

Residential Improvement Design Standards

Woodbridge Station Homeowners Association

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I. INTRODUCTION

1.01 **DEFINITIONS** - The following words, when used in these Regulations, shall have the meaning hereinafter specified:

- A. **Association** - Shall mean Woodbridge Station Homeowners Association, Inc., a Colorado corporation not for profit, its successors and assigns.
- B. **Declaration** - Shall mean the Declaration of Covenants, Conditions and Restrictions for Woodbridge Station Homeowners Association, Inc. recorded in Adams County, Colorado, on October 23, 1995, under Reception No. - CO117684 as thereafter Amended and Supplemented.
- C. **Committee** - Shall mean the Design Review Committee (DRC), duly appointed in conformance with Article 4, of the Declaration to review the erection, placement, and alteration of Improvements to Property in Woodbridge Station Subdivision.
- D. **Subdivision** - Shall mean the Woodbridge Station Subdivision.
- E. **Property (ies)** - Shall mean all lots and common areas, developed or undeveloped, within the Woodbridge Station Subdivision.
- F. **Lot** - Shall mean any numbered plot of land shown upon any recorded subdivision plat of the Properties which is not designated as a common area.
- G. **Common Area** - Shall mean all the real Property, including Improvements thereon, owned by the Association and/or the City of Thornton, including those portions of City right-of-way that the Association may be obligated to maintain per approved Development Permit(s) for Woodbridge Station, for the common use and enjoyment of the Owners of the Properties.
- H. **Owner** - Shall mean the recorded Owner, including contract sellers, whether one or more persons or entities, of fee simple title to any lot or living unit situated upon the Properties.
- I. **Declarant** - Shall mean the Declarant as defined in the Declaration of Covenants, Conditions and Restrictions for Woodbridge Station Homeowners Association, Inc., Article 2, Section 2.015.
- J. **Improvement(s)** - Shall mean Improvement(s) as defined in the Declaration of Covenants, Conditions and Restrictions for Woodbridge Station Homeowners Association, Inc., Article 2, Section 2.020.
- K. **Variance Request** - Shall mean to request a deviation from the "Residential Improvement Design Standard" for house or lot orientation problems.
- L. **Management Company (MGTC)** - Shall refer to the Management Company hired by the HOA Board of Directors to manage the community affairs on a daily basis.

1.02 **REGULATIONS FOR THE DESIGN REVIEW COMMITTEE** - The Declaration requires prior approval by the DRC or its designated representatives before any building, fence, or other structure is erected, placed, or altered (“Improvements to Property”). Improvements to Property include, but are not limited to, any landscaping of Property; the construction or installation of a patio, deck, pool, hot tub; the construction, demolition or removal of any building or other structure; and any change of the exterior appearance of a building or other Improvement. The Regulations contained herein establish certain acceptable designs for different types of Improvements. These Regulations apply to residential Property in the Woodbridge Station Subdivision. The Regulations are intended to assist the Owners in the Association. All proposed Improvements to Property must be submitted to the DRC.

1.03 **CONTENT OF REGULATIONS** - In addition to the introductory material, these Regulations contain:

- (A) a listing of specific types of Improvements which Owners might wish to make, with specific information as to each of these types of Improvements;
- (B) a summary of procedures for obtaining approval from the Committee; and figures showing approved designs for fences and mailboxes.

1.04 **EFFECT OF THE DECLARATION** - Copies of the Declaration are provided to new and resale Owners when they purchase their homes. Each Owner should receive and become familiar with the Declaration. Nothing in these Regulations shall supersede or alter the provisions or requirements of the Declaration’s provisions relating to the use of the Properties, and to Improvements to Property, which are found in Articles 3, 4 and 5 of the Declaration.

1.05 **EFFECT OF GOVERNMENTAL AND OTHER REGULATIONS** - Use of the Properties and Improvements to Property must comply with applicable building codes and other governmental requirements and Regulations. Approval by the DRC will not constitute assurance that Improvements comply with applicable governmental requirements and Regulations, or that a permit or approvals are not also required from applicable governmental bodies. For information about City of Thornton requirements, Owners must write or call the City of Thornton at 303-538-7250.

1.06 **INTERFERENCE WITH UTILITIES** - In making Improvements to Property, Owners are responsible for locating all water, sewer, gas, electric, telephone, cable television, irrigation lines, or other utility lines or easements. Owners should not construct any Improvement over such easements without the consent of the utility involved, and Owners will be responsible for any damage to utility lines. Underground utility lines and easements can usually be located by contacting the following entities:

- Adams County
- City of Thornton Utilities Department
- Xcel Energy
- Qwest Communications
- Comcast (cable television)
- Woodbridge Station Homeowners Association, Inc. (Common Area irrigation)
- UNCC (Utility Notification Center) 800-922-1987

- 1.07 **GOAL OF REGULATIONS** - Compliance with these Regulations and the provisions of the Declaration will help preserve the inherent architectural and aesthetic quality of the Woodbridge Station Subdivision. It is important that the Improvements to Property be made in harmony with, and not detrimental to, the rest of the community. A spirit of cooperation with the DRC and neighbors will go far in creating an optimum environment which will benefit the Owners. By following these Regulations and obtaining approvals for Improvements from the DRC, owners will be protecting their financial investment and will help to promote Improvements that are compatible with the standards for Woodbridge Station Subdivision.
- 1.08 **INTERPRETATION OF THE REGULATIONS** – The Association Board of Directors & the DRC shall interpret these Regulations.
- 1.09 **ENFORCEMENT OF DECLARATION AND REGULATIONS** -The MGTC shall have primary responsibility for the enforcement of the Declaration and Regulations. The MGTC will investigate written complaints of Owners on violations of Declaration or Regulations if such complaints are dated and signed by the Owner. The DRC, the Association Board of Directors, and employees of the Association shall use all reasonable means to maintain the anonymity of complaining homeowners. If a violation is found, the MGTC will notify the Owner in violation, in writing, requesting that appropriate action be taken to maintain compliance. If the Owner in violation does not come into compliance with the Declaration or Regulations after receipt of two written letters from the MGTC, the MGTC will request that the violation be referred to the Association Board of Directors for enforcement action.
- 1.10 **ADVISEMENT OF NEIGHBORS** - It is advised that Homeowners advise neighbors prior to submitting forms for structural changes or additions. In certain cases, the DRC may require adjacent neighbor approval.

II. SPECIFIC TYPES OF IMPROVEMENTS - REGULATIONS

2.001 GENERAL

- A. The following alphabetical list covers a wide variety of specific types of Improvements or alterations which Owners and builders typically consider installing. Pertinent information is given as to each. Unless otherwise specifically stated, drawings or plans for a proposed Improvement shall be submitted to the DRC, and written approval of the DRC shall be obtained before the Improvements are made. Drawings or plans shall include dimensions, setbacks, roof slopes, and both elevation and plan views of all proposed expansions or additions. Applications for paint change must be accompanied by a 1 foot by 1 foot sample of the main and trim paint color painted on the garage door (shutter colors should be painted on shutters), along with a written description of color schemes of adjacent homes. Drawings, plans and other color samples will be retained in Association files for future reference.
- B. The architectural style of a proposed residence shall be consistent with the style and character of the other single family residences within each sub-neighborhood built in Woodbridge Station Subdivision, per the opinion of the DRC.

- 2.002 **ADDITIONS AND EXPANSIONS** - DRC approval is required. Additions or expansions to the home will require submission of detailed plans and specifications, including description of materials to be used, and plan and elevation drawings showing dimensions, setbacks, roof slopes, etc. Additions and expansions must be of the same architectural style and color as that of the residences.
- 2.003 **ADDRESS NUMBERS** – Addresses must be on the front of the house located within 3 feet of either the front door or the main garage door and visible from the street.
- 2.004 **ADVERTISING** - See signs.
- 2.005 **AIR CONDITIONING EQUIPMENT / SWAMP COOLERS** - DRC approval is required. Air conditioning equipment, including traditional galvanized swamp coolers, must be ground-mounted and installed in the rear or side yard; they should not be visible from the street right-of-way. It should be installed in such a way that any noise to adjacent Property Owners is minimized. Installation of air conditioning equipment in a window of the house will not be permitted.
- Swamp Coolers:** In compliance with new State Regulations for energy efficiency, polymer style swamp coolers may be installed on the roof, however DRC approval is required prior to installation. Swamp Coolers must meet all applicable City of Thornton code requirements and be of a color to complement the present roofing material and jacks. No older style galvanized models will be allowed on the roof.
- 2.006 **ANIMALS** - Under Article 3, Section 3.14 of the Declaration, no animals or livestock of any kind shall be raised, bred or kept on any part of the Properties or in any living unit, except that not more than four (4) dogs, cats, poultry, or other household pets in the aggregate may be kept on any lot or in any living unit thereon or on the Common Area, but only if they are not raised, bred, kept or maintained for any commercial purpose. No horses shall be kept on the Property. Dogs, cats or other household pets owned by Owners or their guests shall not be permitted to run at large, but shall be kept under the control of such Owner by leash, cord or chain. The Owner of any dog, cat, poultry, or other household pet shall immediately remove excrement deposited by said animal upon the Properties. City of Thornton ordinances also restrict the activities of dogs, cats and other animals when off Owners' lots. Owners must adhere to city ordinances for all animal issues not addressed.
- 2.007 **ANTENNAS**' - No exterior radio antennas, television antennas or other antennas may be erected, however, the DRC may approve radio antennas and TV satellite dishes with the following requirements:
- Radio Antennas may be a single stem 6-foot maximum height and must be located on the back roof line not to be seen from the front of the house. The antenna must meet any applicable City of Thornton codes.
 - Each Satellite dish must be less than twenty –four inches (24”) in diameter and located in the rear yard, side yard or roof and appropriately placed so as to minimize visual clutter.
 - A written request with specifications and a photograph of the home indicating the location where the instrument is to be placed must be submitted for approval prior to any installation.

