



U.S. FISH & WILDLIFE SERVICE

INKS DAM RESIDENCE #2 REHAB DESIGN

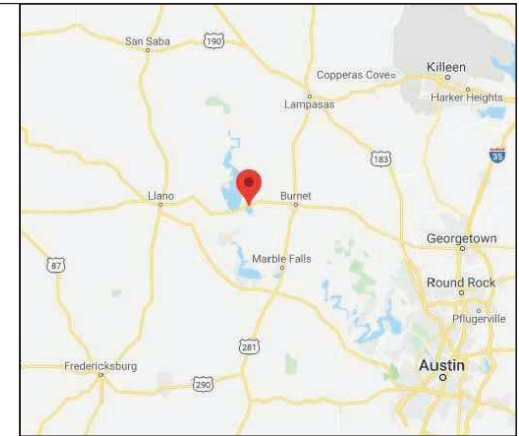
ASSET #: 10006233



INDEX OF DRAWINGS

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100% DESIGN
SUBMITTAL
JULY 31, 2020



VICINITY MAP
NO SCALE

APPROVAL SIGNATURES

REGIONAL ENGINEER	DATE
PROGRAM SUPERVISOR	DATE
ASS'T. REGIONAL DIR.	DATE
FACILITIES	DATE
SAFETY/IND. HYGIENIST	DATE
CULTURAL RESOURCES	DATE

NOTE TO BIDDERS:

ANY PRINT ACCOMPANYING THIS INVITATION TO BID MAY BE A REDUCED REPRODUCTION OF THE WORKING DRAWINGS. IF LINE BELOW DOES NOT MEASURE SIX INCHES IN LENGTH, THE INDICATED SCALES ARE TO BE ADJUSTED ACCORDINGLY.



UNITED STATES DEPARTMENT OF THE INTERIOR
FISH AND WILDLIFE SERVICE
REGION 2 DIV. OF INFRASTRUCTURE MANAGEMENT

INKS DAM RESIDENCE #2 REHAB DESIGN

BURNET TX

INKS DAM RESIDENCE #2 REHAB DESIGN

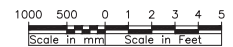
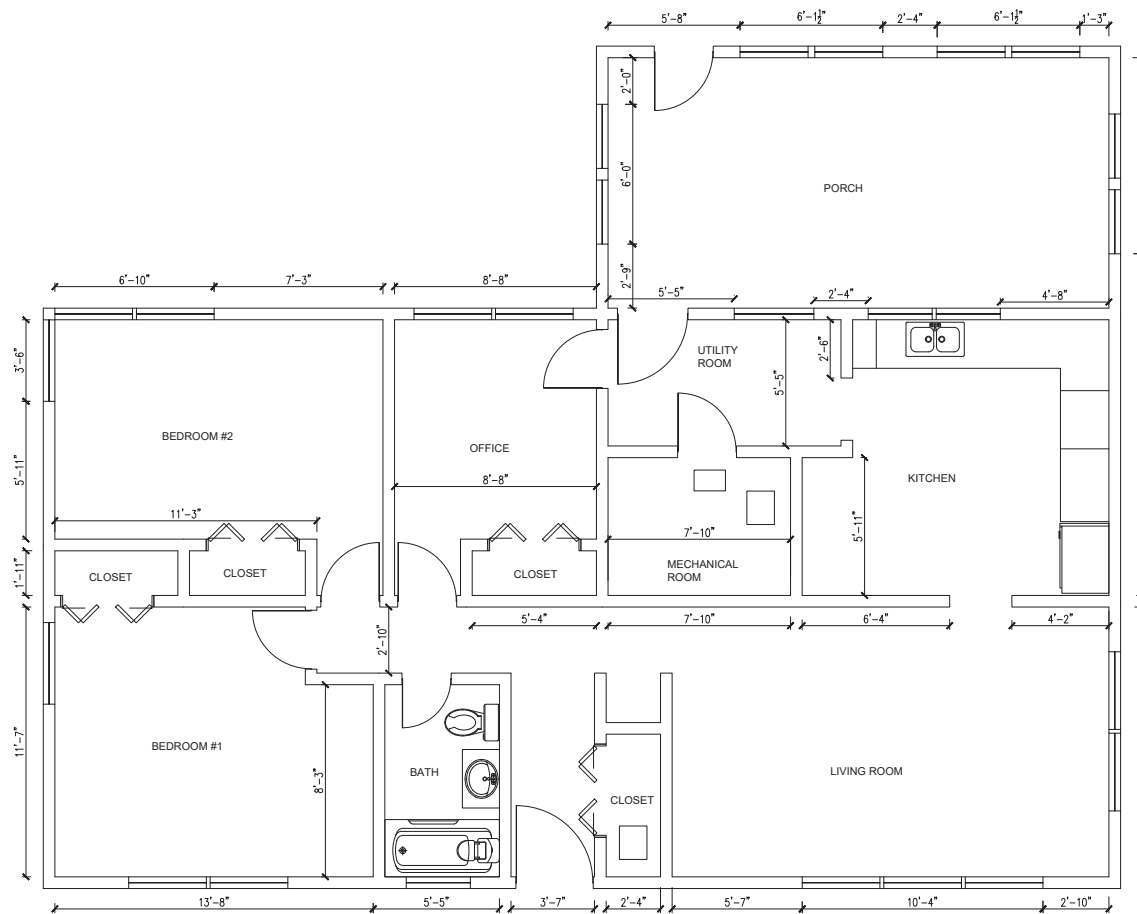
COVER/INDEX OF DRAWINGS

DESIGNED: JKB	DRAWN: ARF	CHECKED:	DEW
DATE: 7/31/20	DRAWING NO. C-1		SHEET 1 OF 12



GENERAL NOTES:

1. DIMENSIONS SHOWN OF EXISTING WALLS ARE APPROXIMATE.
2. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
3. ALL GYPSUM BOARD WALLS AND WOOD TRIM SHALL RECEIVE A PROTECTIVE COATING OF PRIMER AND PAINT AFTER OTHER WORK IS COMPLETED. REFER TO SPECIFICATION 099600 PROTECTIVE COATINGS FOR DETAILS.
4. ALL CEILING HEIGHTS ARE 8'-0".



11/31/20

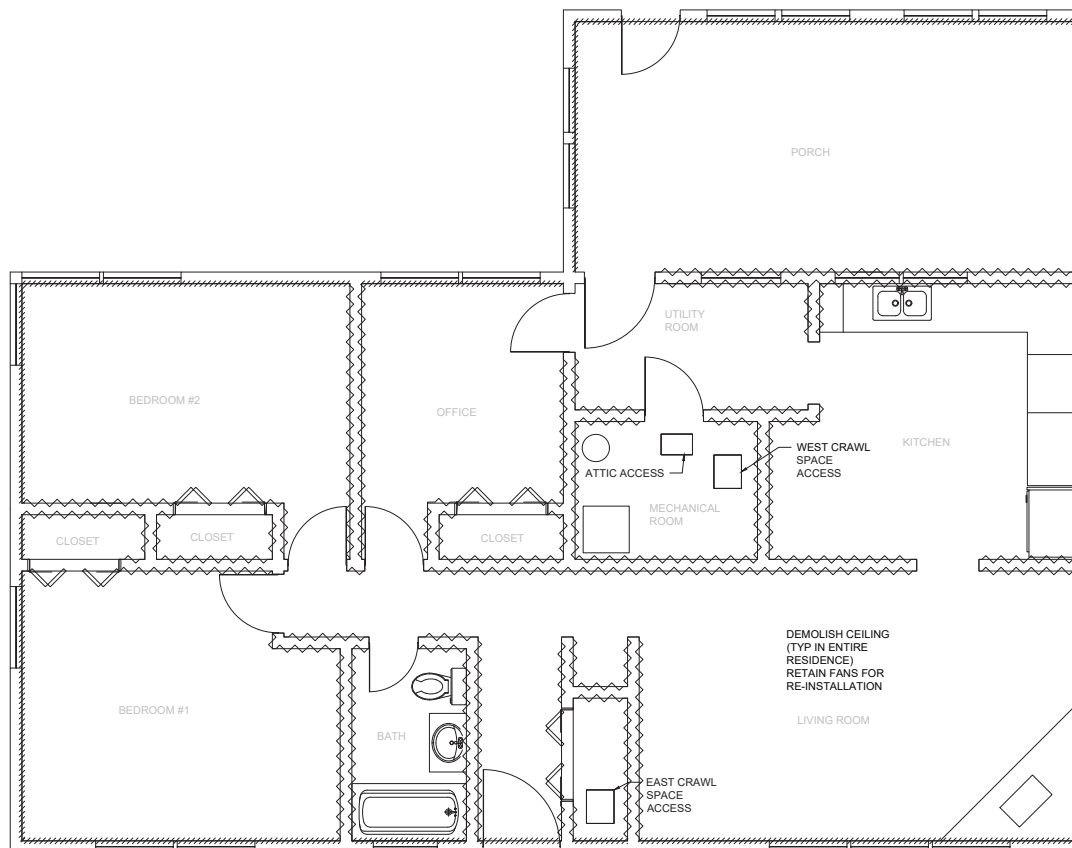
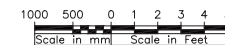
INKS DAM					SUB-SHEET	
FLOOR PLAN					A-1	
INKS DAM RESIDENCE #2 REHAB DESIGN						
DESIGNED JKR	DRAWN ARF	CHECKED FWM	DATE 7/31/20	DRAWING NO.	SHEET 2 OF 12	

