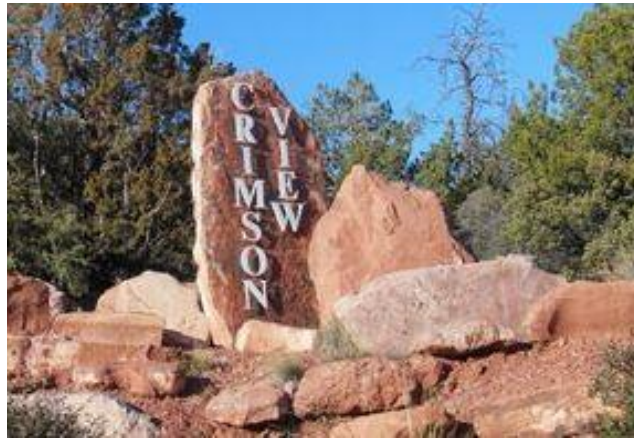


# CRIMSON VIEW HOMEOWNERS ASSOCIATION



## DESIGN GUIDELINES

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## **DESIGN GUIDELINES**

These Design Guidelines apply to the development of a home and other improvements to your Lot at Crimson View. The purpose of the Guidelines is to enhance the aesthetic experience at Crimson View, to promote harmonious residential design, to protect and enhance property values, and promote sustained environmental quality. They extend to such matters as height, color, massing, building materials and landscape. The Design Guidelines are administered by the Design Review Committee. This Committee's job is one of assistance, helping you and your professional designer maximize your architectural and living experience at Crimson View.

The Design Review Committee strongly urges that Owners wishing to build homes at Crimson View have their architectural designers get in touch with a Design Review Committee representative prior to commencing the design phase of a residence, so that these professionals may gain a complete understanding of the Design Guidelines. Current owners must submit plans for all outside plans including but not limited to painting, swimming pools, accessory buildings, landscaping, addition of or expansion of current patios and decks. Contact the Design Review Committee chair if you are unsure if you need prior approval.

No improvements, alterations, repairs, excavations, grading, landscaping or other work which in any way alters the exterior appearance of the Properties or a Lot, or the Improvements or Structures thereon, from its natural or improved state shall be made or done without the prior approval, in writing, of the Design Review Committee.

## **DESIGN REVIEW COMMITTEE**

These Design Guidelines have been adopted by the Design Review Committee (the "DRC"), as established by the Board of Directors, pursuant to the Declaration. The Committee shall consist of three (3) members, one of which shall be a member of the Board and function as the Chairperson, along with two (2) alternate members. None of the members shall be required to be an architect or to meet any other particular qualifications for membership. Committee Members shall be appointed by the Board and shall serve two (2) year terms. The landscape committee assists the Design Review Committee with landscape requests and landscape plans on new builds.

The Design Review Committee shall have the right to deny approval of any plans or specifications which are not, in its opinion, suitable or desirable for aesthetic or any other reasons. All decisions of the Design Review Committee shall be final, and no Owner or other parties shall have recourse against the Committee for its refusal to approve such plans and specifications. The Design Review Committee may employ the use of professional consultants and/or architects to assist in the review of designs and construction inspections of new homes and modification projects.

With respect to any requests made to the Design Review Committee to review any plans, drawings or specifications for any work done or proposed, the Design Review Committee may establish processing fees for such requests or actions.

## **INCORPORATIONS**

The provisions of the Declaration of Covenants, Conditions and Restrictions for Crimson View, which is recorded in the Office of the Yavapai County Recorder (the "Declaration"), are incorporated herein by reference and control over the provisions herein in case of conflict. Capitalized terms used herein, but not defined herein, shall have the same meaning as in the Declaration.

## OBJECTIVES

At Crimson View emphasis will be given to building that is planned to harmonize, blend and complement, rather than dominate, the natural environment. The goal is the subtle blending of people, structures, and the built environment into a harmonious and aesthetically pleasing community with emphasis on the preservation of major portions of the natural environment as a unifying visual theme throughout Crimson View.

To ensure the preservation of the natural landscape for the enjoyment of all residents of Crimson View all improvements must be designed to be within the Lot, including the residence, accessory buildings, outside patios and terraces, swimming pools, and any other improvements or structures. In specific instances, approved on a case by case basis, the Design Review Committee may review and approve the extension of certain nonstructural improvements onto common areas within Crimson View. In such cases the Crimson View Homeowners Association must grant an easement to the benefit of the Lot Owner requesting such usage. Only indigenous or approved non-indigenous plants may be planted within the Lot unless otherwise approved by the Design Review Committee. Outside of the Lot, the natural landscape must be left undisturbed, unless otherwise approved by the Design Review Committee.

The purpose of the Design Guidelines is to ensure that designs are compatible with each other, the site, and the overall Sedona environment. No Dwelling Unit should substantially stand so apart in its design or construction as to detract from the overall environment of Crimson View. Creativity, innovative use of materials and design, and unique methods of construction are encouraged, so long as the final result is consistent with individual Design Guidelines.

It is expected that the design of each Dwelling Unit in Crimson View will be tailored to the unique features of each individual Lot and Owner in an effort to achieve a synthesis of nature and Dwelling Unit.

The purpose of the Design Review Committee is to evaluate each proposed design for appropriateness to its Lot and compliance with the objectives of the Design Guidelines. The Committee may determine that what was found acceptable in one situation may not be acceptable in another. The goal is for all residences and improvements to harmonize with, and enhance, their natural and manmade surrounding, rather than to dominate and/or contrast sharply with them.

It is strongly recommended that each Owner retain competent professional services for planning and design. A thorough analysis and understanding of a particular Lot and Owner's special needs, and the skill to translate these factors into building form, as well as the ability to convey to the Design Review Committee the concept and design of a proposed Dwelling Unit or other improvement, are all elements of the design review process.

# 1. SITE PLANNING & IMPROVEMENTS

## 1.1 ZONING

City of Sedona zoning governs all development, except as further restricted by the Crimson View Protective Covenants, and the requirements contained herein.

## 1.2 SITE DEVELOPMENT

No site clearing, grading or building shall occur on any Lot until Development Plans and Architectural Plans are approved and submitted to and approved by the Crimson View Design Review Committee.

Site development shall conform to the natural topography, preserving terrain and natural vegetation including any trees with a minimum trunk thickness of 3 inches and adhere to Arizona's Native Plant Law.

All structures and landscaping shall consider panoramic views and promote privacy of neighboring homes and outdoor areas, *however views are not guaranteed either explicitly nor implied.*

Cut and fill slopes will require revegetation to the approval of the Design Review Committee and may not be exposed following completion of construction (*see Sec. 1.4 & 1.5*).

No change in natural or existing drainage patterns for surface waters shall be made upon any Lot that could adversely affect another Owner.

