

**ONE CLUB HOUSE LANE  
DIVISIONS 1, 2 & 3  
DESIGN GUIDELINES**

1. The One Club House Lane Design Guidelines are a statement of architectural character and community-wide standards intended to guide the Architectural Review Committee (A.R.C.) in determining the acceptability of proposed plans for the construction or alteration of new or existing residences, or for the installation of improvements within the applicable divisions of One Club House Lane.
2. The Design Guidelines are established by the Architectural Review Committee for the purpose of establishing a community which will accommodate a reasonable diversity of residential needs with a harmonious blend of good design and compatible design relationships. These Design Guidelines may vary for different phases and/or market sectors of the community and may evolve over time with changes in the marketplace. They are not intended to restrict or limit the authority of the Architectural Review Committee in approving or disapproving of any specific proposal that comes before them. The Architectural Review Committee may make exceptions or changes to the Design Guidelines where they deem it appropriate and reasonable to do so.
3. As with other high amenity communities, One Club House Lane is being developed to accommodate a wide range of housing needs. Accordingly, specific limits as to the size and price range of homes in the community have not been established at this time. This does not limit the ability of the A.R.C. to reject a proposed design that will not, in the opinion of the A.R.C., be harmonious with the community as a whole.

## A. STYLE OR ARCHITECTURE

1. Homes built in One Club House Lane Divisions 1, 2 and 3, shall consist predominantly of a blend of compatible traditional architectural styles. These styles would be described as having an emphasis on strong roof forms, including steeply pitched gable and hip roofs; a quality entry statement to provide a focal point for the front of the home and to provide a sheltered vestibule for guests; and a variety of traditional window styles and designs, such as bays, dormers, arches, transom windows and multiple stacked window units with multi-paned glass to suit the traditional style of the home. The exterior of the home should contain architectural detailing that is responsive to and enhances the exterior style of the home and is constructed of quality exterior wall materials that are architecturally integrated to provide a balanced exterior facade.
2. Some variations in more contemporary architectural styles may be allowed if, in the opinion of the A.R.C., they are tastefully done and designed to blend in a reasonable way into the community. No dominating or strongly contrasting alternative architectural styles would be appropriate. The intent is that the homes in One Club House Lane, Divisions 1, 2 and 3, share a harmonious architectural character and to avoid styles that will not blend reasonably into the community.

## B. EXTERIOR COLORS

1. Exterior colors and materials used in One Club House Lane Divisions 1, 2 and 3 shall be chosen from a palette based on the muted neutral earth tones, including off-whites, creams, beiges, tans and warm grays. Trim elements can be painted a moderate variation in contrast with colors that blend with the main house siding color. Strong accent colors should be limited to entry units and trim elements such as shutters. All exterior colors must be submitted to the A.R.C. for approval.

### C. EXTERIOR WALL MATERIALS

1. The primary exterior wall materials are wood (or wood product) siding applied either horizontally or vertically. In most cases, the front elevations should feature a use of brick and brick detailing appropriate to the style of the home. Other materials may be used as features or accents such as stucco products, wood shingles and board and batten siding. Plywood panel type sidings are not allowed.

### D. ROOFING

1. Approved roofing is cedar shake or shingle. Alternative roofing materials must be submitted to the A.R.C. for review and approval and must blend in with the existing cedar shake roofs in both style, texture and color. Small copper or colored metal roofs on bays or pop-outs will be reviewed by the A.R.C. on a case-by-case basis.

### E. WINDOWS & DOORS

1. Window and door styles and sizes shall be appropriate to the design and scale of the home. Window frames are to be painted wood or colored vinyl with clear or gray glass. Window and door frames must be painted or manufactured in colors that blend with the color palette of the home. Entry doors should be of a raised panel design with or without decorative glass inserts. The use of decorative (leaded, beveled and etched) glass is encouraged in entry sidelites and transom units and where privacy is needed in bathroom windows. Garage doors shall be of multi-paneled design in a style appropriate with the home and should be painted to match house siding and trim colors.

### F. SKYLIGHTS

1. Skylights are to be designed as an integral part of the roof. Skylight curbs should not exceed 6" in height and the glazing should be flat (not domed); with clear,

solar bronze or gray glass. Skylight frames shall be bronze anodized or painted to match the dark gray roof color.

#### G. SHEET METAL, FLASHING AND VENTS

1. Sheet metal, flashing and vents shall be painted to match the surface to which they are attached. Roof vents and terminations shall be located on roofs not facing the street frontage whenever possible.

