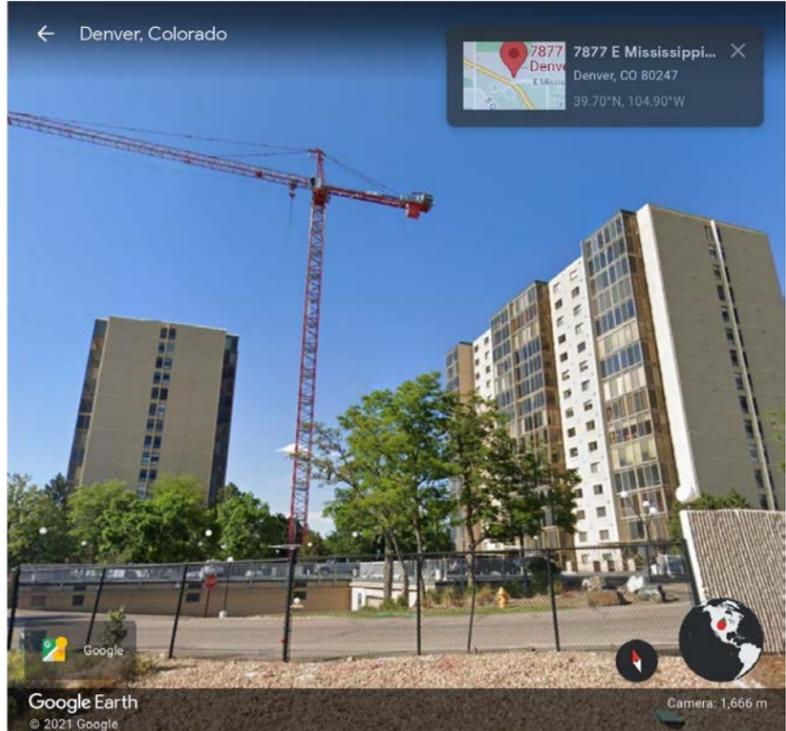
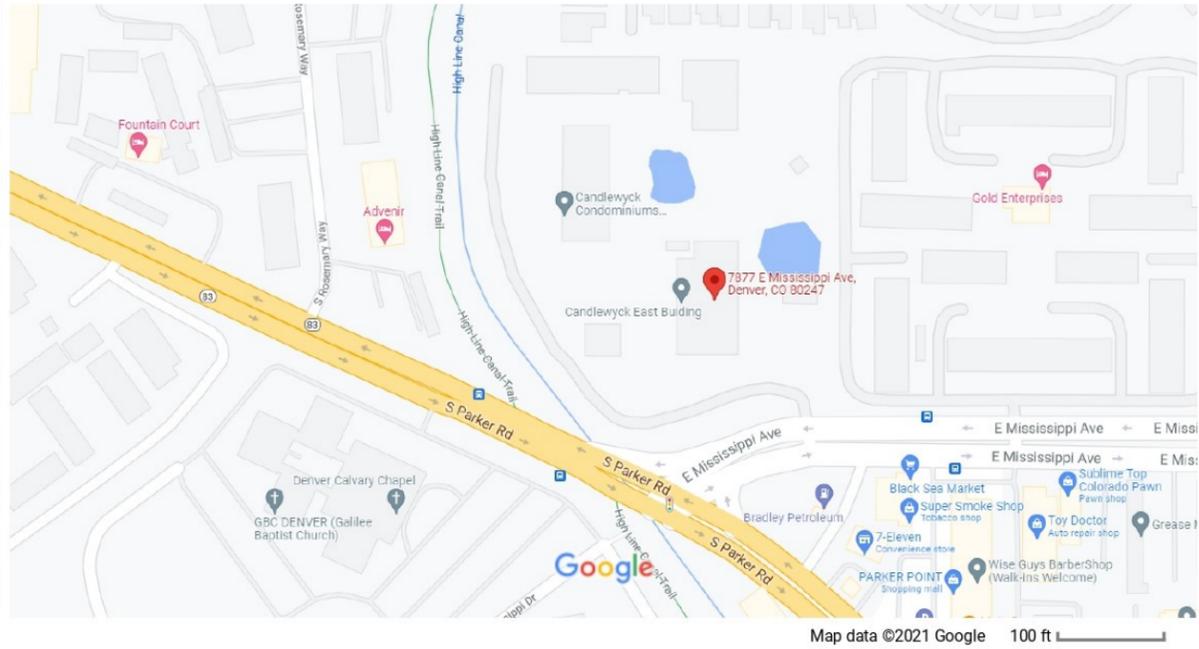


**7877 E Mississippi Ave #1105  
Denver, CO 80247**



**Public Records**

**Beds: 2**  
**Rooms: 4**  
**House Size: 1,194 SF**  
**Stories: 1**  
**Lot Size: 151,671 SF**  
**Heating: Hot Water**  
**Cooling: Central A/C**  
**Year Built: 1975**  
**Property Type: Condo**  
**Style: Row End or Row Middle**  
**Updated: 11/06/2021**

Property Tax					
Year	Taxes	Land		Additions	Assessment
2020	\$1,395	\$550	+	\$18,250	= \$18,800
2019	\$1,356	\$550	+	\$18,250	= \$18,800
2018	\$1,345	\$550	+	\$16,840	= \$17,390
2017	\$1,341	\$550	+	\$16,840	= \$17,390
2016	\$1,191	\$530	+	\$14,070	= \$14,600
2015	\$1,141	\$530	+	\$14,070	= \$14,600

**Project Details**

**Condo kitchen renovation project with electrical upgrade.**  
 Remove two interior partition walls that separate the kitchen from living space, and demo entire kitchen.  
 Build a new interior partition half wall, and small full height partition wall to section off kitchen while keeping it open to the rest of the living space.  
 Build a new drop ceiling in the kitchen eight feet from the finished floor to conceal mechanical and electrical equipment.  
 Upgrade electrical panel and breaker box including new GFCI fixtures.  
 Reconfigure plumbing and HVAC to accommodate new kitchen layout, fixtures, and equipment.  
 Install new kitchen cabinets, counter tops, flooring, and appliances per manufacturer specifications.  
 All work is to be completed to the current City and County of Denver building codes and standards.  
 All work is to be inspected and approved by the Denver Building Department.