GENERAL NOTES:

1. PRIOR TO ANY ELECTRICAL AND PLUMBING DEMOLITION OR CONSTRUCTION, ALL INDICATED GYPSUM BOARD MUST BE DEMOLISHED AND REMOVED FROM RESIDENCE.
2. GYPSUM BOARD AND INSULATION SHALL BE DEMOLISHED FROM ALL CEILINGS, EXTERIOR WALLS AND PAINTED INTERIOR WALLS. ALL GYPSUM BOARD AND INSULATION DEBRIS AND DUST MUST BE REMOVED OFF OF HATCHERY PROPERTY AND PROPERLY DISPOSED OF PRIOR TO ELECTRICAL AND PLUMBING CONTRACTORS BEGINNING WORK.
3. A QUALIFIED ASBESTOS ABATEMENT CONTRACTOR SHALL BE USED DURING DEMOLITION PHASE FOR PROPER SETUP AND CONTAINMENT.
4. INSTALL NEW R11 INSULATION ON ALL EXTERIOR WALLS AND APPLY GYPSUM BOARD. INSTALL NEW GYPSUM BOARD ON INTERIOR WALLS WHERE REMOVED. INSTALL NEW GYPSUM BOARD ON CEILINGS. MUD, TAPE, SAND AND PAINT TO MATCH EXISTING CONDITIONS. PAINT ALL PAINTED WOOD TRIM. ALL COLORS SHALL BE COORDINATED WITH THE OWNER PRIOR TO PAINTING.
5. REPAIR OR REPLACE WOOD TRIM THAT IS DAMAGED OR UNUSABLE.
6. BLOW IN NEW R38 INSULATION IN ATTIC TO A MINIMUM DEPTH OF THE MANUFACTURES RECOMMENDATIONS..
7. CONTRACTOR SHALL PROTECT EXISTING FLOORING DURING CONSTRUCTION AND SHALL REPAIR NECESSARY DAMAGES TO RETURN FLOOR TO CONDITIONS BEFORE CONSTRUCTION.
8. ALL ELECTRICAL AND PLUMBING DEMOLISHED DEBRIS MUST BE REMOVED OFF OF HATCHERY PROPERTY AND PROPERLY DISPOSED OF.

KNOWN LEAD PAINT AND ASBESTOS LOCATIONS:

1. A LEAD-BASED PAINT INSPECTION WAS COMPLETED IN 2000 AND IDENTIFIED THE FOLLOWING FINDINGS:
 - a. INTERIOR PAINT WAS FOUND IN "GOOD" CONDITION AND THE AMOUNT OF LEAD IS INDICATIVE OF 1950S OR EARLY 1960S PAINT.
 - b. EXTERIOR WOOD PAINT ON THE SOFFIT AND ROOF TRIM OF THE CARPORT WAS IN "POOR" CONDITION AND CONTAINS MORE THAN 10SQFT OF LBP.
 - c. EXTERIOR WOOD PAINT ON THE GABLE, SOFFIT AND ROOF TRIM OF THE SOUTH SIDE OF THE RESIDENCE WAS IN "POOR" CONDITION AND CONTAINS MORE THAN 10SQFT OF LBP.
2. AN ASBESTOS SURVEY WAS COMPLETED IN 1999 AND IDENTIFIED ASBESTOS IN THE FOLLOWING AREAS:
 - a. WALL SKIM COAT THROUGHOUT RESIDENCE.
 - b. MECHANICAL ROOM FLOOR TILE.
 - c. GARAGE SHINGLES.
3. ALL GYPSUM BOARD ON EXTERIOR WALLS SHALL BE REMOVED. ALL PAINTED GYPSUM BOARD ON INTERIOR WALLS SHALL BE REMOVED.
4. MECHANICAL ROOM FLOOR TILE WITH ASBESTOS SHALL REMAIN IN PLACE AND UNDISTURBED.
5. GARAGE SHINGLES WITH ASBESTOS SHALL REMAIN IN PLACE AND UNDISTURBED.



DEMOLITION LEGEND

////// DEMO ALL MATERIAL ON EXTERIOR WALLS FROM FLOOR TO CEILING IN PREPARATION FOR NEW INSULATION.

--- DEMO ALL PAINTED GYPSUM BOARD ON INTERIOR WALLS SHALL BE REMOVED.