#### H. GARAGES AND DRIVEWAYS

1. Garages must be provided to accommodate a minimum of two cars. Garages must relate appropriately and be integrated into the design of the home. No open or unenclosed carports are allowed. Driveways are to be exposed aggregate concrete with wood, contrasting concrete or brick dividers. Alternative paving materials will be considered by the A.R.C. on a case by case basis.

#### I. GUTTERS AND DOWNSPOUTS

1. Gutters and downspouts must blend in color with adjacent surfaces. Exposed gutters used as an architectural feature are to be colored to match the surface to which they are attached.

#### J. GAS AND ELECTRIC METERS

1. Meter locations are to be designed into the architecture and screened from view of the street.

#### K. DECKS AND PATIOS

1. Decks or patios shall be used to provide outdoor living space adjacent to the main living areas of the home. Decks shall be used when lot grades prevent the use of on grade patio areas. Decks fronting on the fairways must be designed to relate to the house and its surroundings and the underside shall be screened by means of lattice work or skirting, or be trimmed and finished (including painting) to match the house.

## L. LANDSCAPING

1. Landscaping includes plants, trees, shrubs, lawn, ground cover, garden mulch or rock and other additions to yards. All areas to be landscaped and areas to be left in an undisturbed (native) condition will be reviewed by the A.R.C. As a design element, landscaping should be used to accent walks and driveways, define space, create privacy and soften the visual impact of structures and fences. Landscaping designs should consider the relationship of the residence and the subject lot to adjacent and surrounding lots in terms of scale, view, blockage, sun access, privacy and continuity. Landscape designs should be harmonious with the general patterns established in the community.
2. Front, rear and side yards are to be seeded or sodded and landscaped immediately following completion of construction to minimize dust and erosion. Landscaping must be completed within six (6) months from the date of completion of construction unless an extension is granted by the A.R.C. Corner lot side yards adjacent to the street shall be landscaped as front yards.
3. Landscape screening, hedges and rows of trees shall not be planted in locations that will adversely impact the safe sight distances at driveways and golf cart paths or the views of surrounding neighbors.
4. Existing surface drainage patterns shall not be interrupted by the installation of landscaping.
5. All irrigation and plantings shall be installed to industry standards and shall afford the plant materials the highest chances for survival.

6. Landscape maintenance standards will be applied on a community wide basis.

Maintenance will be the responsibility and duty of the homeowner on private lots and the Association on common property within One Club House Lane.

A maintenance program will be implemented to address the following minimum requirements.

- a) Mowing, weeding and edging of lawn areas on a weekly basis during the growing season and as necessary during the off-season to maintain a maximum lawn height of 3 inches.
- b) Watering as required to maintain optimum soil moisture necessary for applicable plant or lawn growth. Monitor and repair irrigation systems as required.
- c) Fertilize lawns to maintain vigorous growth and healthy green color with a minimum of four applications per year. Plantings to be fertilized a minimum of two times per year or as needed after establishment.
- d) Control weeds in lawns and garden beds through the selective use of approved post-emergent and pre-emergent herbicides and/or periodic hand weeding. It is preferred that the chemical weed and pest control work be performed by a licensed applicator.

#### M. EXTERIOR SIGNS

1. One post mounted "For Sale" or "For Rent" sign of a customary realty signage design will be allowed on each lot. No other signage shall be erected or placed by an owner or occupant in One Club House Lane without prior written consent of the A.R.C.

#### N. WORKMANSHIP

1. All workmanship within One Club House Lane Divisions 1, 2 and 3 must be performed to a level of acceptable industry standards for the range and scope of the housing available in the community.

#### O. MAINTENANCE

1. All lots, structures, parking areas, landscaping and other improvements are to be maintained in a good state of repair by the owner thereof. Maintenance includes the periodic repairs, replacement and repainting of the exterior of structures and other improvements to a level consistent with the overall standard set by the community.
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### DESIGN STANDARDS

The following community-wide design standards have been incorporated into the Design Guidelines for One Club House Lane Divisions 1, 2 and 3.