**Designer: Bryce Perkins 720-750-2200**

**Contractor: Michael Moro 314-805-0478**

**Denver Building Department**

**Located in:  
Wellington E. Webb Municipal Office Building**

**Address:  
201 W Colfax Ave #205, Denver, CO 80202**

**Hours:  
Monday 8AM-4PM  
Tuesday 8AM-4PM  
Wednesday 8AM-4PM  
Thursday 8AM-4PM  
Friday 8AM-4PM**

**Phone:  
(720) 865-2700**

**<https://www.denvergov.org/content/denvergov/en/denver-development-services/home-projects/homeowners.html>**



**CLIENT**  
Michael Moro

**PROJECT**  
Kitchen Renovation

**PROJECT NO.**  
1448

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11.18.2021





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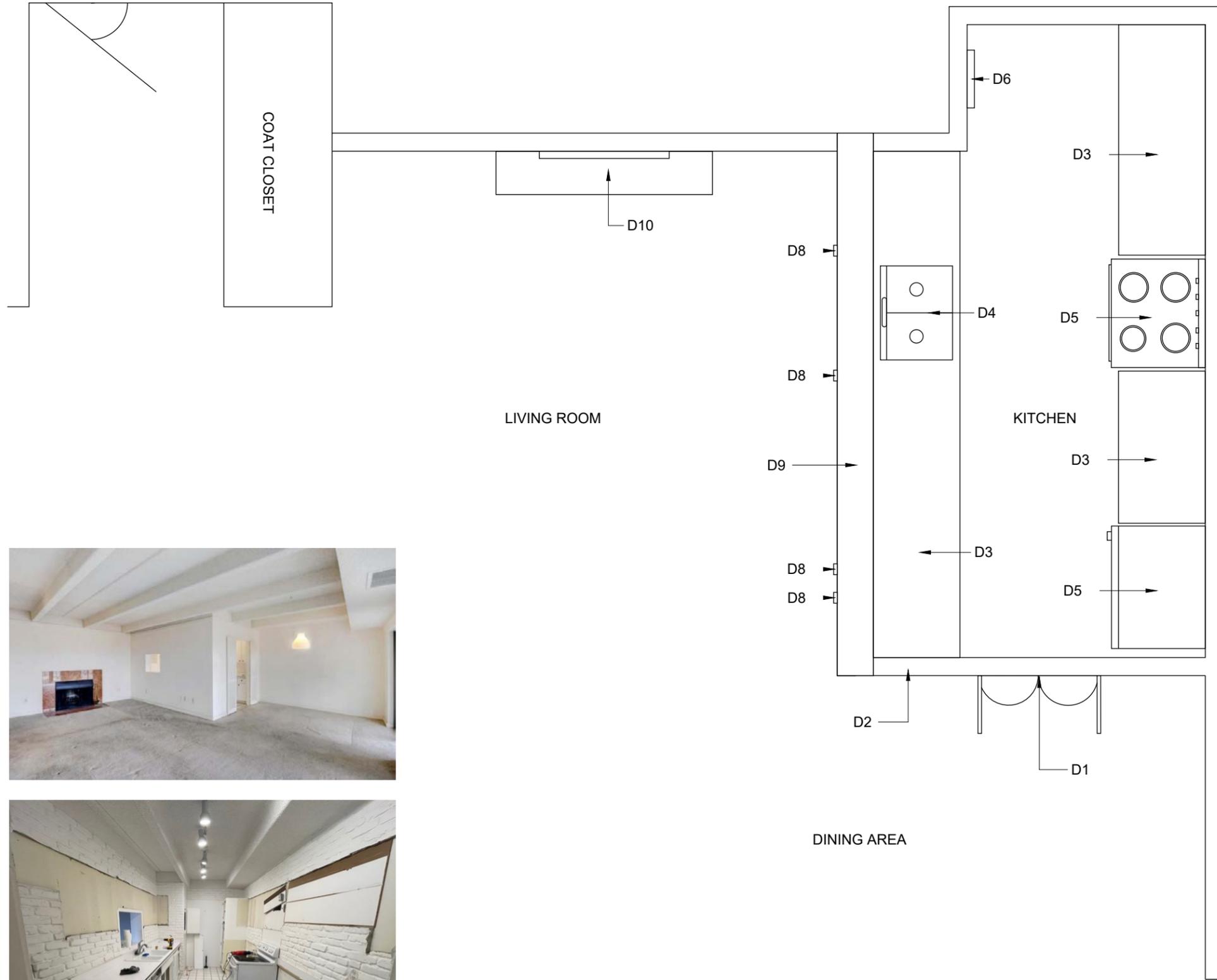
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DEMO  
 PLAN

**A.01**



**D1** - Remove and Dispose of 32"x80" Bi-Fold Doors.

**D2** - Remove and Dispose of Existing 2x4 Framed and Finished Kitchen Partition Wall.

**D3** - Remove and Dispose of All Existing Upper and Lower Kitchen Cabinets.

**D4** - Remove and Recycle Existing Kitchen Sink and Faucet. Dispose of P-Trap Assembly. Cap and Protect in Place Existing Copper Water Supply Lines and Copper 2" Drain for Potential Reuse.

**D5** - Remove and Recycle All Existing Appliances.

**D6** - Remove and Recycle Existing Electrical Panel, Breakers, and Box in Preparation for New Upgraded Electrical Panel Breaker Box.

**D7** - Remove and Recycle all Existing Kitchen Electrical Fixtures, J-Boxes, Conduit, and Wiring as Needed.

**D8** - Remove and Recycle Existing Power and Cable Receptacles, J-Boxes, Conduit, and Wiring as Needed on Living Room Side of Partition Wall.

**D9** - Remove and Dispose of Existing Double 2x4 Framed and Finished Kitchen Partition/Plumbing Chase Wall. Protect in Place Existing Rough Plumbing.

**D10** - Remove and Recycle Existing Dormant Fireplace Insert and Dispose of Tile Hearth. Building Management has Capped off the Flue.





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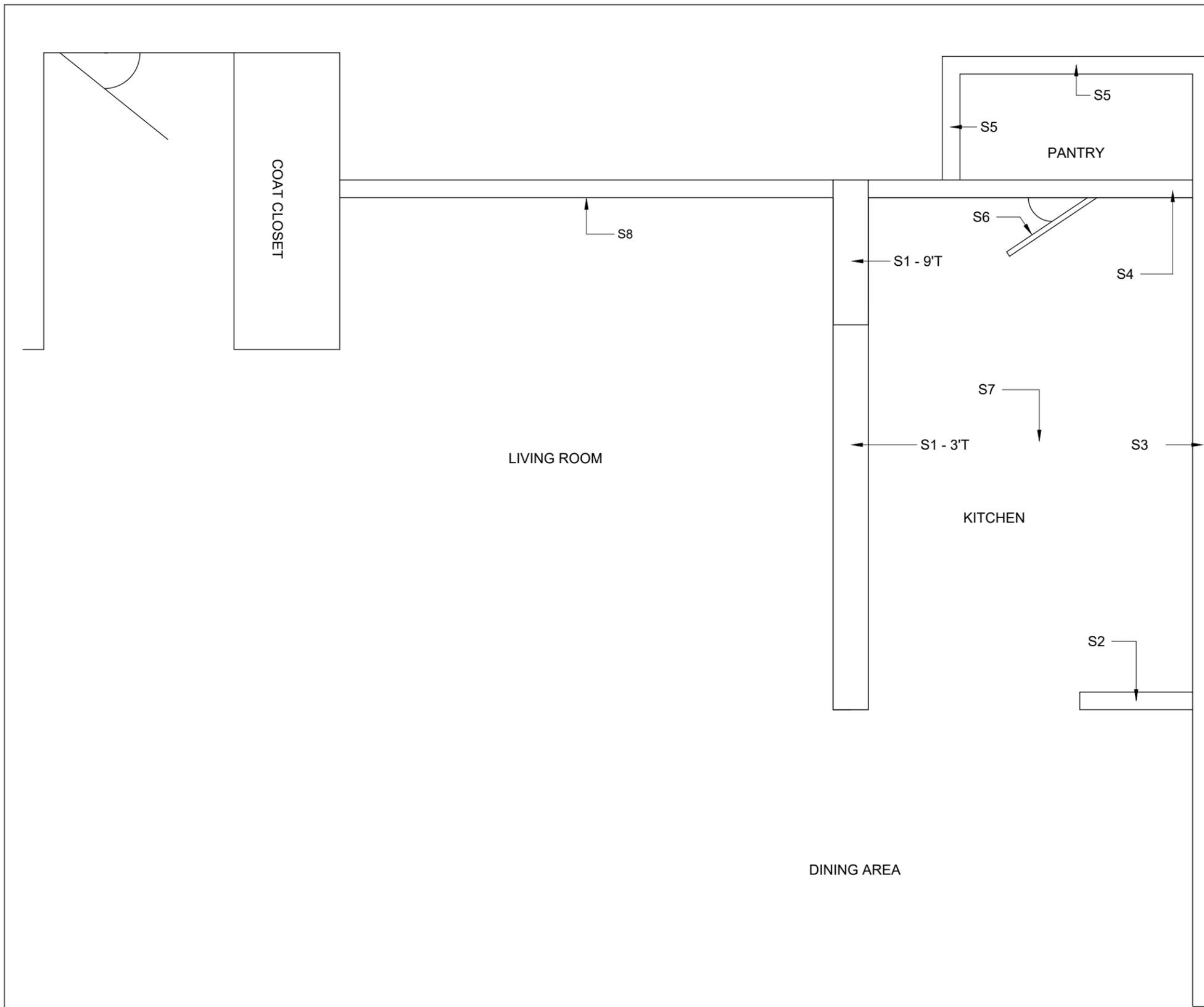
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**STRUCTURAL  
PLAN**

**A.02**



**S1** - Double 2x4 Framed Wall with 2-1/4" Chase Between Stud Walls. 2x10 Header Plate Adhered to Concrete Ceiling with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. 2x10 Top Plate, and 2x10 P.T. Sill Plate Adhered to Concrete Floor with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. One Sheet of 1/2" Gypsum Board per Side with a Minimum Level 3 Finish.

