

Date: May 7, 2021

ADDENDUM NO. 1

PROJECT NO: 1110169

TITLE OF PROJECT: Visitor Center Repairs and HQ Restroom Replacement

FACILITY LOCATION: Monahans Sandhills State Park

NOTICE TO ALL BIDDERS:

This addendum shall be considered part of the Contract Documents and is issued to change, amplify, or delete from or otherwise explain the documents where provisions of this addendum differ from those of the original contract documents. This addendum shall have precedence over the original contract documents and shall govern.

Bidders are hereby notified that they shall incorporate this addendum in their bid, and it shall be construed that the Contractor's Bid shall reflect with full knowledge, all items, changes and modifications to the contract documents herein specified.

Bidders are advised to check for updates, addenda issuance, and bid opening date changes on the Electronic State Business Daily at:

<http://www.txsmartbuy.com/esbd>

Please see attached revisions to clarify Contract Documents, Specification, and Drawings.

1. CONTRACT DOCUMENTS:

Notice To Bidders revised Construction Estimate amount.

Revised Contractor's Bid (Bid Schedule 2021_0414).

2. DRAWINGS (REISSUED SHEETS WITH MODIFICATIONS):

Sheet C-03 (12 of 85) – Demolition Control Plan

Sheet C-06 (15 of 85) – Dimensioning Plan

Sheet C-07 (16 of 85) – Grading Plan

Sheet C-09 (18 of 85) – Pavilion Alternate Grading & Dimensioning Plan

Sheet A-01 (19 of 85) – Architectural Site Plans Overall

Sheet A-02 (20 of 85) – Architectural Site Plan Visitors Center & Site Details

Sheet A-04 (22 of 85) – Door/Room Finish Schedules, Door & Signs Types

Sheet A-13 (31 of 85) - Floor & Roof Plans Comfort Station & Section House

Sheet A-17 (35 of 85) - Exterior Elevations Section House

Sheet A-21 (39 of 85) - Roof Details – Section House

Sheet M-03 (61 of 85) - Mechanical Demolition

Sheet E-02 (68 of 85) – Electrical Site Lighting Plan

Sheet E-03 (69 of 85) – Electrical Demolition

Sheet E-05 (71 of 85) – Electrical Power Enlarged

Sheet E-08 (74 of 85) – Electrical Riser

Sheet E-09 (75 of 85) - Electrical Schedules

Sheet P-03 (79 of 85) - Plumbing Sewer & Vent Enlarged Floor Plan – Visitor Center

3. QUESTIONS WITH ANSWERS:

Q: Will the exterior electrical that is surfaced mounted need to be addressed on how to bid?
Please see attached photos

A: Surface mounted conduit and J boxes that are currently painted the sand color is to be painted color to match surface to which is it attached or nearest surface (e.g. conduit run along underside of porch paint to match soffit/rafter color)

For exterior electrical outlets where the exterior enclosure has been painted sand, paint the enclosure to match surface to which is it attached. Mask off outlet.

For wall mounted light fixtures, mask off fixture.

For under soffit light fixtures at porch, remove light fixtures prior to painting and reinstall after painting complete.

This information will also be provided on appropriate sheets.

Q: The existing utility service pedestal to remain. Removing the 120/240V 3-phase, 200A service disconnect. To be replaced with a new Panel-DP. (please see the attached photos). There would not be a main to feed existing disconnect “A” and water well disconnect from panel-DP. The way the wires are tapped inside the pedestal from the load side of service disconnect “MS”. Would the 200A meter service be enough for panels DP, AC, A, and R with existing and future loads when added?

A: Existing Panel A will be feed from New Panel-DP loads will be revised. Refer to Addendum #1 sheet E-08/ detail #1 and #2.

Q: Panel-A has an existing 2-pole 60A breaker feeding existing Panel-B. The new Panel-B requires a 100A breaker. We recommend that the 2-pole 60A breaker be upgraded to a 2-pole 100A.

A: This will need to be changed to a 100amp, single phase 2-pole breaker. Refer to Addendum #1 sheet E-09/ Panel schedule "A".

Q: To get power to the GC's job trailer in the east parking lot. Will there be a problem to place utility poles on each side of entry roadway? This is needed to cross power over from new Panel DP for temporary power.

A: Power poles will be acceptable per TPWD so long as they are removed at the close of the project and provide a minimum 14' clearance for road traffic.

Q: In the existing electrical room, there is a communications pipe coming from underground (please see attached photos). Would this pipe need to be relocated to accommodate the new door or leave as is?

A: Demark well be called to be relocated and communication stub up will remain. Does not conflict with door. Refer to Addendum #1 sheet E-03.


Bidders shall acknowledge receipt of this addendum in the space provided on the Contractor's Bid Schedule form located above the signature block. WARNING: BIDDER'S FAILURE TO ACKNOWLEDGE RECEIPT OF ADDENDA MAY RESULT IN REJECTION OF BID.

END OF ADDENDUM NUMBER 1

Sincerely,





















MICHAEL POLENDO, CTCD, CTCM
Contract Manager
Infrastructure Division

DEMOLITION PLAN CONSTRUCTION KEYNOTES

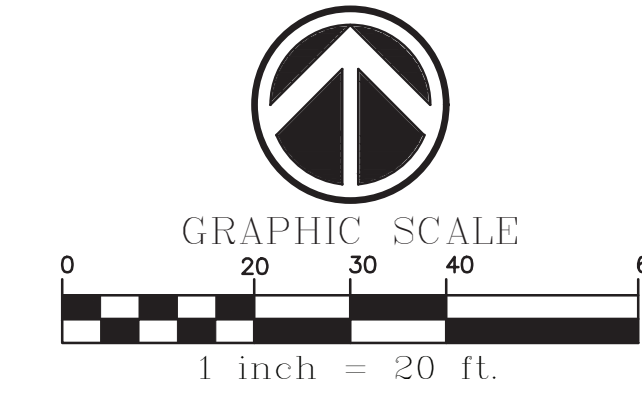
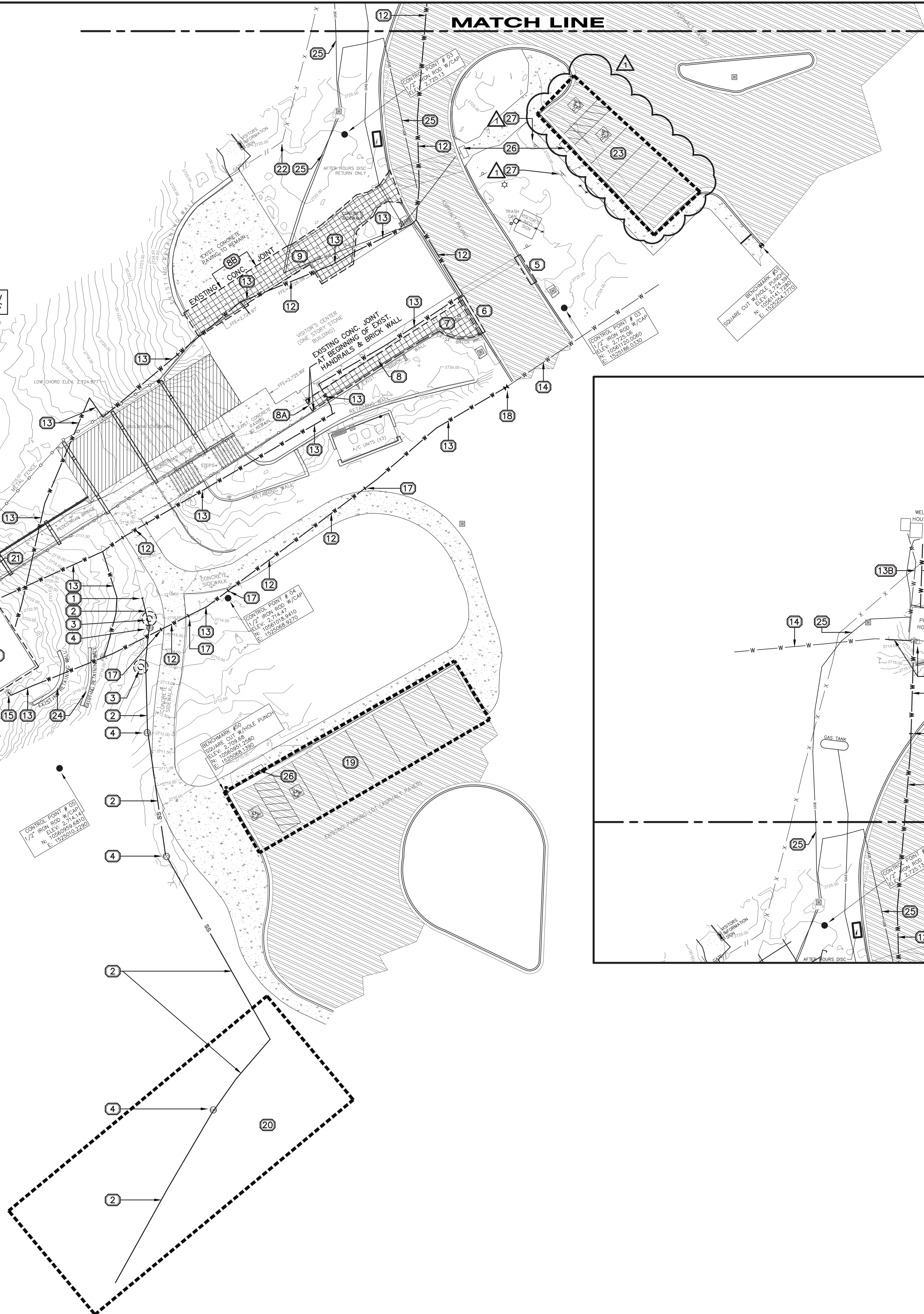
- 1 INSTALL TEMPORARY PVC PLUG.
- 2 EXISTING SANITARY SEWER LINE TO BE COMPLETELY REMOVED.
- 3 EXISTING SEPTIC TANK TO BE COMPLETELY REMOVED.
- 4 EXISTING SANITARY SEWER CLEAN-OUT TO BE COMPLETELY REMOVED.
- 5 EXISTING 10 FEET OF CONCRETE CURB TO BE SAW CUT AND REMOVED.
- 6 EXISTING 16.5 FEET OF CONCRETE CURB TO BE SAW CUT AND REMOVED.
- 7 EXISTING FLAG POLE TO BE RELOCATED (SEE INSET "A" ON PAGE C-06).
- 8 EXISTING CONCRETE SIDEWALK TO BE COMPLETELY REMOVED. SAW CUT AT THE EDGE OF EXISTING BRICK WALL TO AVOID DAMAGE TO SAID WALL. EXISTING WATER LINE MIGHT BE IN THE WAY OF SIDEWALK REMOVAL. CONTRACTOR TO PROCEED WITH CAUTION. CONCRETE REMOVAL SHALL EXTEND UP TO ROUND AREA WHERE EXISTING FLAGPOLE IS LOCATED.
- 8A EXISTING CONCRETE JOINT AND STARTING POINT OF CONCRETE SIDEWALK REMOVAL. CONCRETE REMOVAL SHALL EXTEND UP TO ROUND AREA WHERE EXISTING FLAGPOLE IS LOCATED.
- 8B EXISTING CONCRETE JOINT AND STARTING POINT OF CONCRETE SIDEWALK REMOVAL. EXISTING CONCRETE SIDEWALK LOCATED TO THE NORTH OF JOINT SHALL NOT BE DAMAGED.
- 9 EXISTING CONCRETE SIDEWALK TO BE COMPLETELY REMOVED. CONCRETE SHALL BE REMOVED AT THE JOINT (AS INDICATED HEREIN) AT CONCRETE AREA ADJACENT TO THE NORTH. AREAS ADJACENT TO THE BUILDING SHALL BE SAW CUT. EXISTING RETAINING WALL SHALL NOT BE DAMAGED. EXISTING UNDERGROUND ELECTRICAL WIRING AND WATER LINE MIGHT BE IN THE WAY OF SIDEWALK REMOVAL. CONTRACTOR TO PROCEED WITH CAUTION.
- 9A EXISTING CONCRETE LOCATED TO THE NORTH OF THIS JOINT SHALL NOT BE DAMAGED.
- 10 EXISTING CONCRETE FLATWORK TO BE COMPLETELY REMOVED (REFER TO ARCHITECTURAL PLANS FOR PROPOSED IMPROVEMENTS).
- 11 EXISTING BUILDING TO BE COMPLETELY REMOVED (REFER TO ARCHITECTURAL PLANS FOR PROPOSED IMPROVEMENTS).
- 12 EXISTING WATER LINE TO BE ABANDONED IN PLACE AFTER NEW SYSTEM HAS BEEN FULLY INSTALLED. THIS APPLIES TO ALL EXISTING WATER LINES LOCATED UNDER "HARD SURFACES" (CONCRETE SIDEWALKS, ASPHALT AND CONCRETE PAVEMENT). CONTRACTOR SHALL INSTALL PLUGS ON WATER LINES AT BOTH ENDS OF SAID "HARD SURFACES".
- 13 EXISTING WATER LINE TO BE COMPLETELY REMOVED. THIS APPLIES TO ALL EXISTING WATER LINES LOCATED IN GREEN/UNIMPROVED AREAS.
- 13A REPLACE LINE COMING FROM WELL HOUSE TO PUMP HOUSE WITH A 2" PVC SCHEDULE 40 WATER LINE.
- 13B EXISTING WATER LINE TO BE CONNECTED TO PROPOSED 2" PVC SCHEDULE 40 WATER LINE, FITTINGS AS NEEDED (SEE C-04 PLAN).
- 14 EXISTING WATER LINE TO REMAIN IN PLACE.
- 15 EXISTING WATER VALVE TO BE REMOVED.
- 16 SECTION OF EXISTING WATER LINE, WATER VALVE AND HOSE BIBB TO BE REMOVED.
- 17 PROPOSED PLUG TO ISOLATE WATER LINES TO BE ABANDONED IN PLACE.
- 18 PROPOSED SHUT OFF VALVE AT NO MORE THAN 2' BEHIND BACK OF CURB (SEE ALSO "WATER DISTRIBUTION SYSTEM AND DETAILS" PLAN).
- 19 EXISTING INTERNATIONAL SURFACE PAINTED SYMBOLS OF INTERNATIONAL ACCESSIBILITY AND STRIPING SHALL BE REMOVED. PROPOSED RE-STRIPING TO ACCOMMODATE 9 PARKING SPACES OF EQUAL WIDTH (REFER TO SEE SHEET C-06 FOR RE-STRIPING DIMENSIONS).
- 20 APPROXIMATE AREA TO BE CLEARED OF TREES, VEGETATION, ETC., FOR THE INSTALLATION OF DRAINFIELD (±5,500 SQUARE FEET).
- 21 SAW CUT EXISTING FLATWORK TO RETAIN FOOTING.
- 22 REMOVE FOR RELOCATION THIS SECTION OF FENCE IF ALTERNATE #1 PROCEEDS (PAVILION).
- 23 EXISTING INTERNATIONAL SURFACE PAINTED SYMBOLS OF INTERNATIONAL ACCESSIBILITY AND STRIPING SHALL BE REMOVED. PROPOSED RE-STRIPING TO ACCOMMODATE 5 PARKING SPACES AND ACCESSIBLE AISLE OF EQUAL WIDTH EACH (REFER TO SEE SHEET C-06 FOR RE-STRIPING DIMENSIONS).
- 24 EXISTING RETAINING WALLS TO BE DEMOLISHED.
- 25 EXISTING LOCATION OF ELECTRICAL LINE(S). CONTRACTOR TO REFER TO MEP PLANS FOR ABANDONMENT AND RELOCATION OF ELECTRICAL SERVICE LINES.
- 26 RAMP AND TRUNCATED DOMES TO BE REMOVED.
- 27 EXISTING A.D.A. SIGNS TO BE REMOVED. 

NOTE:
REFER TO ARCHITECTURAL PLANS FOR ALL THE AREAS TO BE DISTURBED DUE TO CONSTRUCTION ACTIVITIES.

MAP LEGEND

-  FOUND No. 4 REBAR
-  BENCHMARK(S)
-  EXISTING FLAG POLE
-  EXISTING TELEPHONE PEDESTAL
-  EXISTING LIGHT POLE
-  EXISTING SINGLE POLE SIGN
-  EXISTING ELECTRICAL BOX
-  EXISTING HOSE BIBB
-  EXISTING WATER METERS TO REMAIN IN PLACE
-  EXISTING WATER VALVE
-  EXISTING SANITARY SEWER CLEANOUT
-  EXISTING SANITARY SEWER LINE (SIZE TBD)
-  EXISTING WATER LINE (SIZE TBD)
-  EXISTING UNDERGROUND ELECTRICAL LINE
-  EXISTING METAL HANDRAILS
-  EXISTING METAL FENCE
-  EXISTING CHAIN LINK FENCE TO REMAIN IN PLACE
-  EXISTING ASPHALT PAVEMENT TO REMAIN.
-  EXISTING CONCRETE SURFACES TO REMAIN.
-  EXISTING CONCRETE SURFACES TO BE REMOVED.

CONTOURS SHOWN ON THIS PLAN
REFLECT EXISING CONTOURS



TEXAS
PARKS &
WILDLIFE




THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CARLOS GARZA, E. #92602 ON 03-19-2021

ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW

Monahans Sandhills State Park
 Visitors Center & Section House Renovations
 1110169

DATE: 03/19/2021
 DESIGNED BY: J.D'Z.
 DRAWN BY: J.D'Z.
 REVIEWED BY: C.G.

REVISED:
 ADD1 5/07/21
 PARKING SPACES STRIPING TO BE REMOVED.
 A.D.A. SIGNS TO BE REMOVED.