1. Privacy Fences
2. Fairway Fence
3. Mail Boxes

See Exhibit "D" & "E"  
See Exhibit "C"  
See Exhibit "F"

**ONE CLUB HOUSE LANE  
DIVISION 10 – EAGLE CREST  
DESIGN GUIDELINES**

1. The One Club House Lane Design Guidelines are a statement of architectural character and community - wide standards intended to guide the Architectural Review Committee (A.R.C.) in determining the acceptability of proposed plans for the construction or alteration of new or existing residences, or for the installation of improvements within the applicable divisions of One Club House Lane.
2. The Design Guidelines are established by the Architectural Review committee for the purpose of establishing a community which will accommodate a reasonable diversity of residential needs with a harmonious blend of good design and compatible design relationships. These Design Guidelines may vary for different phases and/or market sectors of the community and may evolve over time with changes in the marketplace. They are not intended to restrict or limit the authority of the Architectural Review Committee in approving or disapproving of any specific proposal that comes before them. The Architectural Review Committee may make exceptions or changes to the Design Guidelines where they deem it appropriate and reasonable to do so.
3. As with other high amenity communities, One Club House Lane is being developed to accommodate a wide range of housing needs. Accordingly, specific limits as to the size and price range of homes in the community have not been established at this time. This does not limit the ability of the A.R.C. to reject a proposed design that will not, in the opinion of the A.R.C., be harmonious with the community as a whole.

**A. STYLE OR ARCHITECTURE**

1. Homes built in Eagle Crest, shall consist predominantly of a blend of compatible traditional and craftsman architectural styles. These styles would be described as having an emphasis on strong roof forms, including moderately pitched gable and hip roofs; a quality entry porch statement to provide a focal point for the front of the home and to provide a sheltered vestibule for guests; and a variety of traditional window styles and designs. The exterior of the home should contain architectural detailing that is responsive to and enhances the exterior style of the home and is constructed of quality exterior wall materials that are architecturally integrated to provide a balanced exterior facade.



2. Some variations in more eclectic architectural styles may be allowed if, in the opinion of the A.R.C., they are tastefully done and designed to blend in a reasonable way into the community. The intent is that the homes in Eagle Crest, share a harmonious architectural character and to avoid styles that will not blend reasonably into the community.

#### B. EXTERIOR COLORS

1. Exterior colors and materials used in Eagle Crest shall be chosen from a palette based on the muted neutral earth tones, including off-whites, creams, beiges, browns, tans, grayed blues, warm grays, and greens. Trim elements can be painted white or a moderate variation in contrast with colors that blend with the main house siding color. Strong accent colors should be limited to entry units and trim elements such as shutters. All exterior colors must be submitted to the A.R.C. for approval.

#### C. EXTERIOR WALL MATERIALS

1. The primary exterior wall materials are wood (or wood like product) siding applied either horizontally or vertically. In some cases, the front elevations should feature a use of brick or stone accents appropriate to the style of the home. Other materials may be used as features or accents such as wood shingles and board and batten siding. Plywood panel type sidings are allowed in an accent application if appropriately detailed with trim boards.

#### D. ROOFING

1. Approved roofing is an architectural grade composition roofing. Alternative roofing materials must be submitted to the A.R.C. for review and approval and must blend in with the existing composition roofs in both style, texture and color. Small metal or shingle roofs on bays or pop-outs will be reviewed by the A.R.C. on a case-by-case basis.

#### E. WINDOWS & DOORS

1. Window and door styles and sizes shall be appropriate to the design and scale of the home. Window frames are to be white colored vinyl with clear glass. Entry doors should be of raised panel design with or without glass inserts. Garage doors shall be of multi-paneled design in a style appropriate with the home and should be painted to match house siding and trim colors.

#### F. SKYLIGHTS

1. Skylights are to be designed as an integral part of the roof. Skylight curbs should not exceed 6" in height and the glazing should be flat (not domed); with clear, solar bronze or gray glass. Skylight frames shall be bronze anodized or painted to match the dark gray roof color.

#### G. SHEET METAL, FLASHING AND VENTS

1. Sheet metal, flashing and vents shall be painted to match the surface to which they are attached. Roof vents and terminations shall be located on roofs not facing the street frontage whenever possible.

#### H. GARAGES AND DRIVEWAYS

1. Garages must be provided to accommodate a minimum of two cars. Garages must relate appropriately and be integrated into the design of the home. No open or unenclosed carports are allowed. Driveways are to be exposed aggregate or broom finish concrete with wood dividers. Alternative paving materials will be considered by the A.R.C. on a case by case basis.

#### I. GUTTERS AND DOWNSPOUTS

1. Gutters and down spouts must blend in color with adjacent surfaces. Exposed gutters used as architectural feature are to be colored to match the surface to which they are attached.

