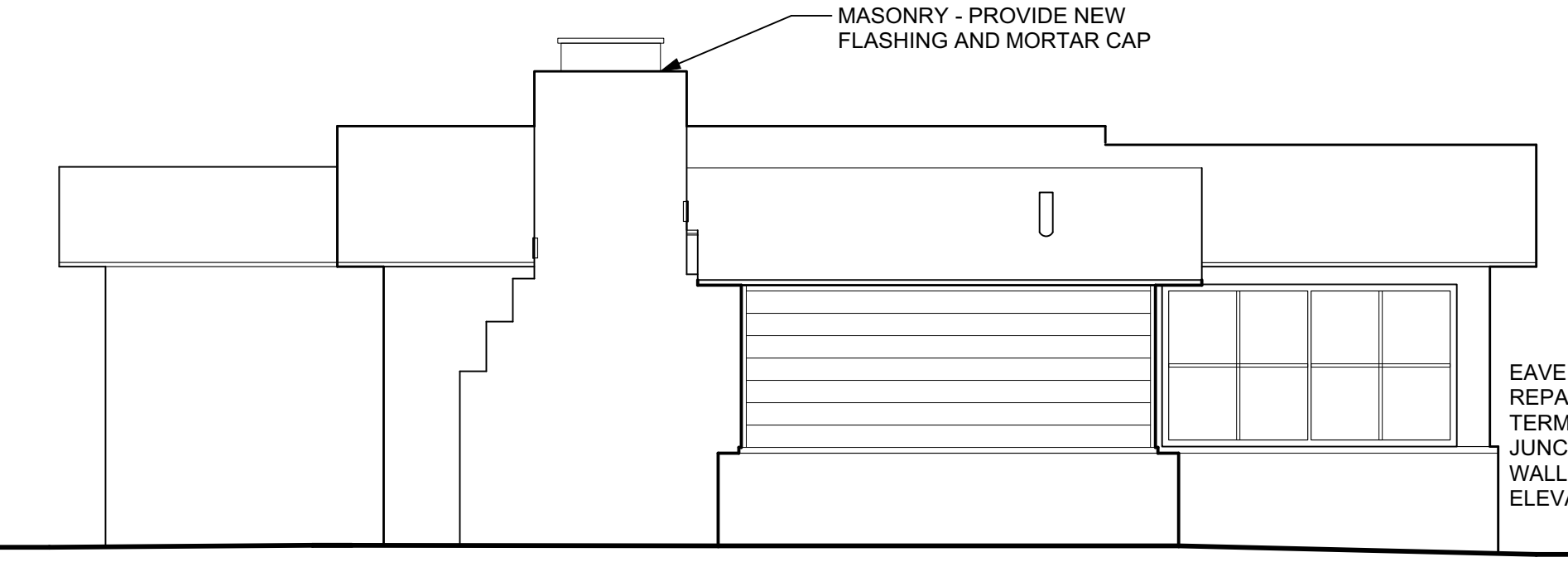
PHOTO 8 ROOF OFFSET



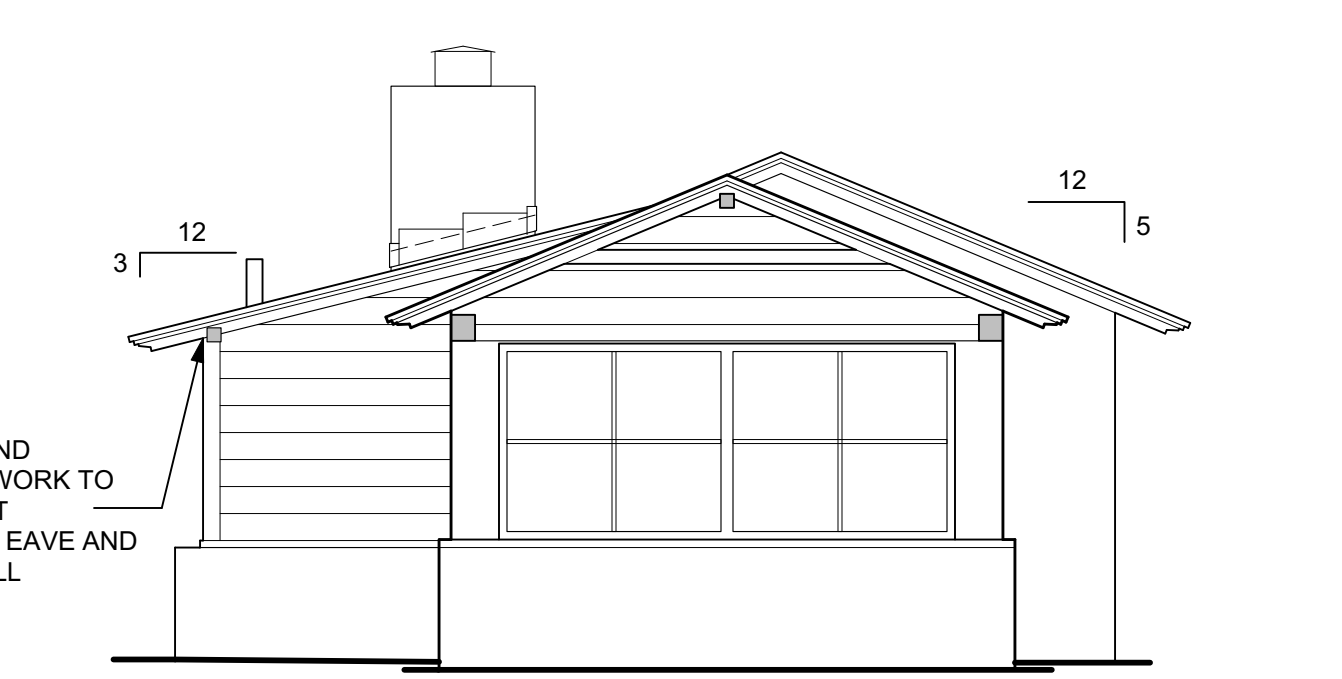