SHEET TITLE
 DEMOLITION CONTROL PLAN

SHEET NUMBER
C-03

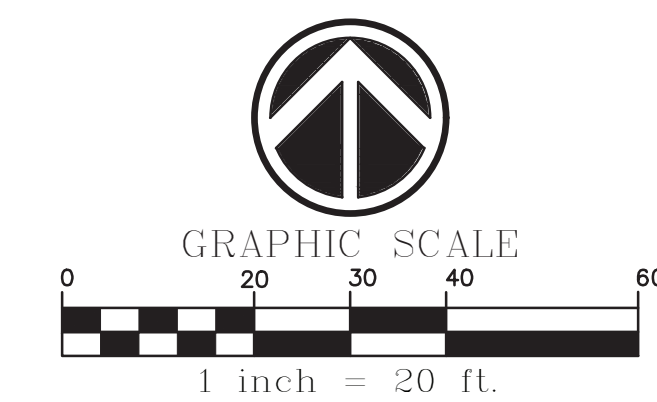
A Texas Registered Engineering Firm F-9688
AEC ENGINEERING, LLC.
*Agricultural * Environmental * Civil*
 P.O. Box 480 Office: (956) 380-6558
 Edinburg, Texas 78540 Fax: (956) 380-6110
 www.aecengineering.net

100% CONSTRUCTION DOCUMENTS

**DEMENSIONING PLAN
CONSTRUCTION KEYNOTES**

1. PARKING FACILITY PAINTED STRIPING CONSISTING OF 4" WHITE PAINT. ALL PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF SOLVENTBORNE APPLICATION RECOMMENDATIONS.
2. PARKING FACILITY PAINTED STRIPING CONSISTING OF 4" WHITE PAINT, INCLUDING SYMBOL OF INTERNATIONAL ACCESSIBILITY, ACCESSIBLE AISLE STRIPING AND "NO PARKING" LEGEND. PROPOSED SURFACE PAINTED "NO PARKING" LEGEND ON ACCESS AISLE ADJACENT TO HANDICAP DESIGNATED STALLS MUST BE CAPITAL LETTERS, AT LEAST 12" IN HEIGHT, AND STROKE WIDTH OF NO LESS THAN 2". ALL PAINT FOR PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF SOLVENTBORNE APPLICATION RECOMMENDATIONS. (SEE DETAIL THIS SHEET).
3. PROPOSED HANDICAP PARKING SIGN (SEE DETAIL THIS SHEET)

SIDEWALK CONCRETE JOINTS NOTES:
EXPANSION JOINTS SHALL BE LOCATED EVERY 30 FEET.
CONTROL JOINTS SHALL BE LOCATED EVERY 6 FEET.



MAP LEGEND

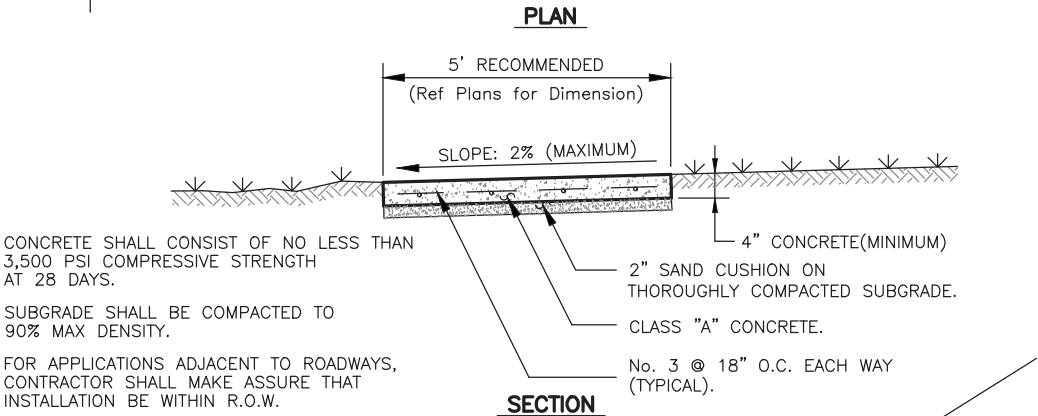
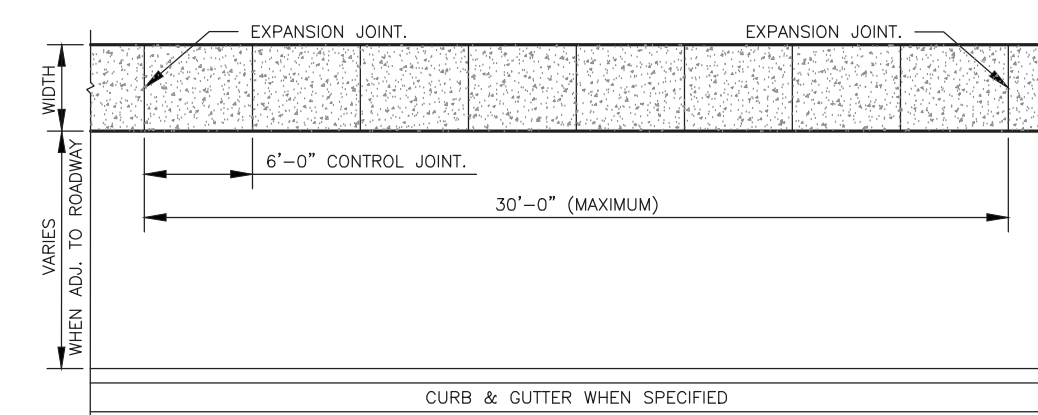
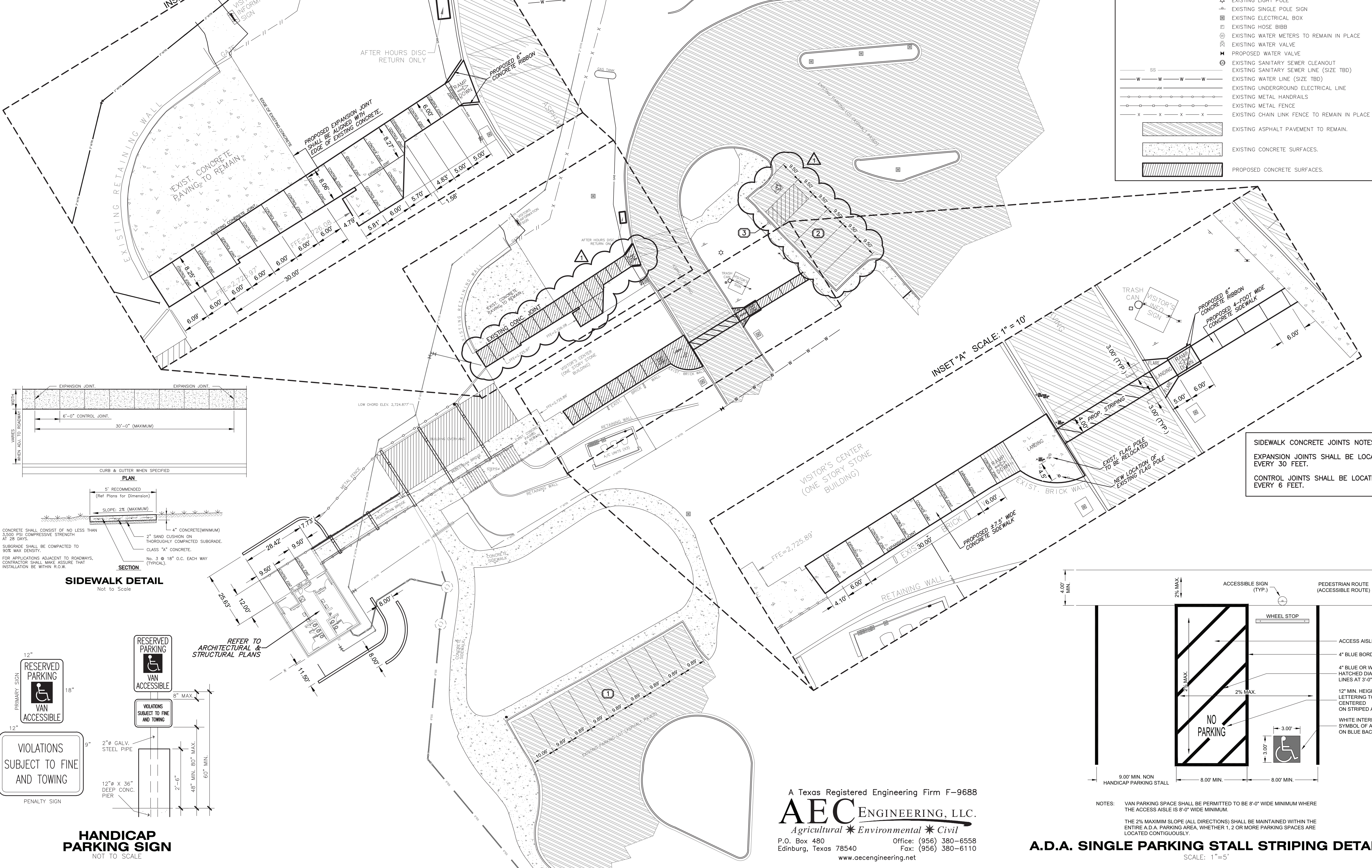
- FOUND No. 4 REBAR
- ◆ BENCHMARK(S)
- ⊕ EXISTING FLAG POLE
- ⊕ EXISTING TELEPHONE PEDESTAL
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING SINGLE POLE SIGN
- ⊕ EXISTING ELECTRICAL BOX
- ⊕ EXISTING HOSE BIBB
- ⊕ EXISTING WATER METERS TO REMAIN IN PLACE
- ⊕ EXISTING WATER VALVE
- ⊕ PROPOSED WATER VALVE
- ⊕ EXISTING SANITARY SEWER CLEANOUT
- ⊕ EXISTING SANITARY SEWER LINE (SIZE TBD)
- ⊕ EXISTING WATER LINE (SIZE TBD)
- ⊕ EXISTING UNDERGROUND ELECTRICAL LINE
- ⊕ EXISTING METAL HANDRAILS
- ⊕ EXISTING METAL FENCE
- ⊕ EXISTING CHAIN LINK FENCE TO REMAIN IN PLACE
- ▨ EXISTING ASPHALT PAVEMENT TO REMAIN.
- ▨ EXISTING CONCRETE SURFACES.
- ▨ PROPOSED CONCRETE SURFACES.

**TEXAS
PARKS &
WILDLIFE**

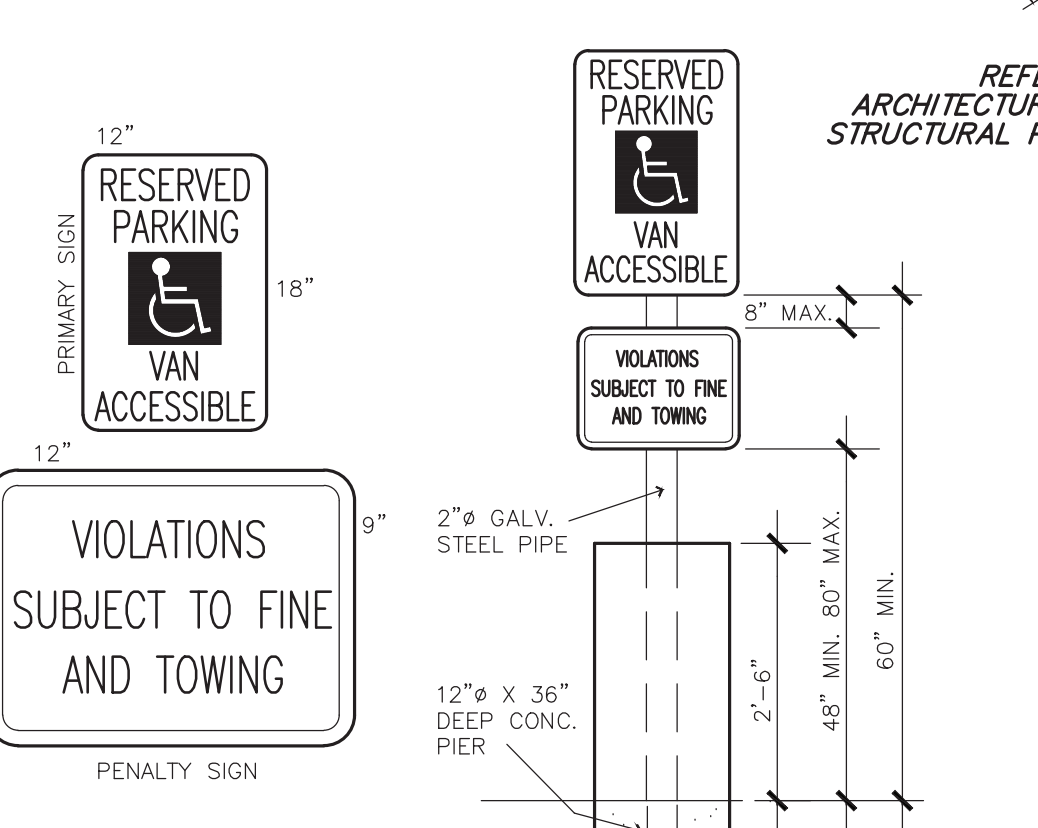
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Monahans Sandhills State Park
Visitors Center & Section House Renovations
1110169

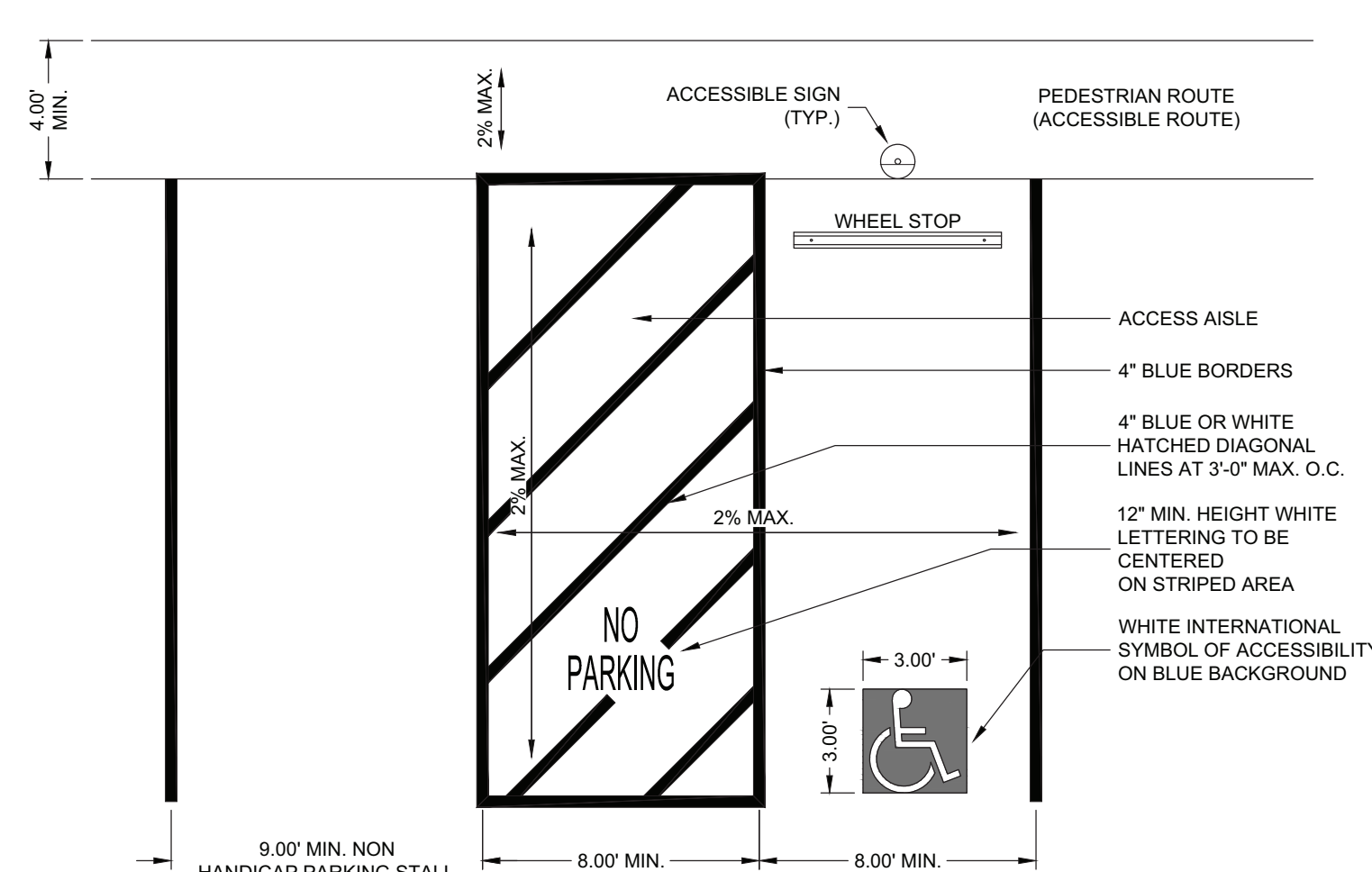


SIDEWALK DETAIL
Not to Scale



HANDICAP PARKING SIGN
NOT TO SCALE

SIDEWALK CONCRETE JOINTS NOTES:
EXPANSION JOINTS SHALL BE LOCATED EVERY 30 FEET.
CONTROL JOINTS SHALL BE LOCATED EVERY 6 FEET.



NOTES: VAN PARKING SPACE SHALL BE PERMITTED TO BE 8'-0" WIDE MINIMUM WHERE THE ACCESS AISLE IS 8'-0" WIDE MINIMUM.
THE 2% MAXIMUM SLOPE (ALL DIRECTIONS) SHALL BE MAINTAINED WITHIN THE ENTIRE A.D.A. PARKING AREA, WHETHER 1, 2 OR MORE PARKING SPACES ARE LOCATED CONTIGUOUSLY.

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DATE: 03/19/2021
 DESIGNED BY: J.D.Z.
 DRAWN BY: J.D.Z.
 REVIEWED BY: C.G.

REVISED:
 ADD 1 5/07/21
 SIDEWALK WAS STRAIGHTENED, GRADES REVISED TO MEET A.D.A. REQ.

PARKING SPACES RE-ARRANGED, A.D.A. SIGN ADDED.

SHEET TITLE
 DIMENSIONING PLAN

SHEET NUMBER
C-06

100% CONSTRUCTION DOCUMENTS



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Monahans Sandhills State Park
Visitors Center & Section House Renovations
1110169

DATE: 03/19/2021
DESIGNED BY: J.D.Z.
DRAWN BY: J.D.Z.
REVIEWED BY: C.C.