**S2-S4** - 2x4 Framed Wall with 2x4 Header Plate Adhered to Concrete Ceiling with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. 2x4 Top Plate, and 2x4 P.T. Sill Plate Adhered to Concrete Floor with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. One Sheet of 1/2" Gypsum Board per Side with a Minimum Level 3 Finish.

**S3-S5** - 2x4 Furred Wall with 2x4 Header Plate Adhered to Concrete Ceiling with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. 2x4 Top Plate, and 2x4 P.T. Sill Plate Adhered to Concrete Floor with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. One Sheet of 1/2" Gypsum Board on Inside with a Minimum Level 3 Finish.

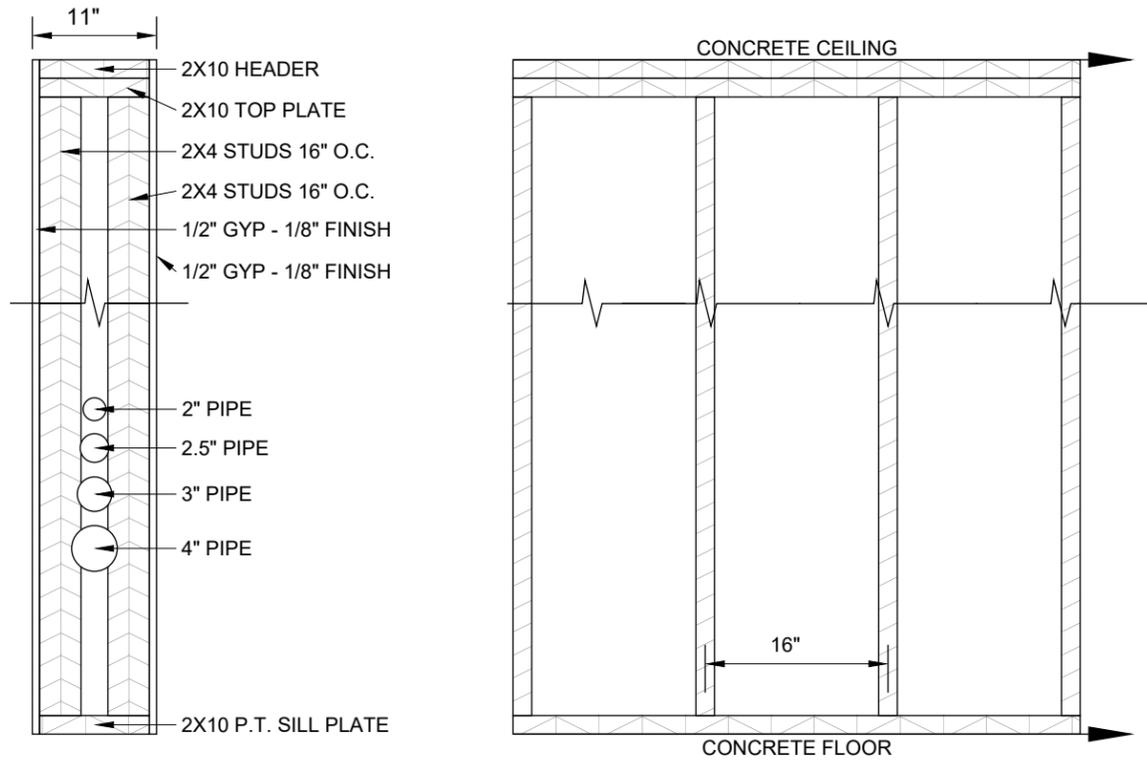
**S6** - 30"x80" Pre-hung Interior Door with Framing and Casing Installed per Manufacturer Specifications. One 2x4 Header and One Each King Stud and Trimmer Stud per Side.

**S7** - 2x4 Framed and Furred 12" Drop Soffit Ceiling from 9' to 8' A.F.F. 2x4 Furring Adhered to Concrete Ceiling Girders with Construction Adhesive and Countersunk 3/8" x 3" Hex Head Tapcons in Predrilled Epoxy Filled Holes Every 16" O.C. 2x4 Ceiling Framing Between Framed and Furred Walls Perpendicular to Girder Furring. One Sheet of 1/2" Gypsum Board on Inside with a Minimum Level 3 Finish.

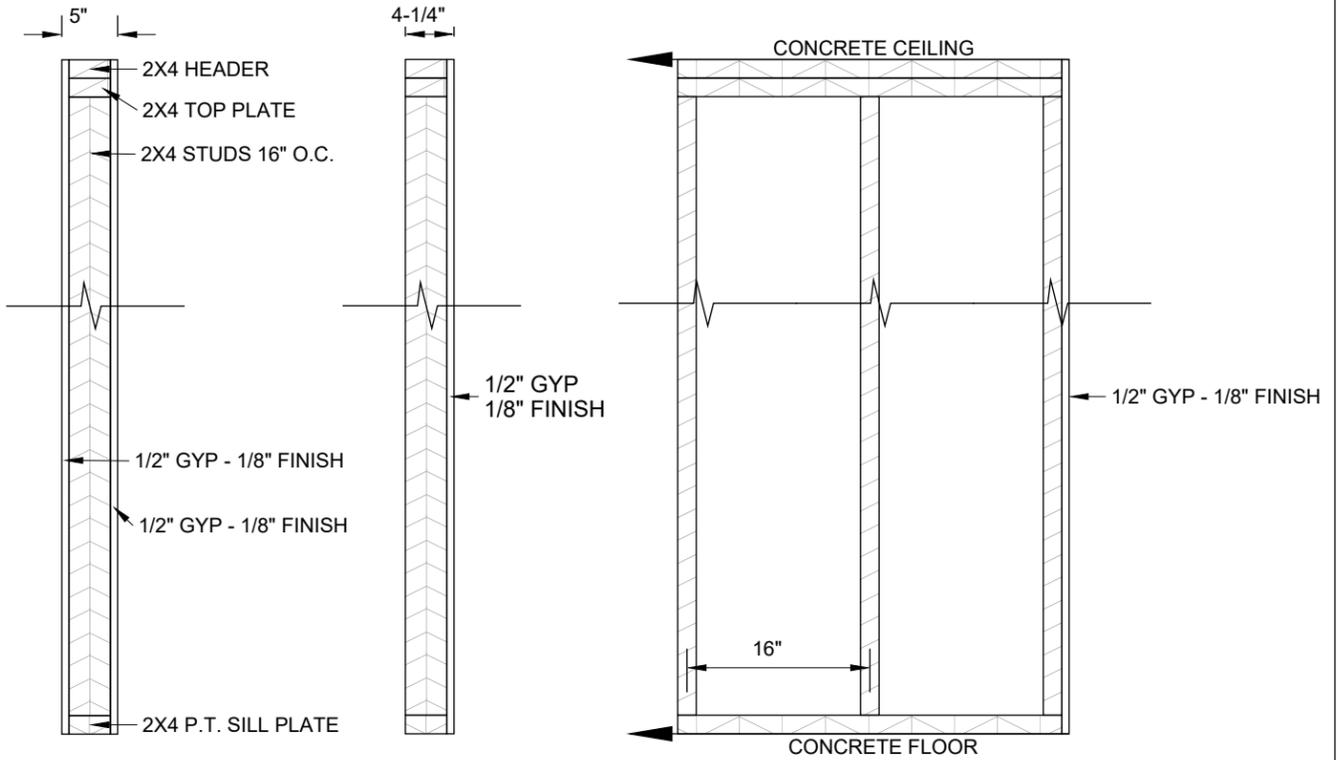
**S8** - 2x4 Framed and Furred 3'x3' Hole Where Fireplace Was. One Sheet of 1/2" Gypsum Board on Inside with a Minimum Level 3 Finish.