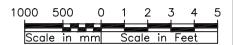
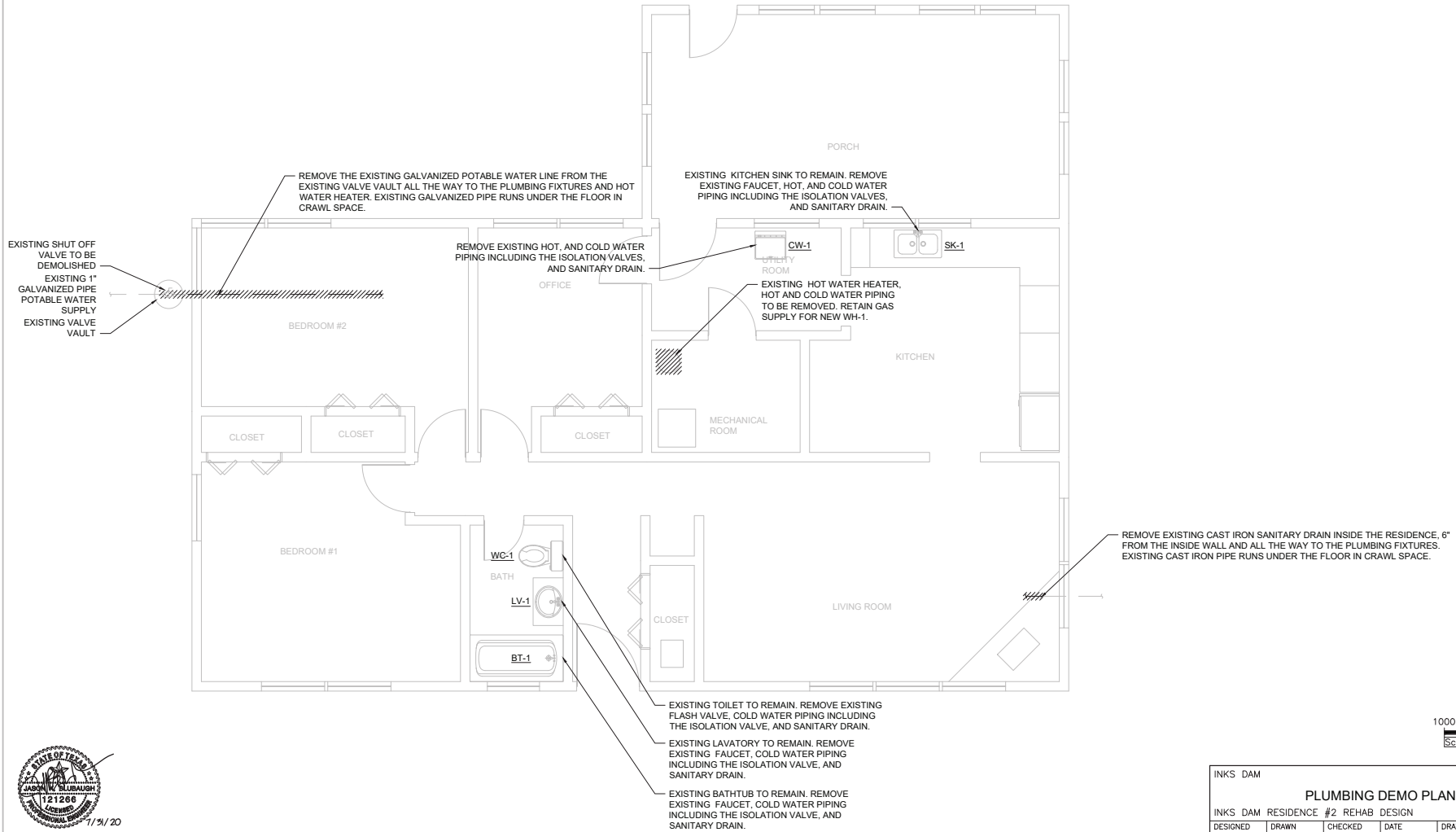
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INKS DAM RESIDENCE #2 REHAB DESIGN						A-2
DESIGNED JKB	DRAWN ARF	CHECKED EWM	DATE 7/31/20	DRAWING NO. A-2	SHEET 3 OF 12	

1/31/20

INKS DAM					SUB-SHEET
PLUMBING NOTES, SYMBOLS AND DETAILS					P-1
INKS DAM RESIDENCE #2 REHAB DESIGN					
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SS	DJK	AK	1/31/20	8	4 OF 12

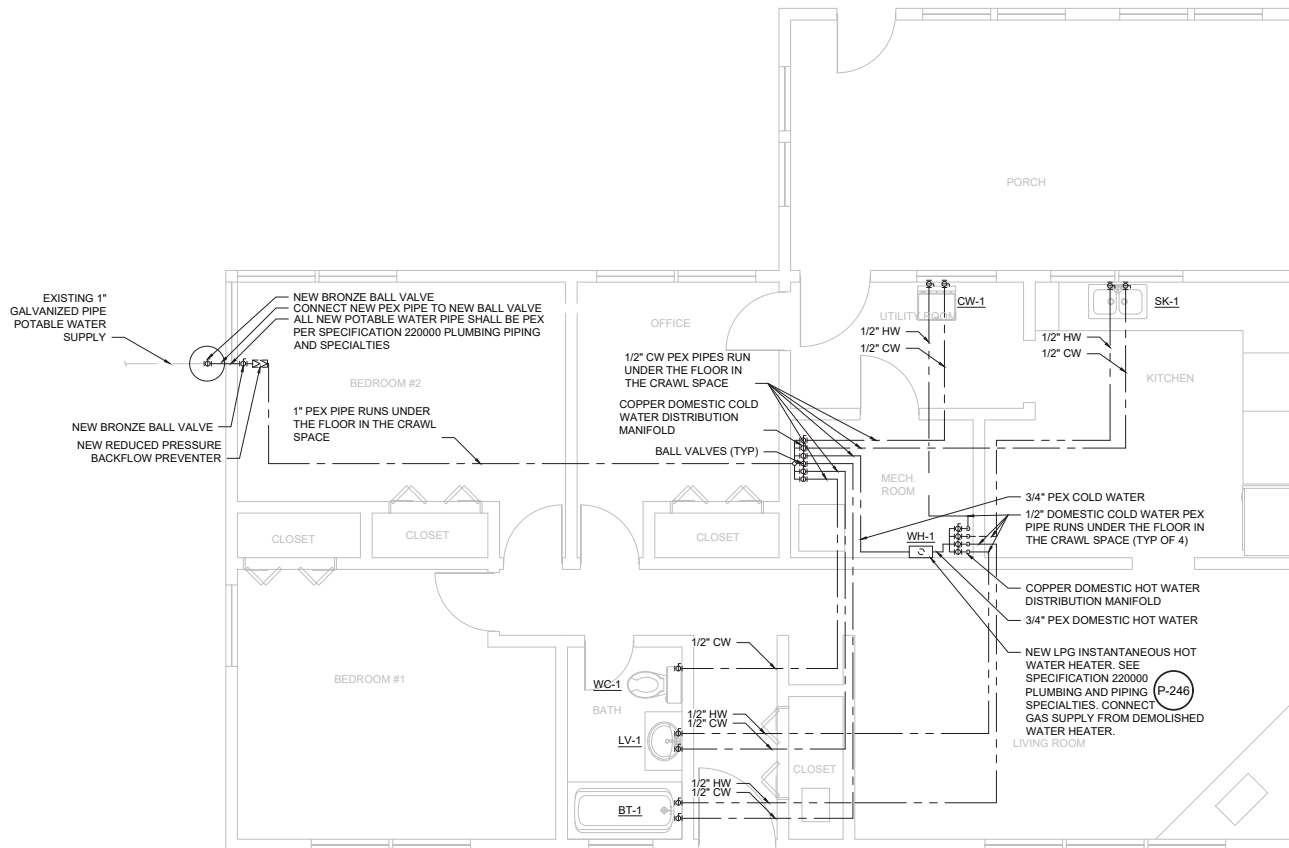
GENERAL SHEET NOTES:

1. ALL WORK SHALL COMPLY WITH THE 2015 INTERNATIONAL PLUMBING CODE.
2. COORDINATE WITH OWNER TO SHUT OFF MAIN WATER SUPPLY FOR WORK ON MAIN WATER VALVE.



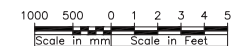
11/31/20

INKS DAM					SUB-SHEET	
PLUMBING DEMO PLAN					P-2	
INKS DAM RESIDENCE #2 REHAB DESIGN						
DESIGNED SS	DRAWN DJK	CHECKED AK	DATE 7/31/20	DRAWING NO. P-2	SHEET 5 OF 12	



GENERAL SHEET NOTES:

- ALL WORK SHALL COMPLY WITH THE 2015 INTERNATIONAL PLUMBING CODE.
- COORDINATE WITH OWNER TO SHUT OFF MAIN WATER SUPPLY FOR WORK ON MAIN WATER VALVE.
- RETAIN VALVE IN EXTERIOR VALVE VAULT. REPLACE SUPPLY PIPING FROM VALVE TO NEW COLD WATER MANIFOLD WITH PEX PIPING TO MATCH EXISTING SIZE. USE DIELECTRIC FITTING AT THE CONNECTION TO THE EXISTING PIPE.
- WATER SUPPLY LINE ENTERS CRAWLSPACE AT OR BELOW EXISTING GROUND LEVEL. RAISE NEW PEX PIPE SUPPLY LINE TO ABOVE EXISTING GROUND LEVEL AND FEED COLD WATER MANIFOLD IN MECHANICAL ROOM.
- DEMOLISH EXISTING HOT WATER TANK IN PREPARATION FOR INSTALLATION OF NEW LPG ON-DEMAND UNIT.
- INSTALL NEW 199KBTU/H ON-DEMAND WATER HEATER AND CONNECT TO COLD WATER MANIFOLD FOR SUPPLY AND HOT WATER MANIFOLD FOR DEMAND.
- PROVIDE PIPE INSULATION ON ALL HOT AND COLD PIPES PER SPECIFICATION 220000 PLUMBING PIPING AND SPECIALTIES.
- REPLACE TOILET FLUSH VALVE. SEE SPECIFICATION 220000 PLUMBING PIPING AND SPECIALTIES.
- ALL NEW POTABLE WATER PIPE SHALL BE PEX PER SPECIFICATION 220000 PLUMBING PIPING AND SPECIALTIES.
- REROUTE EXISTING LPG LINE TO NEW HOT WATER HEATER AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.
- LAVATORY, BATHTUB, AND KITCHEN SINK SANITARY DRAIN SHALL BE PROVIDED WITH P-TRAP. P-TRAP SHALL BE INSTALLED PER INTERNATIONAL PLUMBING CODE REQUIREMENTS.
- INSTALL NEW WATER HEATER FLUE PER MANUFACTURERS RECOMMENDATIONS.
- CLOTHES WASHER SUPPLY PART OF WATER DRAIN ROUGH IN BOX. INSTALL ROUGH IN BOX AT 42" AFF.
- IF EXTERIOR HOSE BIBS EXIST ON THE RESIDENCE SUBMIT A SEPARATE COST PROPOSAL FROM THE BASE BID FOR THEIR REMOVAL AND REPLACEMENT.
- INSPECT AND MAKE APPROPRIATE REPAIRS TO ALL ROOF AND EVE VENTS TO PREVENT WATER AND RODENT ACCESS TO THE ATTIC SPACES.
- CONTRACTOR SHALL PROTECT EXISTING FLOORING DURING CONSTRUCTION AND SHALL REPAIR NECESSARY DAMAGES TO RETURN FLOOR TO CONDITIONS BEFORE CONSTRUCTION.

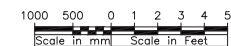
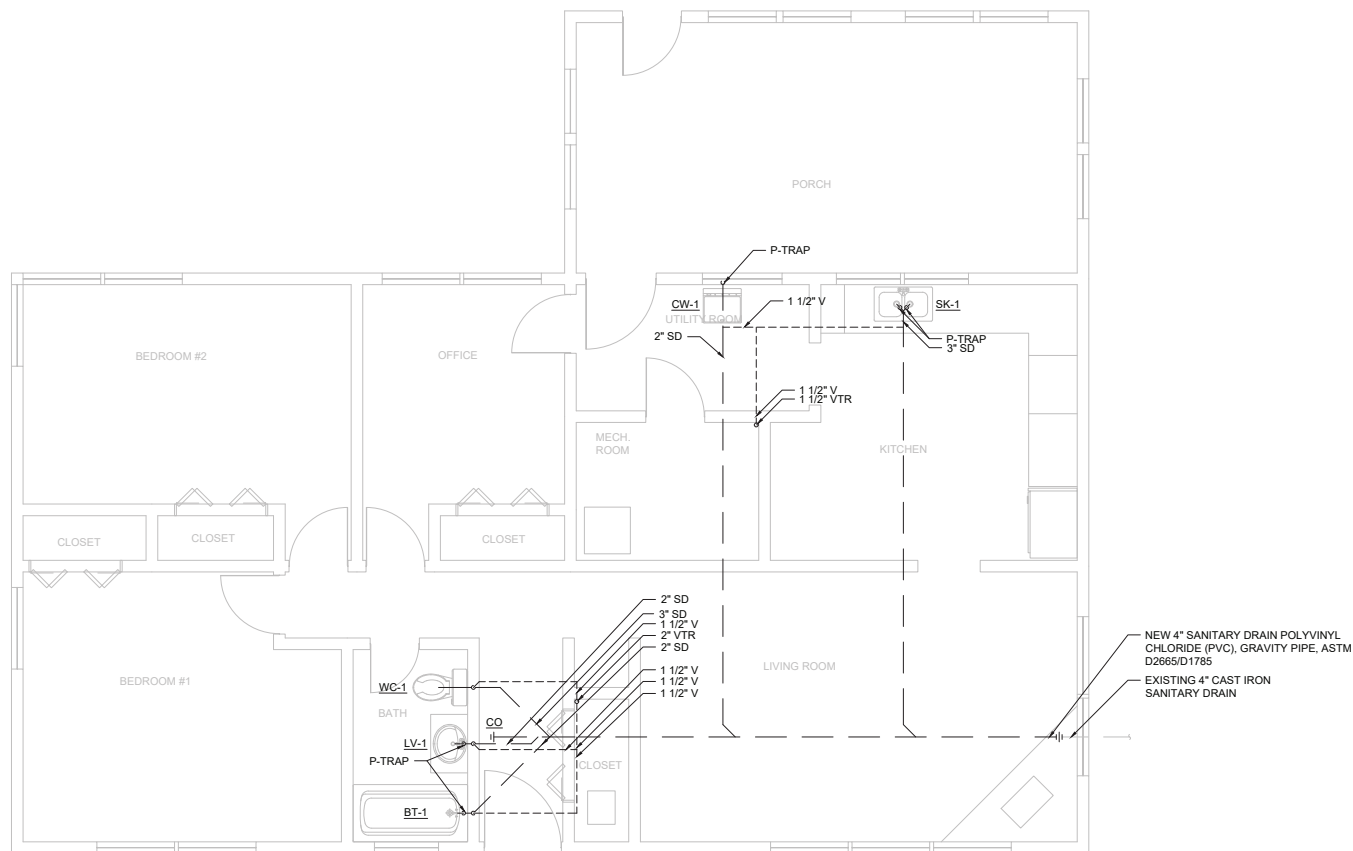


11/31/20

INKS DAM					SUB-SHEET	
PLUMBING POTABLE WATER					P-3	
INKS DAM RESIDENCE #2 REHAB DESIGN						
DESIGNED SS	DRAWN DJK	CHECKED AK	DATE 7/31/20	DRAWING NO. P-3	SHEET 6 OF 12	

GENERAL SHEET NOTES:













1. ALL WORK SHALL COMPLY WITH THE 2015 INTERNATIONAL PLUMBING CODE.
2. INTERCEPT SANITARY DRAINS BELOW FLOOR AND REPLACE BRANCH AND MAIN LINES WITH PVC PIPE. TRANSITION NEW MAIN TO EXISTING MAIN SEWER LINE AT 6" INSIDE RESIDENCE SOUTH WALL.
3. ALL NEW SANITARY DRAINS AND VENTS SHALL BE POLYVINYL CHLORIDE (PVC), GRAVITY PIPE ASTM D2665/D1785.
4. SLOPE DRAINAGE PIPING 1/4" PER LINEAR FOOT OF DRAIN PIPE.
5. CLOTHES WASHER DRAIN PART OF WATER SUPPLY ROUGH IN BOX. INSTALL DRAIN P-TRAP AT 12" AFF AND ROUGH IN BOX AT 42" AFF.