#### J. GAS AND ELECTRIC METERS

1. Meter locations are to be designed into the architecture and located on the side of the house not directly facing the street.

#### K. DECKS AND PATIOS

1. Decks or patios shall be used to provide outdoor living space adjacent to the main living areas of the home. Decks shall be used when lot grades prevent the use of on grade patio areas.

#### L. LANDSCAPING

1. Landscaping includes plants, trees, shrubs, lawn, ground cover, garden mulch or rock and other additions to yards. All areas to be landscaped and areas to be left in an undisturbed (native) condition will be reviewed by the A.R.C. As a design element, landscaping should be used to accent walks and driveways, define space, create privacy and soften the visual impact of structures and fences. Landscaping designs should consider the relationship of the residence and the subject lot to adjacent and surrounding lots in terms of scale, view, blockage, privacy and continuity.

2. Front and rear yards are to be seeded or sodded and landscaped immediately following completion of construction to minimize dust and erosion. Landscaping must be completed within six (6) months from the date of completion of construction unless an extension is granted by the A.R.C. Corner lot side yards adjacent to the street shall be landscaped as front yards.
3. Landscape screening, hedges and rows of trees shall not be planted in locations that will adversely impact the safe sight distances at driveways and golf cart paths or the views of surrounding neighbors.
4. Existing surface drainage patterns shall not be interrupted by the installation of landscaping.
5. All plantings shall be installed to industry standards and shall afford the plant materials the highest chances for survival.
6. Landscape maintenance standards will be applied on a community wide basis. Maintenance will be the responsibility and duty of the homeowner on private lots and the Association on common property within One Club House Lane.

A Maintenance program will be implemented to address the following minimum requirements.

- a) Mowing, weeding and edging of lawn areas on a weekly basis during the growing season and as necessary during the off-season to maintain a maximum lawn height of 3 inches.
- b) Watering as required to maintain optimum soil moisture necessary for applicable plant and lawn growth.
- c) Fertilize lawns to maintain vigorous growth and healthy green color with a minimum of two applications per year. Plantings to be fertilized a minimum of one time per year or as needed after establishment.
- d) Control weeds in lawns and garden beds through the selective use of approved post-emergent and pre-emergent herbicides and/or periodic hand weeding. It is preferred that the chemical weed and pest control work be performed by a licensed applicator.

#### M. EXTERIOR SIGNS

1. One post mounted "For Sale" or "For Rent" sign of a customary realty signage design will be allowed on each lot. No other signage shall be erected or placed by an owner or occupant in Eagle Crest without prior written consent of the A.R.C.

#### N. WORKMANSHIP

1. All workmanship within Eagle Crest must be performed to a level of acceptable industry standards for the range and scope of the housing available in the community.

#### O. MAINTENANCE

1. All lots, structures, parking areas, landscaping and other improvements are to be maintained in a good state of repair by the owner thereof. Maintenance includes the periodic repairs, replacement and repainting of the exterior of structures and other improvements to a level consistent with the overall standard set by the community.

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### DESIGN STANDARDS

The following community-wide design standards have been incorporated into the Design Guidelines for One Club House Lane, Championship Circle, and Eagle Crest.

- |                   |                       |
|-------------------|-----------------------|
| 1. Privacy Fences | See Exhibit "D" & "E" |
| 2. Fairway Fence  | See Exhibit "C"       |
| 3. Mail Boxes     | See Exhibit "F"       |

**ONE CLUB HOUSE LANE ARCHITECTURAL COMMITTEE  
DESIGN GUIDELINES  
FOR PLAY EQUIPMENT, POOLS, HOT TUBS, STORAGE SHEDS & FENCES**

*Play Equipment and Game Courts*

Play equipment shall be located in the rear yard. When selecting and locating play equipment, consideration shall be given to location, size, design and impact on adjoining neighbors. The Committee may require visual screening from adjacent lots and streets and fairways. Equipment utilizing natural materials is encouraged and should be painted to blend with the natural surroundings, or if located adjacent to a dwelling or fence, painted to match the background or screening structure. Bright primary colors should not be considered for play equipment when visible from adjacent lots or streets. Basketball backboards should be made of a transparent material. Portable basketball hoops should be stored in a screened side yard when not in use.

*Pools and Hot Tubs*

Pools and hot tubs must be located at the rear of a house, but special consideration will be given to an alternative location if the property is an unusual configuration. Pools and spas shall be designed not to impact adjoining properties with light or sound. Pool heaters and pumps must be screened from view and sound insulated from neighboring houses. Pool and mechanical equipment must be protected by a 6' high fence. Fences and gates should conform to the guidelines pertaining to fencing and all applicable building codes.