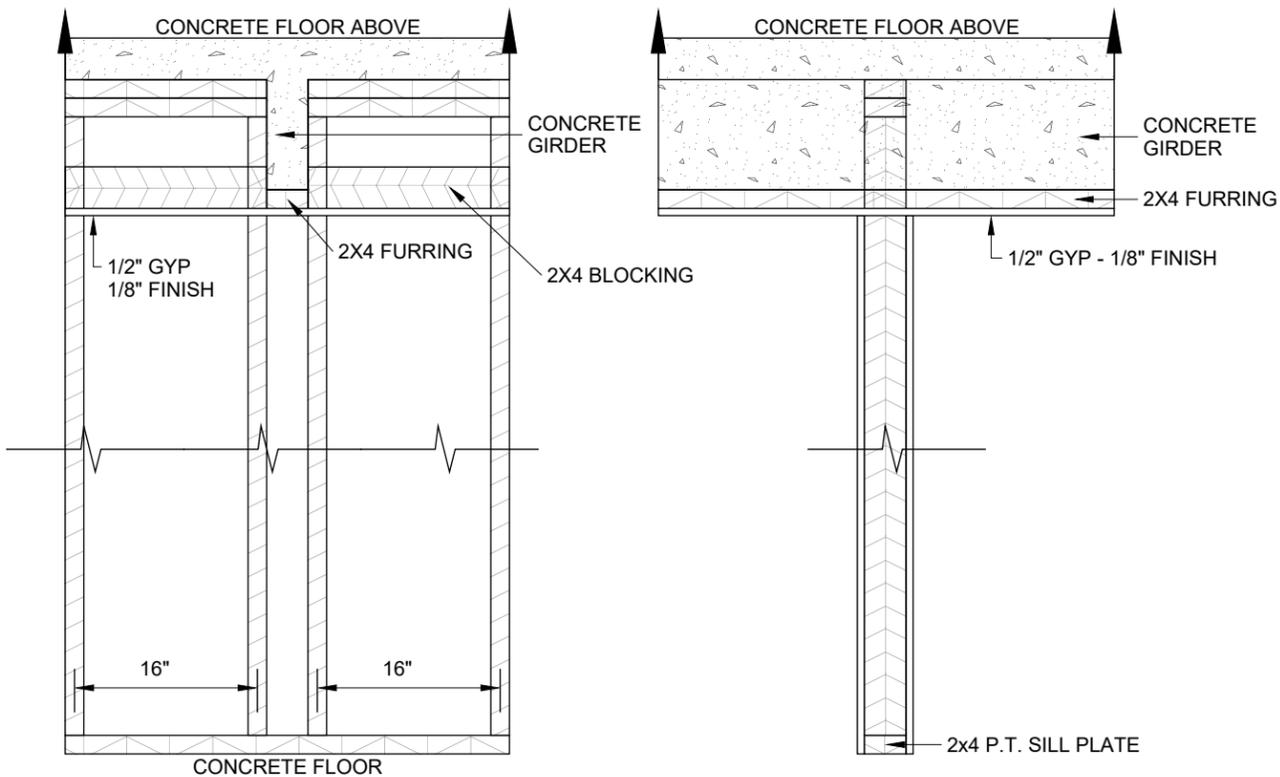
**S1 - DOUBLE 2X4 FRAMED 9' TALL PLUMBING CHASE WALL  
3' TALL KITCHEN HALF PARTITION WALL**



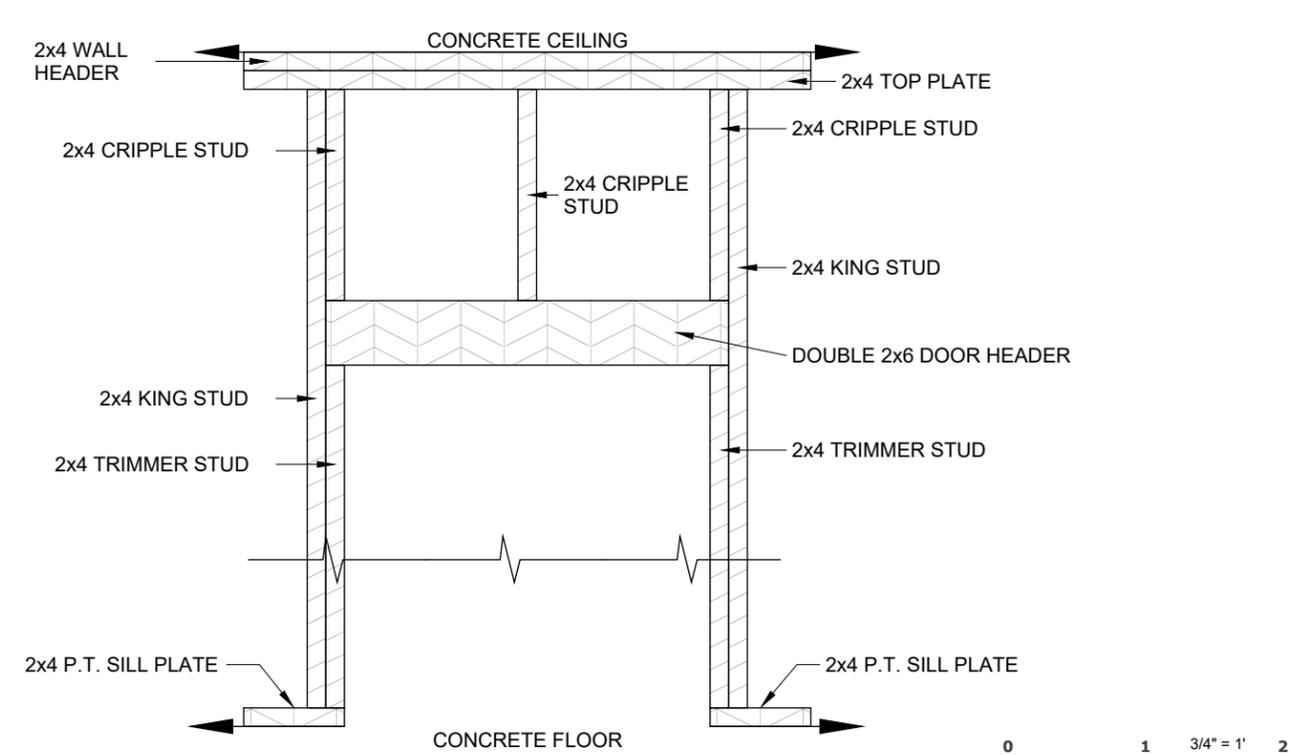
**S2-S3-S4-S5 - 2X4 FRAMED 8' - 9' TALL PARTITION WALL  
FRAMED AROUND 10"X4" CONCRETE GIRDERS**