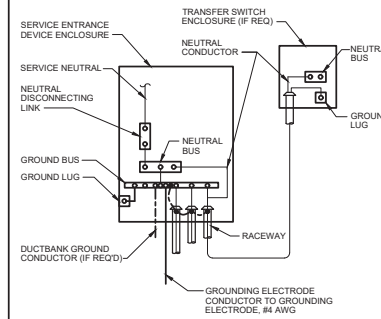


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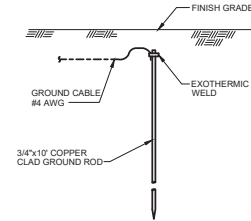
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PLUMBING SANITARY DRAIN					P-4	
INKS DAM RESIDENCE #2 REHAB DESIGN						
DESIGNED SS	DRAWN DJK	CHECKED AK	DATE 7/31/20	DRAWING NO. P-4	SHEET 7 OF 12	

ELECTRICAL LEGEND

-  DUPLEX 5-20R RECEPTACLE #
CIRCUIT NUMBER
-  OVER COUNTER DUPLEX 5-20R RECEPTACLE
W/ INTEGRAL GROUND FAULT
-  OVER COUNTER DUPLEX 5-20R RECEPTACLE
-  WEATHERPROOF DUPLEX 5-20R
RECEPTACLE W/ INTEGRAL GROUND FAULT
-  220V RECEPTACLE
-  CABLE RECEPTACLE
-  1-GANG LINE VOLTAGE SWITCH W/OCCUPANCY SENSOR
-  1-GANG LINE VOLTAGE
SWITCH x SWITCH LEG
-  3-WAY LINE VOLTAGE SWITCH
-  LIGHT FIXTURE
X XX a
CIRCUIT NUMBER
x SWITCH LEG
-  SMOKE ALARM
CIRCUIT NUMBER
-  CARBON MONOXIDE DETECTOR
CIRCUIT NUMBER

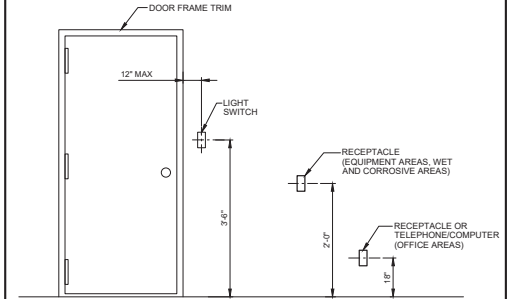


E-300 SERVICE GROUNDING
NON-SEPARATELY DERIVED SOURCE
REV 010119



NOTE:
1. ELECTRICAL SAMPLE DETAIL.

**ES351 BURIED GROUND ROD
INSTALLATION**
REV 010119



E-450 OUTLET BOX MOUNTING
REV 010119

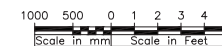
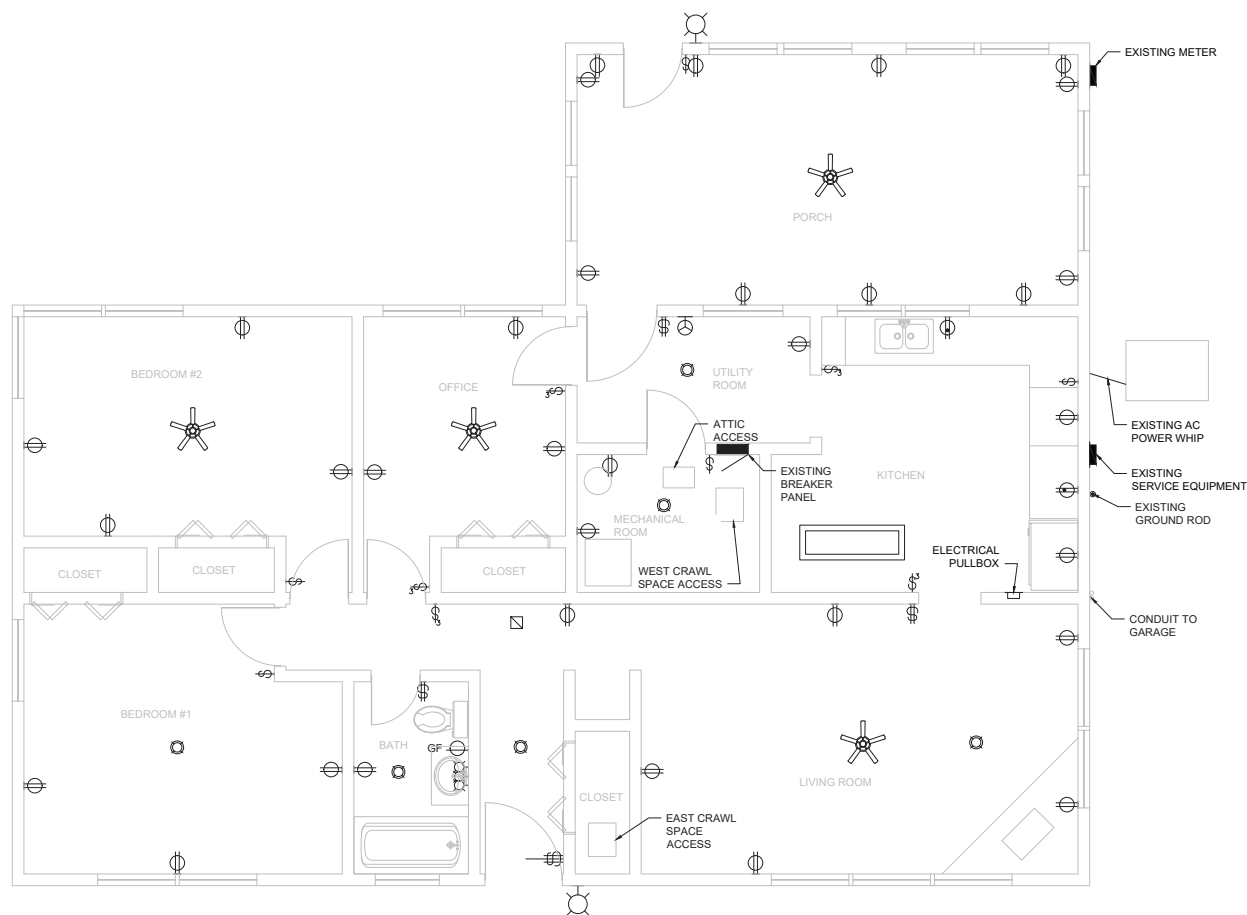


11/31/20

INKS DAM					SUB-SHEET
ELECTRICAL SYMBOLS & DETAILS					E-1
INKS DAM RESIDENCE #2 REHAB DESIGN					
DESIGNED JKB	DRAWN ARF	CHECKED KES	DATE 7/31/20	DRAWING NO. E-1	SHEET 8 OF 12

GENERAL NOTES:

1. COORDINATE WITH LOCAL POWER COMPANY TO DISCONNECT POWER TO EXISTING SERVICE PRIOR TO WORK.
2. DEMOLISH ALL RECEPTACLES, SWITCHES, LIGHT FIXTURES AND FANS ON INTERIOR AND EXTERIOR OF RESIDENCE. RETAIN FANS FOR REINSTALLATION IN ORIGINAL LOCATIONS.
3. DEMOLISH EXISTING SERVICE PANELS CONDUIT AND JUNCTION BOXES DOWNSTREAM OF EXISTING METER. NEW MAIN PANEL WILL BE INSTALLED INSIDE RESIDENCE. SEAL ALL HOLES WITH PAINTABLE WATERPROOF SEALANT AND PAINT TO MATCH RESIDENCE EXTERIOR.
4. DEMOLISH ALL EXISTING RECEPTACLES, SWITCHES, INTERIOR OR EXTERIOR PULL BOXES NOT LOCATED IN ATTIC OR CRAWL SPACES AND WIRING. REMOVE FANS AND RETAIN TO BE RE-INSTALLED DURING CONSTRUCTION.
5. DEMOLISH AC POWER WHIP IN PREPARATION FOR NEW AC DISCONNECT AND WHIP.
6. DEMO CONDUIT AND WIRE TO GARAGE. NEW CONDUIT AND WIRE WILL BE INSTALLED IN SAME APPROXIMATE LOCATION.
7. CONTRACTOR SHALL PROTECT EXISTING FLOORING DURING CONSTRUCTION AND SHALL REPAIR NECESSARY DAMAGES TO RETURN FLOOR TO CONDITIONS BEFORE CONSTRUCTION.
8. DEMO ALL EXTERIOR PHONE AND COAXIAL CABLES, AS WELL AS THE DEVICES ON WHICH THEY TERMINATE INSIDE THE RESIDENCE. SEAL ALL HOLES WITH PAINTABLE WATERPROOF SEALANT AND PAINT TO MATCH RESIDENCE EXTERIOR.