(See also Resolution on Antenna & Satellite Dish Regulation, 01/15/97)

- 2.008 **ASTRO-TURF** - Or other floor covering shall not be used on front porch or balconies.
- 2.009 **AWNINGS** - See Overhang.
- 2.010 **BALCONIES** - See Decks.
- 2.011 **BASKETBALL BACKBOARDS** See Playground and Sports Equipment.
- 2.012 **BIRDHOUSES AND BIRDFEEDERS** - a birdhouse may only be installed in the back yard. Up to three birdfeeders are allowed in the front yard in a tree. No POLE type feeders will be allowed in the front yard, only in the back yard. Humming bird feeders will be allowed on the front porch. .
- 2.013 **BOATS** - See Motor Home Vehicles.
- 2.014 **BUG ZAPPERS** – are allowed and shall be in use ONLY when the home owner is present.
- 2.015 **BUILDING HEIGHT** - Only as regulated by City of Thornton code.
- 2.016 **CABLE TV ANTENNAS** - See Antennas.
- 2.017 **CAMPERS** - See Motor Home Vehicles.
- 2.018 **CARPORT** - Not permitted.
- 2.019 **CIRCULAR DRIVES** - See Driveways.
- 2.020 **CLOTHESLINES** - in compliance with new state regulations for energy efficiency. Clotheslines will be allowed in the back yard. The clothesline must be retractable and any pole removed when not in use.
- 2.021 **CLOTH OR CANVAS OVERHANGS** - See Overhangs.
- 2.022 **COLOR** - See Painting.
- 2.023 **CORNER VISIBILITY** - Compliance with City of Thornton intersection sight distance criteria must be adhered to. In addition, to assist with aesthetics and to assist with front yard view on certain lots, owners of lots whose rear property lines are common to the side property line of adjacent lots are restricted to installing split-rail or open-rail lot boundary fences on the side lot adjacent to the street and at least 25' from the street on the back lot boundaries, unless otherwise approved by the DRC.

- 2.024 **DECKS** - DRC approval is required. Must be constructed of wood or other material matching the material of the residence and, if painted, must match the color scheme of the residence, unless otherwise approved by the DRC. Must be installed as an integral part of the residence and patio area. Must be located so as not to obstruct or diminish the view of the adjacent Property Owners. Construction of decks over easement areas is not permitted.
- 2.025 **DOG RUNS** - DRC approval is required. Dog runs must be constructed with fencing of the same design as approved in Section 2.032 or as otherwise approved by the DRC. Dog runs must be located in the rear or side yard, abutting the home and substantially screened from view. They are limited in size to 575 square feet, cannot be higher than the lot boundary fence, and in no case can be more than six (6) feet high. Wood screening or mature landscape screening is required to hide a substantial view of the run. Dog runs must have double fence when next to any Association fence or neighbor's fence and may not use any Association fence or neighbors fence as any part of the dog run fence.
- 2.026 **DOORS** - Security doors and window bars require DRC approval and may only be installed on the lower level rear of the house. They are not permitted in the front of the house. Storm doors, screen doors and replacement entry doors do not require DRC approval but must conform to the basic exterior color scheme of the house.
- 2.027 **DRAINAGE** - All drainage devices, such as French drains, etc. must be approved in writing by the DRC. Approval shall not be granted unless provision is made for adequate alternative drainage. The established drainage pattern over any property cannot be changed without written permission from the DRC. All drainage directed to or across Association common property of Association maintained area must receive DRC approval. Any change to the drainage flow, direction, manner, etc., may require City approval. A homeowner is strongly advised to consult with the Thornton Public Works Department on any project that may affect drainage. French drains, trench drains, or similar devices may not discharge into any Association property. If required by the DRC, drainage may be carried across Association property or City property via a DRC-approved mechanism at the homeowner's cost.
- 2.028 **DRIVEWAYS** - Modifications to the original driveway require DRC approval. All driveways leading from the street to the house will be constructed of permanent, properly formed, hard-surfaced paving (i.e., concrete with a four (4) inch minimum thickness). Extensions to existing driveways may not be more than three feet (3') in width on either side with the exception of one eight foot (8') for extra parking. Extensions must be constructed of concrete, natural or artificial stone, or brick pavers. No asphalt extensions are acceptable. The driveway surface will be properly maintained and free from stains. Parking on rock is permitted as long as rock is maintained. Parking on grass is not permitted at anytime.
- 2.029 **EVAPORATIVE COOLERS** - See Air Conditioning Equipment.
- 2.030 **EXTERIOR LIGHTING** - See Lights and Lighting.
- 2.031 **EXTERIOR MATERIALS** - The only acceptable exterior building materials are high-quality hardboard lap siding, high-quality state of the art vinyl siding, brick, stone, or other harmonious materials utilized for accent or home details as approved by the DRC. Traditional exterior details such as front porches, gables, columns, bay windows, shutters, and window trim shall be used where appropriate if approved by the DRC.

Colors shall be neutral or earthen tones and shall blend to the visual benefit of the development.

2.032 **FENCES:** (See Also Addendum 10/14/97 at end of Manual)

- A. **General** - Fences and/or walls/brick columns/entrance monuments constructed by developer and/or builder along or abutting Property lines, arterial streets, collector~ streets and local streets may not be removed, replaced, stained or painted a different color or altered, including adding a gate, without approval of the DRC. If any such fences and/or walls/brick columns/entrance monuments constructed by developer and/or builder which are located upon an Owner's Property are damaged or destroyed by Owner or Owner's agents, the Owner shall repair and recondition the same at the Owner's expense.

- B. **Drainage Under Fencing** - It is important to remember that certain drainage patterns may exist along or under proposed fence locations. When constructing a fence, be sure to provide for a space between the bottom of the fence and the ground elevation so as not to block these drainage patterns.

- C. **Fence Design** - Fences may not be constructed without DRC approval. The recommended construction shall be in accordance with the specifications shown on Figures 1 through 7 attached and in compatibility with neighbors' existing fences. All Lot Boundary Fences must be a maximum of six feet high (Figure 4A). Such property line fences shall be made of either wood or composite materials and may be of solid rail, open split rail or open flat rail (wood fence). The minimum height for a solid lot boundary fence is five feet. Open rail fences must be approximately three feet six inches (3'6") or four feet six inches (4'6") in height and must be constructed in accordance with Figures 1, 2, 3, and 7. Transitions between a six foot (6') or five foot (5') fence and fences of lower heights must be as shown in Figure 4. Gates in fencing must be constructed in accordance with Figures 5 and 6. As to lots with a slope rising away from the house, the DRC will consider approval of either the five foot (5') or six foot (6') fence at the top of the slope rather than on the property line at the top of the slope, or the three foot six inch (3'6") open fence (mentioned above) along the property line at the top of the slope. In this case, a landscaping and maintenance plan for the slope area may be required by the DRC. All of the above-mentioned fencing must be constructed of rough-sawn material as noted, and split rail fences must be constructed with either standard or jumbo rails. All fences must adhere to sight triangle regulations by City of Thornton.
 - (1) **Front Yard Property Line Fencing** - Height limitation will be three foot six inches (3'6"). Design must be similar to that shown in Figure 1.

- (2) **Lot Boundary Fences** - Height limitations will be five feet (5') or six feet (6') for privacy fences (see Figures 4A and 4B), 4'6" for 3-rail fences (see Figures 2, 3, and 7), and 3'6" for 2-rail fences (see Figures 1, 3, and 7).
- (3) **Fences or Screening Located Within Property Line** - Must be an integral part of the landscape design.
- (4) **Double Fencing** - Not permitted, except see Dog Run, Section 2.25. Double fencing is not the same as double facing. Check with the DRC.
- (5) **Solid Fences** - Must be constructed with the 2x4 framing and 4x4 posts on the constructing Owner's Property (i.e., the smooth side of the wood slats on the front elevation of the fence in Figure 4 must face away from the Owner's house). Alternating panels (smooth side in, then smooth side out) of no more than eight feet (8') in width are allowed only between adjacent Properties. Side yard fences ("return fence") may not extend past the front corner of the house/garage. In most cases, the DRC will require fence returns to be set back from the front of the house/garage a minimum of six (6) feet.