*Storage Sheds*

A shed will be considered only if it blends in with the house and maintains a continuity of building materials and color. Metal sheds or buildings are deemed not compatible. Storage sheds shall be located only in the rear yard and screened from view of adjacent streets and neighbors. Maximum size for freestanding storage sheds is 10' x 12' and 8' tall at highest point on roof.

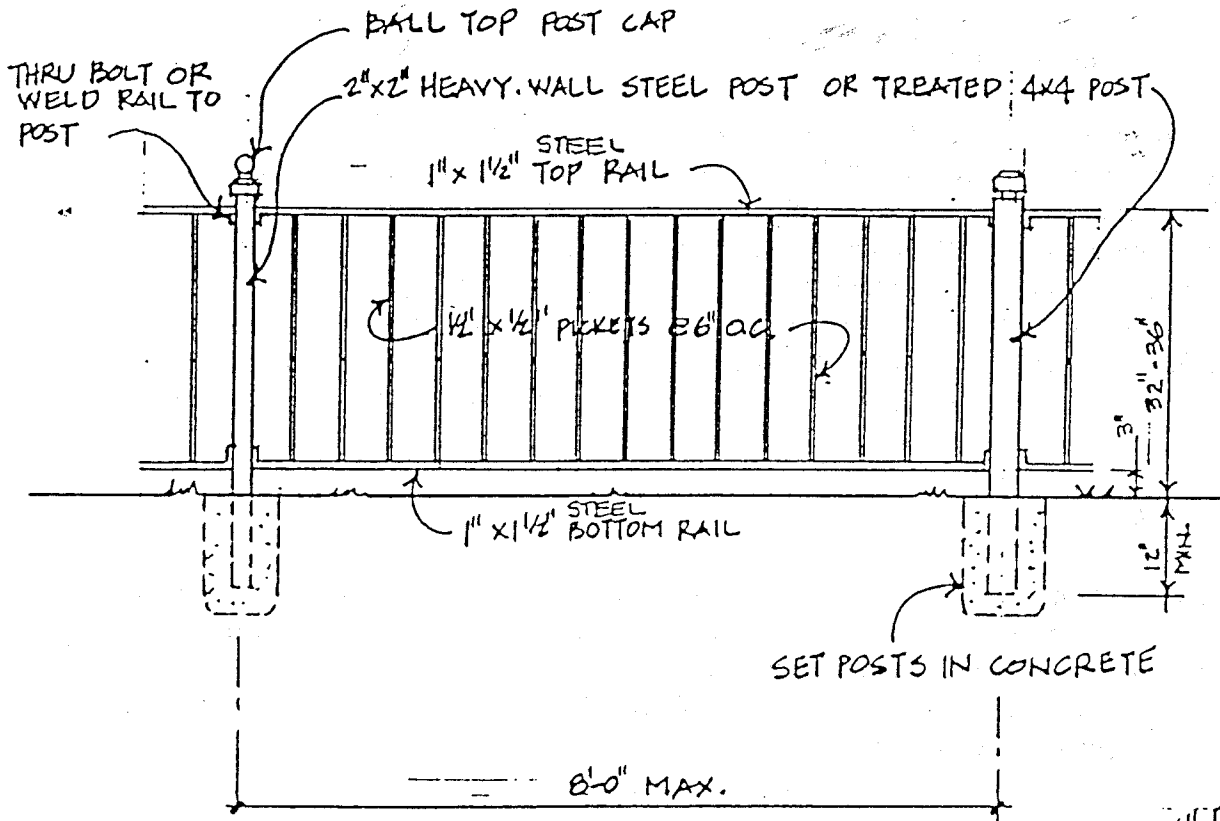
*Fences*

All screen fences shall be of a uniform design (see attached example). The fence design has a similar appearance from either side and will normally be installed with the 2x 4 nailers facing your lot and the 1 x 4 cedar trim facing the street and neighboring properties. On corner lots the side street fencing may be installed no closer than 5' to the side street Lot Line or 10' from the sidewalk and landscape screening must be installed and maintained in the planting strip between the fence and street. All fencing facing a street or blvd. must be painted the standard OCHL fence color - painting of all fence surfaces is encouraged but not required.