REVISED:
ADD1 5/07/21
SIDEWALK WAS STRAIGHTENED, GRADES REVISED TO MEET A.D.A. REQ.

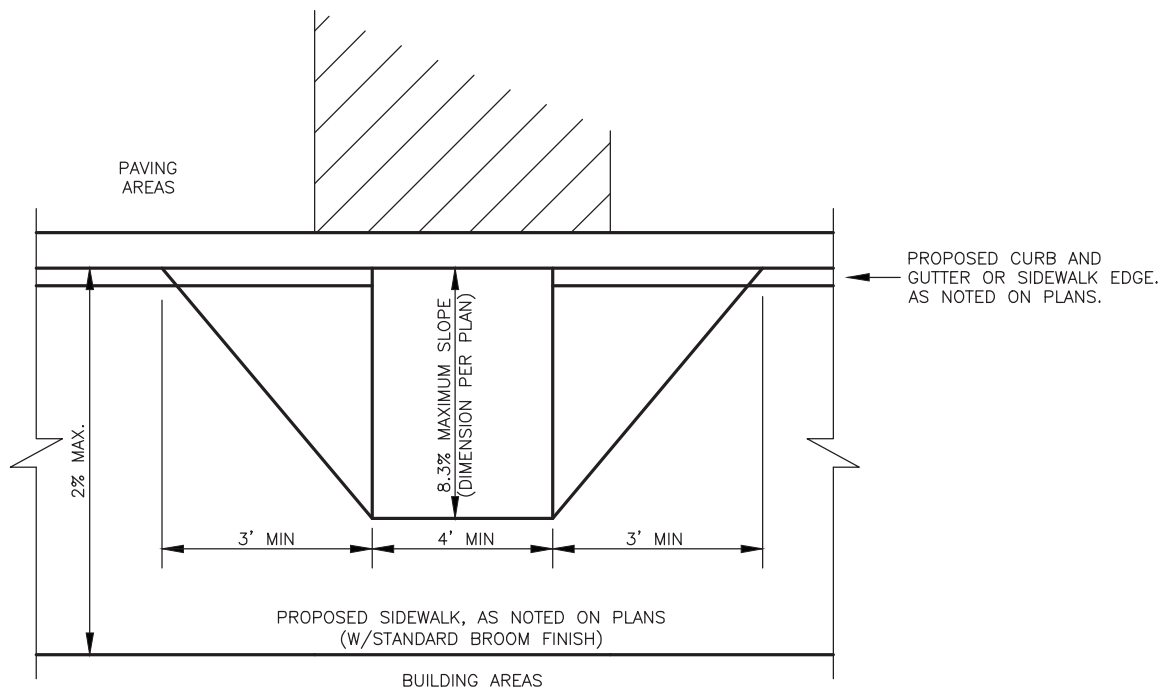
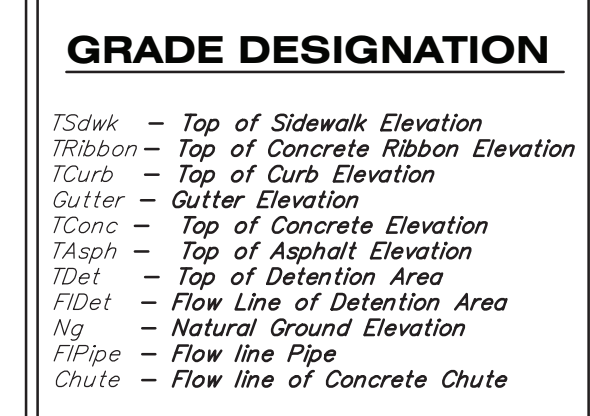
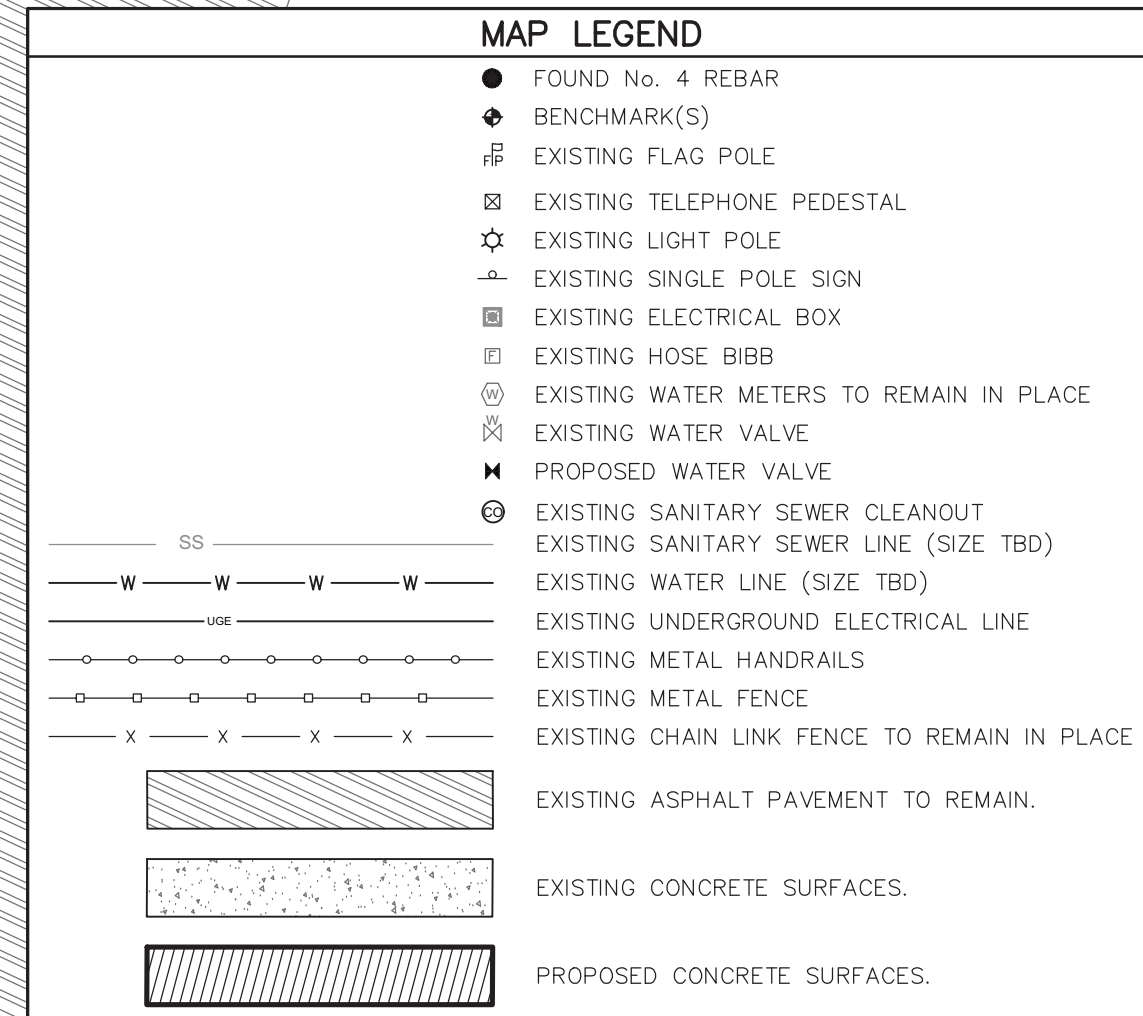
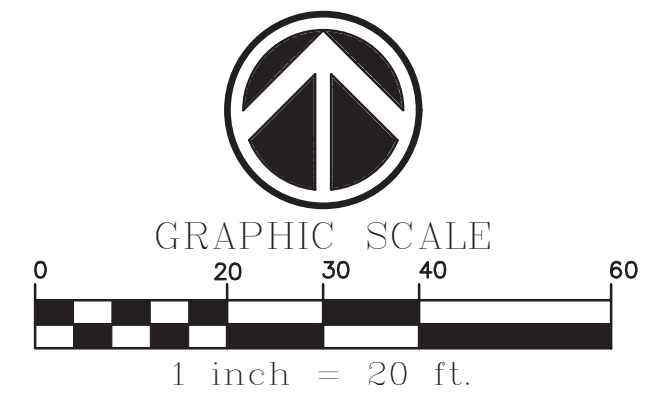
PARKING SPACES RE-ARRANGED, A.D.A. SIGN ADDED.

SHEET TITLE
GRADING PLAN

SHEET NUMBER

C-07

100% CONSTRUCTION DOCUMENTS



SIDEWALK CURB RAMP
Not to Scale

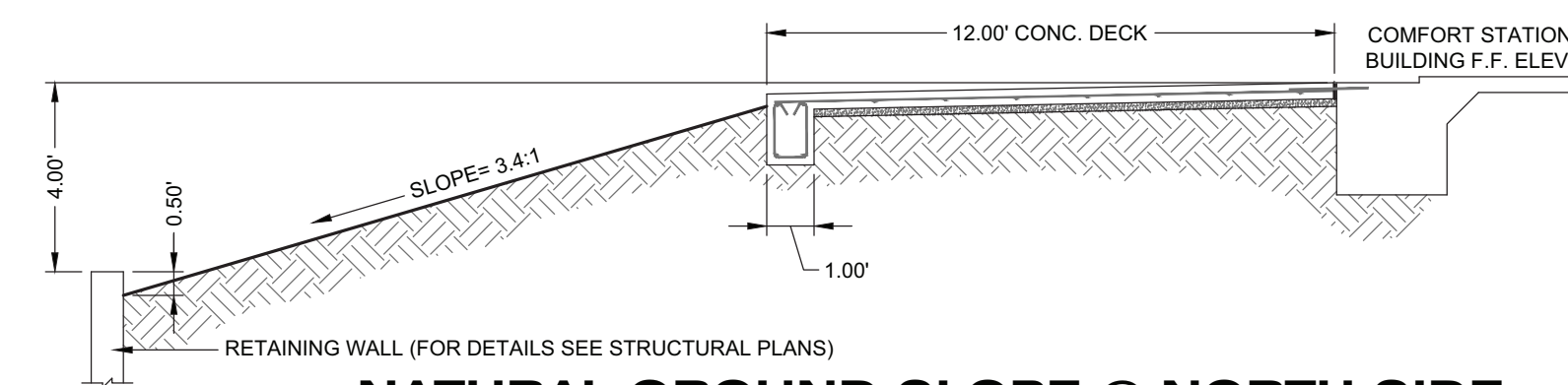
FIELD QUALITY CONTROL

Earthwork testing Percentage by weight by Owner's Testing Agency (ASTM E 699). Once prior to installation, Once per each gradation.

Earthwork Field Density Test by Owner's Testing Agency (ASTM D 1556 & ASTM D 2167). One field density test for every 2,000 sq.ft.

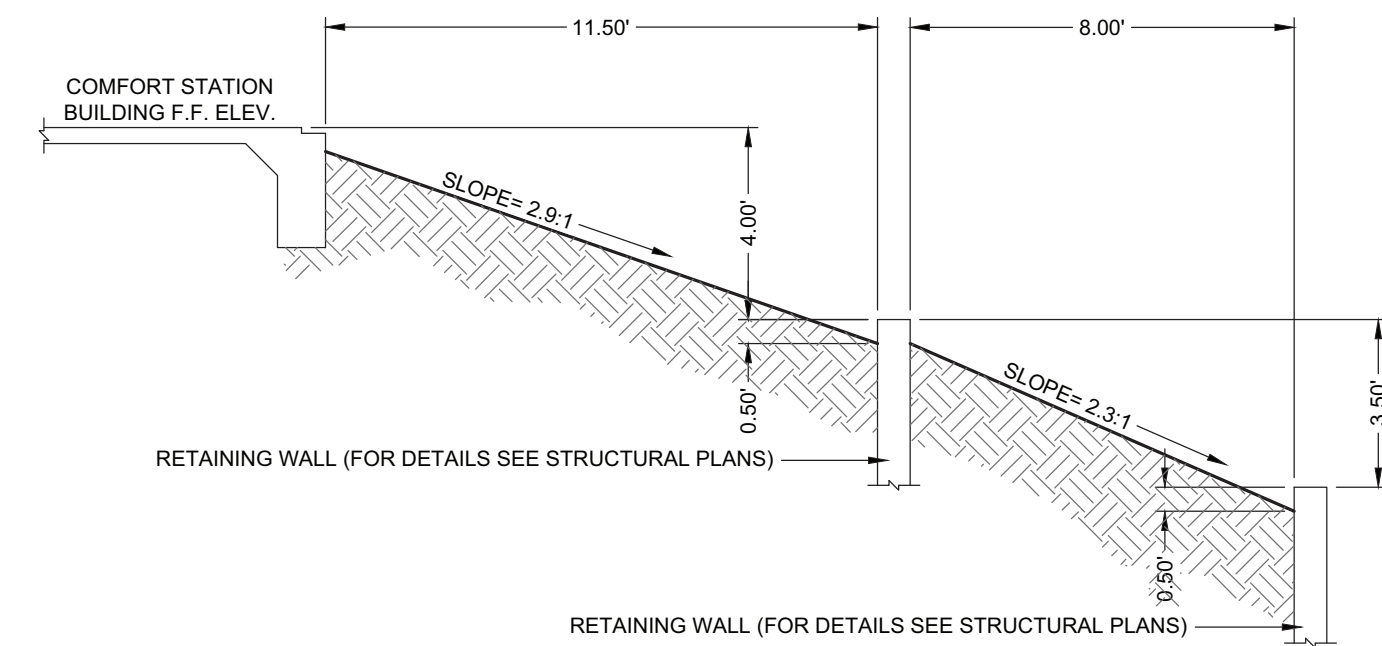
Portland Cement Concrete Testing by Owner's Testing Agency (ASTM D 1556 & ASTM D 2167). Three concrete test cylinders will be taken for every 75 or less cu yds of each class of concrete placed each day.

Portland Cement Concrete Paving— Slump Testing by Owner's Testing Agency (ASTM D 1556 & ASTM D 2167). One slump test will be taken for each set of test cylinders taken.



NATURAL GROUND SLOPE @ NORTH SIDE OF COMFORT STATION BUILDING
Not to Scale

CONTOURS SHOWN ON THIS PLAN REFLECT PROPOSED CONTOURS



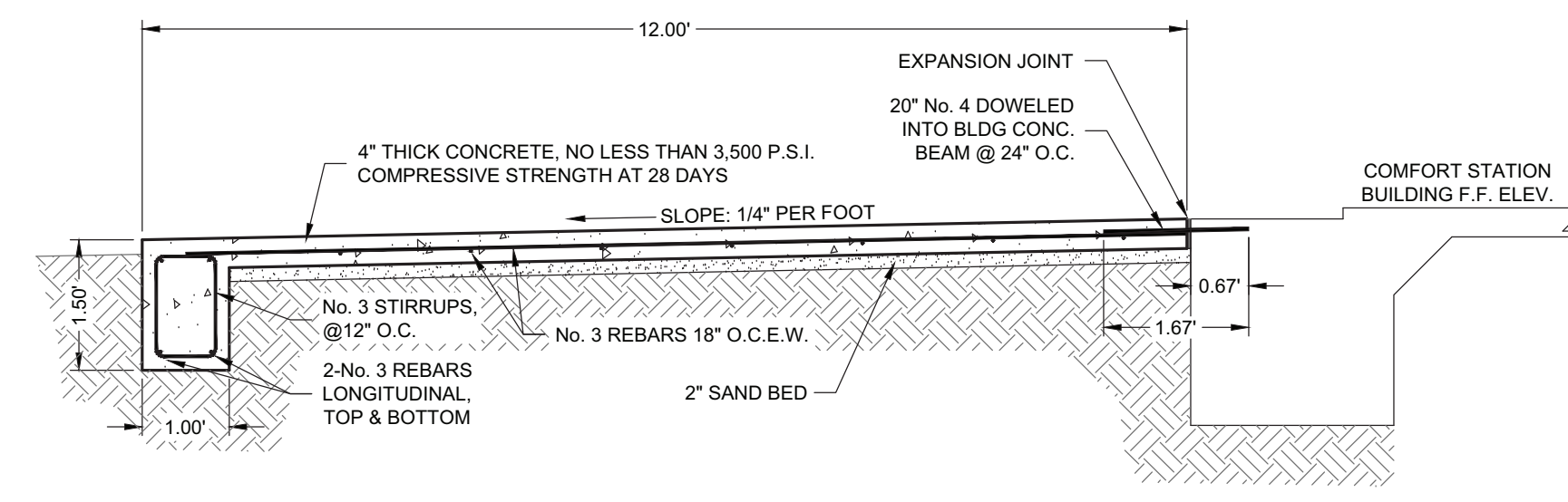
NATURAL GROUND SLOPE @ SOUTH SIDE OF COMFORT STATION BUILDING
Not to Scale

MAXIMUM SLOPES FOR FLATWORK SHALL BE 2% IN ALL DIRECTIONS (SEE "CONCRETE DECK AT COMFORT STATION DETAIL" THIS PAGE). CONTRACTOR SHALL GRADE AREAS BETWEEN BUILDING AND RETAINING WALLS FOLLOWING DETAILS PROVIDED ABOVE. AREAS BEYOND THE PERIMETER OF RETAINING WALLS SHALL BE GRADED AT A MAXIMUM SLOPE OF 3:1.