- D. No plastic chicken wire, hog wire, barbed wire, or strand wire will be allowed. Chain link fences will only be allowed for Dog Runs (see Section 2.25). Welded wire (2"x4") mesh, either galvanized or white-coated (for PVC fences), may be attached to an open fence, if installed on the inside of the fence and not extending above the top rail. In general, only open rail fencing will be allowed on property lines abutting common walkways and greenbelts (including the community park). Exceptions are as shown on the Development Permit for Woodbridge Station and as approved by the DRC. All property line fence height differentials must be treated with a transition fence similar in design to that shown on Figure 4.
- E. Fences shall not be constructed within City right-of-way areas and, therefore, must be set back from the sidewalk a minimum distance of at least three-and-one-half feet (3'-6"). The fence setback from the sidewalk shall be the same distance for all adjacent corner lots so that the side lot boundary fences of both Owners shall meet at the back property line shared between the two Owners. Front fence returns of adjacent homeowners should meet at the same point when possible.

- (1) **Perimeter Fences** - A 6' solid perimeter fence may bound those homes with lots adjacent to residential collector streets or peripheral arterial streets. These fences have been constructed by the builder and/or developer. Maintenance of the fence and brick columns is the responsibility of the Association. The Board may deem it necessary for a special assessment to be passed on to the homeowners to cover the cost of repairs. Perimeter fences may not have gates or removable sections of any sort. There can be no rear or side yard access through perimeter fences.
- (2) **Lot Boundary Fences** - Must be maintained in good repair. Lot solid fences (whether 5' or 6') usually run along common lot lines separating two homeowners' yards. Ownership is sometimes shared between the two homeowners and maintenance is the shared responsibility of the two homeowners. Front yard fence returns between the house and side lot lines may have a gate.
- (3) **Greenbelt Fences** - A greenbelt fence separates a homeowner's property from the greenbelt/public land/other landscaped tracts, including Tracts C, D, F and J. These fences have been constructed by the builder and/or developer. Maintenance of the fence and brick columns is the responsibility of the Association. The Board may deem it necessary for a special assessment to be passed on to the homeowners to cover the cost of repairs. Color must not be altered from the original fence material.
- (4) **Mesh Line Fences** - May be erected on the homeowner's side of a rail fence to assist in containment of pets or children. Ownership and responsibility for maintenance is solely the homeowner's.
- (5) **Chain Link Fences** - Are only acceptable for construction of dog runs. They may not be used as part of the lot boundary fencing. Ownership and responsibility for maintenance is solely the homeowner's.

2.033 **FIREWOOD STORAGE** - See Wood Storage.

2.034 **FLAGPOLES** - In compliance with state regulations, flagpoles will be allowed. The flagpole must meet any applicable City of Thornton code. Written consent is required from adjacent neighbors if you plan on lighting the pole.

2.035 **GARAGES** - A double car garage or maximum three car garage is to be attached as an integral part of the residence design. Garage doors shall be wood, hardboard or metal. Ref. 2.058 for painting information.

2.036 **GARBAGE CONTAINERS AND STORAGE AREAS** - See Trash Storage.

- 2.037 **GARDENS-FLOWERS** - All flower gardens must be weeded, cared for and carefully maintained.
- 2.038 **GARDENS-VEGETABLE** – Vegetable gardens will be located in the rear or side yard only and must be weeded, cared for and carefully maintained.
- 2.039 **GRADING AND GRADE CHANGES** - See Drainage.
- 2.040 **GREENHOUSES** - DRC approval is required. Structure must be located in the rear yard and conform to all applicable City of Thornton codes. If new structure is a contiguous part of the existing house, follow section 2.002. If the new structure is a stand alone structure, follow section 2.076.
- 2.041 **HANGING OF CLOTHES** - See Clotheslines.
- 2.042 **HOT TUBS** - DRC approval is required. Must be ground mounted and an integral part of the deck or patio area and of the rear yard landscaping. Must be in the rear yard. The bottom of which may not be more than 24" from the ground. Must be maintained and in good working order.
- 2.043 **HOLIDAY DECORATIONS** - All seasonal decorations and additional power cords must be removed within thirty (30) days of that particular holiday or celebration. Consideration of neighbors should be exercised when decorating for any occasion. Holiday decorations may not include any audio that can be heard beyond the limits of the lots. Extensions may be requested to the Board of Directors with reason.
- 2.044 **HOUSE NUMBERS** -. See Address Numbers.
- 2.045 **IRRIGATION SYSTEMS** - Underground manual or automatic irrigation systems will not require DRC approval.
- 2.046 **JACUZZI** - See Hot Tubs.
- 2.047 **JUNK VEHICLES** - See Motor Home Vehicles.
- 2.048 **LANDSCAPE, XERISCAPE AND MAINTENANCE** - DRC approval required.
Yards will be properly maintained, kept free of weeds and invasive grasses, and mowed, trimmed and thinned in an attractive and healthy condition. Owners have the duty to provide for regular weeding, pruning and maintenance of all plantings, including trees. Diseased or dead plant materials and trees shall be removed and replaced in a reasonable timeframe (30 days unless during winter). Yards shall be kept free of trash, construction materials and unsightly storage – this includes front, side and back yards, areas enclosed by fencing and areas adjacent to rear-lot fencing, garages and alleys. Driveways, setbacks, adjacent sidewalks and “teardrops”, including areas landscaped with river rock on either side of a home, garage and/or driveway, will be kept weed-free and well-maintained. Landscaping shall not encroach on sidewalks, pedestrian thoroughways and alleys. All landscape must be installed and maintained according to city of Thornton code.

- (A) Gravel, rock and/or soil piles left in front or on visible side yards of houses, in the street, or on the driveway shall be left no longer than a period of thirty (30) days. Leaving gravel, rock and/or soil piles in the street are a violation of a City of Thornton ordinance.
- (B) Delivery and placement of landscape materials shall not damage greenbelt or entry/median areas. Delivery trucks are not allowed to cross these areas (to avoid sprinkler and landscape damage). If this regulation is violated and damage to the common Properties results, the Owner will be held financially responsible for remedying the damage caused by the Owner or their agents.

2.049 **LATTICEWORK (PATTERN)** - DRC approval is required. Lattice work must be a minimum of 1/2" thick if it does not adjoin directly to the house.

2.050 **LIGHTS AND LIGHTING** - DRC approval is not required for exterior lighting if in accordance with the following regulations: Be as small in size as is reasonably practical. Exterior lighting should be directed towards the house and must be of low wattage to minimize glare sources to neighbors and other Owners. Low voltage lighting offers safety advantages over conventional house-voltage systems. Other lighting requests will require DRC approval.

2.051 **LIVESTOCK** - See Animals.

2.052 **MAILBOXES** - Mailbox pedestals are to be provided and installed by the homeowner per U.S. Postal standards on the lot boundary between two homes, individual mailboxes are precluded by postal regulation. Two mailboxes are to be installed on one pedestal whenever possible. Each of the two homeowners shall provide and install their own mailbox on the pedestal. Mailboxes must be of a standard style. DRC approval is required for any style or color other than matching original. Mailboxes must be of a standard style in the colors of black or galvanized. The two mailboxes on the same pedestal must be the same color, unless otherwise approved by the DRC. Single mailbox pedestals will be necessary in certain cases; for example, an odd number of lots in a cul-de-sac.

2.053 **MICROWAVE DISHES** - See Antennas.

2.054 **MINING AND DRILLING** - Not permitted. The Declaration, Article 3, Section 3.22, prohibits use of the Properties for the purpose of mining, quarrying, drilling, boring, or exploring for or removing oil, gas, or other hydrocarbons, minerals, rocks, stones, gravel, or earth.

2.055 **MOTOR HOME VEHICLES** - Not permitted to be located or parked permanently on the Properties or on streets within Woodbridge Station Subdivision. The Declaration provides that no trailer, motor home, camper, including vehicle-mounted camper, whether chassis or slide in, or pick-up coach, vehicle-mounted tent, boat, semi tractor-trailer, truck (except non-commercial van or pick-up) shall be parked or stored in, on, or about any Unit or street, except within an attached and enclosed garage or behind a privacy fence provided the vehicle cannot be seen from any public street, right-of-way or open space tract and/or park. These vehicles must be moved from the general area within 72 hours. Such vehicles may be kept only within garages. The Association does not permit enclosed structures other than garages for this type of storage. Inoperable (or junk) vehicles cannot be repaired, constructed or allowed to remain on any lot or on any private or public street in such a manner as to be visible from any portion of the Properties. City of Thomson ordinances may also restrict the parking of vehicles described above on any public streets.

2.056 **MOTORIZED VEHICLES** - Motorized Vehicles are not to be driven on greenbelts or Common Areas. This includes snowmobiles; golf carts, motorcycles, minibuses, go-carts, mopeds and delivery trucks, but excludes lawn cutting, snow removal or maintenance equipment. Such vehicles shall not be parked as to be visible from any of the Properties.