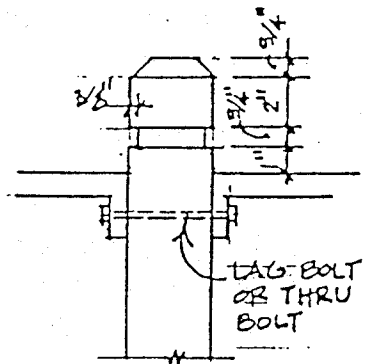
EXHIBIT "C" [REVISED EXHIBIT "F"]  
 ONE CLUB HOUSE LANE AT  
 HARBOUR POINTE

6-30-0

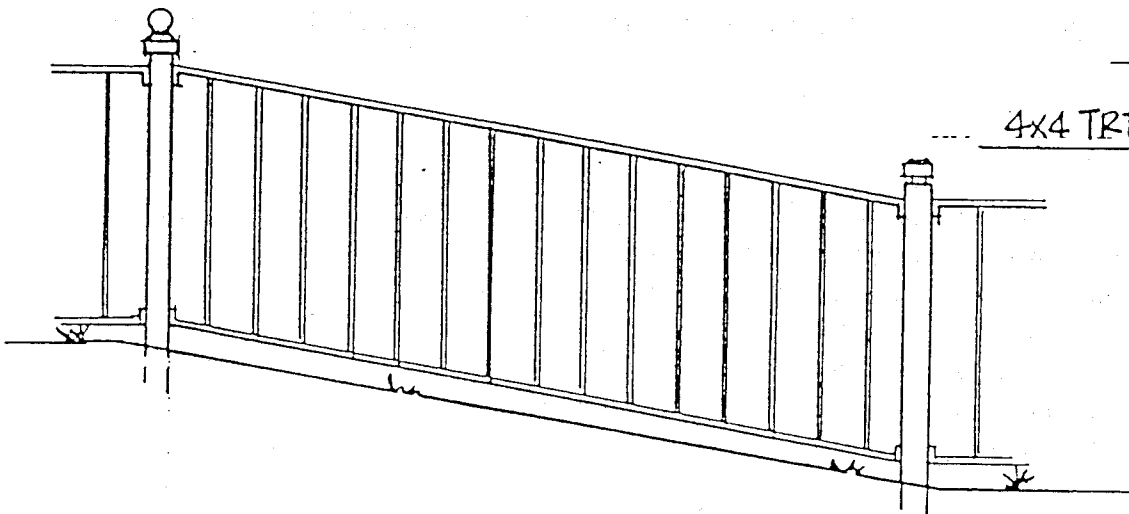
STANDARD FENCE DESIGN FOR FAIRWAY LOT BOUNDARIES



NOTE: TOP & BOTTOM TO RUN PARALLEL TO GROUND.  
 PAINT FENCE & POSTS WITH DARK GREEN  
 ENAMEL TO MATCH PARKER 5925N GRAPHITE