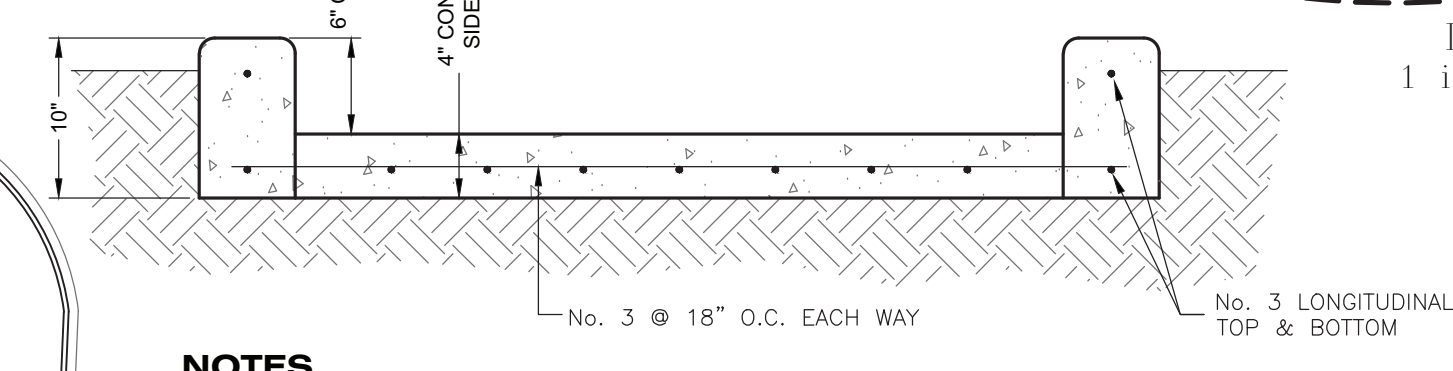
REFER TO ARCHITECTURAL & STRUCTURAL PLANS

STEEL NOTE:

MINIMUM CONCRETE COVER FOR ALL REBAR SHALL BE 2". REBAR SUPPORTED BY SADDLES/CHAIRS WHERE NEEDED.



CONCRETE DECK AT COMFORT STATION DETAIL
Not to Scale

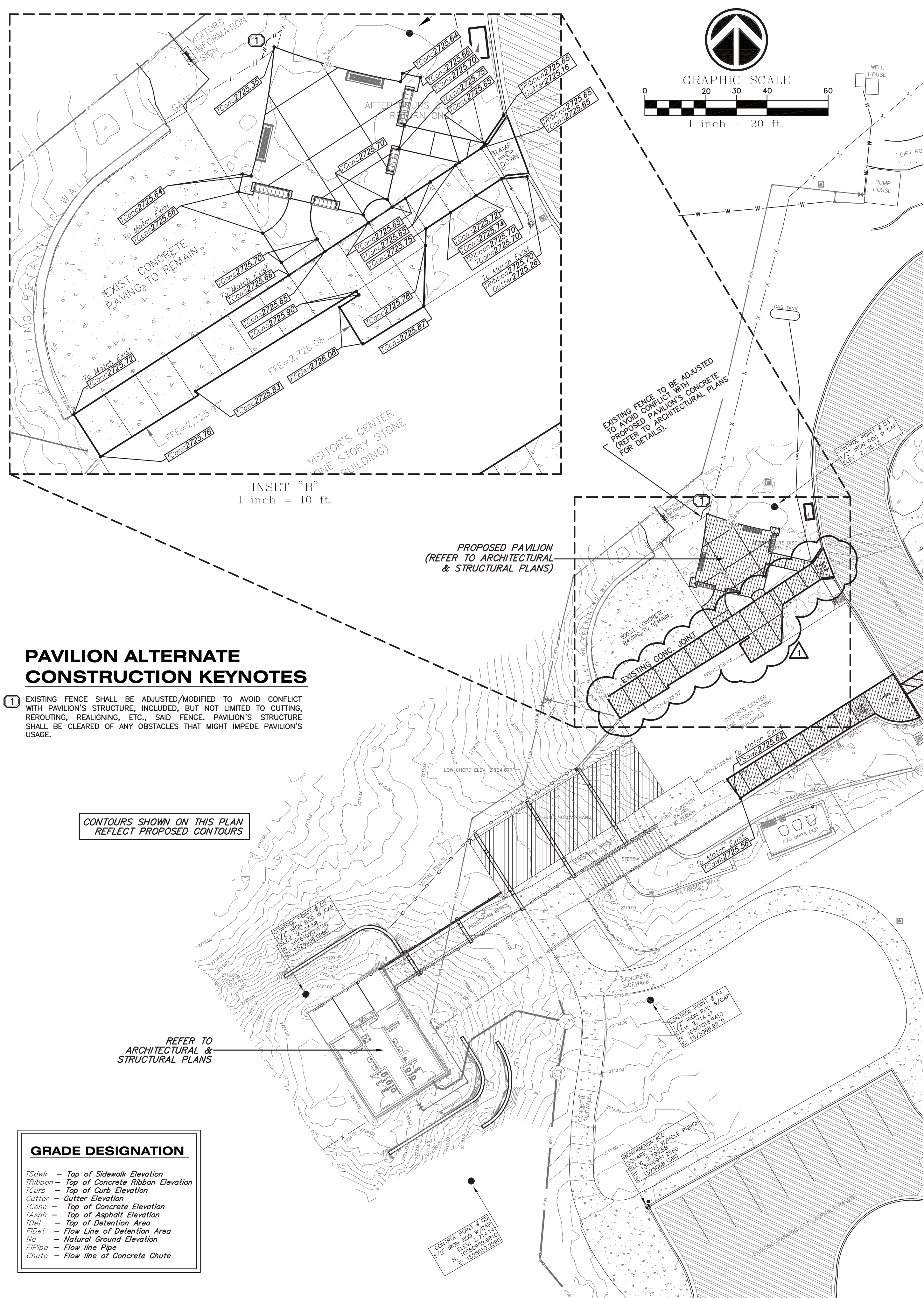


NOTES

1. CONCRETE SHALL CONSIST OF NO LESS THAN 3,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
2. TOP OF CURB TO HAVE 1" RADIUS ON BOTH EDGES.
3. CURBS MUST BE BRUSHED TO A SMOOTH AND UNIFORM FINISH.
4. FILL SHALL BE GRADED TO BE 2" LOWER THAN THE TOP OF RIBBON AND SIDEWALKS.
5. 6 INCHES SHALL BE CLEARED BETWEEN TOP OF RIBBON AND TOP OF SIDEWALK AT THE BOTTOM OF THE RAMP. TOP OF RIBBON AND TOP OF RAMP SHALL BE AT THE SAME ELEVATION AT THE TOP OF THE RAMP.

CONCRETE SIDEWALK WITH 6" RIBBONS AT A.D.A. RAMPS DETAIL
Not to Scale

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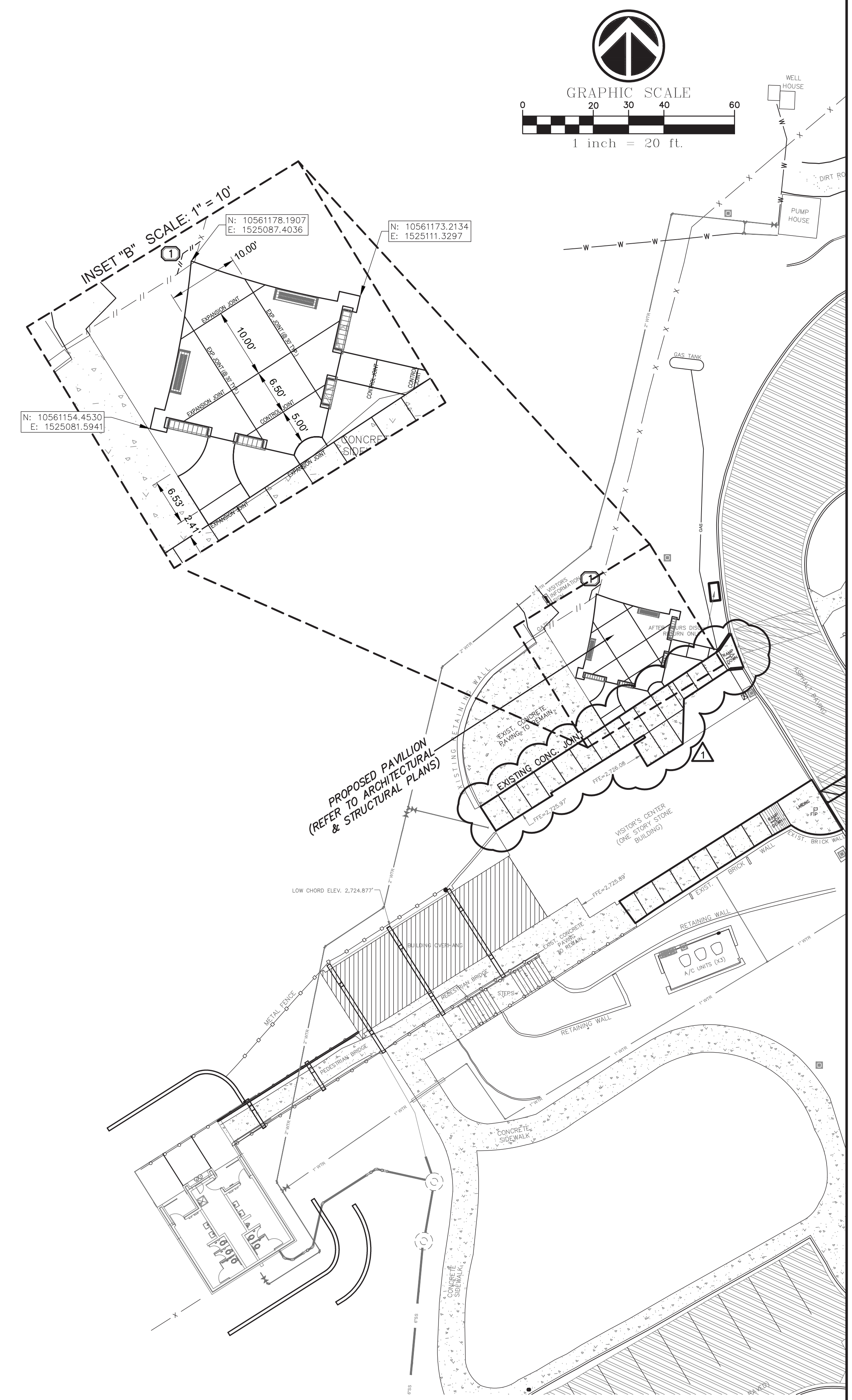
PAVILION ALTERNATE CONSTRUCTION KEYNOTES

- 1 EXISTING FENCE SHALL BE ADJUSTED/MODIFIED TO AVOID CONFLICT WITH PAVILION'S STRUCTURE, INCLUDED, BUT NOT LIMITED TO CUTTING, REROUTING, REALIGNING, ETC., SAID FENCE. PAVILION'S STRUCTURE SHALL BE CLEARED OF ANY OBSTACLES THAT MIGHT IMPEDE PAVILION'S USAGE.

GRADE DESIGNATION

- Tsdwk - Top of Sidewalk Elevation
- Tribbon - Top of Concrete Ribbon Elevation
- Tcurb - Top of Curb Elevation
- Tgutter - Gutter Elevation
- Tconc - Top of Concrete Elevation
- Tasph - Top of Asphalt Elevation
- Tdet - Top of Detention Area
- Vldet - Flow Line of Detention Area
- Ng - Natural Ground Elevation
- FIPipe - Flow line Pipe
- Chute - Flow line of Concrete Chute

GRADING PLAN



DIMENSIONING PLAN

SIDEWALK CONCRETE JOINTS NOTES:
 EXPANSION JOINTS SHALL BE LOCATED EVERY 30 FEET.
 CONTROL JOINTS SHALL BE LOCATED EVERY 6 FEET.

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 Edinburg, Texas 78540 Fax: (956) 380-6110
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STATE OF TEXAS
 CARLOS GARZA
 92602
 LICENSED PROFESSIONAL ENGINEER
 CIVIL
 THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY CARLOS GARZA, E. #92602 ON 03-19-2021
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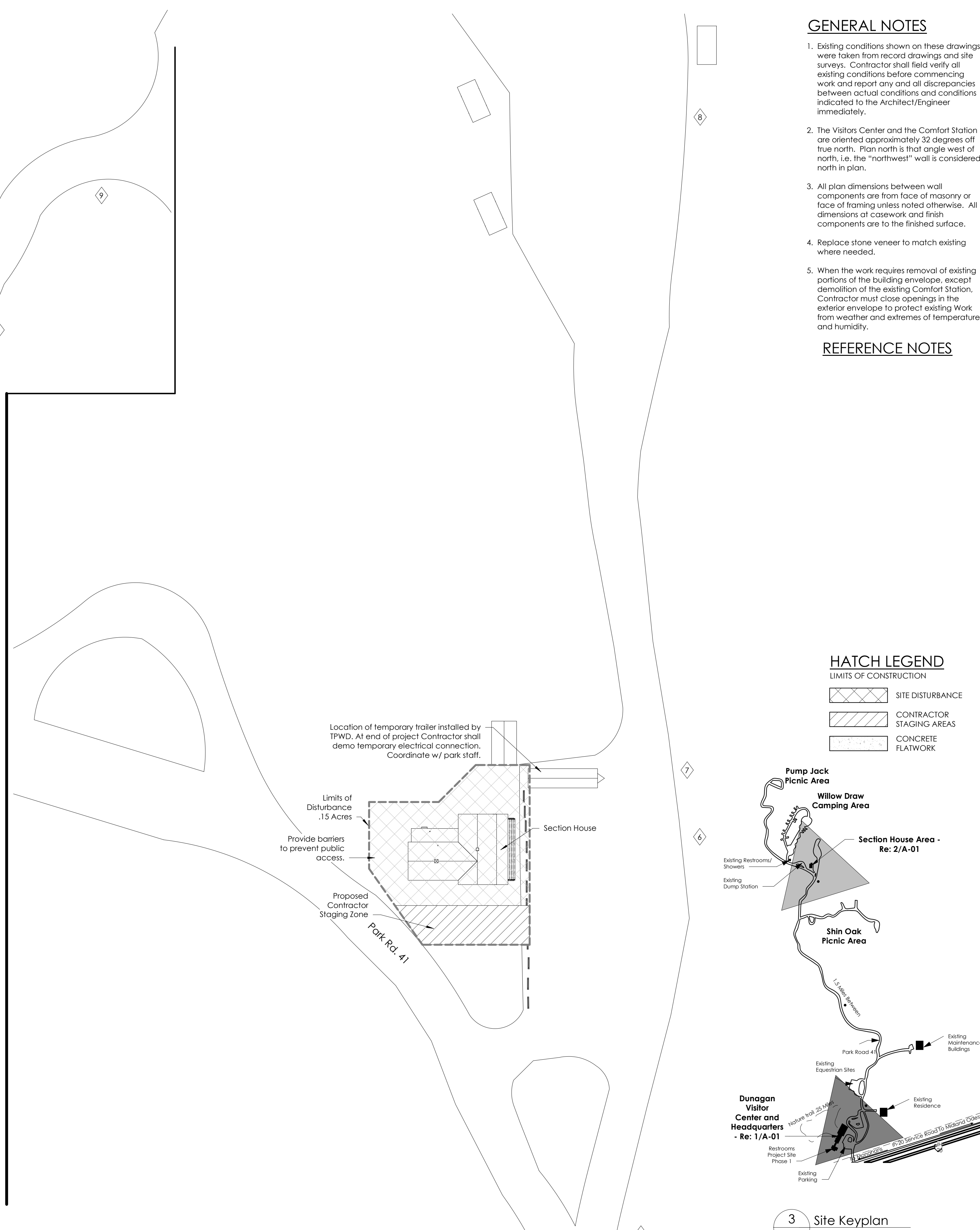
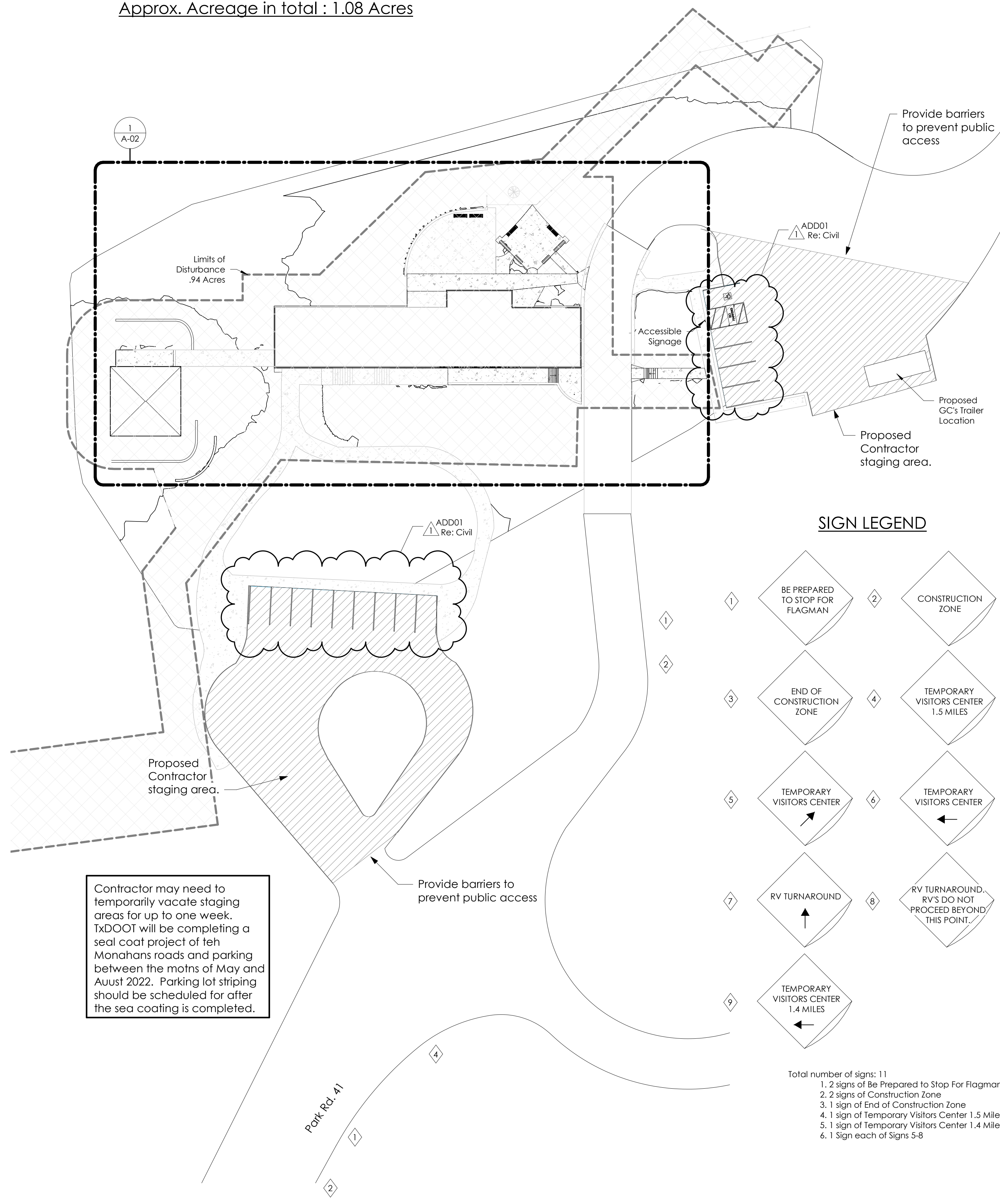
Monahans Sandhills State Park
 Visitors Center & Section House Renovations
 1110169

DATE: 03/19/2021
 DESIGNED BY: J.D.Z.
 DRAWN BY: J.D.Z.
 REVIEWED BY: C.C.
 REVISED:
 ADD 1 5/07/21
 SIDEWALK WAS STRAIGHTEN GRADES REVISED TO MEET ADA REQ.