2.057 **OVERHANGS - CLOTH OR CANVAS** – DRC approval is required. The color must be the same as the exterior of the residence, unless otherwise approved by the DRC. Metal or fiberglass awnings are not permitted.

2.058 **PAINTING** - DRC approval is required for all painting, including repainting original colors as to maintain a record of painting maintenance for the property.

- (A) All exterior colors must be approved by the DRC. Colors specifically not allowed shall include, but not be limited to, purple, orange, red, black or pink. The DRC will assess the overall color composition formed by the individual materials.
- (B) All roof vent caps, louvers, plumbing stacks, chimney flashing, valley flashing, polymer style swamp coolers, etc., are to be painted a color not in contrast with the color of the roofing.
- (C) Whenever exterior painting is to be done, all changes must be approved by the DRC prior to any painting being done.
- (D) It is recommended that all homes be painted on a regular schedule to avoid chipping and peeling.
- (E) Colors which will meet requirements for approval are best described as being neutral or earthen tone colors.
- (F) All paints are to be flat paints or “velvasheen”, except in the case of doors and shutters. (Please note: metal doors will not successfully accept latex paint. They need enamel oil-based paint.)

- (G) Paint schemes must be different from neighboring homes. Submittals without a description of neighbors' paint colors will not be considered by the DRC.
- (H) Outlining the garage door panels in a contrasting color or in a checker board design is not permitted.
- (I) Selections should be submitted to the DRC in the form of one foot by one foot samples painted on the garage door, shutter colors shall be painted on shutters. PLEASE PLAN SUBMITTAL AHEAD OF THE THIRTY DAY REVIEW TIME FRAME ALLOWED FOR THE COMMITTEE.
- (J) All selections are reviewed by the DRC and, in some cases, by a professional consultant.
- (K) In general, after approval, only those areas that are painted may be repainted; only those areas stained may be restained; unpainted surfaces and unstained areas such as brick shall remain unpainted and unstained.

2.059 PATIO COVERS AND SUNROOMS:

Permanent patio covers: Permanent patio covers fixed to the house will need DRC approval and must show where the patio cover will be installed and must include designate materials, dimensions, and colors. The plan must meet any applicable City of Thomton code.

Temporary patio covers: The newer type temporary metal framed patio covers will be allowed. However, a plan does not need to be submitted to the DRC. The framing of the patio cover must be firmly attached to the deck or patio to prevent the patio cover from blowing away. It must be maintained and aesthetically pleasing.

Sunrooms: will need DRC approval and must show where the sunroom will be installed and must include designate materials, dimensions, and colors. The plan must meet any applicable City of Thomton code.

2.060 PATIOS - ENCLOSED - See Additions and Expansions.

2.061 PATIOS - OPEN - DRC approval is required. Must be an integral part of the landscape plan, and must be located so as not to create an unreasonable level of noise for adjacent Property Owners. Must be the same color and design as the residence, unless otherwise approved by the DRC. Patios and balconies shall not be used for storage other than patio furniture and barbecues.

2.062 **PAVING** - DRC approval is required for front yard changes, regardless of whether for walks, driveways, patio areas or other purposes, and regardless of whether concrete, brick, flagstones, stepping stones, pre-cast, patterned, exposed aggregate concrete or asphalt pavers are used as the paving material.

2.063 **PETS** — See Animals.

2.064 **PIPES** - See Utility Equipment.

2.065 **PLAYGROUND AND SPORTS EQUIPMENT**: Playground and sports equipment (trampolines, volleyball nets, tetherball poles, baseball/softball hitting practice poles, Basketball hoops, and Hockey nets) will be allowed. HOWEVER, the following regulations must be adhered to:

Temporary Basketball Hoops: In accordance with City of Thornton Code, No temporary basketball hoop is allowed in the street or to block the sidewalk at any time. Temporary Hoops will be allowed on the side of the driveway ½ way between the home and side walk. Also, if you choose you may remove the weight platform and cement in a PVC sleeve that the pole of your temporary back board may slide into. The PVC sleeve must be ½ way between the front of the home and the sidewalk. The sleeve must have a cover when no pole is attached.

Permanent Basketball hoops: Will be allowed on black or galvanized steel poles and must be cemented into place on the side of the drive way ½ ways between the front of the home and the sidewalk. If you choose you may make your pole temporary by cementing in a PVC sleeve that the pole of back board may slide into. The PVC sleeve must be ½ way between the front of the home and the sidewalk. The sleeve must have a cover when no pole is attached.

Garage Roof Mounted Basketball hoops: DRC approval is required. Back boards may not project more than 2 feet from the front of the garage. The support structure shall be clear, black or neutral color.

Trampolines: DRC approval is not required. Trampolines shall be placed in the rear or side yard and maintained to provide a safe equipment status.

Hockey Nets: Are allowed HOWEVER in accordance with City of Thornton code. Hockey nets must not be in the city street. Or impede the sidewalk. Hockey nets shall be used in the driveway only.

Swing sets: A wooden swing set or metal swing set will be allowed without DRC approval. The swing set shall be placed in the rear or side yard

Wooden Play Sets with 2 levels: Wooden play sets with 2 levels and an open design will be allowed but require DRC approval. The maximum height is 11' and height is determined from the ground to the tallest point of the Play Set and shall be placed in the rear or side yard.

The homeowner **MUST** submit the following to the DRC for approval:
A sketch of where in the yard it will be placed.
The type of play set that is being built.
The dimensions and Materials.
Written consent may be required from adjacent property owner surrounding the back yard only.

2.066 **POLES** - See Flagpoles, Utility Equipment, Basketball Backboard, etc.

2.067 **POOLS**: *Kidde pools*: Plastic or inflatable pool with depths of 2 feet or less and smaller than 10x12 are allowed without DRC approval. Placement of all pools is to be in the back yard of the lot.

Above ground pools: Above ground pools shall be the temporary type. No decking will be allowed around the pool.
The pool shall meet any applicable City of Thornton code.

In ground pools: DRC approval is required. The homeowner must submit the following: The type pool that is being built with the dimensions, materials, and a sketch of where in the back yard it will be placed (plot plan). Homeowner **MUST** have a building permit and meet City of Thornton Code.

Homes that submit requests for pools must have or Install (if facing greenbelt or park) six (6) foot perimeter fencing.

Written consent is required from adjacent property owner surrounding the back yard only.

2.068 **RADIO ANTENNAS** - See Antennas.

2.069 **ROOFS** - DRC approval is required. It is desired that the roofing materials in any related group of residences be the same in appearance and type. All roofs shall be made of Tile, Asphalt or Class A fiberglass shingle. All roof replacements must meet any applicable City of Thornton code,

2.070 **ROOFTOP EQUIPMENT** - Not permitted.

2.071 **SAUNAS** - See Additions and Expansions.

2.072 **SCREEN DOORS** - See Doors.

2.073 **SETBACKS** - Are defined by the Development Permit(s) as approved by the City of Thornton.

2.074 **SEWAGE DISPOSAL SYSTEMS** - Are not allowed.

2.076 **SHEDS** - DRC approval is required for sheds. The shed must meet any applicable City of Thornton code. Sheds shall be of vinyl or wood. Sheds must match the main color of the house and the roof shingles must match the color of the house shingles. Vinyl sheds should be as close as possible to the main house color. The maximum size may not exceed 10'x12'x13' height. Height equals from the ground to the tallest point of the building.

- 2.077 SHUTTERS - EXTERIOR** - DRC approval is required for changes to shutters, including paint, material or removal.
- 2.078 SIDING** - DRC approval is required. Siding must be essentially the same as the siding installed by the builder on other houses in the Subdivision, and must be painted according to standards in Section 2.058 "Painting". Aluminum or steel siding will not be permitted.
- 2.079 SIGNS** - The City of Thornton Sign Code and Article 3, Section 3.21, of the Declaration control signs. No sign of any kind shall be displayed to the public view on any part of the Properties, except one professional sign per dwelling advertising a dwelling for sale or rent. Non-advertising security system signs will be allowed. Construction marketing signs are permitted during construction. Garage sale signs shall be removed at the end of the last sale day. Exceptions can be made by approval of the board.
- 2.080 SKYLIGHTS** - DRC approval is required. Skylights must be the same type as installed in new homes by builder, and exterior trim must be painted according to Regulations. Skylights must have a flat profile, i.e., no curve, bubble, or round shapes.
- 2.081 SOLAR ENERGY DEVICES** - Must meet any applicable City of Thornton code.
- 2.082 SPAS** - See Hot Tubs.
- 2.083 SPRINKLER SYSTEMS** - See Irrigation Systems.
- 2.084 SQUARE FOOTAGE** - The City of Thornton code defines the square footage requirements for the original living area (above finished ground level and fully enclosed) for residences.
- 2.085 STATUARIES AND FOUNTAINS** - Any statuary less than 3 feet will be allowed in the front yard. Any statuary over 3 feet must get DRC approval.
- 2.086 STORAGE SHEDS** - See Sheds.
- 2.087 SUNSHADES** - See Overhangs.
- 2.088 SWAMP COOLERS** - See Air Conditioning Equipment.
- 2.089 SWINGSETS** - See Playground and Sports Equipment.
- 2.090 TELEVISION ANTENNAS** - See Antennas.
- 2.091 TEMPORARY STRUCTURES** - DRC approval is required for temporary structures in the front yard and must conform to all applicable City of Thornton codes.
- 2.092 TEMPORARY VEHICLES** - See Motor Home Vehicles.
- 2.093 TRAILERS** - See Motor Home Vehicles.