SOUTH



EAST

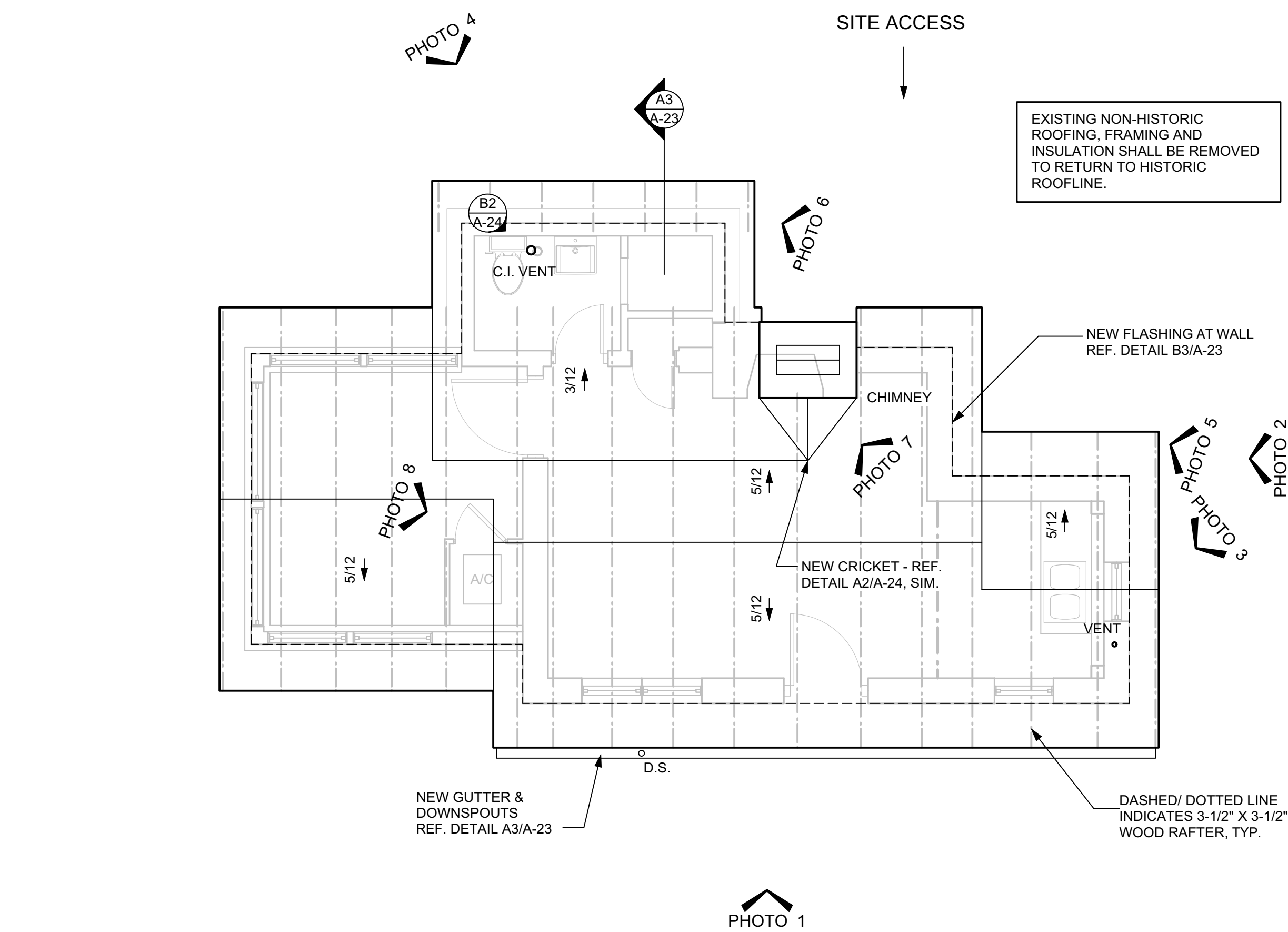
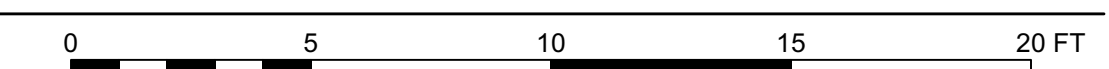