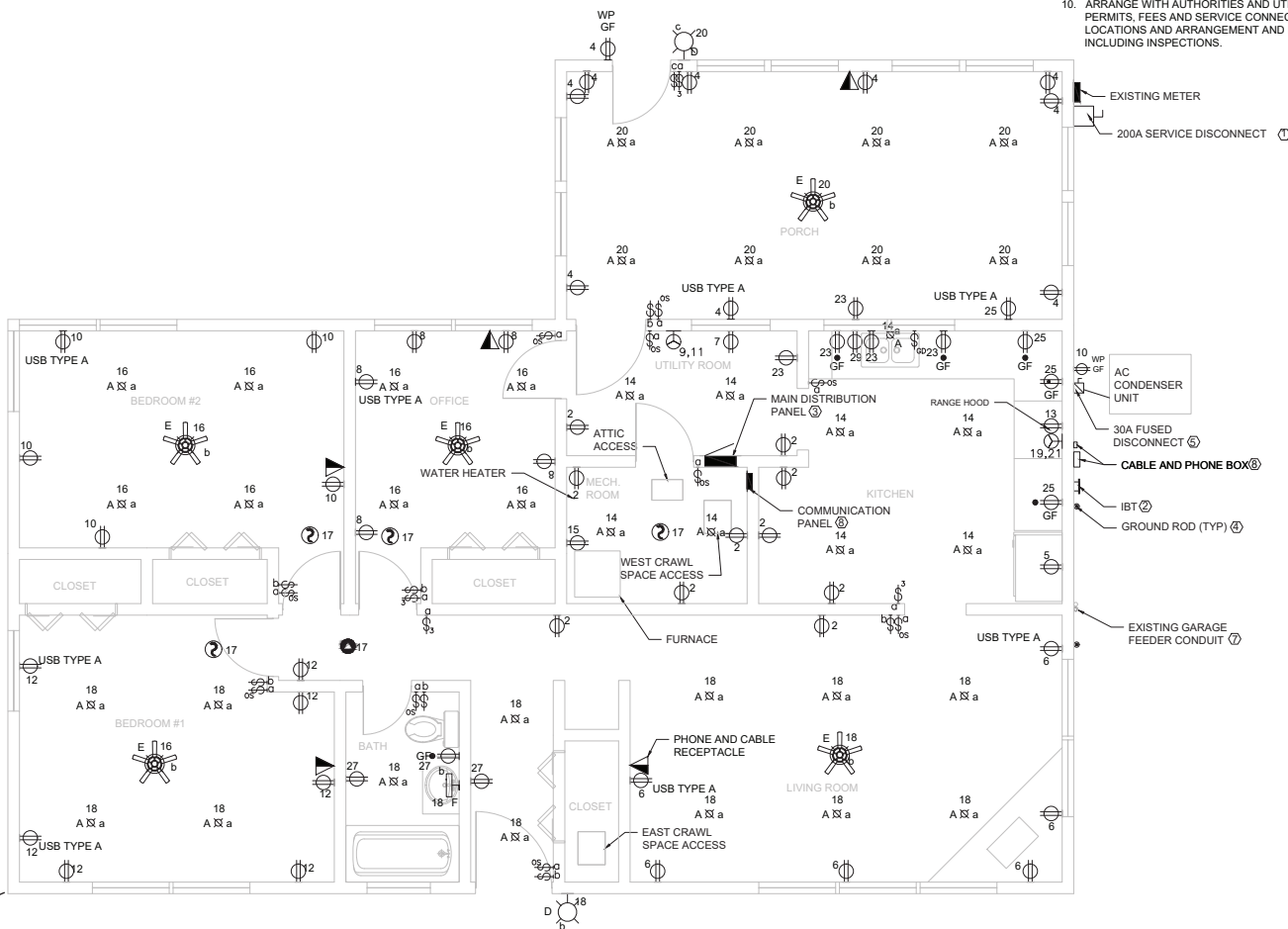


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INKS DAM					SUB-SHEET	
ELECTRICAL DEMO PLAN					E-2	
INKS DAM RESIDENCE #2 REHAB DESIGN						
DESIGNED JKB	DRAWN ARF	CHECKED KES	DATE 7/31/20	DRAWING NO. E-2	SHEET 9 OF 12	



11/3/20



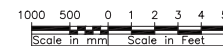
GENERAL NOTES:

1. INSTALLATION SHALL BE IN ACCORDANCE TO THE 2017 NEC, INCLUDING ALL APPLICABLE LOCAL ORDINANCES. WIRING AND DETAILS IN COMMONLY DESCRIBED IN CODE MAY NOT BE SHOWN ON PLANS BUT ARE APPLICABLE PER CODE REQUIREMENTS.
2. REFER TO SPECIFICATIONS FOR MATERIALS AND METHODS FOR ELECTRICAL CONSTRUCTION.
3. ALL INTERIOR ELECTRICAL CABLE SHALL BE TYPE NM.
4. COORDINATE EXACT LOCATION OF ALL LIGHTING FIXTURES WITH EQUIPMENT, DUCTWORK AND PIPING.
5. ALL CIRCUITING; 2#12, 1#12G UNLESS NOTED OTHERWISE ON THE DRAWINGS OR IN THE SPECIFICATIONS.
6. CIRCUIT 1, 3 TO AC SHALL BE FED WITH 2#10, 1#10G.
7. CIRCUIT 9, 11 TO DRYER SHALL BE FED WITH 2#10, 1#10G.
8. CIRCUIT 19, 21 TO OVEN SHALL BE FED WITH 2#8, 1#8G.
9. CIRCUIT 22, 24 TO GARAGE SHALL BE FED WITH 3#8, 1#8G.
10. ARRANGE WITH AUTHORITIES AND UTILITY COMPANIES FOR PERMITS, FEES AND SERVICE CONNECTIONS, VERIFYING LOCATIONS AND ARRANGEMENT AND PAYING ALL CHARGES, INCLUDING INSPECTIONS.