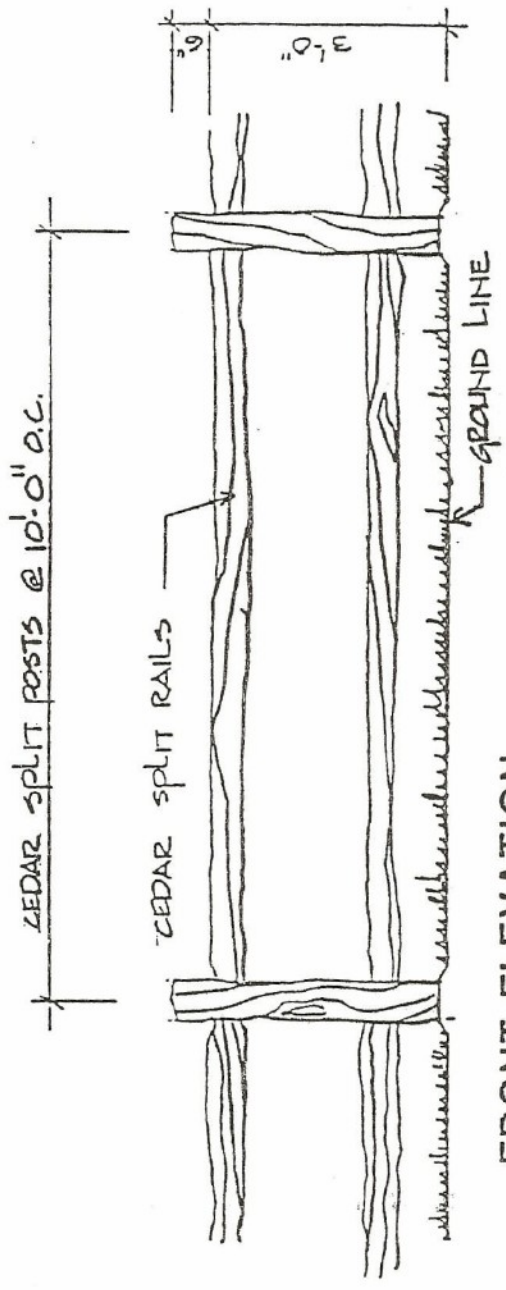
- 2.094 **TRASH CONTAINERS AND ENCLOSURES** – Containers will be kept within the garage or in the back yard behind a fence where they are not visible. They may be placed out at the street the day prior to your scheduled pickup and will be removed from the street within 24 hours of pickup.
- 2.095 **TREE HOUSES** - Not Permitted.
- 2.096 **UNDERDRAINS** - Modification or impeding the flow is prohibited.
- 2.097 **UTILITY EQUIPMENT** - Installation of utilities or utility equipment requires DRC approval unless located underground or within an enclosed structure. Pipes, wires, poles, utility meters and other utility facilities must be kept and maintained, to the extent reasonably possible, underground or within an enclosed structure.
- 2.098 **VANES** - DRC approval required.
- 2.099 **VEHICLES** - See Motor Home Vehicles.
- 2.100 **VENTS** - Electric, Solar and Wind Powered vent fans will be allowed. DRC approval is required. All vents must be aesthetically coordinated with the roof. All powered vent fans must meet any applicable City of Thornton code.
- 2.101 **WALLS** - See Fences.
- 2.102 **WALLS - RETAINING** – DRC is required. A single retaining wall shall not be more than thirty-six (36) inches in height (measured at the exposed side) without an engineering plan. A detailed landscape plan, indicating the size and exposure of the retaining wall, shall be provided by the Owner at the time of plan review. Property Owners are liable for their respective lot drainage. Retaining walls shall be constructed of: brick, treated wood, natural stone or similar materials, subject to approval by the DRC. Exposed concrete retaining walls are specifically forbidden.
- 2.103 **WELLS** - Not permitted. Refer to the Declaration, Article 3, Section 3.27, for details.
- 2.104 **WIND TURBINES** – Are permitted with the approval of the DRC. City of Thornton Codes apply. Turbines are to be painted a color to match the existing vent jacks and stacks.
- 2.105 **WINDOWS** - DRC approval is required. Submission of plans and specifications to the DRC shall include a description of the window frame material and color. Mill finish on aluminum windows is specifically prohibited.
- 2.106 **WOOD STORAGE** - DRC approval is not required. Must be located in the garage, side or back yard behind privacy fence, adjacent to the house, and must be neatly stacked, and must not be located so as to block any existing drainage pattern on the lot.
- 2.107 **WOOD STOVE STACKS** - DRC approval required. All new and added stove stacks shall be enclosed and shall meet the City of Thornton specifications for fire hazard compliance.

III. PROCEDURES FOR COMMITTEE APPROVAL

- 3.01 **GENERAL** - In a few cases, as indicated in the listing in the preceding Section II, a specific type of Improvement is not permitted under any circumstances. In all other cases, including Improvements not included in the listing in Section II, advance or prior written approval by the **Committee is required before an Improvement to Property is commenced**. This section of the Regulations explains how such approval can be obtained.
- 3.02 **DRAWINGS OR PLANS** - Article 4 of the Declaration requires an Owner to submit to the Committee, prior to commencement of work on any Improvement to Property, descriptions, plot plans, construction plans, specifications and samples of materials and colors, etc., as the Committee shall reasonably request, showing the nature, kind, height, width, color, materials and location of the proposed Improvement. In the case of major Improvements, such as room additions, decks, or structural changes, detailed plans should be professionally prepared by an architect, engineer, and/or draftsman and should meet the City of Thornton requirements. However, simple drawings and descriptions may be sufficient for other Improvements. Whether done by the Owner or professionally, the following Regulations should be followed in preparing drawings or plans:
- (A) The drawing or plan should be done to scale, and should depict the property lines of your lot and the outside boundary lines of the home as located on the lot. Drawings made from a lot survey base are preferred.
 - (B) Existing Improvements, in addition to the home, should be shown on the drawing or plan, and identified or labeled. Such existing Improvements include driveways, walks, decks, trees, bushes, etc.
 - (C) The proposed Improvements should be shown on the plan and labeled. Either on the plan, or an attachment, there should be a brief description of the proposed Improvement, including the materials to be used and the colors.
 - (D) The plan or drawing and other materials should show the name of the Owner, the address of the home, and a telephone number where the Owner can be reached.
- 3.03 **SUBMISSION OF DRAWINGS AND PLANS** - Four copies of the "Design Review Committee request form" and four copies of the drawing or plan shall be submitted to the DRC. Plans should be submitted to the DRC in care of the Association's property management company.
- 3.04 **REVIEW FEE** - No fee is charged at this time, for review and/or approval of plans by the Committee. All costs for submittals shall be borne by the Owner. Appeals for a design variance are a nonrefundable \$25.00. Any engineering consultant fees or other fees reasonably incurred by the Association in reviewing any proposed Improvement will be assessed to the homeowner requesting the Improvement.
- 3.05 **ACTION BY THE COMMITTEE** - The DRC will meet as required to review plans submitted for approval and covenant/regulation violation complaint letters received. The DRC may require submission of additional information or material, and the DRC may