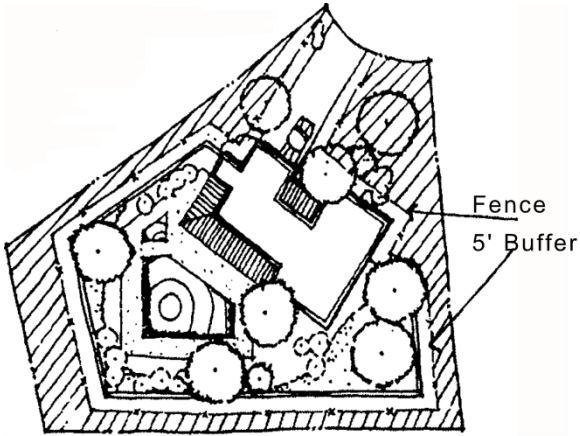
Site drainage and grading must be done with the goal of minimum disruption to the Lot whenever reasonably possible. Surface drainage shall not be concentrated to drain onto adjoining lots, Common Areas or open spaces except as established by natural drainage patterns, nor cause a condition that could unnaturally lead to offsite soil erosion. It is the intent of these Design Guidelines to discourage excessive cut and fill, and no grading may be done outside the Lot, unless approved by the Design Review Committee.

All mature trees (minimum trunk thickness of 3 inches) shall be retained on each Lot to the greatest extent possible with the exception of non-healthy trees. No mature trees shall be removed without permission of the Design Review Committee. See para 1.8 Mature Trees.

## 1.3 LOT

The Lot is the numbered area as depicted on the Crimson View plat within which all improvements must be built and alterations to the existing landscape may be permitted. *All improvements within a Lot, other than areas disturbed for purposes of ingress, egress and utilities, must be constructed within the Building Envelope within that Lot.*

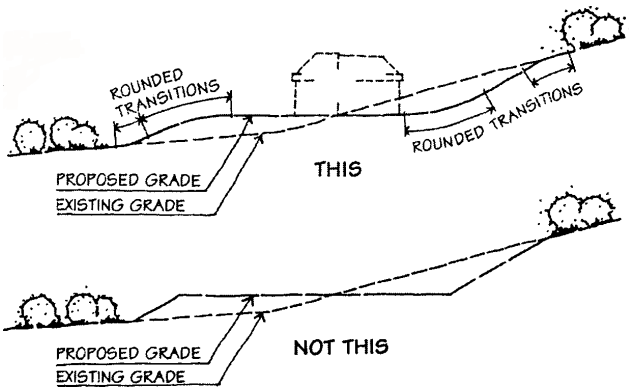
In specific instances, approved on a case by case basis, the Design Review Committee may review and approve the extension of certain nonstructural improvements onto common areas within Crimson View. In such cases the Crimson View Homeowners Association does grant an easement to the benefit of the Lot Owner requesting such usage. The most appropriate site plan for each Lot will be determined by natural features of the Lot, views, relationship to adjacent lots and topography. The location of improvements within the Lot will be further restricted by the Design Review Committee based on improvement on adjacent lots. The Crimson View Homeowners Association shall have the right to repair any damage done to the landscape outside the Lot and charge the Owner for said repairs. (See Crimson View CC&R's Section 6.4



**1.4 GRADING**

Grading shall conform to the natural topography and result in harmonious transition with the natural terrain.

Graded slopes shall not exceed the Maximum Cut and Fill Slope Specifications (see following page) unless approved by the Design Review Committee. All cut and fill slopes shall be landscaped as per the landscape plan approved by the Design Review Committee. Design structures that conform to hillsides.



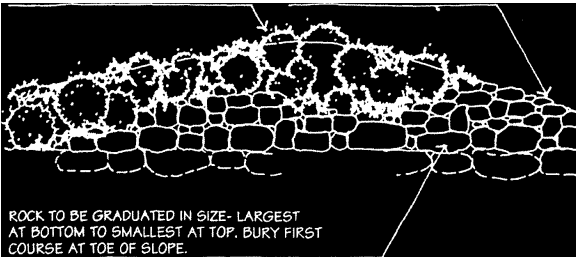
Maximum Cut and Fill Slope Specifications

- a. *Cut slopes: 4' vertical height  
2.5:1 slope ratio*
- b. *Fill slopes: 2' vertical height  
3:1 slope ratio*



**1.5 RIP-RAP**

Rip-rap shall be hand placed rock from the site or native to the Sedona area. Not more than 50% of any single slope may be rip-rapped without the approval of the Design Review Committee. Every attempt should be made to harmonize the use of riprap rock with the use of natural desert landscape. (See *Approved plant list on Crimson View Website under Landscape Info*)



*50% OF SLOPE TO BE RE-VEGETATED*

*50% OF SLOPE MAY BE RIP-RAP*

## 1.6 DRAINAGE

Natural drainage ways shall be preserved wherever possible. Minimize alterations to natural drainage ways to prevent soil erosion. Developed drainage ways, if lined, shall use rock from the site or native to the Sedona area. Any other lining material must be approved by the Design Review Committee. Provide for the detention of storm water runoff wherever possible. Collection and onsite retention of storm water runoff is encouraged to supplement irrigation.

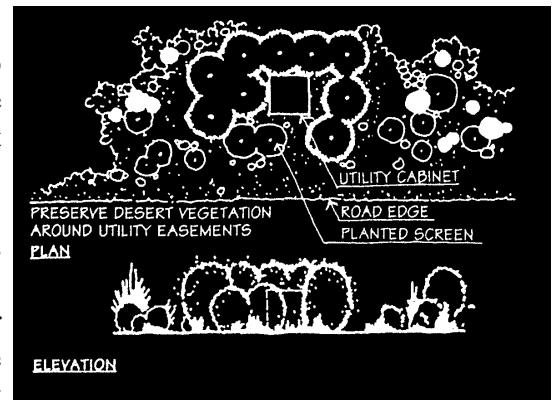
All drainage shall exit from any Lot in a manner identical to the original runoff. Each Owner shall be solely responsible for all drainage patterns associated with each Lot, and shall maintain his or her Lot in a manner that will avoid harm or injury to adjacent Lots and Common Areas.

The drainage courses within Lots 13, 14, 15, 17, 22, 23, 35, 37, 38, 46, 69 and 75, and within Tract B shall remain in their natural state, or remain functional if improved. Without limitation, a title to a portion of Lots 5, 61, 70 and 74 is burdened by an easement for drainage and flooding in favor of the Association, and no improvement built upon said Lot shall be interfered with such easement.

## 1.7 UTILITIES

Homeowners must install all utility services underground, locating lines under driveways or other disturbed areas to avoid additional site damage and repair. Utilities must be clearly indicated on grading plans, with fencing noted at disturbed areas.

Screen all exterior transformers, utility pads and/or meters with vegetation consistent with utility suppliers' requirements, if any. Mechanical equipment such as air conditioners, solar cooling and heating devices shall be concealed with approved solid fencing materials matching (or complimenting) the residence, or plantings large enough to conceal the unit. Homeowners are discouraged from using vegetation as screening for their mechanical equipment. Using vegetation must be explicitly approved by the Design Review Board. An enclosed utility yard which adheres to wall guidelines is required for all clotheslines, tanks, wood storage and trash or rubbish containers (*see SITE WALLS Section 2.18*). All transformers, meter boxes, etc. at the house, must be painted to conform to exterior house colors.