**S7 - 1/2" GYPSUM BOARD DROP CEILING ON 2X4 FURRING AND BLOCKING  
8' ABOVE FINISHED FLOOR**



**S6 - 30"x80" PRE-HUNG DOOR FRAMING FOR PANTRY CLOSET DOUBLE 2X6 DOOR  
HEADER WITH 1/2" PLYWOOD BETWEEN**



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**STRUCTURAL  
DETAILS**

**A.03**



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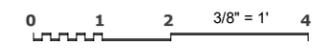
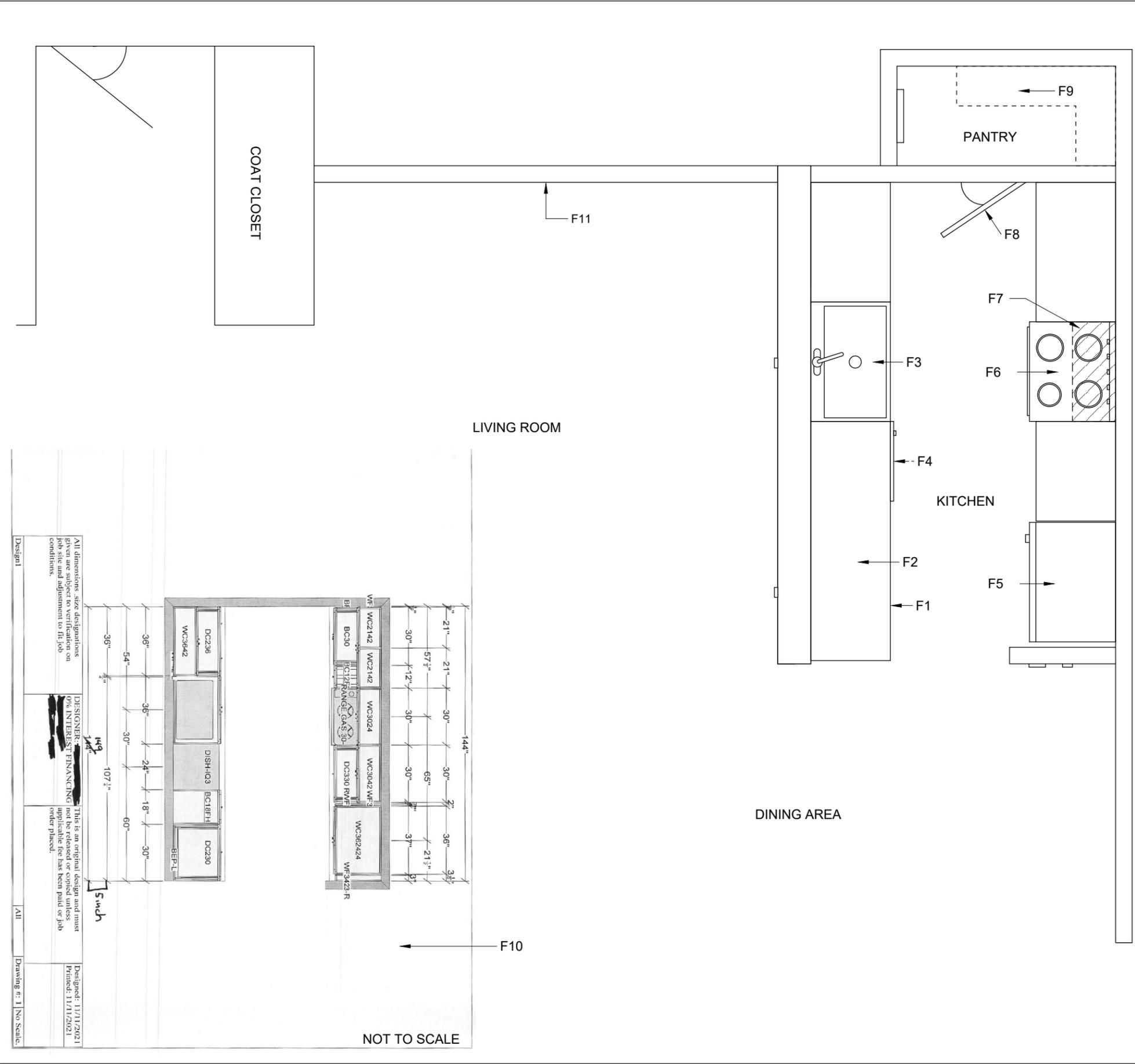
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**FLOOR PLAN**

**A.04**

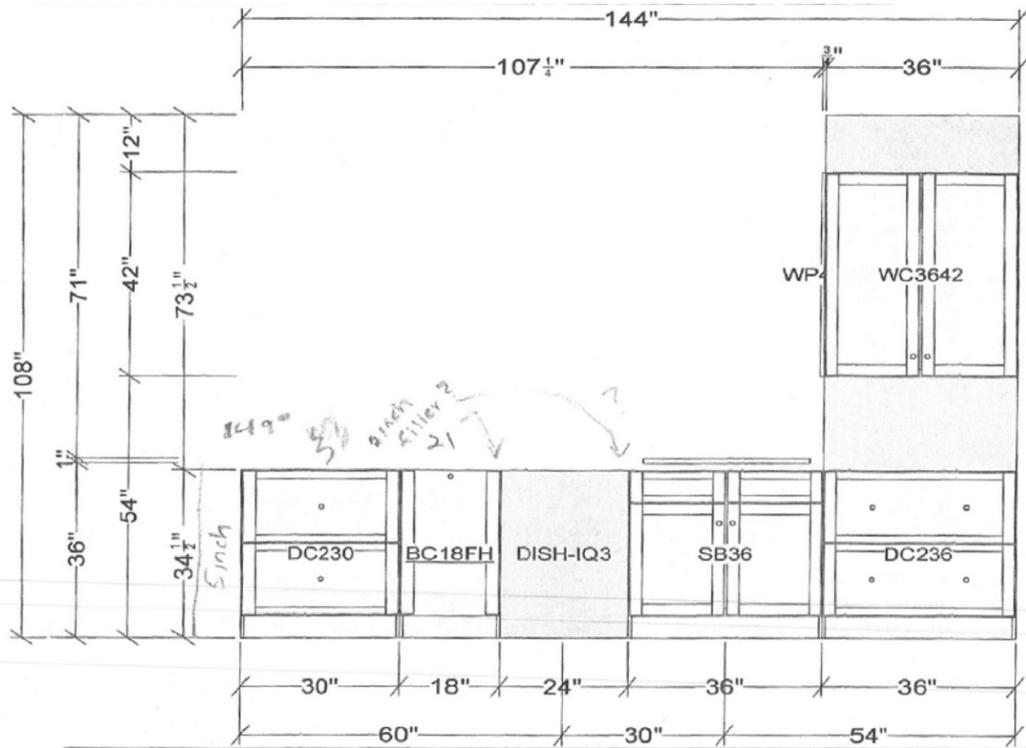
- F1** - New Upper and Lower Kitchen Cabinets per Detail F10.
- F2** - New Kitchen Counter Tops with Backsplash.
- F3** - New 36" Wide Kitchen Sink with Faucet and Garbage Disposal.
- F4** - New 24" Wide Undermount Dishwasher.
- F5** - New 36" Wide Refrigerator.
- F6** - New 30" Wide Electric Range Oven.
- F7** - New 30" Wide Microwave Hood Vent/Light Combo.
- F8** - New 30"x80" Interior Door with Hardware.
- F9** - New Pantry Closet 12" Shelving Pack.
- F10** - Kitchen Cabinet and Appliance Detailed Layout.
- F11** - New Finished Area of Wall Where Fireplace Was.