SHEET TITLE
 PAVILION ALTERNATE GRADING & DIMENSIONING PLAN

SHEET NUMBER
 C-09

Approx. Square Feet for Contractor Staging Zone: 18,322 Sq.Ft.
 Approx. Square Feet for Limit of Disturbance: 48,879 Sq.Ft.
 Approx. Acreage in total : 1.08 Acres



GENERAL NOTES

- Existing conditions shown on these drawings were taken from record drawings and site surveys. Contractor shall field verify all existing conditions before commencing work and report any and all discrepancies between actual conditions and conditions indicated to the Architect/Engineer immediately.
- The Visitors Center and the Comfort Station are oriented approximately 32 degrees off true north. Plan north is that angle west of north, i.e. the "northwest" wall is considered north in plan.
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REFERENCE NOTES

**TEXAS
PARKS &
WILDLIFE**



5/06/2021
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 11720 NORTH IH35
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 TEL. 512.474.6526
 WWW.NEKARCH.COM

Monahans Sandhills State Park
Visitors Center & Section House Renovations
 1110169

DATE: 5/06/2021
 DESIGNED BY: BWM
 DRAWN BY: NDM
 REVIEWED BY: BWM
 REVISED:
 ADD01 5/07/2021
 REVISED:

SHEET TITLE
 Architectural Site
 Plans Overall

SHEET NUMBER
A-01

1 Architectural Site Plan at Visitors Center Area
 A-01 SCALE: 1" = 30'-0" REF: A-05



2 Architectural Site Plan at Section House
 A-01 SCALE: 1" = 30'-0" REF: A-05



3 Site Keyplan
 A-01 SCALE: 6" = 1'-0" REF:

Visitors Center



5/06/2021
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GENERAL NOTES

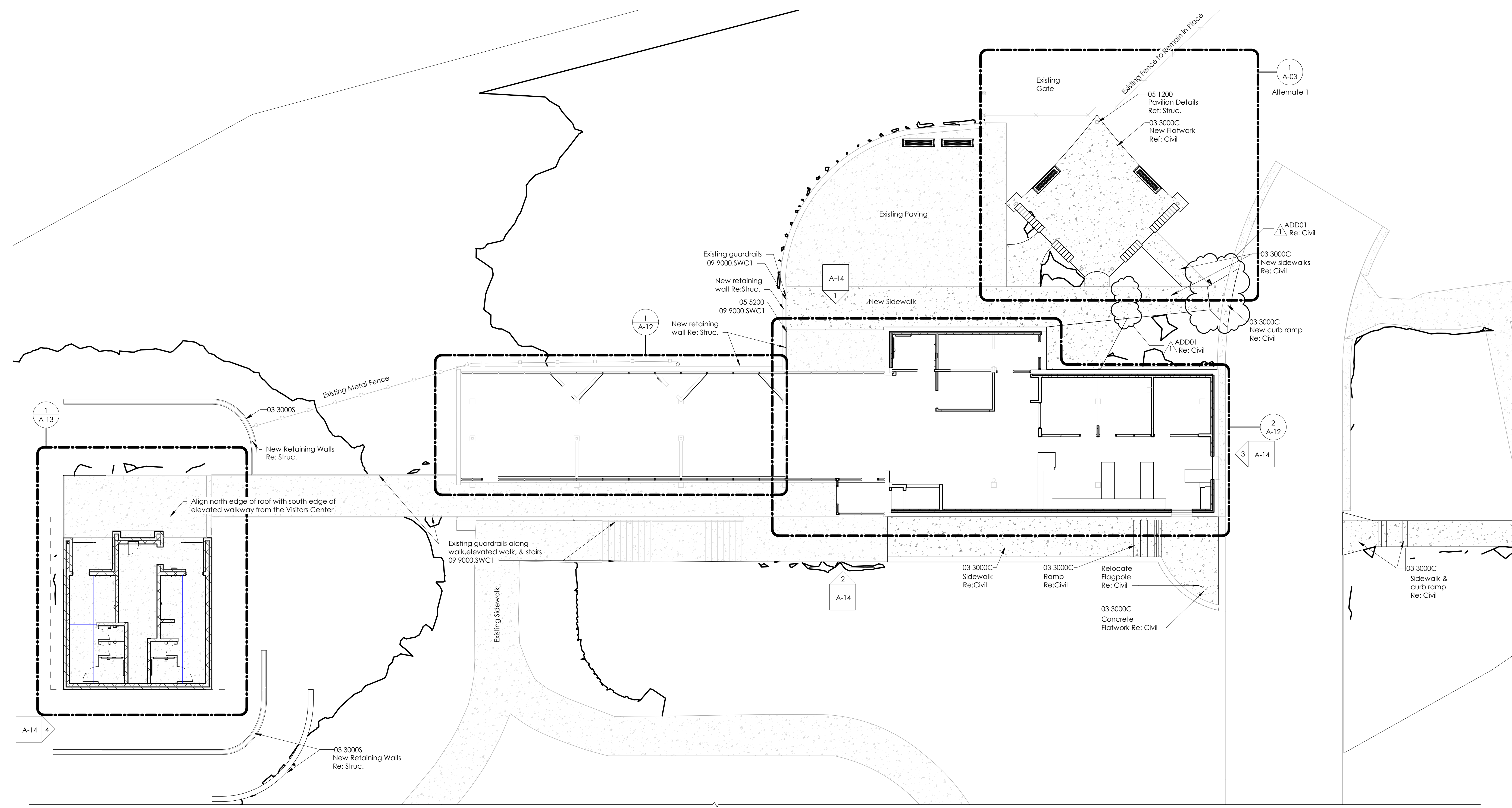
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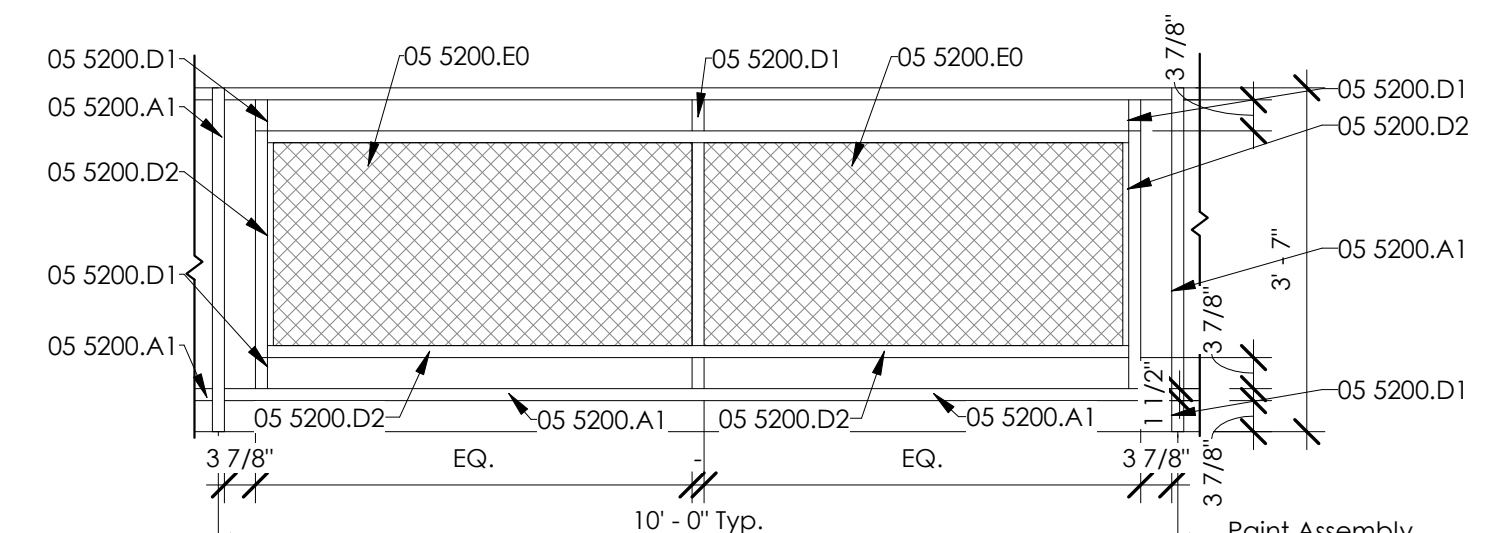
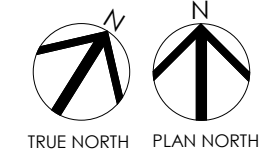
03 3000C	Cast-In-Place Concrete, Re: Civil
03 3000S	Cast-In-Place Concrete, Re: Struct
05 1200	Structural Steel Framing, Re:Struct.
05 5200	Metal Railings
05 5200.A1	Steel 1-1/2" Pipe Railing
05 5200.D1	1-1/2"x5/8" Steel Strip
05 5200.D2	1-1/2"x1/8" Steel Strip
05 5200.E0	Expanded Metal Mesh
05 5200.F0	Perforated Metal Panel

HATCH LEGEND

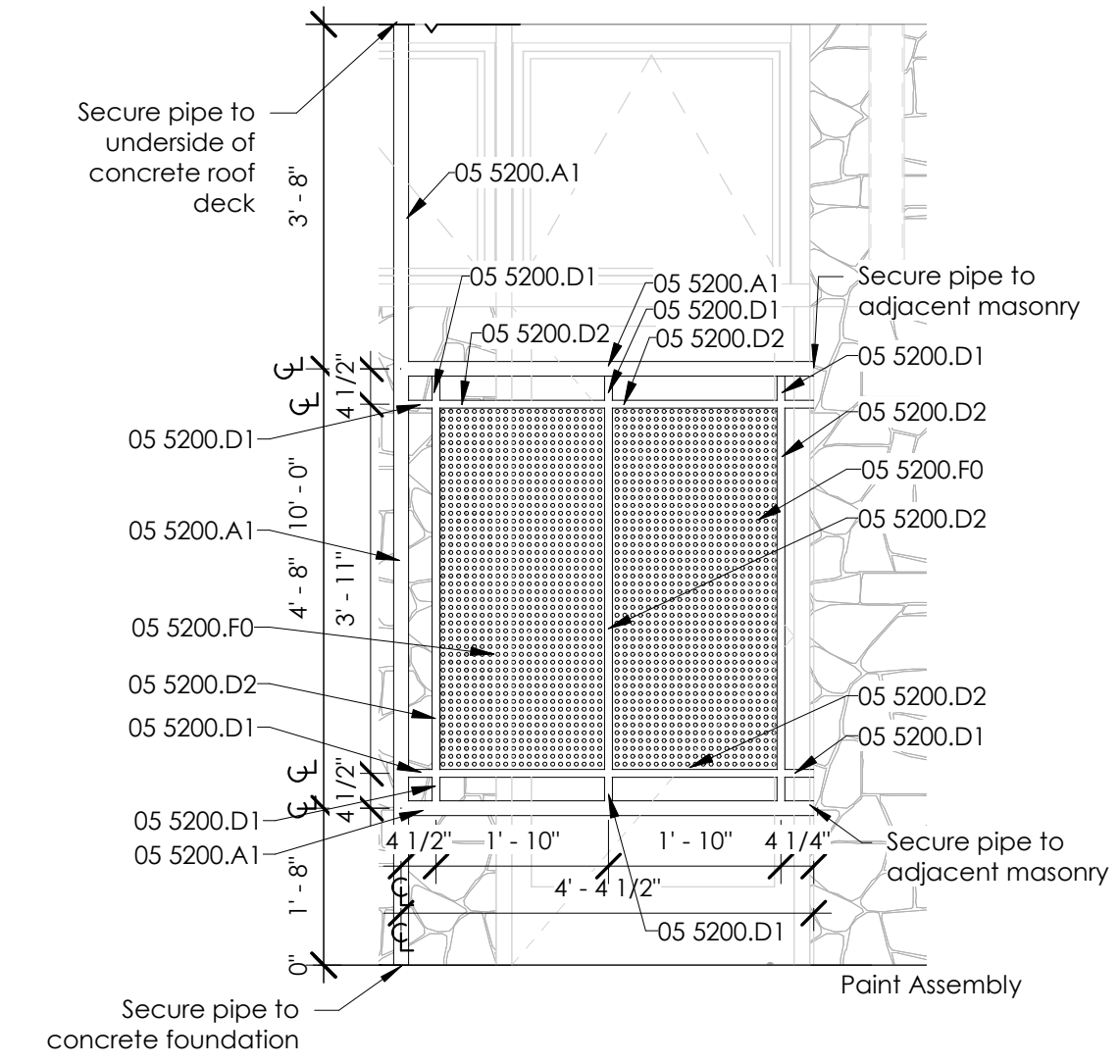
	LIMITS OF CONSTRUCTION
	SITE DISTURBANCE
	CONCRETE FLATWORK



1
 Architectural Site Plan - Visitors Center and Comfort Station
 SCALE: 1" = 10'-0" REF: A-01



2
 Typical Guardrail Section Elevation
 SCALE: 1/2" = 1'-0" REF: A-02



3
 Comfort Station Metal Privacy Screen Detail
 SCALE: 1/2" = 1'-0" REF: A-16

Monahans Sandhills State Park
 Visitors Center & Section House Renovations
 1110169

DATE: 5/06/2021
 DESIGNED BY: BWM
 DRAWN BY: NDM
 REVIEWED BY: BWM
 REVISED:
 ADD01 5/07/2021
 REVISED:

SHEET TITLE
 Architectural Site Plan
 Visitors Center & Site
 Details

SHEET NUMBER
A-02

Visitors Center

DOOR & FRAME SCHEDULE													
Door No.	Doors					Frames							Hardware Set No.
	Door Type	Door Material	View Panel	Glass	Int / Exterior	Frame Type	Frame Mat.	Hinge Jamb	Strike Jamb	Head	Sill	Threshold	
101	6	08 4113.F4	FULL	08 8000.M5	Exterior	SF-3	08 4113.B1	9/A-10	8/A-10	4/A-10	13/A-10	14/A-10	004
102	5	08 4113.F4	FULL	08 8000.M5	Exterior	SF-1	08 4113.B1	11/A-10	16/A-10	4/A-10	13/A-10	14/A-10	004
103	3	08 4113.F1	FULL	08 8000.C1	Interior	SF-11	08 4113.A4	6/A-11	5/A-11	5/A-10 SIM.	13/A-11	14/A-11	001
105	4	08 4113.F1	FULL	08 8000.C1	Interior	SF-12	08 4113.A4	10/A-11	9/A-10	1/A-11	13/A-11	14/A-11	002
106	1	08 1416	-	-	Interior	HM-1	08 1213.A2	7/A-08	13/A-08	2/A-08	-	18/A-08	006
107	1	08 1416	-	-	Interior	HM-1	08 1213.A2	11/A-08	6/A-08	1/A-08	-	18/A-08	007
108	1	08 1416	-	-	Interior	HM-1	08 1213.A2	16/A-08	6/A-08	1/A-08	-	18/A-08	008
109	9	08 4116	-	-	Interior	HM-3	08 1213.A4	12/A-08	8/A-08	3/A-08	-	17/A-08	009
203	5	-	-	-	Exterior	-	See Type	See Type	1/A-10	13/A-10	-	14/A-10	010
204	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-
205	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-
302	8	10 2219	FULL	10 2219	Interior	DP-3	10 2219	9/A-08	10/A-08	5/A-08	19/A-08	20/A-08	MFG.
303	8	10 2219	FULL	10 2219	Interior	DP-2	10 2219	14/A-08	10/A-08	5/A-08	19/A-08	20/A-08	MFG.
304	8	10 2219	FULL	10 2219	Interior	DP-1	10 2219	15/A-08	14/A-08	5/A-08	19/A-08	20/A-08	MFG.
401	7	08 4113.F4	FULL	08 4113.D4	Exterior	SF-6	08 4113.B2	7/A-11 O.H	8/A-11	4/A-11	17/A-11	16/A-11	003
402	2	08 1313.13 B0	-	-	Exterior	HM-2	08 1213.A5	5/A-09 O.H	5/A-09	1/A-09	-	9/A-09	005
403	10	08 4113.F4	FULL	08 4113.D4	Exterior	SF-6	08 4113.B2	7/A-11	8/A-11 O.H	4/A-11	17/A-11	16/A-11	003
502	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-
502B	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-
503	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-
504	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-
505	Existing	-	-	-	Existing	-	-	-	-	-	-	-	-