## 1.8 MATURE TREES

All mature trees (minimum trunk thickness of 3 inches) shall be retained on each Lot to the greatest extent possible with the exception of non-healthy trees. No mature trees shall be removed without permission of the Design Review Committee.

## 1.9 LANDSCAPING GUIDELINES

The goal of Crimson View is to preserve the beauty and character of the property's natural landscape. Toward this end, we have established guidelines to minimize the disturbance of what exists there today and control what can be added in the future.

The distinct character of our natural landscape is primarily a function of the height, color, density and distribution of its trees. While there are many different types of trees in the Sedona area, Pinyon Pine and



Juniper are the most prevalent at Crimson View. To preserve the existing landscape's texture and color, and avoid sporadic "foreign" elements on the horizon, the use of other types of trees (that are typically taller and lighter in color) will be limited to low areas where their maximum mature height is not likely to exceed the height of surrounding ridges or adjacent view sheds.

Any areas disturbed during construction shall be restored to its pre-construction condition, or appropriately treated in accordance with the details of this section. Any ground cover shall be installed over weed fabric.

The native wild grasses and wildflowers shall be preserved as the predominant ground cover in natural areas on private property, as well as along roadways and common areas. Owners will be encouraged to limit the use of cultivated grasses to Private Areas of a Lot where it cannot be viewed from other lots or roadways.

The use of flowering ground covers, shrubs, annuals and perennials can have a dramatic impact if such areas are well controlled and limited in the frequency of their occurrence.

The plant materials set forth in the Prohibited plant List (*See Prohibited plant list on Crimson View Website under Landscape Info*) include species with characteristics which are potentially destructive to the natural areas and indigenous plants by reason of profuse and noxious pollen, excessive height, weed-like characteristics of excessive growth, high water demands, and similar traits. Under no circumstance is it permissible to plant any Prohibited Plant in Crimson View. No shrubs, trees or obstructions of any kind shall be placed on corner Lots in such places as to cause a traffic hazard.

Mature trees must be included in the landscape plan showing which mature trees will be relocated/removed and new locations. All other mature trees are to remain in their natural location to the greatest extent possible. *See Approved plant list on Crimson View Website under Landscape Info*) for Approved Plants, Shrubs, and Trees.

Landscaping installation shall be completed prior to Final Inspection of the residence.

## **1.10 PROTECTING AND PRESERVING PLANTS**

Care should be taken to protect all plants at Crimson View; therefore all improvements should be sited to avoid existing trees if at all possible. We recommend that reasonable efforts be made to transplant all significant and transplantable materials. Sufficient time should be allowed for transplanting existing vegetation prior to construction and it is recommended that competent professionals be consulted prior to transplanting any natural materials. The Design Review Committee may require replacement on any plant which dies during transplanting with a plant of the same species and size.

## **1.11 FENCING OF TREES**

All trees which are to be saved within the area of the construction shall be fenced to avoid compaction of the root system and low branches from being broken. Such a barrier shall be no smaller than the diameter of the drip line of the tree to be saved and shall be a minimum of three (3) feet high, except that trees within three to five (3 to 5) feet of a structure's walls or that overhang a driveway or patio may be exempt from the requirements of this section, provided that six (6) or more inches of gravel is placed over that portion of the drip line to reduce compaction damage, and if it can be shown that construction activities would be unduly hindered by the fencing requirement. Other recognized procedures for tree preservation may be approved by the Design Review Committee at some building sites if it is deemed necessary to preserve and protect any Common Area vegetation or Natural Open Space.

## 2. ARCHITECTURAL GUIDELINES

### 2.1 CONSTRUCTION TIMEFRAME

Homeowners shall not start construction without Architectural Approval. *Construction must commence within one (1) year of plan approval, and must be complete within one (1) year after breaking ground.* Construction period as defined above commences when the pad is cleared and ends with approval of the Final Site Inspection, including completion of landscaping, by the Design Review Committee.

Correction of deficiencies found during the Final Inspection must be completed and re-inspected within one hundred and eighty (180) days of the final inspection. See 3.7

### 2.2 BUILDING RESTRICTIONS

Each separate Lot shall be limited in use to one (1) single family Dwelling Unit, the height and size of which shall conform to these Design Guidelines. All buildings or structures erected upon each Lot shall be of new construction and no buildings or structures shall be moved from other locations onto a Lot. Mobile homes, prefabricated, and manufactures housing shall be strictly prohibited within the Properties. Any approved accessory building, such as a garage or guest house, shall be incorporated as a part of and attached to the Dwelling Unit, with a breezeway, walls or other architectural design constructed of materials consistent with those of the main residence.

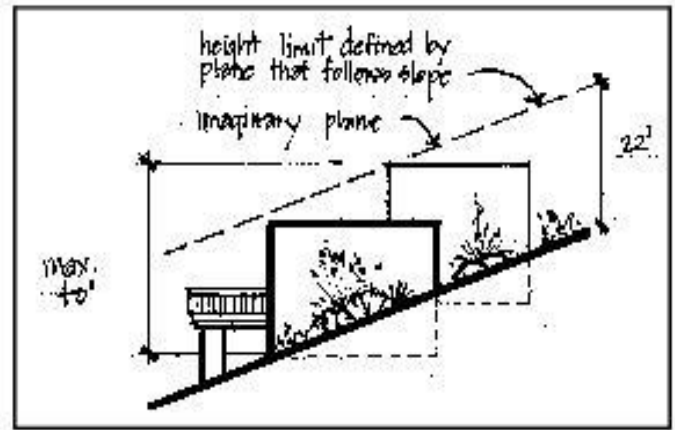
### 2.3 BUILDING SIZES

No Dwelling Unit shall be constructed which contains less than 2,100 square feet of livable areas, exclusive of such part of a building used for a garage, porch or patio. Each Lot shall be limited in use to one single family Dwelling Unit.

### 2.4 BUILDING HEIGHTS

The terrain of Crimson View is varied and unique, with hilltops, valleys, and other changes in elevation, making absolute uniform applicability of height restrictions for Dwelling Units both inadvisable and impractical. These Design Guidelines are intended to discourage and/or prevent any Dwelling Unit or other structure which would appear excessive in height when viewed from another Lot, Common Areas, or public space, and/or which would appear out of character with other Dwelling Units because of height. Consequently, despite the maximum heights generally permitted as hereinafter specified in this paragraph, the Design Review Committee may disapprove a proposed Dwelling Unit or other structure if, in the Committee's opinion, it would appear excessive in height when viewed from another Lot, Common Areas, or public space, and/or would appear out of character with other Dwelling Units, or be prominent because of height, even though the proposed Dwelling Unit or other structure may comply with said maximum height restrictions. These considerations will be of particular importance concerning Dwelling Units to be constructed on lots near tops of hills, crests, ridges or mesas. Without limiting the generality of the preceding sentence, in such circumstances the Design Review Committee could refuse to allow any portion of the Dwelling Unit or other structure to exceed the standard maximum height.