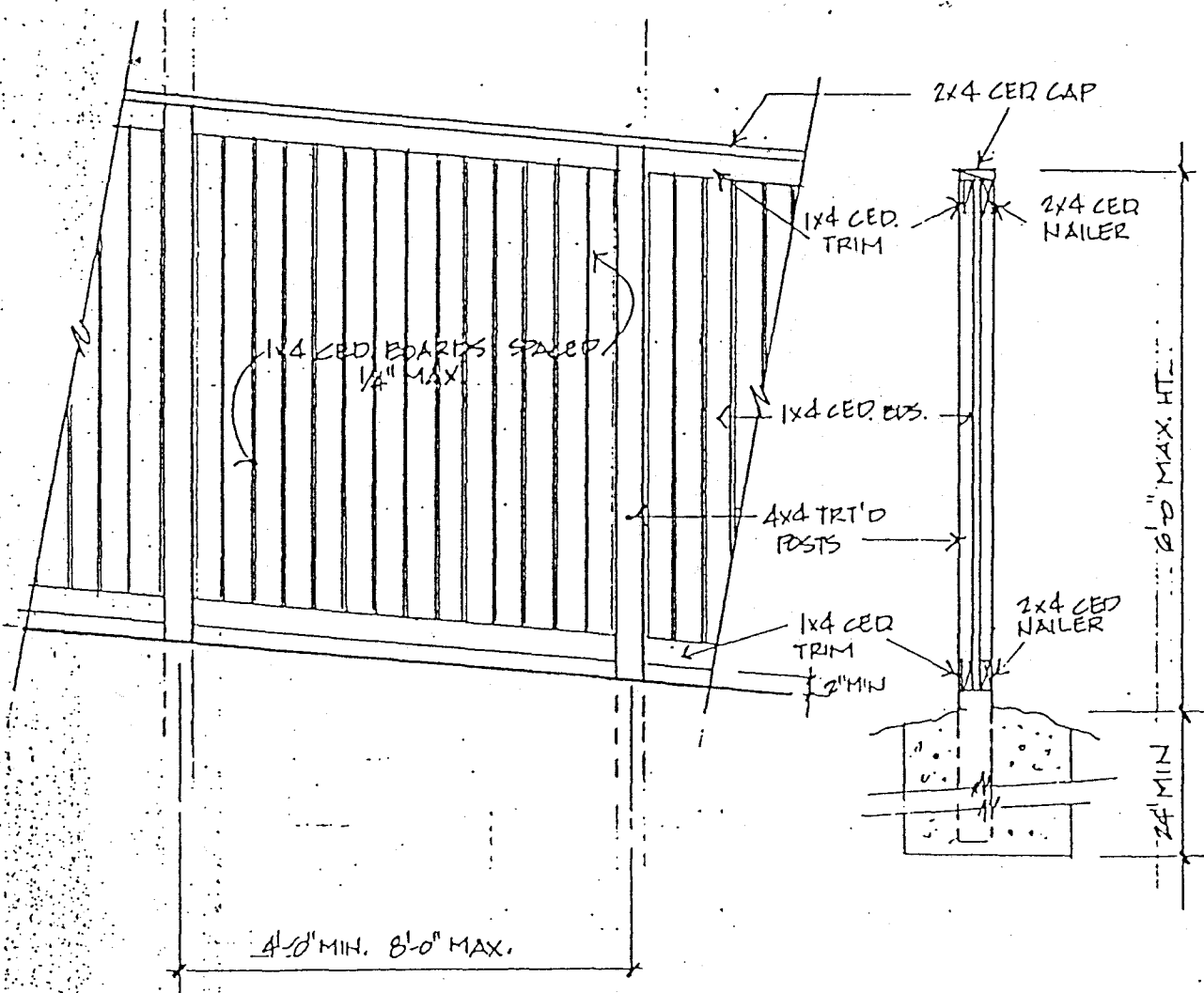


4x4 TRTD POST DTL.  
 1 1/2" x 1'-0"