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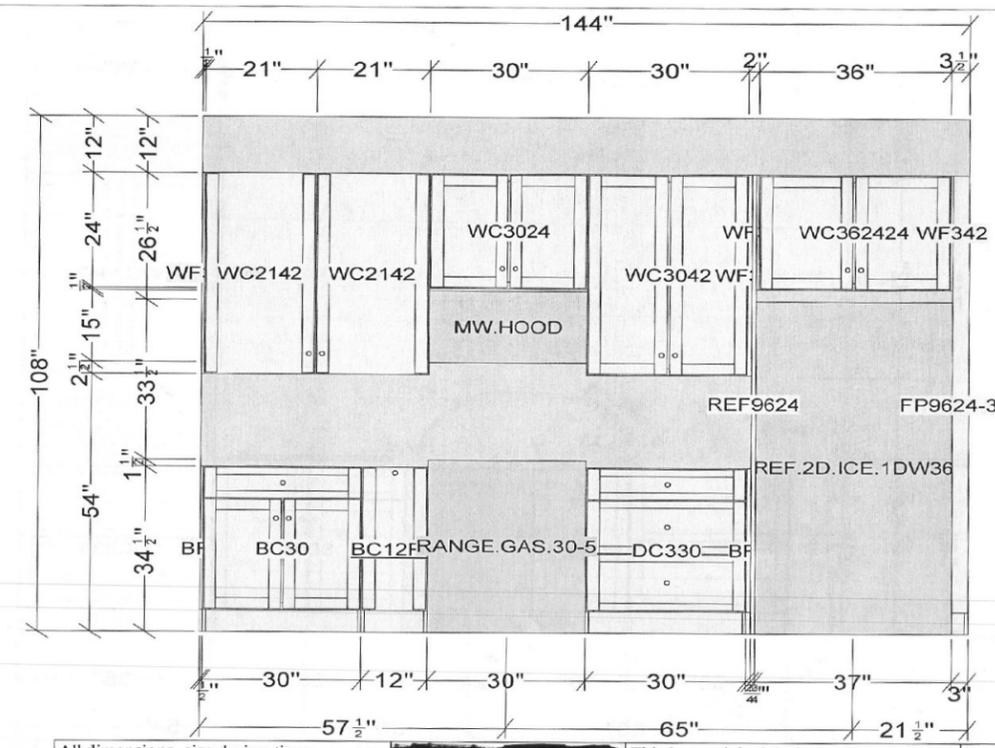
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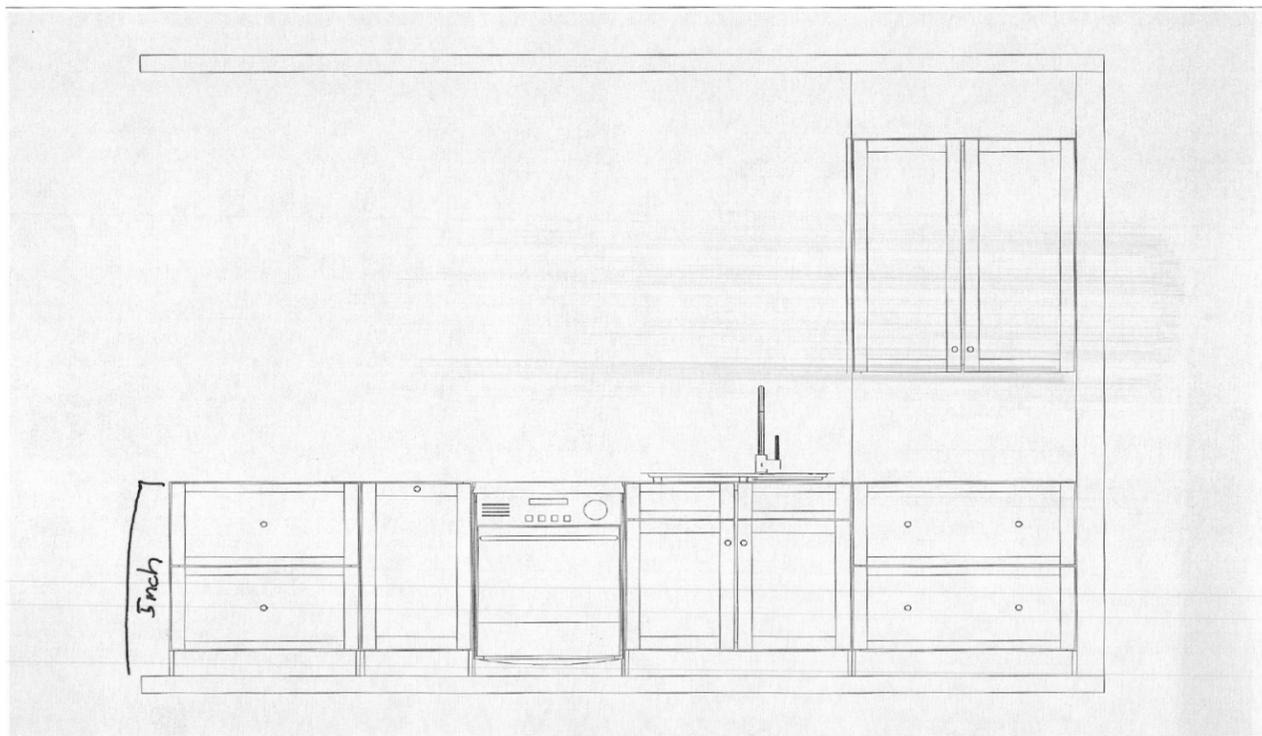
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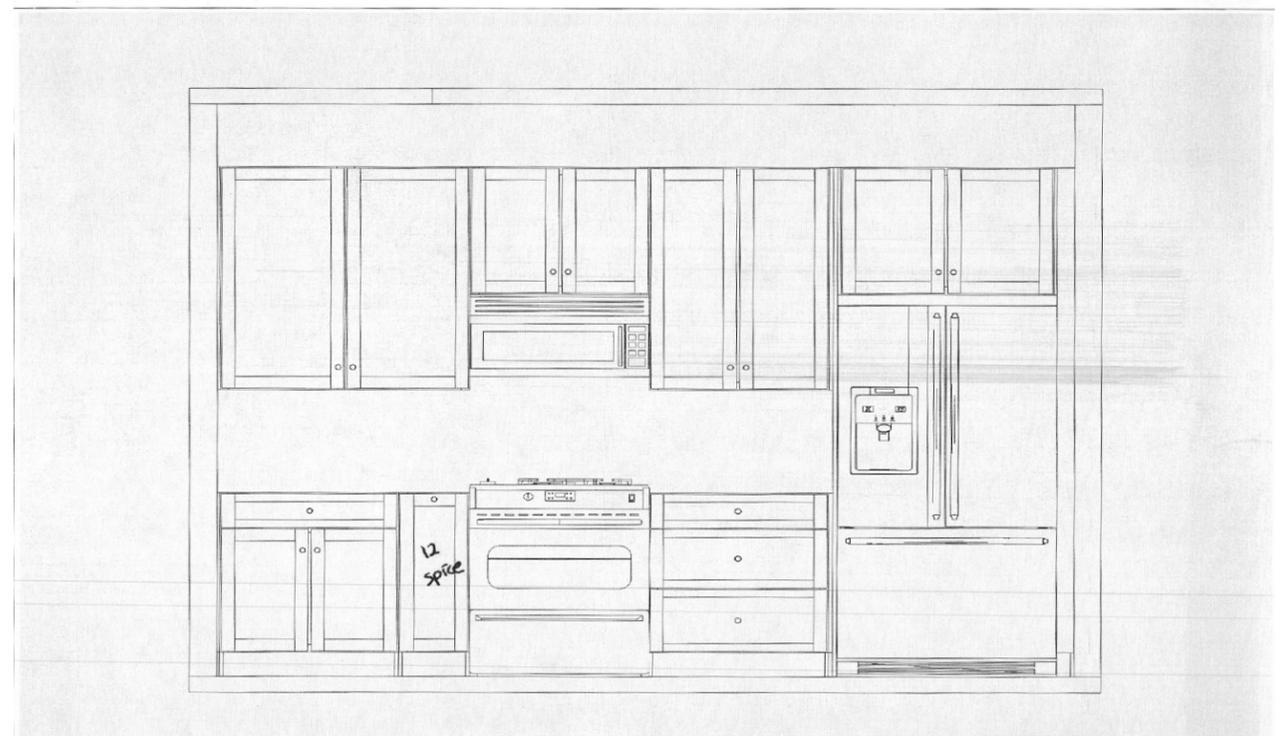
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(720) 259 - 0927