SCHEMATIC FIGURES – SEE PAGES 21-29

Schematic figures – see pages 21-29

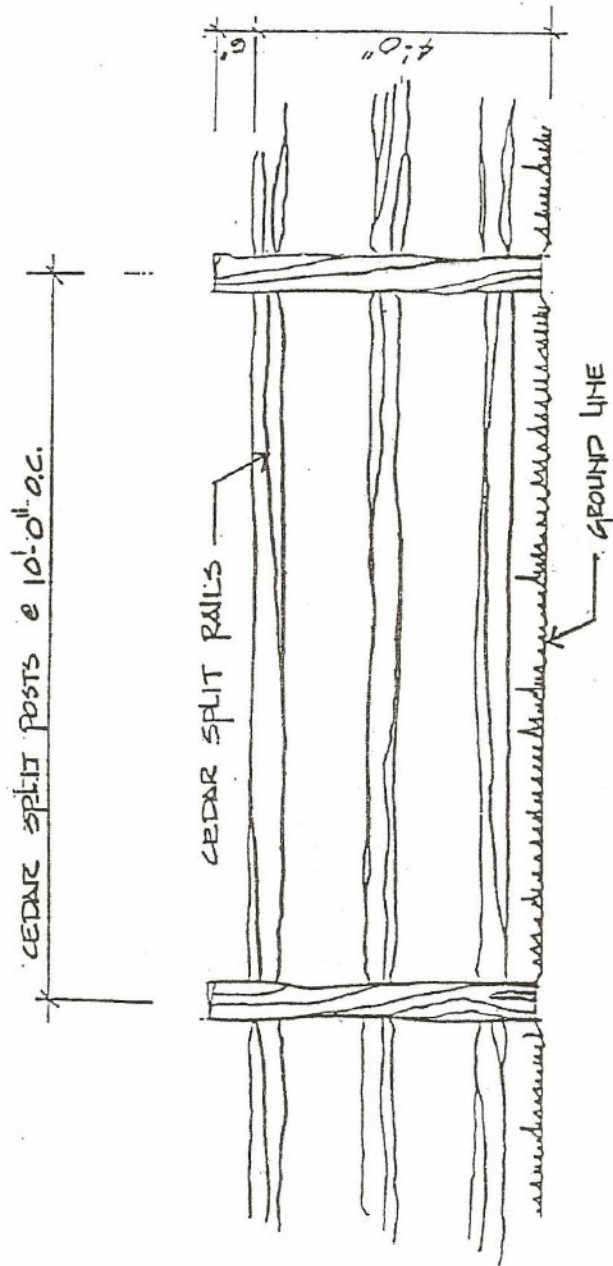


FRONT ELEVATION

NOTE: SEE FIGURE 4 FOR RECOMMENDED FOOTING

SEE FIGURE 5 FOR TYPICAL GATE CONSTRUCTION.

FIGURE 1:
2 RAIL-SPLIT CEDAR



FRONT ELEVATION

NOTE: SEE FIGURE 4 FOR RECOMMENDED FOOTING

SEE FIGURE 5 FOR TYPICAL GATE CONSTRUCTION

FIGURE 2:

3 RAIL-SPLIT CEDAR

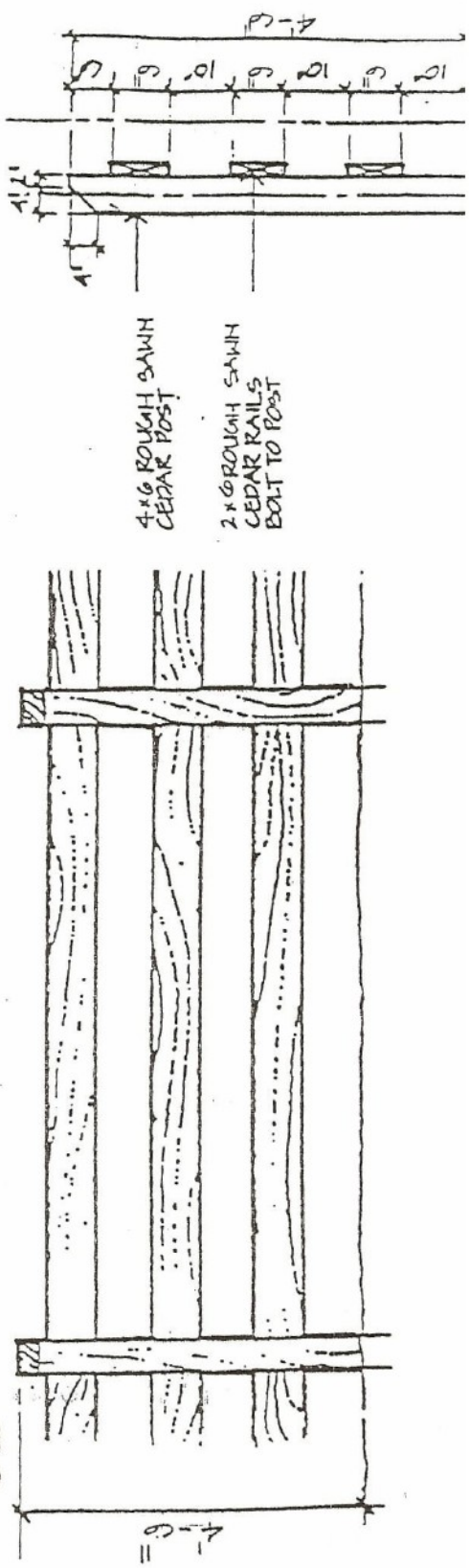
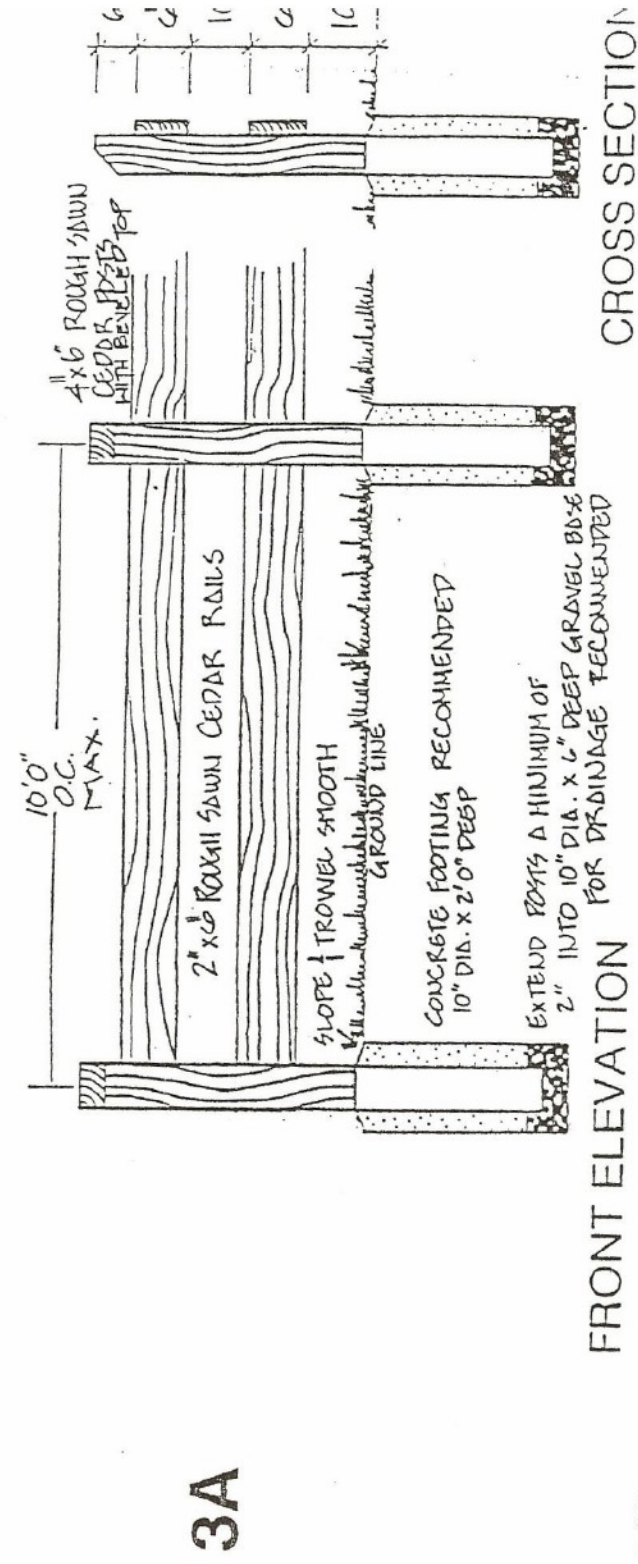
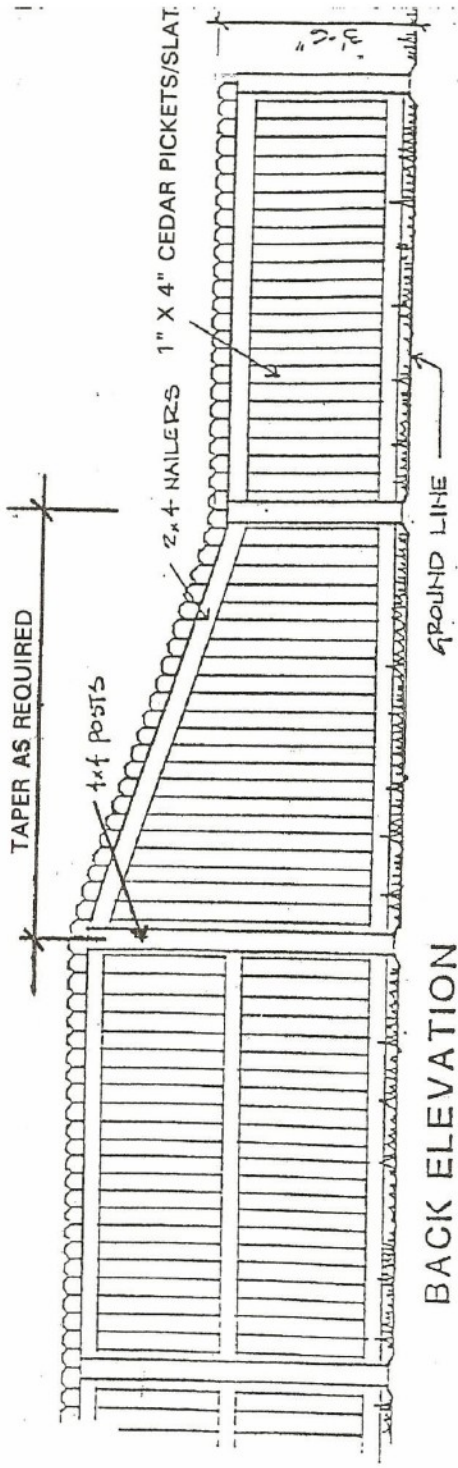


FIGURE 3: OPEN RAIL



NOTE:
SEE FIGURE 4 FOR TYPICAL
GATE CONSTRUCTION.