# EXHIBIT "D"

CHANGES IN ELEVATIONS TO BE MADE  
WITH TOP & BOTTOM RAILS - PARALLEL

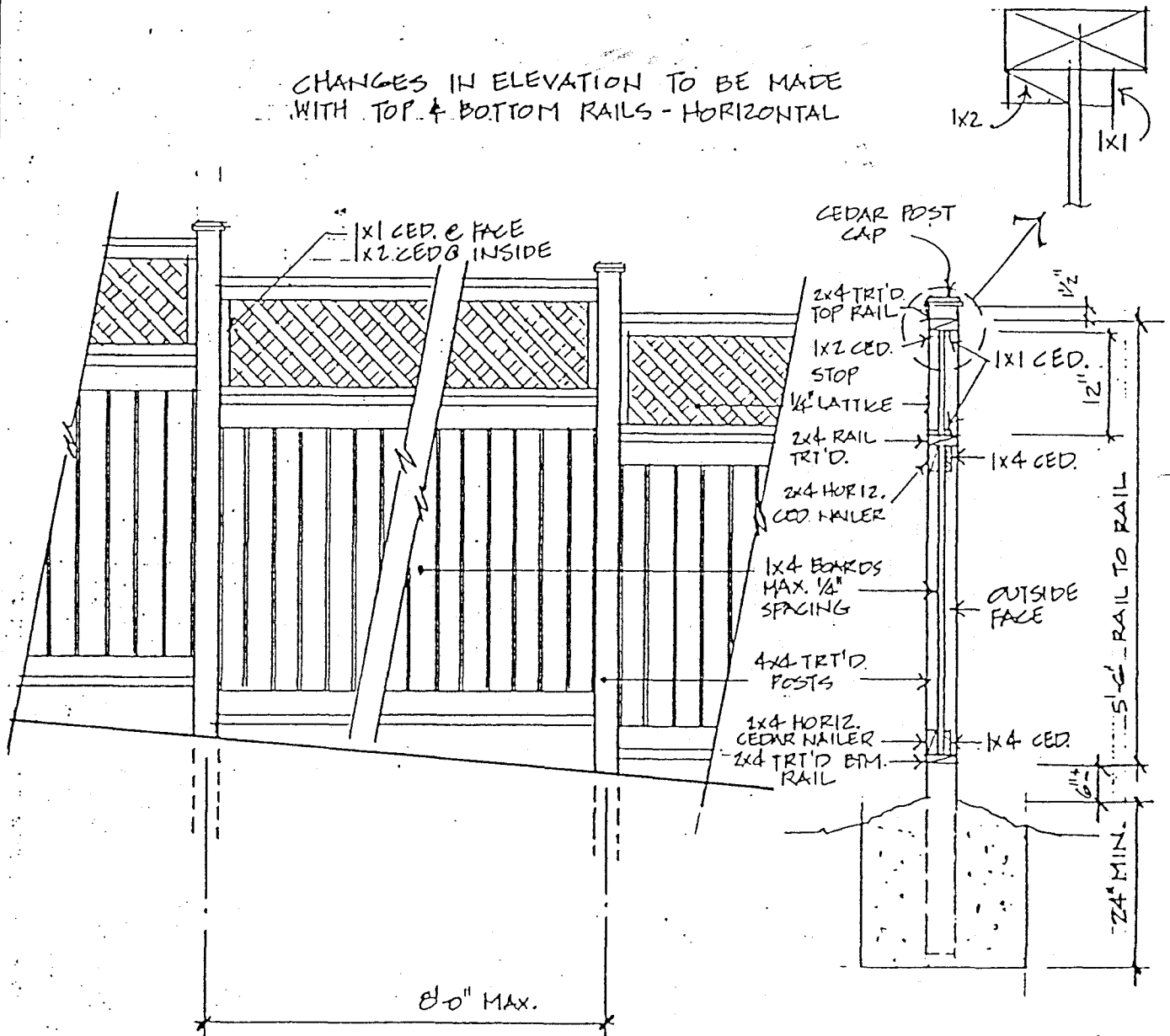


## NOTE:

ALL POSTS TO BE ON LINE, PLUMB. & SQUARE  
THE STREET FRONTING FACE OF ALL FENCES  
IS TO BE PAINTED PARKER - 5352M WHARF

# EXHIBIT "E."

CHANGES IN ELEVATION TO BE MADE  
WITH TOP & BOTTOM RAILS - HORIZONTAL



## NOTE:

ALL POSTS TO BE ON LINE, PLUMB. & SQUARE  
THE STREET FRONTING FACE OF ALL FENCES  
IS TO BE PAINTED PARKER- 5352 M WHARF



## One Club House Lane - Architectural Review Committee

### Design Guidelines - Golf Netting

October 27, 1993

The following guidelines are to be used when designing golf netting installations on fairway lots in One Club House Lane, South. These guidelines are intended to afford the property owner the ability to provide the best degree of protection for their property with the least imposition on the views of adjacent neighbors. Before proceeding with the submittal of plans to the A.R.C. for the construction of golf netting, the owner should consult with Golf Northwest - the owners of the golf course - to determine that no other measures could be taken to provide protection from errant golf balls. Approval is required from both the A.R.C. and Golf Northwest prior to any golf netting installation.

#### GUIDELINES:

The proposed installation should consist of black nylon netting as supplied by Seattle Marine Supply Co. supported by 2½" - 3" diameter steel posts set approximately 15' apart and secured in concrete with a steel top rail of approximately 1½" diameter or a stainless steel cable and guy wire with adequate strength and tension to resist sagging when the netting is installed. The top rail (guy wire) should be horizontal with the bottom of the netting cut to fit the ground contour and staked or tied to maintain a tight fit. The maximum height allowed is 24' without special approval from the A.R.C. Examples of this type of installation are attached.

If you have any questions please call: 425-283-5858

One Club House Lane South, A.R.C. - ~~Paul D. Smith~~

Golf Northwest - (206) 522-5150

10/27/93

**Architectural Review Committee**  
**Design Guidelines – Satellite Dishes**

Jan 5, 1999

Satellite dishes up to 24" in diameter may be installed on the sides or rear of a home. When mounted on the side of the home, they should be placed on the rear third of the house and the upper third of the wall. Rear mounted satellite dishes should be mounted near the corner of the home as close to the roof overhang as possible. No satellite dishes may be mounted on the front of the home. If reception requires a mounting location other than those specified above, a site review by the ARC is required prior to approval.