NORTH



WEST

**B1 EXTERIOR ELEVATIONS - CABIN #15**  
SCALE: 1/4" = 1'-0"

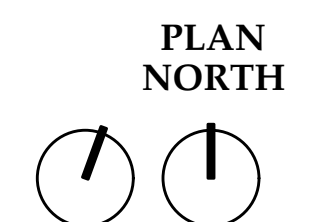


**ROOF CALCULATIONS**

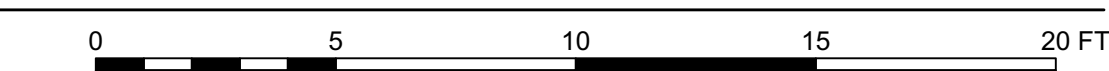
PITCH	ROOF PLAN	SURFACE AREA
3 IN 12	147 SF	= 152 SF
5 IN 12	515 SF	= 558 SF
<b>TOTAL ROOF AREA</b>		<b>= 710 SF</b>

**PLAN NOTES**

- NOTES APPLY TO CABIN 15 ONLY
- A. REFER TO ROOF GENERAL NOTES AND SPECIFICATIONS FOR BUILDING ACCESS AND PROTECTION OF EXISTING STRUCTURE AND SITE.
- B. EXISTING ROOF TO BE REMOVED TO DECK - ASSUME 5% DECK REPLACEMENT TO MATCH EXISTING
- C. CONTRACTOR SHALL VERIFY ROOF CONDITIONS INCLUDING SLOPE, LEVELNESS AND EXTENT OF ROTTED OR DAMAGED WOOD.
- D. CONTRACTOR SHALL REMOVE EXISTING SIDING AND TRIM AS REQUIRED TO INSTALL NEW FLASHINGS. REMOVED MATERIALS SHALL BE RE-INSTALLED OR REPLACED IN KIND IF DAMAGED OR DETERIORATED.
- E. EXISTING MORTAR CAP AT CHIMNEY TO BE REMOVED AND A NEW SLOPED MORTAR CAP INSTALLED.



**A2 ROOF PLAN - CABIN #15**  
SCALE: 1/4" = 1'-0"



**A1 PHOTOGRAPHS - EXISTING CONDITIONS**  
NOT TO SCALE