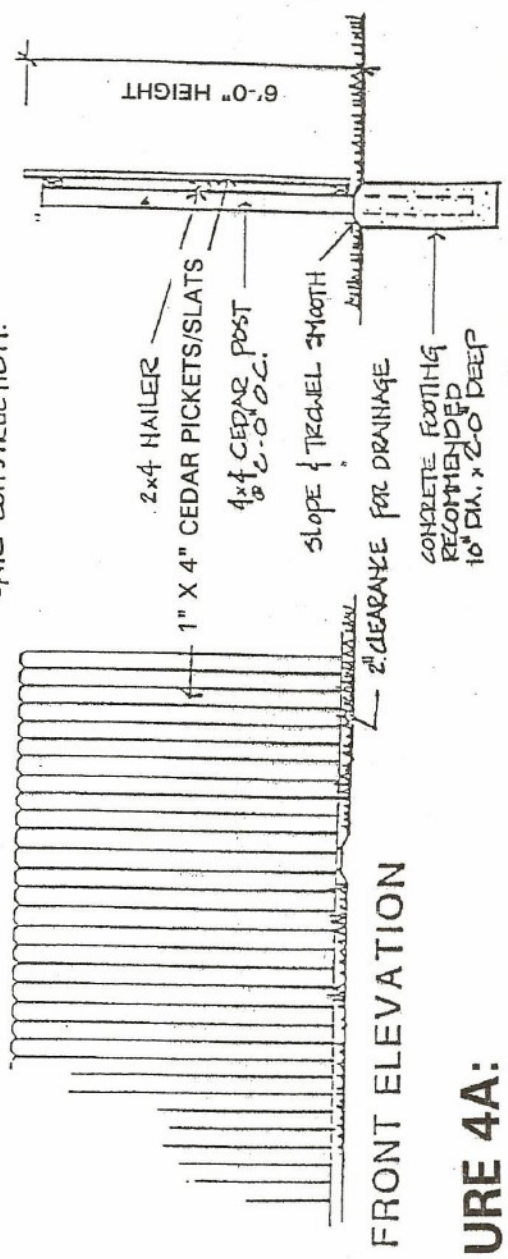
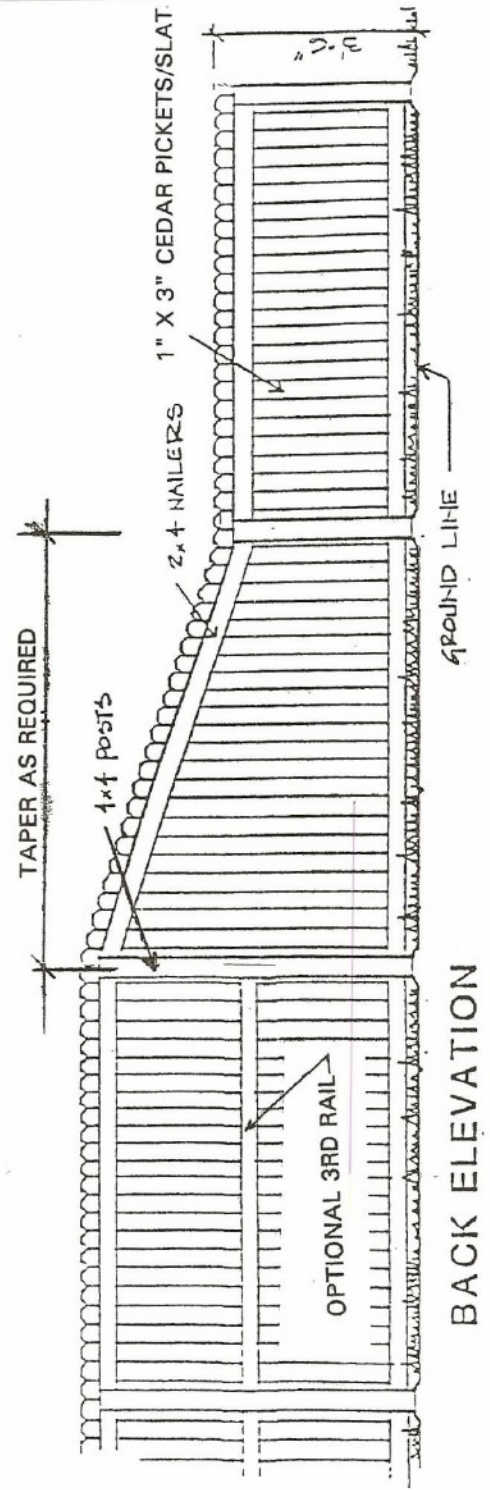


FIGURE 4A:
6'-0" DOG-EARED SOLID FENCE



NOTE:
SEE FIGURE 4 FOR TYPICAL
GATE CONSTRUCTION.

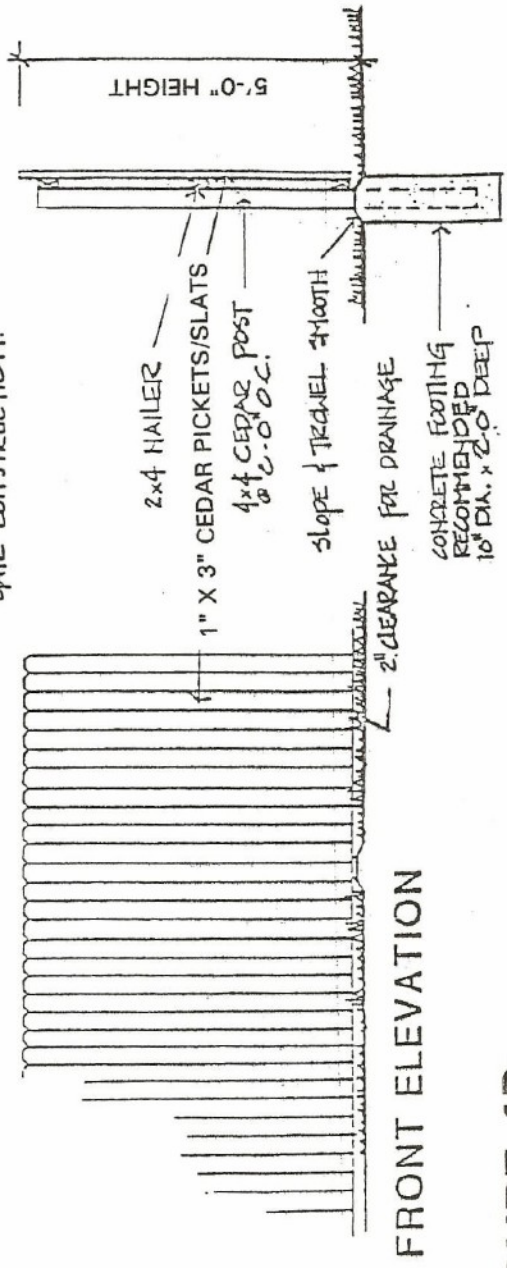
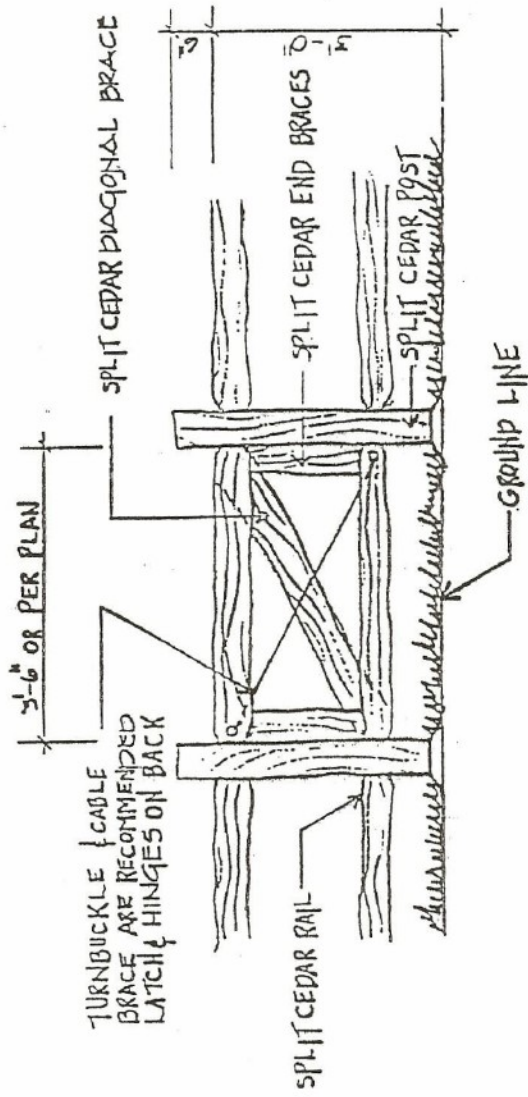