Dwelling Units may be sited partially below natural grade. **Dwelling Units may not exceed twenty-two (22) feet in height**, as measured between the existing natural grade and the elevation of any major roofline directly above that point. The **maximum overall height** of a building or structure shall not exceed 40 feet measured vertically from the highest parapet or roof ridge to natural grade at the lowest point adjacent to the building exterior, excluding posts and masonry piers supporting decks or patios, whichever yields the greatest height. The height shall be measured vertically from the highest parapet or roof ridge to natural grade or finished grade at the lowest grade point adjacent to the building exterior or supporting column, whichever yields the greatest height.



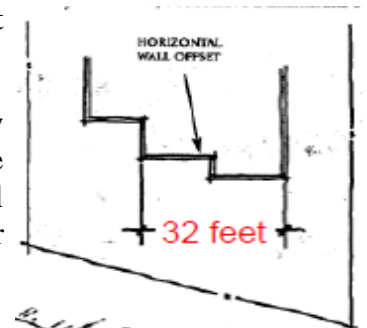
No wall shall have an unbroken height of more than twenty (20) feet, measured from lowest adjacent grade.

Crimson View Design Review Guidelines supersede the City of Sedona guidelines. This includes any and all credits permitted by the City of Sedona, which are not permitted by Crimson View.

## 2.5 BUILDING MASSING

In order to enhance the concept of predominance of the environment, building masses should be predominantly horizontal rather than vertical, yet not create long unbroken elements. Unless otherwise approved by the Design Review Committee, each Dwelling Unit shall be composed of at least three visual building masses whose heights differ by at least (2) feet.

The maximum unbroken length of a wall shall not exceed 32' without any offsets or jogs. Offsets must be a minimum of 2', and also be expressed in the roof line. Blank walls longer than 12' must be broken up with architectural relief. No unbroken two-story masses will be permitted, while offsets or recesses should be added to create visual interest and to add depth.



## 2.6 BUILDING MATERIALS

Masonry and stucco are required building materials and shall set a predominant construction theme throughout Crimson View unless by special approval of Design Review Committee.

Permitted materials include:

- a. Cement stucco over CMU
- b. Split face concrete block
- c. Brick and mortar washed brick
- d. Fired adobe block
- e. Mud stucco over stabilized adobe block
- f. Natural rock
- g. Stucco over wood frame

All exposed wood timbers shall be kiln dried and bolted or strapped securely in place. Oversizing of structural exposed timbers is recommended with a minimum nominal thickness of 2 1/2". Peeler poles used as outriggers shall be minimum 8" round.

All exposed wood shall be treated with a preservative, stained or painted, and maintained. All exposed roof scuppers, gutters, down spouts and sheet metal shall be painted.

Use of reflective building materials will be discouraged. All building materials shall be approved by the Design Review Committee.

## **2.7 BUILDING PROJECTIONS**

All projections from a building, including, but not limited to, chimney caps, vents, gutters, down-spouts, utility boxes, porches, railings and exterior stairways shall be visually integrated into the overall design and generally match the color of the surface from which they project. The exact location of roof vents, pipes, and any other metal installations must be placed on building plans and reflected on elevation drawings when submitted to the Design Review Committee for approval.

## **2.8 EXTERIOR APPEARANCE**

Exterior surfaces must generally be of materials that harmonize with the natural landscape as well as provide an outer skin that will withstand the climate extremes. Natural rock and stucco are two such materials, and their use is strongly encouraged.

Design elements and materials shall be installed on all sides of the residence, ensuring consistent "four-sided" architecture around the entire home.

Specifically prohibited are metal siding, opaque glass, vinyl and plastics, reflective exterior materials whose appearance, in the judgment of the Design Review Committee, does not convey strength, permanence or durability. Glass may not be mirrored. The use of wood is allowed but requires careful consideration and detailing, particularly as a wall surface material, due to its high maintenance requirements.

Any exterior window coverings visible from the exterior shall be the color of the exterior of the Dwelling Unit, compatible with these guidelines and subject to prior approval of the Design Review Committee. The interior window coverings visible from the exterior shall be a solid color that is complementary the exterior paint color of the house and have a uniform color throughout all the windows of the house.

## **2.9 BUILDING COLORS**

Exterior colors should be carefully chosen for their compatibility with the natural environment, as well as their harmony with one another and compliance with applicable City codes.

**All exterior colors shall have a "light reflective value"(LRV) of 38 or less.** Other colors may be submitted to the Design Review Committee for approval for use on a specific Lot, but they must have an LRV of 38 or less.

These specially approved colors shall not be deemed generally approved. Their approval is applicable only to the Lot for which it was submitted.

## **2.10 ACCENT COLORS AND METAL TRIM**

Accent colors and metal trim on front doors, window sashes and other incidental elements may be allowed as long as, in the opinion of the Design Review Committee, the accent does not overwhelm the building's basic color to create a visual distraction from adjacent lots and Common Areas. Metal accents will be allowed subject to approval by the Design Review Committee. Bright, untarnished copper or other metallic surfaces shall be treated to reduce reflections.

## 2.11 ROOFS

Roof scapes form an important part of the visual harmony and sensitivity to the predominant southwestern styles. Long, unbroken sections of roofing are prohibited, and ridges shall vary in length and heights.

Roof materials shall be non-glazed, non-reflective with a Light Reflective Value (LRV) # of 38 or less. Flat roof material shall be colored to match the adjacent parapet wall colors. Roofing material shall fall under the same requirement as other exterior finishes, be compatible in color, and be subject to the approval of the Design Review Committee.

If pitched roofs are proposed, they must comply with the following:

- (a) Maximum slope of 31/2 in 12, with 24" minimum overhangs
- (b) No ridges or peaks against the skyline (abutting parapet or wall must be higher than sloped roof)
- (c) No asphalt shingles
- (d) Tile roofs must be as follows:
  1. Two part molded tile (no one part extruded)
  2. Variegated dark colors (no solid or light color)
  3. Non-reflective surface
  4. Mudded (grouted) joints
  5. Serpentine pattern
- (e) Cedar Shake

No mechanical equipment shall be located on roofs. All roof appurtenances must be painted to match adjacent roofing surfaces.

Scuppers and gutters are required for control of roof drainage. A graveled "splash guard" wash must be installed beneath any scupper to catch and direct freefalling water.

The height of a chimney mass shall not exceed five (5) feet above the highest point of the structure within ten (10) feet of that chimney mass. No chimney, pipe or device shall exceed the overall mass height of a chimney by more than 12 inches.

## 2.12 WINDOWS AND SKYLIGHTS

Windows and skylights are important sources of natural light and can be positive contributors of passive solar heat. They can, however, also be sources of undesirable reflections and glare, particularly at night. Care must be taken in locating, positioning and sizing of all windows and skylights.