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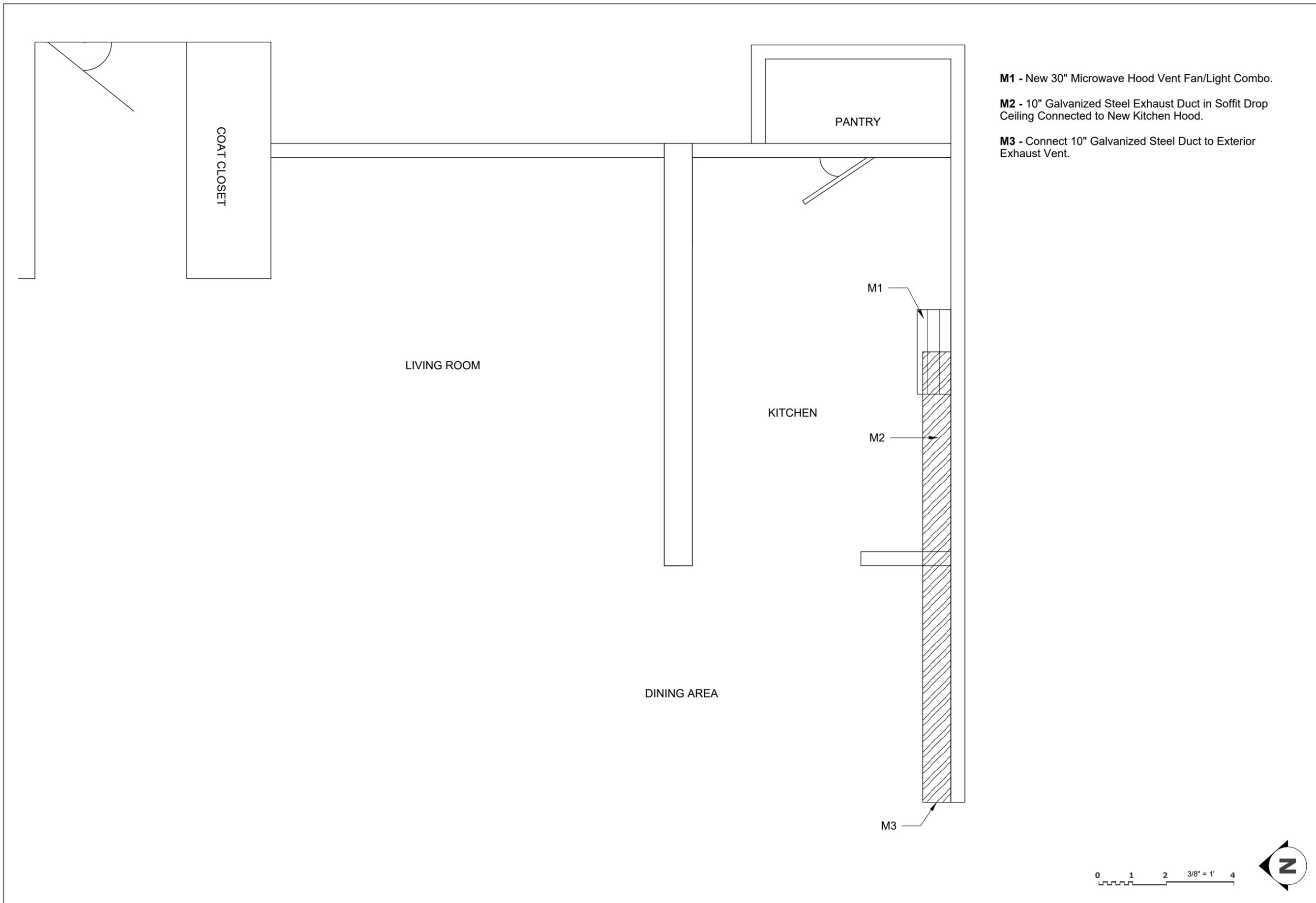
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ELEVATION  
PLAN

A.05



**M1** - New 30" Microwave Hood Vent Fan/Light Combo.

**M2** - 10" Galvanized Steel Exhaust Duct in Soffit Drop Ceiling Connected to New Kitchen Hood.

**M3** - Connect 10" Galvanized Steel Duct to Exterior Exhaust Vent.



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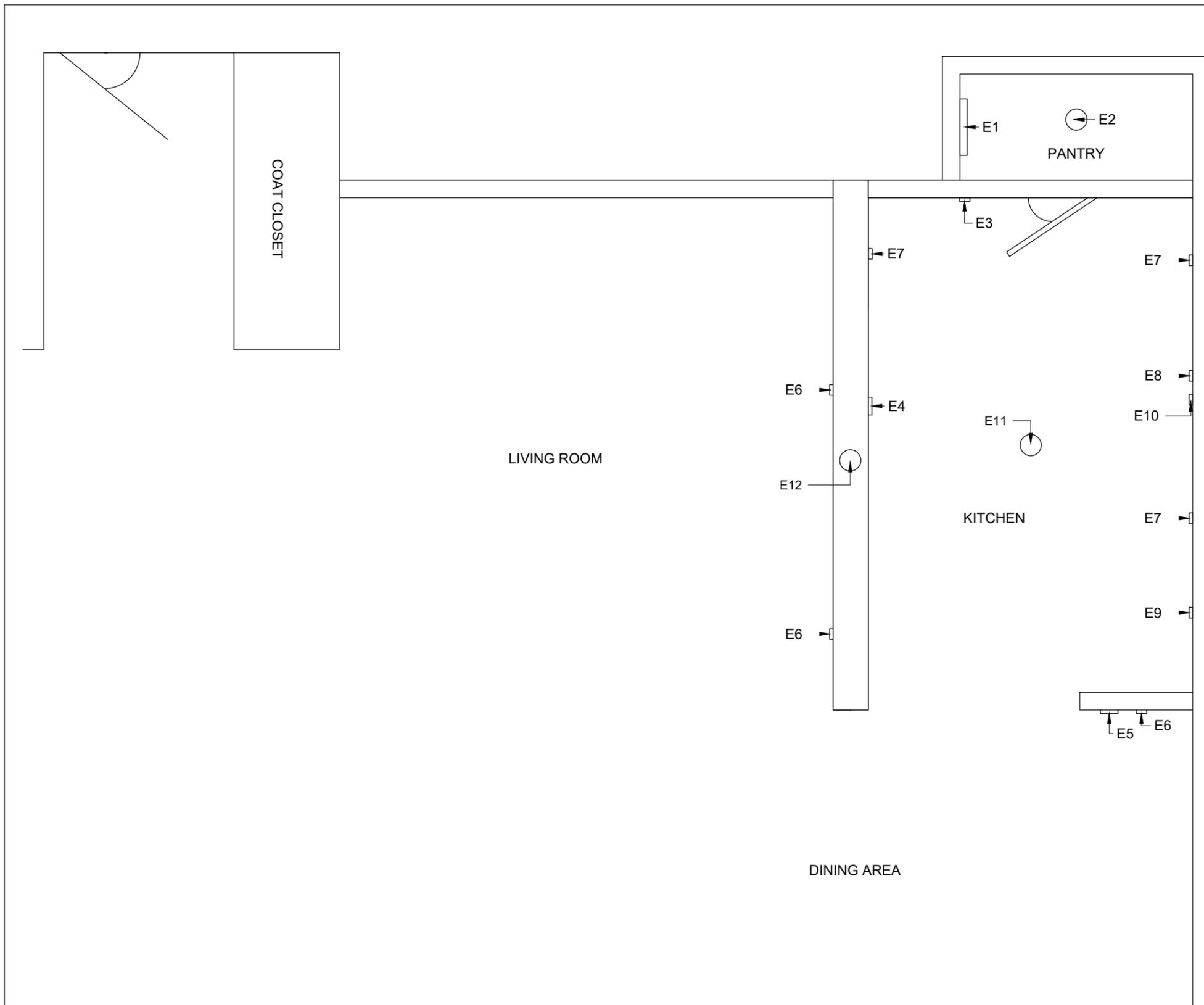
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**MECHANICAL PLAN**