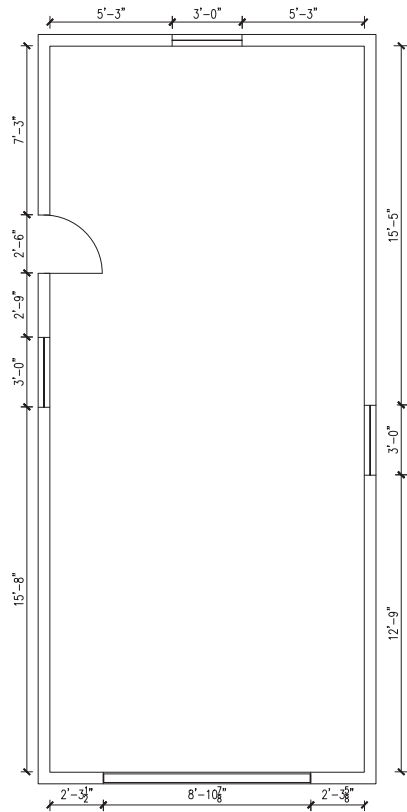
11. COORDINATE WORK WITH ARCHITECTURAL FEATURES AND COORDINATE WORK SO THAT INTERFERENCE BETWEEN CONDUITS, LIGHTING, EQUIPMENT, PLUMBING WORK AND BUILDING STRUCTURE WILL BE AVOIDED.
12. ALL RACEWAYS AND EQUIPMENT SHALL BE INSTALLED AND GROUNDED IN ACCORDANCE WITH THE 2017 EDITION OF THE NEC AND APPLICABLE LOCAL CODES.
13. THE CONTRACTOR SHALL PROVIDE PULLBOXES WHERE REQUIRED TO MAKE A WORKABLE INSTALLATION.
14. ALL RECEPTACLES IN OUTDOOR AND ANTICIPATED WET AREAS SHALL BE GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLES WITH WEATHERPROOF, IN-USE COVERS.
15. FOR LIGHTING AND RECEPTACLE SYSTEMS, ONLY CIRCUIT NUMBERS ARE SHOWN. CONTRACTOR SHALL PROVIDE ALL NECESSARY CONDUITS, WIRES, FITTINGS, JUNCTION BOXES AND ALL NECESSARY COMPONENTS TO MAKE THE ELECTRICAL INSTALLATION COMPLETE AND OPERATIONAL. CIRCUIT LOADING SHALL BE AS INDICATED IN THE PANEL SCHEDULES. ALL CIRCUITS SHALL INCLUDE GROUND WIRE.
16. MULTI-WIRE BRANCH CIRCUITS USING ONE COMMON GROUNDED OR "SHARED" NEUTRAL CONDUCTOR ARE NOT PERMITTED.
17. ALL CONDUCTORS SHALL BE COPPER. ALUMINUM BRANCH CIRCUITS OR FEEDER CONDUCTORS ARE NOT PERMITTED.
18. RECEPTACLES IN KITCHEN, LIVING ROOM, BEDROOMS AND OFFICE SHALL BE TAMPER-RESISTANT.
19. SURGE PROTECTIVE DEVICE (SPD) SHALL BE INSTALLED IN PANELBOARD.
20. CONTRACTOR SHALL PROTECT EXISTING FLOORING DURING CONSTRUCTION AND SHALL REPAIR NECESSARY DAMAGES TO RETURN FLOOR TO CONDITIONS BEFORE CONSTRUCTION.
21. CONNECT COMMUNICATIONS OUTLETS TO COMMUNICATIONS PANEL WITH RG6 CABLE. COIL CABLE INSIDE PANEL FOR FUTURE TERMINATION.

KEY NOTES:

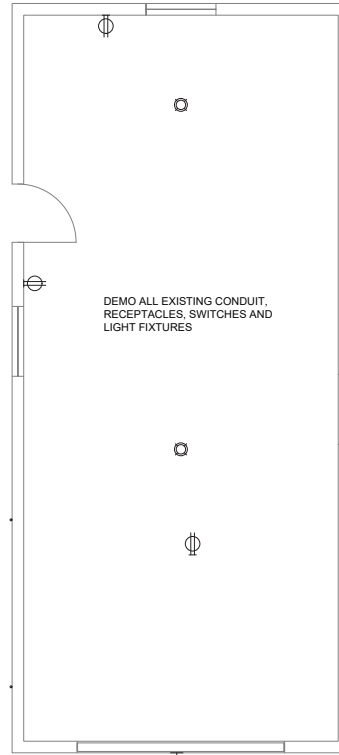
- ① INSTALL NEW 200A SERVICE DISCONNECT BELOW EXISTING UTILITY METER. CONNECT WITH 3#30 CONDUCTOR.
- ② INSTALL INTERSYSTEM TERMINATION BONDING DEVICE WITH NOT LESS THAN THREE TERMINALS AND CONNECT TO THE GROUNDING ELECTRODE CONDUCTOR WITH #8AWG COPPER CONDUCTOR.
- ③ CONNECT NEW MAIN DISTRIBUTION PANEL TO SERVICE DISCONNECT WITH 3#30, 1#4G. CONNECT GROUNDING ELECTRODE CONDUCTOR TO GROUND RODS NEAR DISCONNECT WITH PERMANENT CADWELD EXOTHERMIC WELDED CONNECTIONS.
- ④ TEST EXISTING GROUND ROD (UNDER EXISTING MAIN DISTRIBUTION PANEL) FOR RESISTANCE TO GROUND AT OR BELOW 25 OHMS. IF RESISTANCE IS LOWER THAN THRESHOLD, IT CAN BE USED AS PART OF NEW SERVICE GROUNDING ELECTRODE SYSTEM. IF RESISTANCE IS HIGHER THAN 25 OHMS, DISCONNECT AND DRIVE NO LESS THAN 6' BELOW GRADE. A MINIMUM OF TWO GROUND RODS, SPACED NO CLOSER THAN 6' ARE REQUIRED, WITH A TOTAL SYSTEM RESISTANCE OF NO MORE THAN 25 OHMS. OTHER SYSTEM GROUNDING METHODS ARE PERMITTED PER THE 2017 NEC, BUT A MINIMUM OF TWO GROUND RODS ARE REQUIRED PER THIS CONTRACT.
- ⑤ INSTALL NEW 30A FUSED DISCONNECT AND REFEED AC CONDENSER WITH 2#10, 1#10G.
- ⑥ ALL NON-FAN LIGHT SWITCHES SHALL INCORPORATE OCCUPANCY SENSORS COMPATIBLE WITH LED LIGHTING.
- ⑦ RUN NEW 3/4" EMT CONDUIT FROM ATTIC OF RESIDENCE TO GROUND IN SAME LOCATION OF EXISTING 1/2" CONDUIT FEEDING GARAGE. TRANSITION TO PVC CONDUIT, SAWCUT PAVING AND RUN NEW GARAGE FEED IN SAME APPROXIMATE LOCATION AS EXISTING FEED. FEED NEW 30A SUBPANEL WITH 3#8, 1#8G IN 1" CONDUIT.
- ⑧ CONNECT RG6 CABLE FROM COMMERCIAL COMMUNICATIONS TERMINAL ON EXTERIOR OF RESIDENCE TO INTERIOR COMMUNICATIONS PANEL. CONNECT TO INDIVIDUAL ROOMS USING PASSIVE COAXIAL SPLITTER BOX MANUFACTURED FOR THE NUMBER OF DEVICES ATTACHED. LABEL EXTERIOR AND ROOM RG6 CABLES INSIDE COMMUNICATIONS BOX. CONNECT COPPER PHONE CABLE FROM COMMERCIAL TERMINAL ON EXTERIOR OF HOUSE TO COMMUNICATIONS BOX. LAND PHONE CABLE ON A PHONE TERMINATION BLOCK AND CONTINUE CABLE TO LIVING ROOM PHONE RECEPTACLE.



INKS DAM		SUB-SHEET			
INKS DAM RESIDENCE #2 REHAB DESIGN		E-3			
DESIGNED JKB	DRAWN ARF	CHECKED KES	DATE 7/31/20	DRAWING NO. E-3	SHEET 10 OF 12

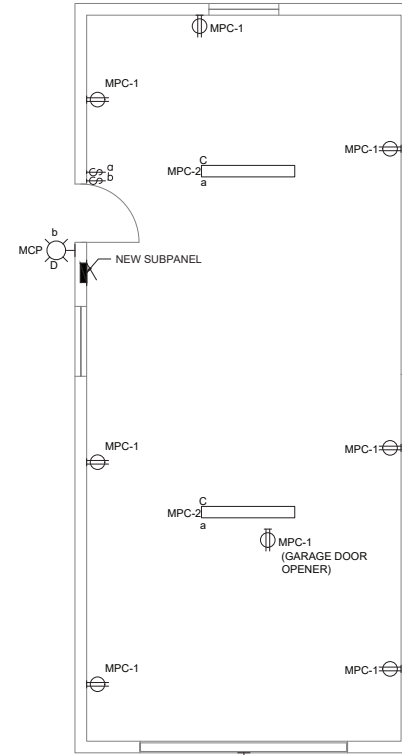


1 FLOOR PLAN
3/8" = 1'-0"



2 ELECTRICAL DEMO PLAN
3/8" = 1'-0"

NOTE: ALL WIRE IN GARAGE SHALL BE TYPE XHHW AND RUN IN NEW CONDUIT.