Windows that are recessed at least 3" into the outside wall to both protect and shelter the glass, as well as give an appearance of substantial wall thickness, strength and durability are required, with deeper recesses encouraged when possible. Window frames shall be dark in color, with white or silver aluminum frames being strictly prohibited.

Skylights – Frame, flashings, and outside mounted shutters/louvers (if any) must be the same color as the roof. If the color cannot be matched, a dark non-reflective color may be used with approval of the

Design Review Board. Lens must be tinted bronze or gray (no clear or reflective glass). Skylights shall be located in the least visible location on the roof, as seen from the Common Areas or adjacent properties.

Solar tubes will be permitted, provided they are submitted and approved by the Design Review Committee. They shall be located in the least visible location on the roof, as seen from Common Areas or adjacent properties, with flashings painted to match the roof color.

## **2.13 SOLAR APPLICATIONS**

Passive solar applications, or the orientation and design of the Dwelling Unit for maximum winter solar heat gain, will reduce the winter heating needs and will be encouraged.

Any roof installed solar energy equipment shall have the appearance similar to a skylight installed flat on the roof surface. Frames shall be constructed of a non-reflective material, with colors matching the roof color as closely as possible. Placement of solar units shall be located in the least visible area, as seen from common areas or adjacent lots, and may be ground or roof mounted. While it is not the intention of the Design Review Committee to restrict the installation, functioning, efficiency or use of roof mounted solar devices, the Design Review Committee reserves the right to reasonably restrict placement of such devices as they affect the appearance of each home, in accordance with A.R.S. §33-1816.

## **2.14 LIGHTING**

The Crimson View goal to maintain a predominance of undisturbed high desert extends to nighttime as well as daytime views. In order to preserve the dramatic night sky, which tends to be obscured by excessive local lighting, the Design Review Committee has established the following guidelines for residential lighting:

"Site lighting" means lighting mounted either on the ground or onsite walls or by other means for the purpose of providing safe passage around the improvements, or decorative accent lighting.

"Building mounted lighting" means lighting built into or attached to buildings on walls, ceilings, eaves, fasciae, or other locations for the purpose of providing general illumination, area, security illumination or decorative illumination.

- (a) Site lighting must be directed downward onto vegetation, the ground or boulders, and not upon the building.
- (b) Building mounted lighting must be directed downward away from adjacent lots and Common Areas and may not be used to light walls or building elements for decorative purposes.
- (c) All exterior lighting must provide for complete shielding of light sources. No bare lamps will be permitted. Care should be taken to shield the lamp from view. One should see the effect of the light, not the lamp itself.
- (d) The maximum wattage of any single exterior light fixture is 40 Watts incandescent or the LED/CFL equivalent emanating no greater than 450 lumens.
- (e) Upward lighting will be disallowed, as will an excessive number of fixtures or excess light levels and glare.

## **2.15 GARAGES**

Garage doors shall be recessed a minimum of 12". The color must match either the building or the accent color. If the dwelling does not have an accent trim, an accent color may be used on the garage door with Design Review Committee approval. White and reflective paint colors are prohibited.

## 2.16 DRIVEWAYS AND PARKING

Driveways shall be paved with Acceptable Paving Materials. Driveways that cross washes shall have appropriate paving toe-downs. Driveway grading and paving shall minimize the disturbance of bordering natural vegetation. Driveways must be completed prior to final inspection.

### Acceptable Paving Materials:

- a. Integrated color concrete (earth-tones)
- b. Chip and seal (earth-tones to match native conditions will be encouraged)
- c. Asphalt
- d. Brick pavers
- e. Exposed aggregate concrete

Driveways shall be used for construction access. On street parking is discouraged.

A minimum two car garage with automatic door opener is required for each home. Trucks, boats, campers, trailers and other recreational vehicles shall not be parked, even temporarily, on the property except when stored within a garage

## 2.17 PATIOS AND COURTYARDS

Patios and courtyards are encouraged and should be designed as integral parts of the Dwelling Unit, so they maximize the enjoyment of Sedona's climate and capitalize on the views of and from the Lot.

By properly orienting these outdoor spaces, breezes can be captured or deflected, sun can be controlled and privacy can be maintained.

Patios, screen walls and pools must be contiguous to the Dwelling Unit and made of materials previously approved by the Design Review Committee.

## 2.18 SITE WALLS

Site and patio walls, including utility yard enclosures, or extensions of the house design, shall be constructed from the same or compatible materials and earth-tone colors as building walls, and shall comply with Maximum Wall Heights. Wrought iron inserts may be approved for walls. Unless otherwise approved, patio walls will be the same color as the house.

Walls which project in a way to reveal their thickness for primary elevations shall return or terminate into a 16" wide pilaster or column. Allow 5' for construction around the perimeter of patio walls. Locating patio walls on the Lot boundary in a continuous fashion will be discouraged.

Soften long wall lines with plant recesses and landscape for vertical and horizontal relief.

### Maximum Wall Heights:

- a. 4' at front of dwelling
- b. 5' at side and rear of unit
- c. Fencing enclosing a pool must comply with local codes for height requirements

Wall heights shall be measured from the exterior existing grade adjacent to the wall.

Electronic dog fences are not allowed except within the perimeter of the Lot in point, providing the owner shall guarantee in writing that the owner accepts all responsibility for its use or non-use.

## **2.19 RETAINING & SCREEN WALLS**

Retaining wall and other walls not directly supporting a building structure, except screen walls, shall not exceed eight (8) feet in height, measured from the lowest natural grade adjacent to the wall. The appearance of such walls over six (6) feet in height must be softened by landscaping with trees or large shrubs. Screen walls may not exceed four feet, eight inches (4' 8") in height measured from natural grade in the manner described above for retaining walls.

No unbroken walls, including screen walls, longer than twelve (12) feet will be allowed, and each offset must be no less than twenty four (24) inches.

Screen walls should be a visual extension of the architectural design of the Dwelling Unit. They may not be used to delineate property lines. The colors of walls must conform to the same color standards referred to in Section 2.9 of these Architectural Design Guidelines.

Samples of gate material or decorative wrought iron must be submitted to the Design Review Committee for approval.

## **2.20 MECHANICAL EQUIPMENT**

All heating and cooling equipment, including duct work, must be located on the ground or within the building. Ground mounted mechanical and electrical equipment must be concealed from view with an approved structure or vegetation large enough to conceal the unit. Homeowners are discouraged from using vegetation as screening for their mechanical equipment: Using vegetation must be explicitly approved by the Design Review Board.

## **2.21 SATELLITE DISHES**

Satellite dishes will be considered on a Lot-by-Lot basis, and may be installed in accordance with federal regulations. The recommended maximum allowable size is 24" in diameter. The preferred installation location is on the roof behind parapet walls, ground mounted in the rear yard area and screened from view of adjacent properties or common areas. Visible dishes shall be painted to match the color of the residence.