ROOM SCHEDULE													
ROOM NUMBER	ROOM NAME	FLOOR	MATERIAL	BASE	WALL FINISH			CEILING		NOTES			
					NORTH	EAST	SOUTH	WEST	MATERIAL		HEIGHT		
101	South Vestibule	PC	-	GLAZ	-	GLAZ	EST	GLAZ	GLAZ	PXST/SAP	10'-0"	-	-
102	North Vestibule	PC	RB*	PCMU	GLAZ	GLAZ	EST	GLAZ/EST	PGB	PXST/SAP	10'-0"	-	* RB @ PGB ONLY
103	DF Vestibule	PC	RB*	GLAZ/PCMU	PGB/DPT/PCMU	-	-	-	PGB	PXST/SAP	10'-0"	-	* RB @ PGB ONLY
104	Store East	PC	RB*	PGB	PGB/DPT	PCMU/PGB	-	-	-	PXST/SAP	10'-0"	-	* RB @ PGB ONLY
105	Store West	PC	-	GLAZ	-	GLAZ	EST	GLAZ	EWG	PXST/SAP	10'-0"	-	-
106	Staff Toilet	PC	PT*	PCMU	PT	PT	PCMU	PCMU	PXST/PXM	10'-0"	-	-	PT BASE @ PT WALLS ONLY
107	Storage	PC	RB*	PGB	PGB	PGB	PGB	PGB	PGB	PXST/SAP	10'-0"	-	-
108	Custodial/Elect.	PC	RB*	PCMU	PGB	PGB	PGB	PMRB	PXST	10'-0"	-	-	* RB @ PGB/PMRB ONLY
109	Mechanical	WD	-	GB	GB	PCMU	ECMU	XST	10'-0"	-	-	-	-
201	Exhibit East	PC	RB*	GLAZ/PEGB	PEGB	PEGB/GLAZ	PEGB	PEGB	PXST/SAP	10'-0"	-	-	-
202	Exhibit Center	PC	RB*	GLAZ/PEGB	PEGB	PEGB/GLAZ	PEGB	PEGB	PXST/SAP	10'-0"	-	-	-
203	Exhibit West	PC	RB*	GLAZ/PEGB	PEGB	PEGB/GLAZ	STN	PXST/SAP	10'-0"	-	-	-	* RB @ PGB ONLY
204	HVAC2	-	-	EIN	EIN	EIN	EIN	XST	10'-0"	-	-	-	-
205	HVAC1	-	-	EIN	EIN	EIN	EIN	XST	10'-0"	-	-	-	-
301	Open Office	PC	RB*	DPT/PGB	PCMU	PCMU	-	-	PXST/SAP	10'-0"	-	-	* RB @ PGB ONLY
302	Office/Conference	PC	RB*	PCMU	PGB	DPT	PGB/DPT	PXST/SAP	10'-0"	-	-	-	* RB @ PGB ONLY
303	Office	PC	RB*	PCMU	PGB	DPT	PGB	PXST/SAP	10'-0"	-	-	-	* RB @ PGB ONLY
304	Break Room	PC	RB*	PCMU	PCMU	PGB/DPT	PGB	PXST/SAP	10'-0"	-	-	-	* RB @ PGB ONLY
401	Womens Comfort Station	TERR	-	PCMU	PCMU	PCMU	PCMU	SC	10'-0"	-	-	-	-
402	Chase	SC	-	CMU	CMU	CMU	CMU	SC	10'-0"	-	-	-	-
403	Mens Comfort Station	TERR	-	PCMU	PCMU	PCMU	PCMU	SC	10'-0"	-	-	-	-
404	Vestibule	SC	-	PXM	STN	STN	STN	SC	10'-0"	-	-	-	Exterior Space
405	Vestibule	SC	-	PXM	STN	STN	STN	SC	10'-0"	-	-	-	Exterior Space
500	Parlor	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR
502	Saloon	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR
503	Kitchen	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR
504	Back Entry	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR
505	Restroom	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR
506	Sto.	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR	XTR

SIGN SCHEDULE			
Room Installed	Location	Text L1	Sign Type
103	Mount on West wall East of door 103	EXIT	A
105	Mount on end of stone wall East of door 105	EXIT	A
105	Mount 18" from West of Staff restroom frame door 106	STAFF RESTROOM	E
203	Mount on East face of faux gyp board column. Center on column.	EXIT	B
404	Mount on East wall with CL 9" from Northend of wall.	MEN	C
405	Mount on West wall with CL 9" from North end of wall.	WOMEN	D

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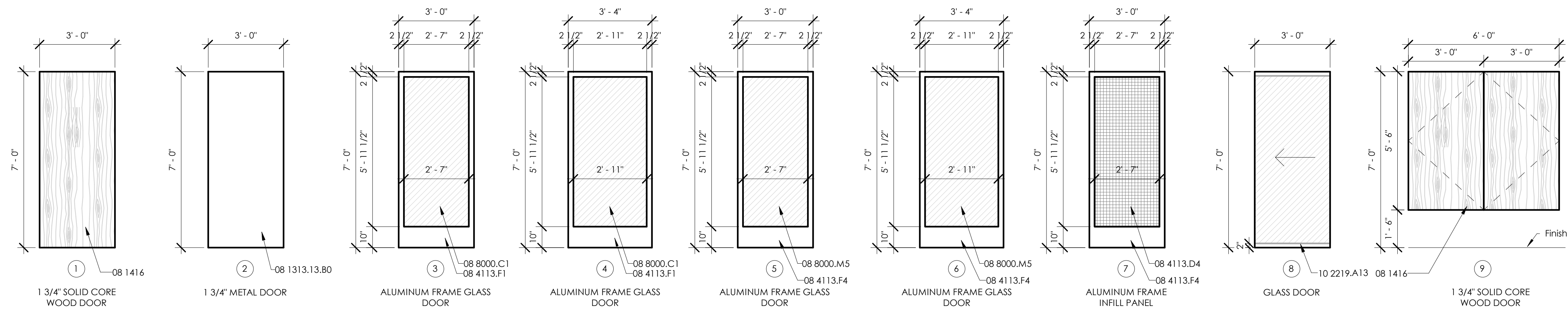
- 08 1213.13.A2 5 1/2" Equal Rabbet HM Door Frame
- 08 1213.13.A4 6 3/4" Equal Rabbet HM Door Frame
- 08 1213.13.A5 7 3/4" Equal Rabbet HM Door Frame
- 08 1313.13 Standard Hollow Metal Doors
- 08 1313.13.B0 Standard Hollow Metal Door - Thermally Insulated
- 08 1416 Flush Wood Doors
- 08 4113.A4 Aluminum Framing 2"x4-1/2"
- 08 4113.B1 Aluminum Framing 2"x4-1/2" Thermally Broken
- 08 4113.B2 Aluminum Framing 2"x6" Thermally Broken
- 08 4113.D4 Anodized Aluminum Faced Insulated Infill Panel
- 08 4113.F1 Narrow Slit Aluminum Entrance
- 08 4113.F4 Narrow Slit Aluminum Thermally Broken Entrance
- 08 8000.C1 1/4" Tempered Glass - Clear
- 08 8000.M5 1" Tempered Low-E Insulated Glazing (Triple Silver) - Tinted Light Green Cast Plaques
- 10 1416 Demountable Partitions
- 10 2219 Demountable Aluminum Framed Partition (Bottom Rail)

FINISH LEGEND

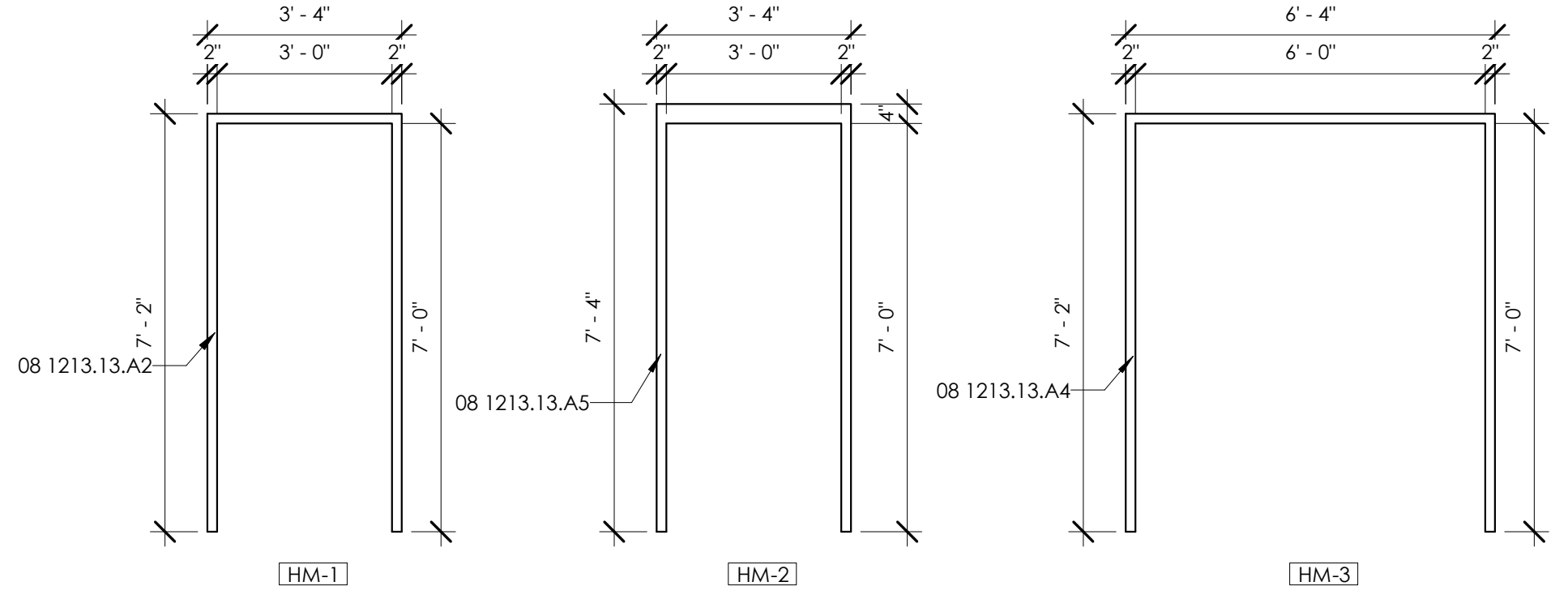
DESIGNATION	Materials	Reference Notes
CEILING:		
PXM	PAINTED METAL SCREEN	05 5000, 09 9000
PXST	PAINTED EXPOSED STRUCTURE	09 9000
SAP	SUSPENDED ACOUSTICAL PANELS	09 5446
SC	SEALED CONCRETE	03 3000,03 3500
XST	EXPOSED STRUCTURE	-
XTR	EXISTING TO REMAIN	-
WD	WOOD	06 1000
FLOORING:		
PC	POLISHED CONCRETE	03 3500
SC	SEALED CONCRETE	03 3500
TERR	EPOXY TERRAZZO FLOORING	09 6623.16
XTR	EXISTING TO REMAIN	-
WALL BASE:		
PT*	PORCELAIN TILE	09 3000
RB*	RUBBER BASE @ GYP ONLY RE: 3/A.001	09 6500
RB	RUBBER BASE	09 6500
XTR	EXISTING TO REMAIN	-
WALLS:		
CMU	CONCRETE MASONRY UNIT	04 2000.A0
DPT	DEMOUNTABLE PARTITION	10 2219
ECMU	EXISTING CMU TO REMAIN	-
EG	EXISTING GYPSUM BOARD TO REMAIN	-
EIN	EXISTING INSULATION TO REMAIN	-
EST	EXISTING STONE TO REMAIN	-
EWG	EXISTING WOOD WALL TO REMAIN	-
GLAZ	GLAZED WALL	08 4113
GB	GYPSUM BOARD	09 2116.M2
PCMU	POLISHED FACE CMU	04 2000.FF0
PEGB	PAINT EXISTING GYPSUM BOARD	09 9000.A0
PGB	PAINTED GYPSUM BOARD	09 2116.M2, 09 9000.A0
PXM	PAINTED METAL SCREEN	05 5000, 09 9000
PMRB	PAINTED MOISTURE RESISTANT BOARD	09 2116.M4, 09 9000
STN	STONE	04 4213
XTR	EXISTING TO REMAIN	-
NOTES:		
REMARKS	INSUL & INSULATED FRAMED PARTITIONS	07 21 16.A0

WINDOW SCHEDULE

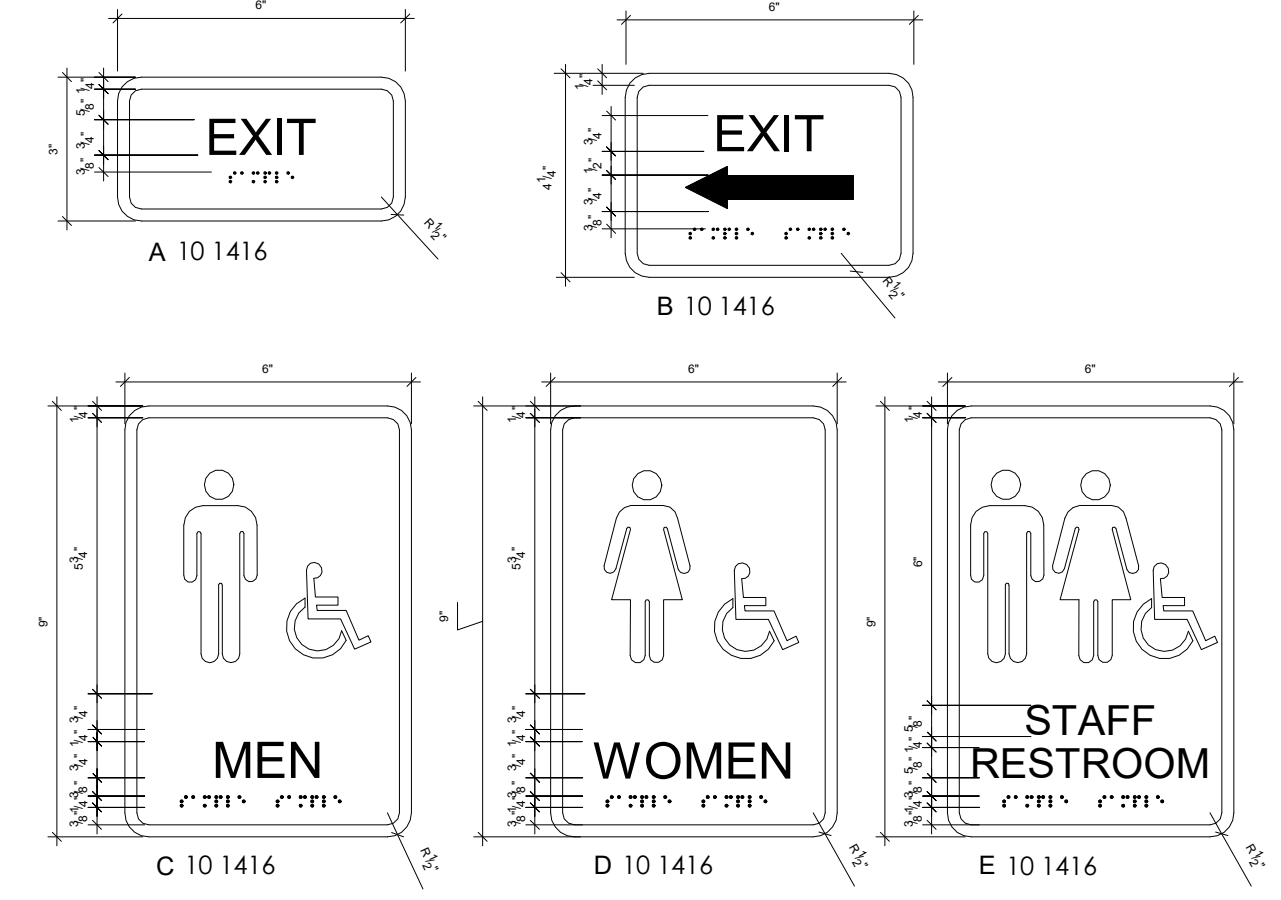
Type Mark	Keynote	Operation	Height	Sill Height	Width
W1	08 56 53	Transom Window	4'-0"	3'-0"	4'-6"



1 Door Types
A-04 SCALE: 3/8" = 1'-0" REF:



2 Hollow Metal Fram Types
A-04 SCALE: 3/8" = 1'-0" REF:



3 Signage Size
A-04 SCALE: 3" = 1'-0" REF:

TEXAS PARKS & WILDLIFE

REGISTERED ARCHITECT
STATE OF TEXAS
1960

5/06/2021

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Visitors Center & Section House Renovations

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REVISED: ADD01 5/07/2021
REVISED:

SHEET TITLE
Door/Room Finish Schedules, Door & Signs Types

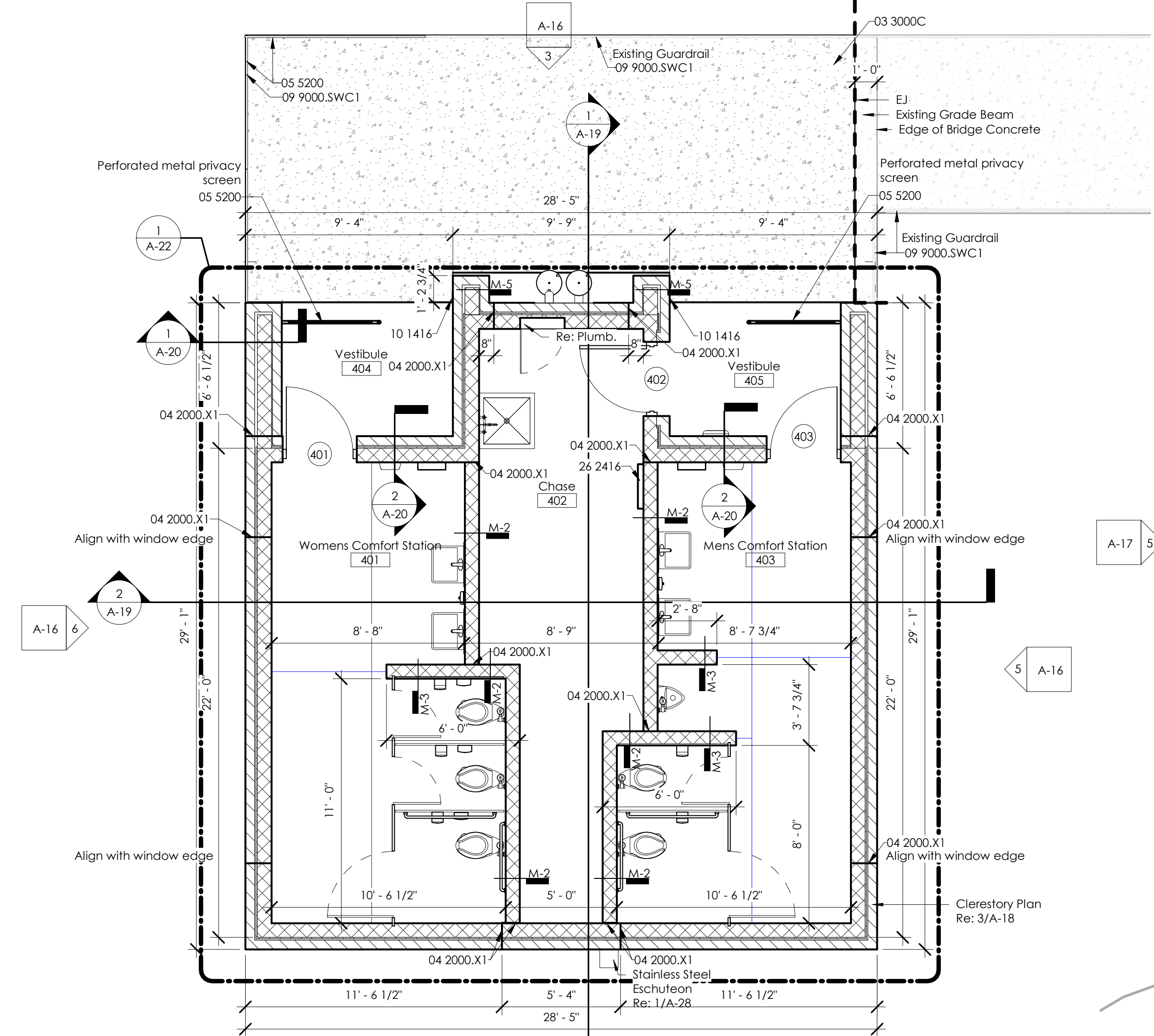
SHEET NUMBER
A-04

GENERAL NOTES

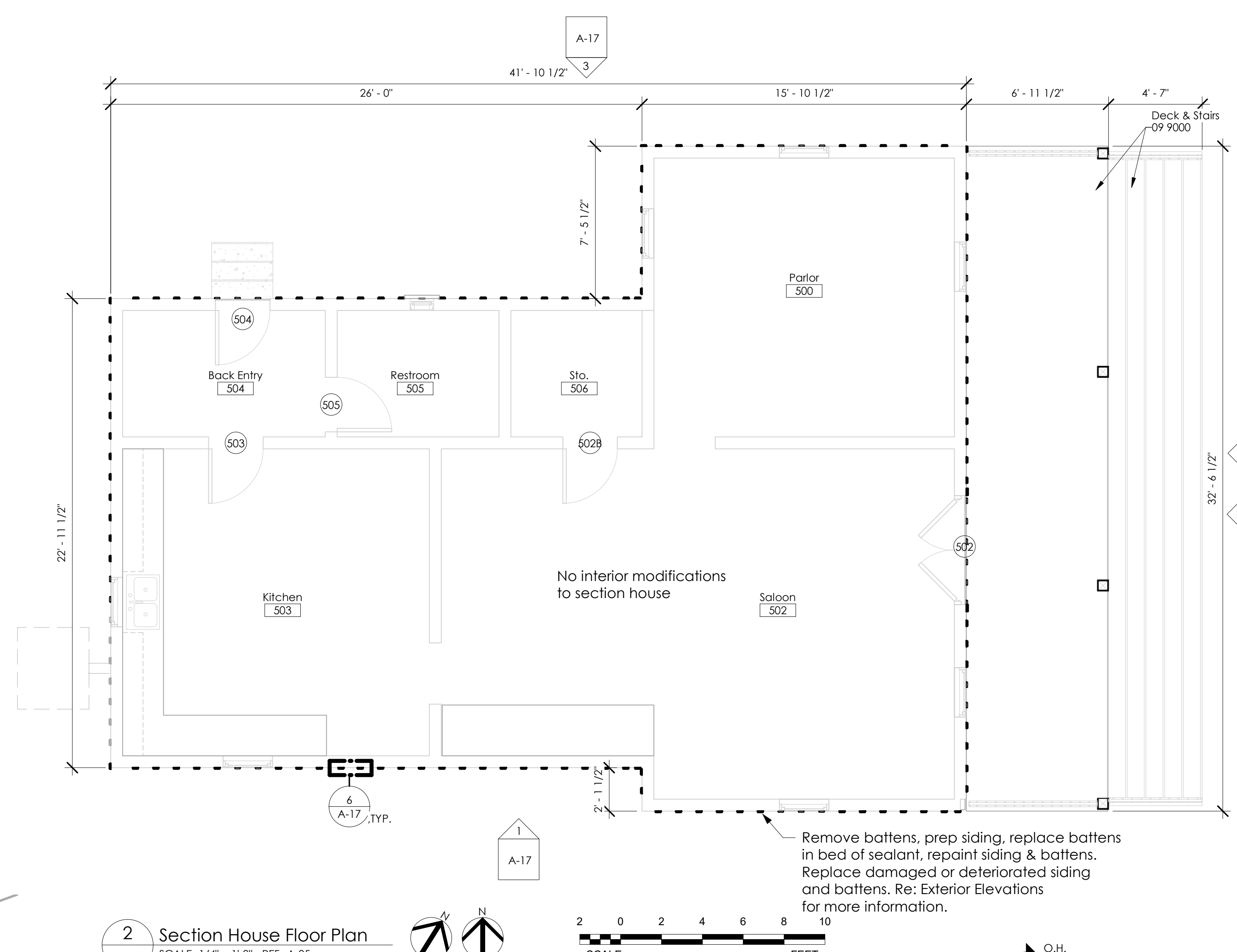
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- Surface mounted conduit and Jboxes that are currently painted the sand color is to be painted color to match surface to which it is attached or nearest surface (e.g. conduit run along underside of porch paint to match soffit/rafter color)
- For exterior electrical outlets where the exterior enclosure has been painted sand, paint the enclosure to match surface to which it is attached. Mask off outlet.
- For wall mounted light fixtures, mask off fixture.
- For under soffit light fixtures at porch, remove light fixtures prior to painting and reinstall after painting complete.

REFERENCE NOTES

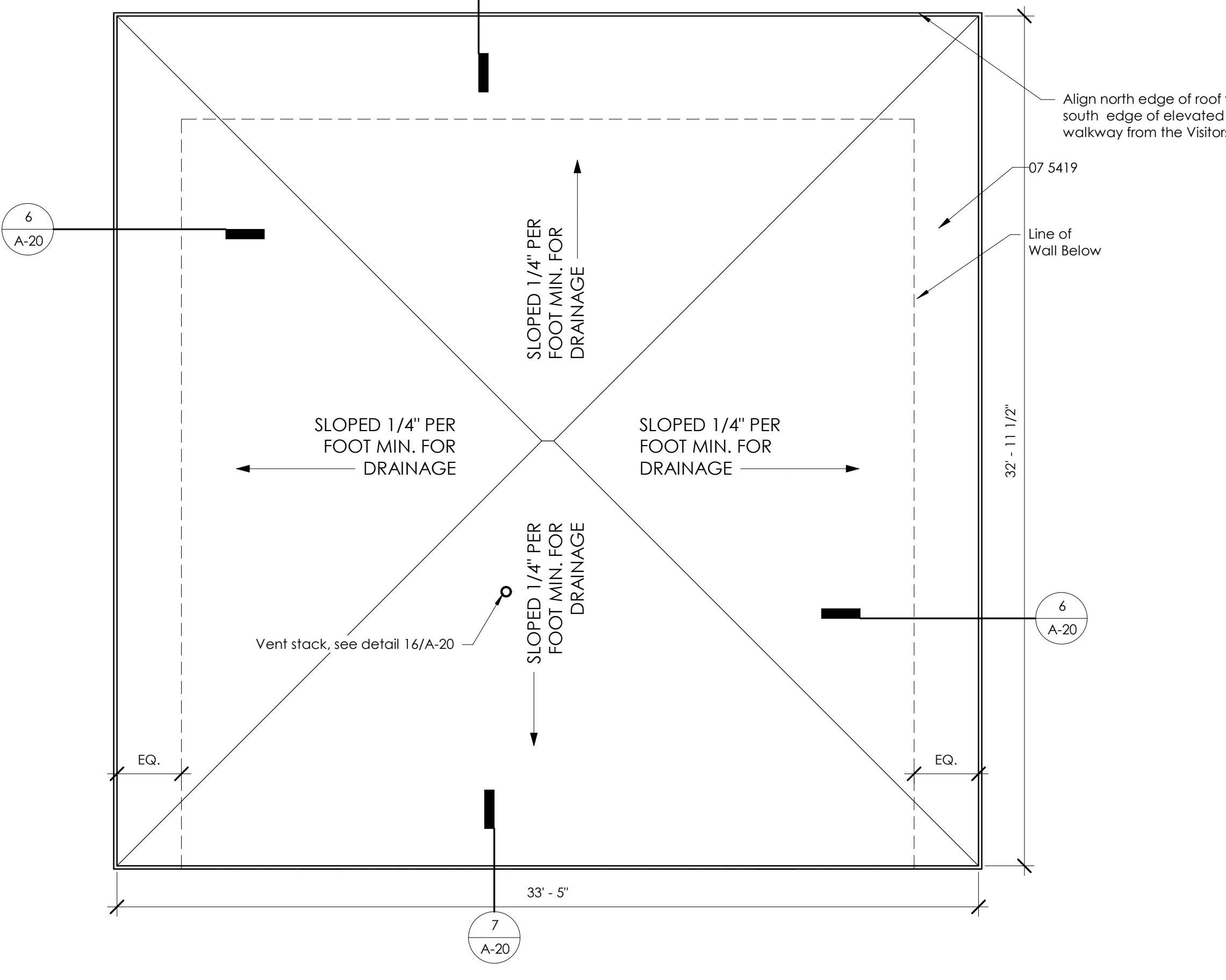
ADD01	03 3000C	Cas-In-Place Concrete, Re: Civil
	04 2000.X1	Control Joint Filler
	05 5200	Metal Railings
	07 3200	Composite Roof Tiles
	07 3200.B0	Underlayment
	07 5419	Fully Adhered Multi-Ply Roof System
	09 9000	Painting and Coating
	09 9000.SWC1	Custom Color to Match
	10 1416	Cast Plaques
	26 2416	Panelboards, Re: Elec.



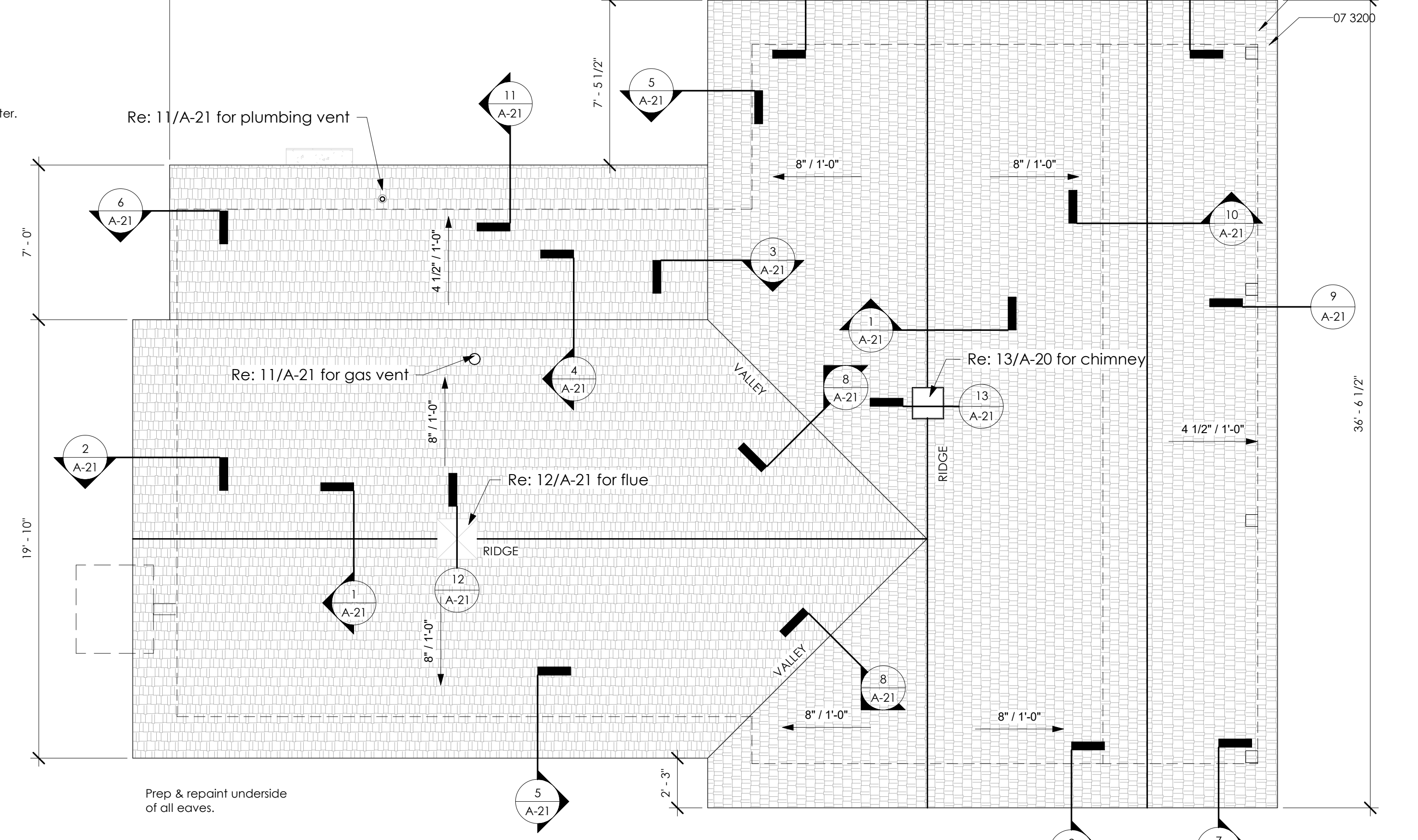
1 Comfort Station Floor Plan
A-13 SCALE: 1/4" = 1'-0" REF: A-02



2 Section House Floor Plan
A-13 SCALE: 1/4" = 1'-0" REF: A-05



3 Comfort Station Roof Plan
A-13 SCALE: 1/4" = 1'-0" REF: A-05



4 Section House Roof Plan
A-13 SCALE: 1/4" = 1'-0" REF: A-05



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Visitors Center & Section House Renovations**
1110169

DATE: 5/06/2021
DESIGNED BY: BWM
DRAWN BY: NDM
REVIEWED BY: BWM
REVISED:
ADD01 5/07/2021
REVISED:

SHEET TITLE
Exterior Elevations
Section House

SHEET NUMBER
A-17

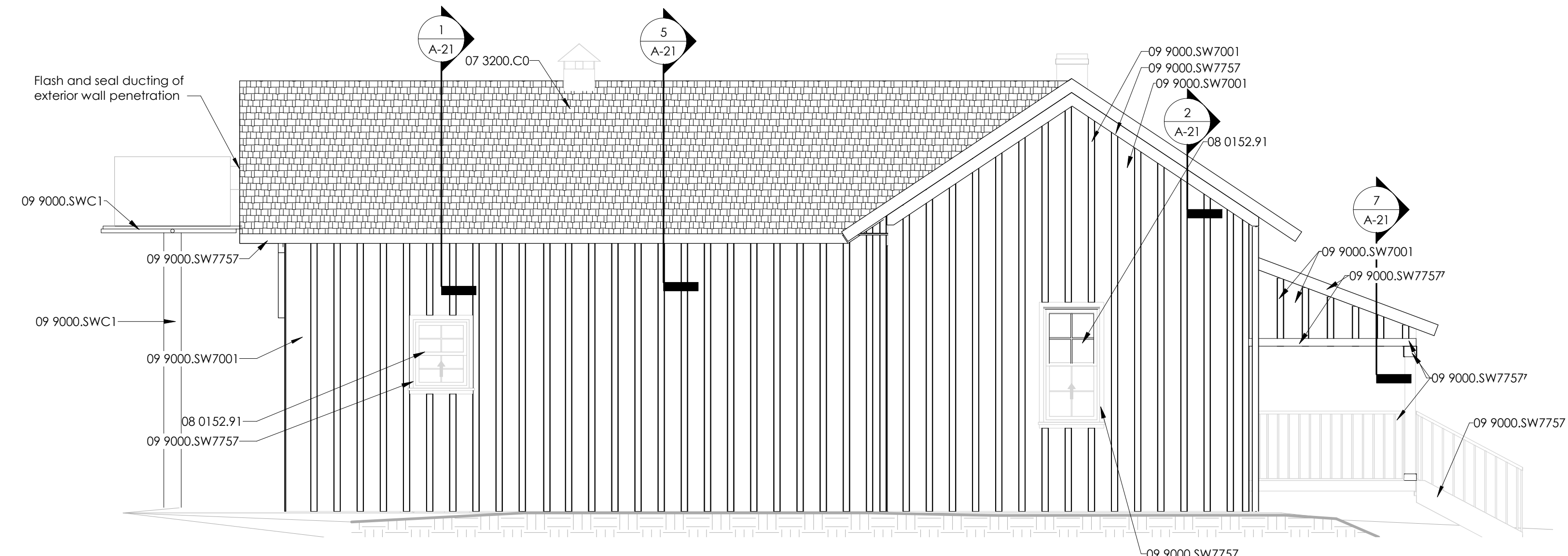
100% Construction Documents

GENERAL NOTES

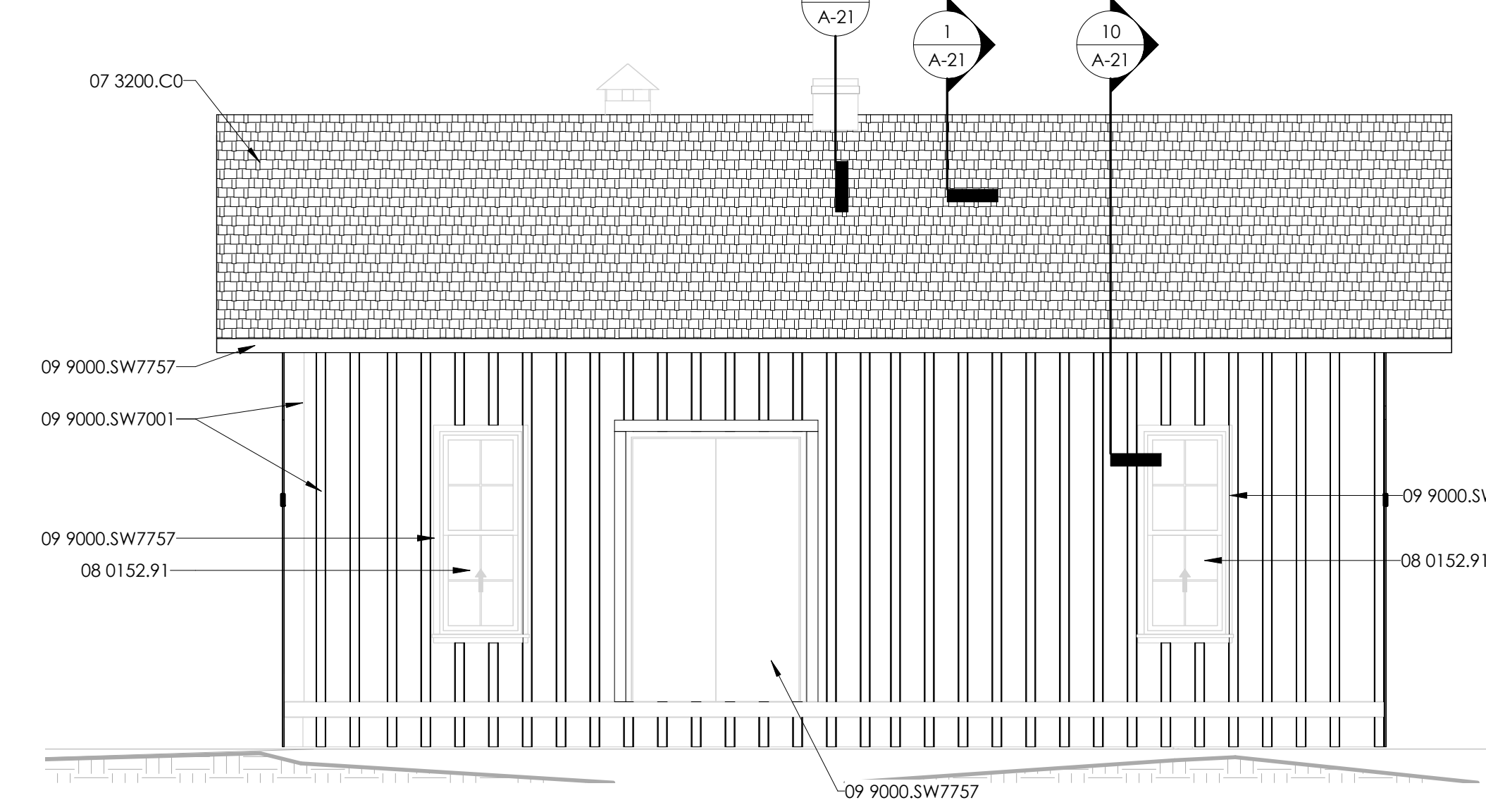
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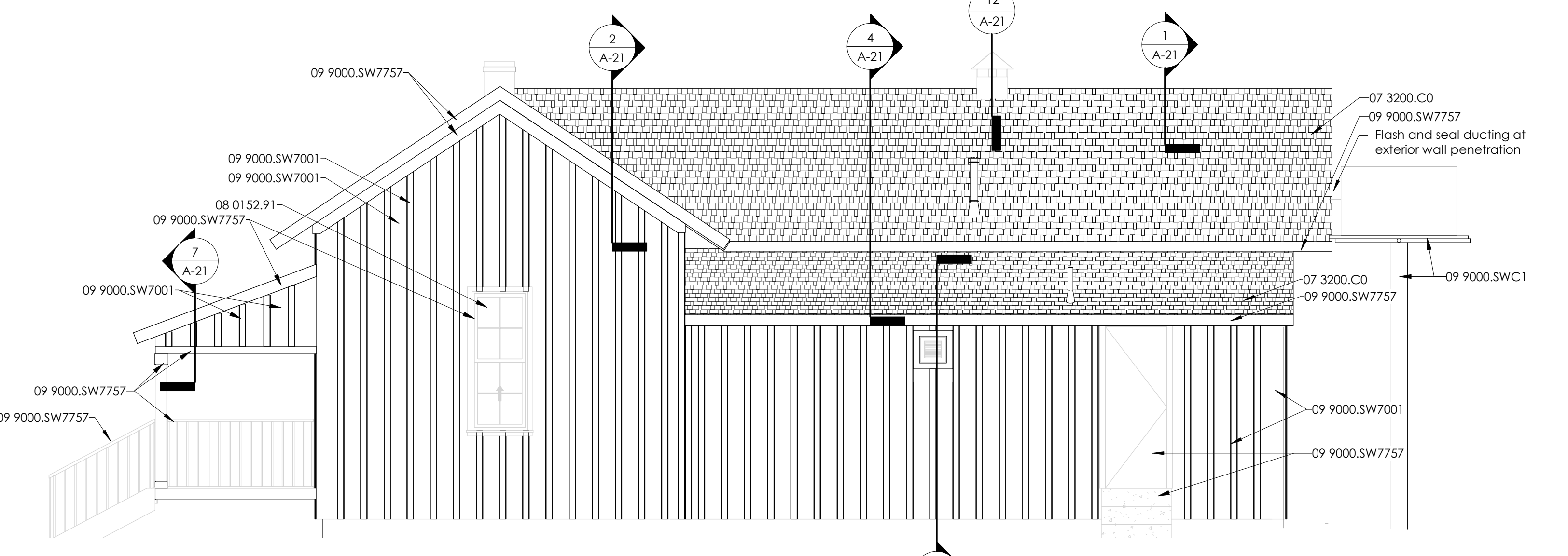
- 06 2000 Finish Carpentry
- 07 3200.C0 Synthetic Polyurethane Shake System
- 08 0152.91 Wood Window Restoration
- 09 9000 Painting and Coating
- 09 9000.SW7001 Painting/Marshmallow
- 09 9000.SW7757 Painting/High Reflective White
- 09 9000.SWC1 Custom Color to Match



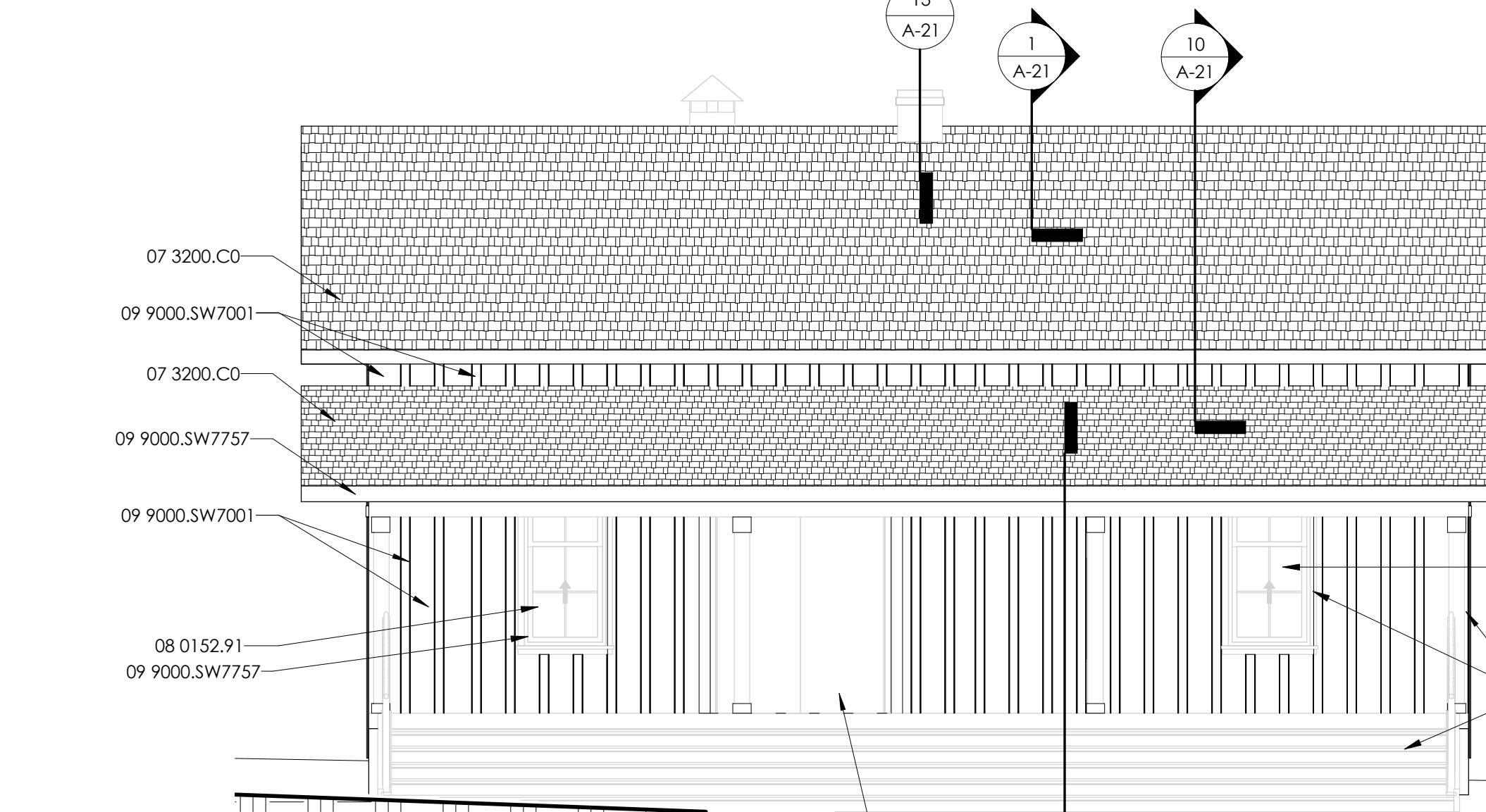
1 Section House South Exterior Elevation
SCALE: 1/4" = 1'-0" REF: A-13



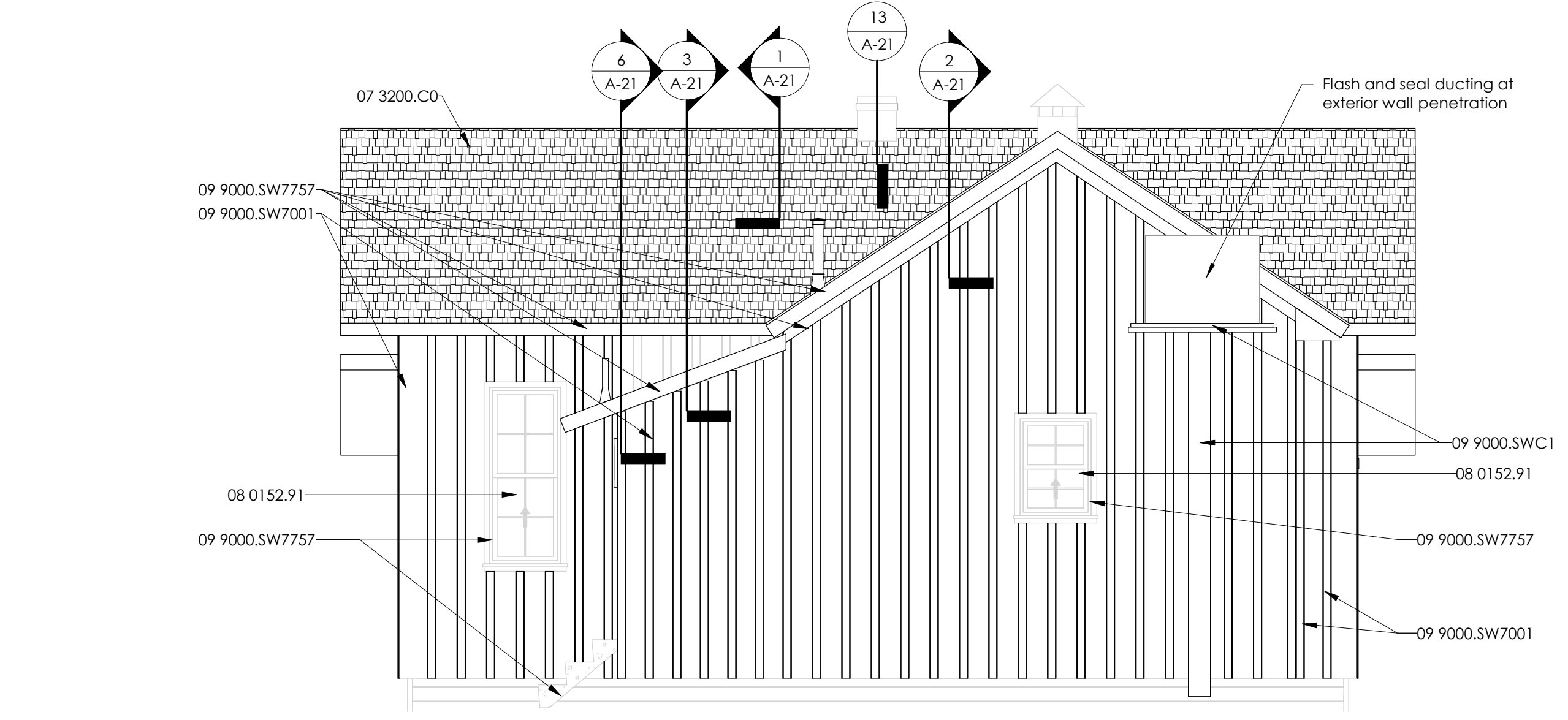
2 Section House East Exterior Elevation- Hidden Porch
SCALE: 1/4" = 1'-0" REF: A-13



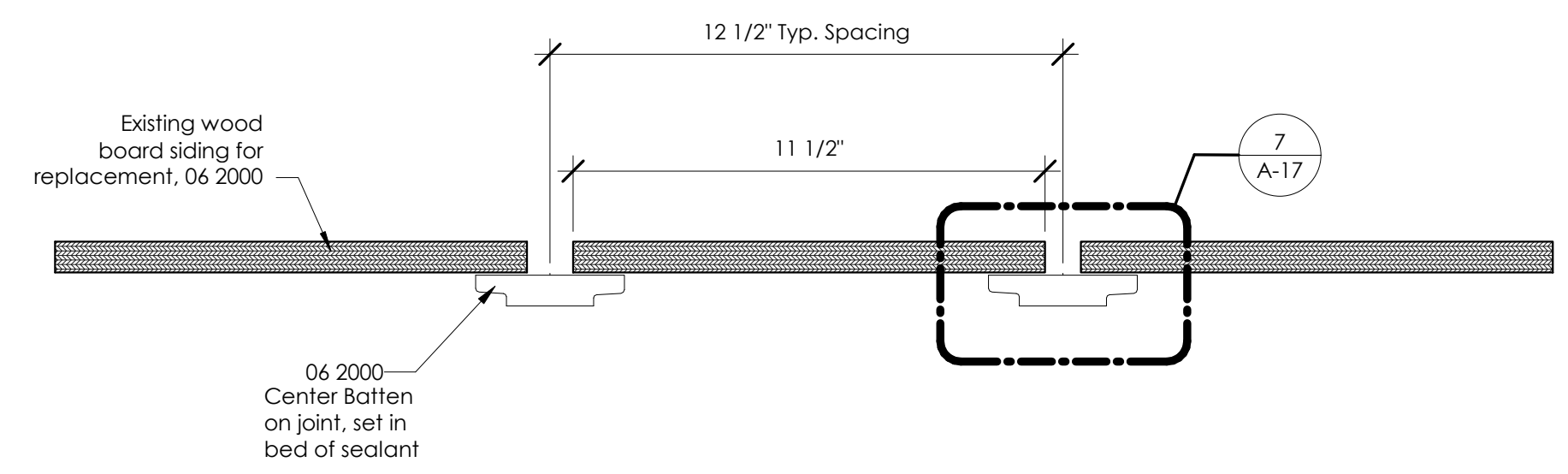
3 Section House North Exterior Elevation
SCALE: 1/4" = 1'-0" REF: A-13



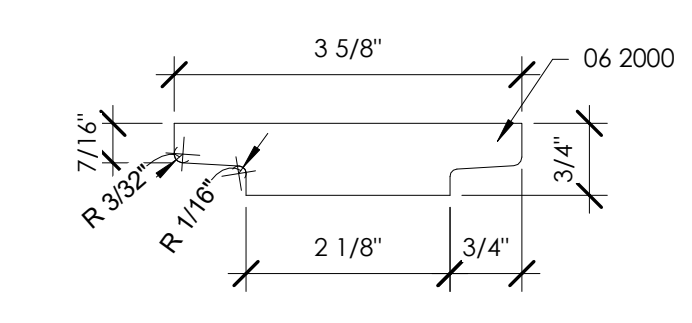
4 Section House East Exterior Elevation
SCALE: 1/4" = 1'-0" REF: A-13



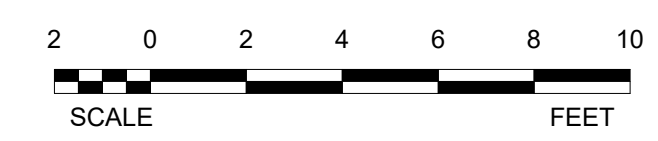
5 Section House West Exterior Elevation
SCALE: 1/4" = 1'-0" REF: A-13



6 Profile for Replacement Battens
SCALE: 3" = 1'-0" REF: A-13



7 Enlarged Batten Profile
SCALE: 6" = 1'-0" REF: A-17



Visitors Center