3 ELECTRICAL PLAN
3/8" = 1'-0"

- GENERAL NOTES:
1. INSTALLATION SHALL BE IN ACCORDANCE TO THE 2017 NEC, INCLUDING ALL APPLICABLE LOCAL ORDINANCES. WIRING AND DETAILS IN COMMONLY DESCRIBED IN CODE MAY NOT BE SHOWN ON PLANS BUT ARE APPLICABLE PER CODE REQUIREMENTS.
 2. REFER TO SPECIFICATIONS FOR MATERIALS AND METHODS FOR ELECTRICAL CONSTRUCTION.
 3. COORDINATE EXACT LOCATION OF ALL LIGHTING FIXTURES WITH EQUIPMENT, DUCTWORK AND PIPING.
 4. ALL CIRCUITING; 2#12, 1#12G UNLESS NOTED OTHERWISE ON THE DRAWINGS OR IN THE SPECIFICATIONS.
 5. COORDINATE WORK WITH ARCHITECTURAL FEATURES AND COORDINATE WORK SO THAT INTERFERENCE BETWEEN CONDUITS, LIGHTING, EQUIPMENT, PLUMBING WORK AND BUILDING STRUCTURE WILL BE AVOIDED.
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 8. ALL RECEPTACLES IN OUTDOOR AND ANTICIPATED WET AREAS SHALL BE GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLES WITH WEATHERPROOF, IN-USE COVERS.
 9. FOR LIGHTING AND RECEPTACLE SYSTEMS, ONLY CIRCUIT NUMBERS ARE SHOWN. CONTRACTOR SHALL PROVIDE ALL NECESSARY CONDUITS, WIRES, FITTINGS, JUNCTION BOXES AND ALL NECESSARY COMPONENTS SHOWN OR NOT SHOWN ON THE DRAWINGS, TO MAKE THE ELECTRICAL INSTALLATION COMPLETE AND OPERATIONAL. CIRCUIT LOADING SHALL BE AS INDICATED IN THE PANEL SCHEDULES. ALL CIRCUITS SHALL INCLUDE GROUND WIRE.
 10. MULTI-WIRE BRANCH CIRCUITS USING ONE COMMON GROUNDED OR "SHARED" NEUTRAL CONDUCTOR ARE NOT PERMITTED.
 11. ALL CONDUCTORS SHALL BE COPPER. ALUMINUM BRANCH CIRCUITS OR FEEDER CONDUCTORS ARE NOT PERMITTED.
 12. RUN NEW 1" EMT CONDUIT FROM ATTIC OF RESIDENCE TO GROUND IN SAME LOCATION OF EXISTING 1/2" CONDUIT FEEDING GARAGE. TRANSITION TO PVC CONDUIT, SAWCUT PAVING AND RUN NEW GARAGE FEED IN SAME APPROXIMATE LOCATION AS EXISTING FEED. FEED NEW 30A SUBPANEL WITH 3#8, 1#8G IN 1" CONDUIT.



INKS DAM					SUB-SHEET	
GARAGE PLAN					E-4	
INKS DAM RESIDENCE #2 REHAB DESIGN						
DESIGNED JKB	DRAWN ARF	CHECKED KES	DATE 7/31/20	DRAWING NO. E-4	SHEET 11 OF 12	

GENERAL NOTES:

1. CIRCUIT BREAKERS IN BEDROOMS, LIVING ROOM, OFFICE AND PORCH SHALL BE ARC-FAULT TYPE.
2. CIRCUIT BREAKER FOR DISHWASHER SHALL BE GFCI TYPE.

MAIN		PANELBOARD LOCATION		BUS AMPS: 200		VOLTS: 240/120V	
MECHANICAL ROOM				MAIN BKR AMPS: 200		PHASE: 1	
				MOUNTING: IN-WALL		WIRE: 3	
LOAD DESCRIPTION	KVA		C K R	B K R	KVA		LOAD DESCRIPTION
	PH.A	PH.B			PH.A	PH.B	
AC CONDENSOR	2.16		1		20	1.8	SOUTH KITCHEN/MECH/UTILITY REC.
AC CONDENSOR		2.16	3		20	1.8	PORCH REC.
REFRIGERATOR	0.72		5	20	20	1.08	LIVING ROOM REC.
CLOTHES WASHER		0.4	7	20	20	0.9	OFFICE REC.
CLOTHES DRYER	1.5		9		20	0.9	BEDROOM2 REC.
CLOTHES DRYER		1.5	11		20	1.26	BEDROOM 1 REC.
RANGE HOOD	0.24		13	20	20	0.23	KITCHEN/MECH/UTILITY LIGHTING
FURNACE		1.14	15	20	20	0.48	OFFICE/BEDROOM 2 LIGHTING
SMOKE DETECTORS	0.18		17	20	20	0.63	LIVING ROOM/BEDROOM 1 LIGHTING
OVEN		3.0	19	40	20	0.34	PORCH LIGHTING
OVEN	3.0		21		30	2.88	GARAGE
KITCHEN COUNTER 1		0.72	23	20	20	2.88	GARAGE
KITCHEN COUNTER 2	0.72		25	20	20	1.2	ON-DEMAND WATER HEATER
BATHROOM/ENTRANCE		0.54	27	20	20	0.0	SPARE
DISHWASHER	1.2		29	20	20	0.0	SPARE
SPACE		0.0	31		32	0.0	SPARE
SPACE	0.0		33		34	0.0	SPARE
SPACE		0.0	35		36	0.0	SPARE
SPACE	0.0		37		38	0.0	SPARE
SPACE		0.0	39		40	0.0	SPD
SPACE	0.0		41		42	0.0	SPD
9.72		9.46	TOTAL		8.72	7.66	
18.44		17.12	TOTAL LOAD		35.56 KVA		

MAIN		PANELBOARD LOCATION		BUS AMPS: 30		VOLTS: 240/120V	
GARAGE				MAIN BKR AMPS: 30		PHASE: 1	
				MOUNTING: IN-WALL		WIRE: 3	
LOAD DESCRIPTION	KVA		C K R	B K R	KVA		LOAD DESCRIPTION
	PH.A	PH.B			PH.A	PH.B	
RECEPTACLES	1.44		1	20			
LIGHTING		0.12	2	20			
1.44		0.12	TOTAL		0.0	0.0	
1.44		0.12	TOTAL LOAD		1.56 KVA		

CAN FIXTURE COLOR TEMPERATURE SCHEDULE	
ROOM	COLOR TEMP
BEDROOM	2700K
OFFICE	5000K
KITCHEN	4000K
UTILITY	5000K
MECHANICAL	5000K
LIVING ROOM	2700K
PORCH	2700K

LUMINAIRE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER	MODEL	LAMP	VOLTAGE	COLOR TEMP	REMARKS
A	6" CANLESS RECESSED FIXTURE	COMMERCIAL ELECTRIC	CER608943K50WH	LED	120V	2700K-5000K	5 SETABLE COLOR TEMPERATURES
C	4" LINEAR FLUSH MOUNT STRIP LIGHT	SUNLIGHT	HD02402-1	LED	120V	5000K	
D	1-LIGHT AGED IRON OUTDOOR WALL LANTERN SCONCE	HOME DECORATORS COLLECTION	FEU161LM	LED	120V	3000K	DUSK TO DAWN
E	REUSE EXISTING FIXTURE, REPLACE BULBS WITH LED	NA	NA	LED	120V	2700K	PER BULB
F	24" 3-LIGHT ANTIQUE BRONZE VANITY LIGHT W/ALABASTER GLASS	PROGRESS LIGHTING	P2103-20	LED	120V	2700K	PER BULB

NOTE: THE DESIGN IS BASED ON THE ABOVE MANUFACTURERS AND MODELS, BUT ANY OTHER APPROVED EQUAL MAY BE USED.



11/31/20

INKS DAM		ELECTRICAL SCHEDULES				SUB-SHEET
INKS DAM RESIDENCE #2 REHAB DESIGN		E-5				
DESIGNED JKB	DRAWN ARF	CHECKED KES	DATE 7/31/20	DRAWING NO. E-5	SHEET 12 OF 12	