## **2.22 CLOTHESLINES**

No clotheslines shall be visible within the properties.

## **2.23 ANTENNAE OR FLAGPOLES**

There shall be no antennae of any sort, except as allowable per federal regulations, either installed or maintained on any property located within Crimson View.

Freestanding flagpoles may be permitted in a manner consistent with the federal flag code, as long as the height of the flagpole does not exceed the height of the rooftop of the residence. Flagpole must be located within the Building Envelope, be constructed of non-reflective material, and shall not include a metal halyard. The displaying of the American flag or other flags as prescribed by federal flag code is also permitted if it is hung from a pole bracket mounted on the Dwelling Unit, or if it is suspended from a roof overhang.



## 2.24 SIGNAGE

No signs of any nature whatsoever, whether permanent or temporary, shall be permitted on any Lot except that one (1) temporary construction sign may be erected per Lot during the development thereof. (Exception 'No Trespassing Sign'). Sign must be approved by the Design Review Committee and be consistent in color and materials to those within Crimson View, with a size not to exceed 3' x 3'. Building permits and copies of approved plans may be placed on the approved sign, as required by governmental regulations of permitted construction projects. The Construction Regulations shall also be posted on the approved sign during the duration of the construction process.

**No Trespassing Signs** will only be granted to an owner that borders an outside neighborhood. The signs and signposts will be paid for by Crimson View HOA. The DRC will be responsible for selecting, purchasing and installing No Trespassing Signs. The signs will be installed on Crimson View common property. An owner whose property borders an adjacent neighborhood will be required to complete a 'No Trespassing Sign' request. The request can be found on the HOAMCO portal or on the Crimson View Website under Governing Documents. When the DRC receives a request, a member of the DRC will meet with the owner to discuss the trespassing issue the owner is experiencing. If the request is approved the DRC will determine where the sign will be installed.

## 2.25 COMMON AREAS

No building, wall, fence, yard ornament or decoration, or other structure of any nature may be placed upon any Lot or Common Area without prior written consent of the Design Review Committee. Once approved and installed, the maintenance, repair and replacement of said building, wall, driveway, walkway, deck, fence, yard ornament or decoration, or any other structure or installation of any nature so placed shall be the responsibility of the party installing the improvement. If the party sells their home, future owner will be responsible for maintenance, repair, and replacement of structure. This includes landscape improvements made to common ground.

In the event that a Homeowner wishes to utilize a portion of the Common Area adjacent to that Homeowner's Lot as an extension of said Lot, the Homeowner must submit plans to the Design Review Committee for the approval of the Design Review Committee. Future owners will be responsible to maintain any improvement made to common ground.

The Design Review Committee will review and approve requests from Homeowners to utilize a portion of the Common Area adjacent to that Homeowner's Lot on a case by case basis. The Design Review Committee will take into consideration the effect that the request for use of adjacent Common Area may have on nearby and adjacent lots within Crimson View. The Design Review Committee will also take into consideration the screening and private open space benefits of each individual request.

Such uses of Common Area by an adjacent Homeowner will be limited to landscape, open space and yard type uses. Improvements within the Common Area adjacent to a Homeowner's Lot will be limited to landscape, irrigation, hard-scape, walls and non-habitable structures. All improvements within the Common Area adjacent to a Homeowner's Lot must conform with all provisions of the Crimson View Design Guidelines.

As part of the Design Review Committee's approval of a Homeowner's request to use Common Area adjacent to a Homeowner's Lot, the Homeowner must submit to the Design Review Committee a legal description of the Common Area to be used by the adjacent Homeowner. The legal description provided will be made part of a private open space easement over the described Common Area to the benefit of the

adjacent Homeowner. The easement will obligate the adjacent Homeowner to maintain the area within the easement along with any improvement within the easement, hold the Crimson View Homeowners Association harmless against any liability arising from the private use of the easement and agree to remove all improvements within the easement and restore the area in the event that a future owner of that adjacent Lot fails to assume full responsibility for the easement upon the transfer of ownership. Upon the recordation of the private open space easement, the Homeowner may proceed with the construction of improvements in the Common Area as per the approved plans for said improvements.

## **2.26 COMPLIANCE WITH GOVERNMENT REGULATIONS**

In addition to all the foregoing, all architectural improvements shall comply with all applicable governmental regulations, whether federal, state or local.

## **2.27 TRASH RECEPTACLES**

Trash receptacles shall be located in a screened, approved enclosure concealed from view of adjoining lots, streets and common areas.

## **2.28 POOLS**

The design of swimming pools, spas, and pool houses shall be approved by the Design Review Committee whether or not construction accompanies dwelling unit or occurs thereafter. All associated mechanical equipment shall be enclosed and concealed from view from adjoining properties, streets and common areas.

## **2.29 RECREATIONAL EQUIPMENT**

No tennis or basketball courts may be installed or utilized on any Lot in Crimson View. Any play or recreational equipment shall not be Visible from Neighboring Properties, and must be constructed within the building envelope of the Lot.

## **2.30 MAILBOXES AND ADDRESS IDENTIFICATION**

No Owner shall maintain any mailbox on any Lot or on any portion of the Common Area. Cluster mailboxes are provided for use by Owners within the Community. Each home shall contain individual address identification, design to be approved by the Design Review Committee.

# **3. DESIGN REVIEW & INSPECTION PROCESS**

The Design Review Committee must review and approve all construction which takes place within Crimson View. This includes new homes, other buildings, all grading, driveways, landscaping, fences, walls, gates, and other improvements placed on the Lot. The Design Review Committee may employ the use of professional consultants and/or architects to assist in the review of designs and construction inspections of new homes and modification projects.

Approval of a detached single family home, or major addition project, by the Design Review Committee involves successful completion of five (5) stages.

1. Preliminary Review
2. Final Document Review
3. Pre-Construction Inspection
4. Work in progress Inspections
5. Final Site Inspection

These stages are progressive and are intended to assure compliance with the Crimson View Design Guidelines. The above five (5) review stages must be completed separately and in the order shown. All approvals shall be in writing from the Committee. Reviews are to determine the recommendation of the approving architect. Approval of submitted final plans must be obtained from the Homeowners Association.

All plans and documents shall be submitted in duplicate with one (1) copy to be retained by the Design Review Committee and one (1) returned to the applicant. All submittals must follow instructions and contain all required information, including calculations and certifications as outlined in these Design Guidelines. If a discrepancy occurs, plans will not be accepted for processing.

Plans shall be submitted to:           **Crimson View Design Review Committee** (c/o HOAMCO)  
  **Contact Number (928) 776-4479**  
  **3205 Lakeside Village**  
  **Prescott, AZ 86301**

Review and approval of the submitted final plans applies only to planned site and building development and does not necessarily imply acceptance or approval of any project layout or construction.