FIGURE 4B:
5'-0" DOG-EARED SOLID FENCE



**FIGURE 5:
SPLIT CEDAR GATE**

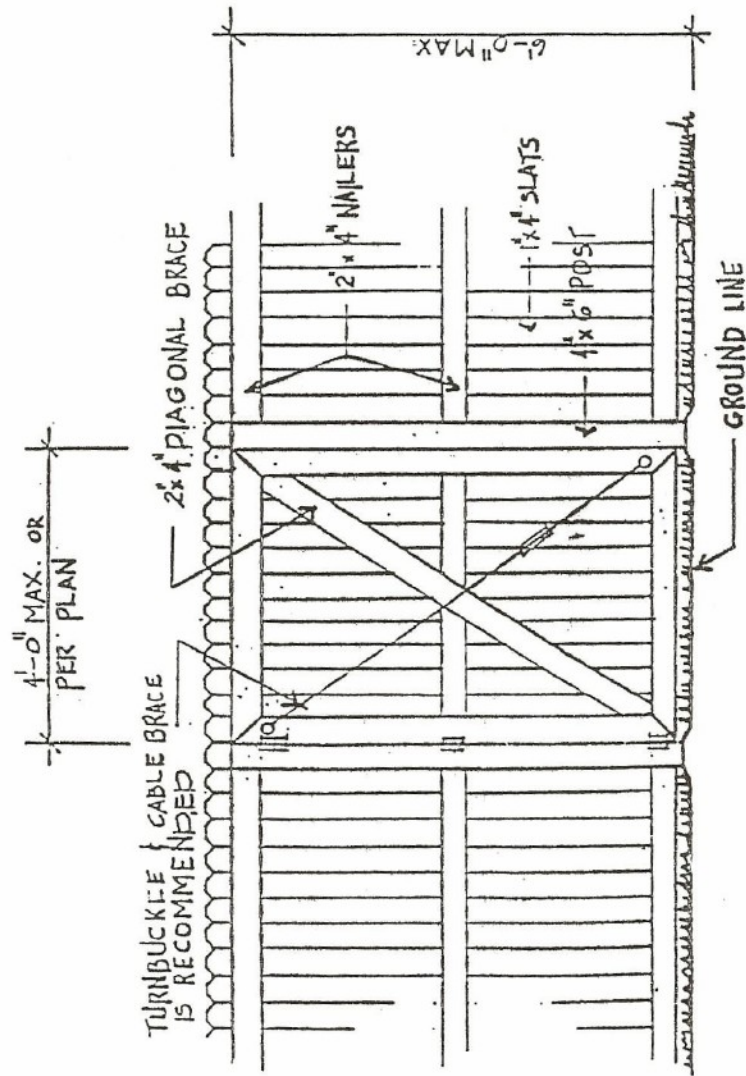
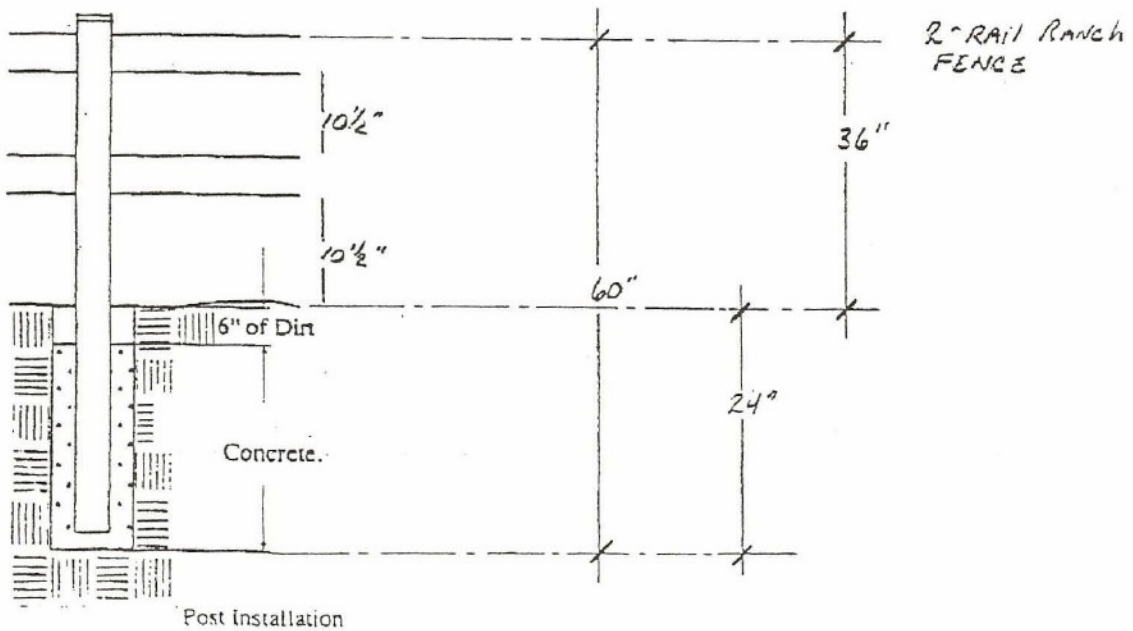
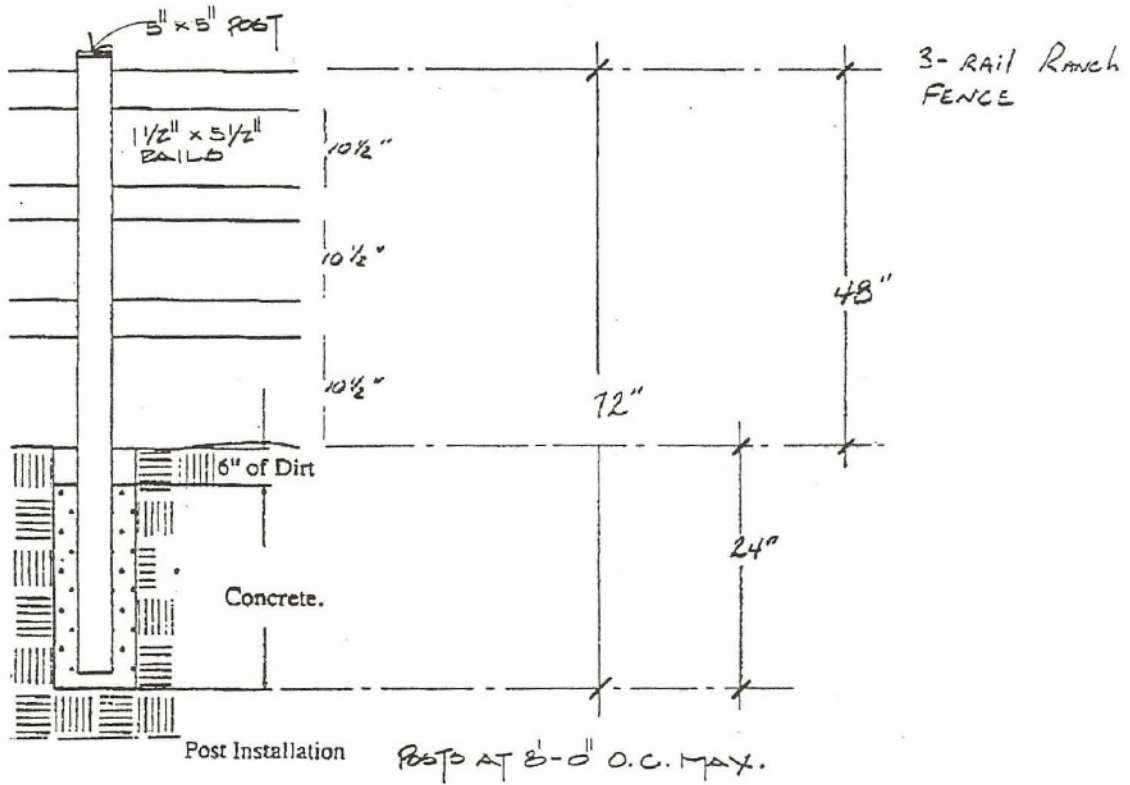


FIGURE 6:
DOG EARED SOLID GATE

**FIGURE 7: White PVC (Polyvinylchloride)
RANCH FENCE**



**FIGURE 8:
MAILBOX PEDESTAL**