Approvals and reviews from the Homeowners Association and reviewing architect are for compliance with applicable Crimson View Conditions, Covenants, Standards and Restrictions only. Separate approval and/or building permits may be required from the City of Sedona and other agencies before any construction takes place. It is the responsibility of the homeowner to secure required approvals for any work undertaken.

The fee for the review process is **\$3,750.00**. The total amount shall be submitted with the Preliminary Review request. This fee (made payable to *HOAMCO*) is **non-refundable** in the event the project is abandoned by the Owner or rejected by the Committee. Additional review fees may be required for more than one submittal of preliminary and final plans for review, additions, etc.

Any additions or modifications to exterior elevations, pools, patios, decks, driveways, walks or a freestanding building shall be submitted to the Committee through this approval process.

Review fees may be adjusted on a periodic basis or in amounts commensurate with the scale of the project. Failure to submit plans to the Committee prior to obtaining governmental review or plan check through the City of Sedona places the Owner at risk and is done at Owner's sole discretion.

Throughout the Design Review Process, both the builder and the Lot Owner will be notified of any action taken involving that particular Lot.

***Note:** Please allow up to thirty (30) business days for each of the preliminary and final review processes. In the event the Design Review Committee fails to approve or disapprove any design and location within thirty (30) business days after each plan submittal, approval will not be required and the Owner will have been deemed to have complied with the Declaration.*

**Development Plans shall include:**

- a. **Site plan** scale no less than 1" = 20' with north arrow, title and date and topography with 2' contours. Identify Lot area, existing trees, residence footprint, driveway access, utility locations and A/C location. Identify location of construction toilets and dumpsters.
- b. **Grading Plan** scale no less than 1" = 20' with north arrow, title, date and topography with one foot contour intervals. Include drainage flow and details.
- c. **Landscaping Plan** scale no less than 1" = 20' including a mature vegetation and open space

preservation plan, showing both the percentage of undisturbed open space and identifying all significant vegetation. (See Lot Section 1.4, page 6 for detailed requirements). Limits of disturbed areas and restoration treatment methods shall be detailed, including any ground cover, plantings (include size, species & location), drainage treatments, hardscape designs, etc.

**Architectural Plans shall include:**

- a. Floor Plan (1/4"=1' scale)
- b. Exterior Elevations (1/4" = 1' scale)
- c. Roof Plan (1/4" = 1' scale)
- d. Electrical Plans (1/4" = 1' scale)
- e. Exterior Color and Building Materials
- f. Exterior Detail pages
- g. Patios / Pools / Ramadas

### **3.1 PRELIMINARY PLAN REVIEW**

1. Design Review Application
2. Two (2) bound sets (on std 24" x 36" plan sheets) one (1) bound set 30" x 42" plus digital set including:
  - a) Development Plans (as noted above)
    - Design Review Committee requires that each category, i.e. site, grading, landscape, be on a separate sheet. Grading plan and site plan may be combined on one sheet if so desired.
  - b) Architectural Plans (as noted above)
3. **Non-refundable review & inspection Fee: \$3,750.00 (made payable to HOAMCO)**

**Note:** Revisions and/or corrections to plans require the Design Review Committee to have 3-5 business days to review and comment upon them from the date and time of delivery of a **hard copy** set of plans. Digital alone is not adequate, but a PDF is supportive and helpful.

### **3.2 FINAL DOCUMENT REVIEW**

1. Two (2) bound sets (on standard 24" x 36" plan sheets), one (1) bound set 30" x 42" plus digital set including:
  - a) Completed Plans and Specifications as would be submitted to City of Sedona for Building permit/s, including final version of Development and Architectural plans noted above.
  - b) Final Landscape Plan (with percentage of undisturbed open space specified)
2. Colors/Materials Selection Form & Materials Samples (as noted)
  - Include actual color samples of major exterior materials: including roofing; siding; color/stain cards; stone; cut sheets for garage door, entry door, light fixtures, etc.
3. Construction Schedule
4. When plans for a new home are approved and stamped with the CV imprint, the plans with the imprint must be presented to the City of Sedona for its acceptance, and stamped by the City on the same drawings. Two sets of drawings, and digital set double-stamped, will then be provided; (1) Digital to the Design Review Committee, one (1) bound set 30" x 42" (1) Digital to HOAMCO, (1) Bound set to City of Sedona, and (1) Bound set at the home construction site. Design plans not double stamped are prohibited on that location.

### **3.3 DESIGN REVIEW MEETINGS**

The Design Review Committee will review Preliminary and Final Plan Submittals and respond in writing either by mail or email within thirty (30) business days after receiving each complete Plan Submittal. Owner or Owner's Agent will be allowed to attend the meeting where the final decision is made on the approval of plans.

If a final submittal is not received within one (1) year of the preliminary submittal review, the submittal will be considered abandoned. Any approval granted will be considered valid for one (1) year from date of approval. The submittal will be considered abandoned if construction has not commenced within that time period, and the Owner will be required to re-submit plans, beginning at the preliminary stage, if the project is to continue. Notice of Design Review Committee meetings will be provided, in accordance with Association policy.

### **3.4 CONSTRUCTION "COMPLIANCE" DEPOSIT**

No construction of a Dwelling Unit may commence until the Owner has provided the required **\$25,000 refundable construction "compliance" deposit**, or an amount which may be, from time to time, set by the Committee. Deposit will be refundable to the Owner, in accordance with ARS §33-1817, less any fines determined by the Committee, on completion of construction provided that the construction is per the approved plan and in accordance with the Architectural Guidelines; damage to adjacent properties, non-building envelope areas, and the road have been repaired; construction debris have been removed; and re-vegetation has been made or definitive plans for re-vegetation have been approved by the Committee. Fines may be levied for violations of the Construction Rules & Regulations, as established at the time plans were approved and if violated during the construction of the residence.

### **3.5 PRE-CONSTRUCTION INSPECTION**

Prior to commencing with construction, the Owner and/or builder must meet with the Design Review Committee or their representative for a pre-construction inspection of the site. At that time, the corners of the building should be staked along with the building envelope being strung. Construction fencing shall be installed and FF elevation benchmark established. Other major points of the driveway, patio walls, setbacks, flood prone areas, conservation areas, and all other areas pertinent to the construction shall be designated as well. The Design Review Committee is to be given three (3) business day notice prior to the inspection.

### **3.6 WORK IN PROGRESS INSPECTIONS**

The Design Review Committee shall provide bi-weekly inspections, with other periodic inspections as needed, of all work in progress and give notice of non-compliance if found. The Design Review Committee will provide at least two (2) on-site formal reviews during the construction process, for the purpose of determining compliance with the approved plans. Owner or Owner's agent will be provided the opportunity to attend these formal reviews. Within five (5) business days after the formal reviews, a written report will be provided to the owner or owner's agent, specifying any deficiencies, violations or unapproved variations from the approved plans, as amended, that have come to the attention of the Association. All required reporting from the formal inspections to be in accordance with ARS §33-1817

### **3.7 FINAL SITE INSPECTION**

A final inspection must be completed prior to occupancy and a Certificate of Occupancy must be obtained from the City of Sedona with a copy of that certificate being submitted with the request for final inspection. No final inspection will be completed until such certificate is received by the Design Review Committee. Owner or Owners agent will be invited to attend the final inspection, along with the Design Review Committee representative. Final inspection shall coincide with the 2<sup>nd</sup> required formal inspection and shall comply with the reporting requirements and construction deposit refund requirements of ARS §33-1817. Along with compliance with undisturbed space requirements, compliance with the approved plans and other requirements of these guidelines are required for final approval.

The Design Review Committee is to be given at least three business day notice prior to the inspection.

### **3.8 EXTERIOR MODIFICATIONS REVIEW**

Prior to making any repairs, exterior modifications or landscaping alterations to an existing home or improvements, an “Application for Repair of or Modification to an Existing Residence” or if landscaping only use ‘Request for Landscape Modification to an Existing Residence’ shall be submitted to the Design Review Committee along with the required current review fee, if required. Minor projects will be reviewed and approved directly by the Crimson View Design Review Committee, while larger more complex project reviews may be conducted with the assistance of the Design Review Committee consultant, in which case a fee will be required. Contact the Design Review Committee representative for current fee requirements on modification projects.

Depending on the scope of the modification, the Committee may require the Owner to follow the additional procedures as outlined above. For a simple modification, a less detailed description, such as simple plans, a written narrative, and material or color samples may only be necessary to demonstrate the proposed modification. In all cases, these Design Guidelines shall apply as the review standard used for consideration of the proposed modification. A refundable construction deposit may be required for modification projects, at the discretion of the Design Review Committee.

## **4. CONSTRUCTION RULES AND REGULATIONS**

### **4.1 CONSTRUCTION FENCING**

A five (5) foot construction area adjacent to any improvements must be allocated along Lot boundary. Prior to any clearing or grading, the Lot shall be clearly staked and fenced and shall remain standing during construction through Final Site Inspection approval by the Design Review Committee.

The Lot construction fence shall be brought out to the street and constructed of steel posts and plastic mesh orange construction fence or alternative fencing approved by the Design Review Committee. This is necessary in order to protect and monitor the undisturbed areas. Failure to comply may result in substantial fines (see Crimson View Protective Covenants).

### **4.2 CONSTRUCTION REGULATIONS**

All construction must be performed in compliance with all federal, state and/or local laws, regulations and/or guidelines. All improvements must be constructed in a good and workmanlike manner and they must conform to the approved plans and specifications

No construction or improvement (including site preparation, removal of trees, etc.) shall begin prior to receiving final written approval from the Design Review Committee. A pre-construction site survey with the field inspector is required before commencing with construction.

During site clearing, trenching & excavation, continual dust suppression methods are to be employed to ensure mitigation of dust from the Lot. The use of temporary water sprinklers are required from 7am – 7pm for three (3) days prior to initial excavation. After initial watering of the Lot, other watering methods may be used as long as used continually during the excavation process.

No construction equipment or materials may be left in the road. This includes dumpsters and portable toilets. Please contain all construction materials and equipment on the site/Lot within the building envelope.

Electrical connections and hook-ups are required as soon as possible in the construction process to prevent generator noise.

Portable generators shall not be used during construction, except during the first six (6) weeks when regular power is not available on the lot.

Water connections and hook-ups are required prior to construction for use in construction and for fire prevention assistance.

All Owners and their builder/contractor are required to understand and acknowledge the construction requirements for building within the Crimson View Community. Please reference the “Construction Regulations” form located at the end of this document for further detailed requirements. This form will be reviewed at the required pre-construction meeting and must be signed by the building contractor on behalf of the Owner.

### **4.3 FINES**

For any violation of the Design Guidelines and/or the “Construction Regulations” of Crimson View, fines may be assessed, in accordance with details herein. Fines will be assessed in \$250 increments, per occurrence. For continuing violations of the same occurrence, such fines may continue up to a maximum of \$1,000. The Crimson View Design Review Committee reserves the right to apply larger fines, up to \$1,000 for any extreme violation of these Rules and Regulations.

Fines are to be paid within ten (10) days of receiving the “Notice of Violation.” All violation payments shall be payable to *Crimson View Homeowners Association* and shall note the appropriate Lot number on the check. Fines may be appealed, in writing, to the Crimson View Board of Directors within seven (7) days of receipt of violation. ***If the fine is not paid within ten (10) days, the amount will be deducted from the Construction “Compliance” Deposit, as detailed in Section 3.4 of these Guidelines.***

### **4.4 FORMS AND REQUESTS**

The following documents can be found on the Crimson View Website:  
For Landscape Approved and Prohibited Plant List – Ctrl/Click the following link

<https://crimsonviewhoa.com/landscape-info>

APPROVED PLANT LIST FOR CRIMSON VIEW  
PROHIBITED PLANT LIST FOR CRIMSON VIEW

For New and Existing Construction – Ctrl/Click the following link

<https://crimsonviewhoa.com/important-documents>

DESIGN REVIEW APPLICATION & CONSTRUCTION AGREEMENT  
COLOR/MATERIALS SELECTION FORM  
DRAINAGE ACKNOWLEDGEMENT FORM  
JOB SITE POSTING: CONSTRUCTION REGULATIONS FOR GENERAL CONTRACTORS AND

## SUBCONTRACTORS

APPLICATION FOR REPAIR OF / OR MODIFICATION TO AN EXISTING RESIDENCE

APPLICATION FOR LANDSCAPE MODIFICATION TO AN EXISTING RESIDENCE

APPLICATION FOR NO TRESPASSING SIGN

CONSTRUCTION REGULATIONS FOR REPAIRS AND MODIFICATIONS

## 5. APPENDIX A RIGHTS AND ORGANIZATION

### 5.1 AMENDMENT OF CRIMSON VIEW DESIGN GUIDELINES

The Design Review Committee may, from time to time and in its sole discretion, adopt, amend, and repeal by majority vote, rules and regulations to be incorporated into these Design Guidelines which, among other things, interpret, supplement, implement or entirely revise the provisions of these Design Guidelines. The Design Guidelines may be modified or supplemented from time to time by the Design Review Committee without the necessity of any vote or approval of the Owners or Members. This means that different standards may apply to different parts of Crimson View. All such rules, regulations or amendments, as may from time to time be adopted, amended or repealed, should be appended to and made a part of the Crimson View Design Guidelines and shall have the same force and effect as if they were set forth in, and were part of, the applicable Guidelines. The most current copy of the Crimson View Design Guidelines can be accessed on the HOAMCO website via the Caliber Portal or the Crimson View Website.

<https://crimsonviewhoa.com/>

### 5.2 ENFORCEMENT

These Crimson View Design Guidelines will be enforced by the Design Review Committee as provided herein or in the Master Declaration.

### 5.3 RIGHT OF WAIVER

The Design Review Committee reserves the right to waive or vary any of the procedures or standards set forth at its discretion, for good cause shown.