**A.06**



**E1** - New 22"H x 16"W 200 Amp 20 Circuit Panel Breaker Box with Locking Cover 48" Above Finished Floor.

**E2** - 120v Pantry Closet Light Fixture 96" Above Finished Floor.

**E3** - 120v Pantry Closet Light Switch 48" Above Finished Floor.

**E4** - Double 120v GFCI Duplex Power Receptacle 12" A.F.F. in Sink Base Cabinet for Garbage Disposal with Sink Mounted Switch, and Dishwasher.

**E5** - Double 120v Kitchen and Dining Area Light Switch 48" Above Finished Floor.

**E6** - 120v Duplex Power Receptacle 14" Above Finished Floor.

**E7** - 120v GFCI Duplex Power Receptacle 42" AFF in Backsplash.

**E8** - 120v GFCI Duplex Power Receptacle 72" AFF for Microwave and Hood Vent Fan.

**E9** - 120v GFCI Duplex Power Receptacle 60" AFF Behind Refrigerator.

**E10** - 240v Receptacle 6" Above Finished Floor for Stove.

**E11** - 120v Overhead Kitchen Light Fixture 96" Above Finished Floor.

**E12** - 120v Overhead Dining Room/Bar Light Fixture 96" Above Finished Floor.



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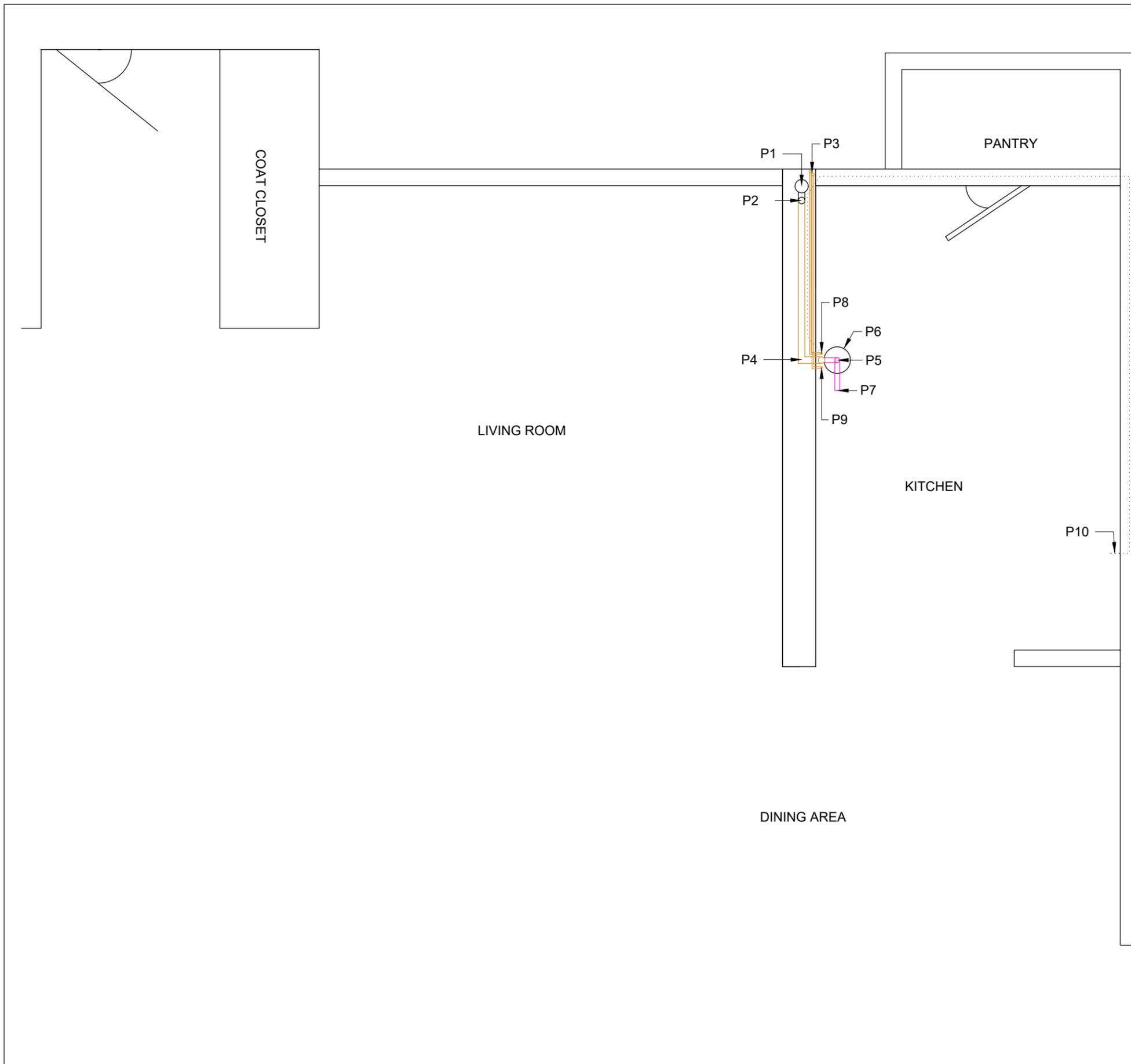
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**ELECTRICAL PLAN**



- P1** - Existing 4" Ductile Iron Pipe Vertical Soil Stack.
- P2** - Existing 2" Ductile Iron Pipe Vertical Stack Vent Connected to 4" DIP Soil Stack with WYE.
- P3** - Connect 1/2" Copper Sink Supply Lines to Existing 3/4" Copper Building Domestic Water Supply Lines.
- P4** - New 2" Copper Sink Drain Pipe Connected to 2" DIP Stack Vent and 1.5" PVC Sink Drain with Adapters.
- P5** - New 1.5" PVC Sink Drain Assembly with P-Trap and Branch Connections for Dishwasher and Disposal.
- P6** - New Garbage Disposal Connected to 1.5" Sink Drain with Manufacturer Specified Pipe and Fittings.
- P7** - Connect 1.5" PVC Sink Drain to New Dishwasher with Manufacturer Specified Pipe and Fittings.
- P8** - 1/2" Copper Cold Water Supply Line with Adapted Flex Line to Faucet Mixing Valve.
- P9** - 1/2" Copper Hot Water Supply Line with Adapted Flex Line to Faucet Mixing Valve.
- P10** - 1/4" Refrigerator Water Supply Line Connected at P8 and Refrigerator with Manufacturer Specified Fittings.

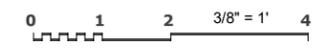


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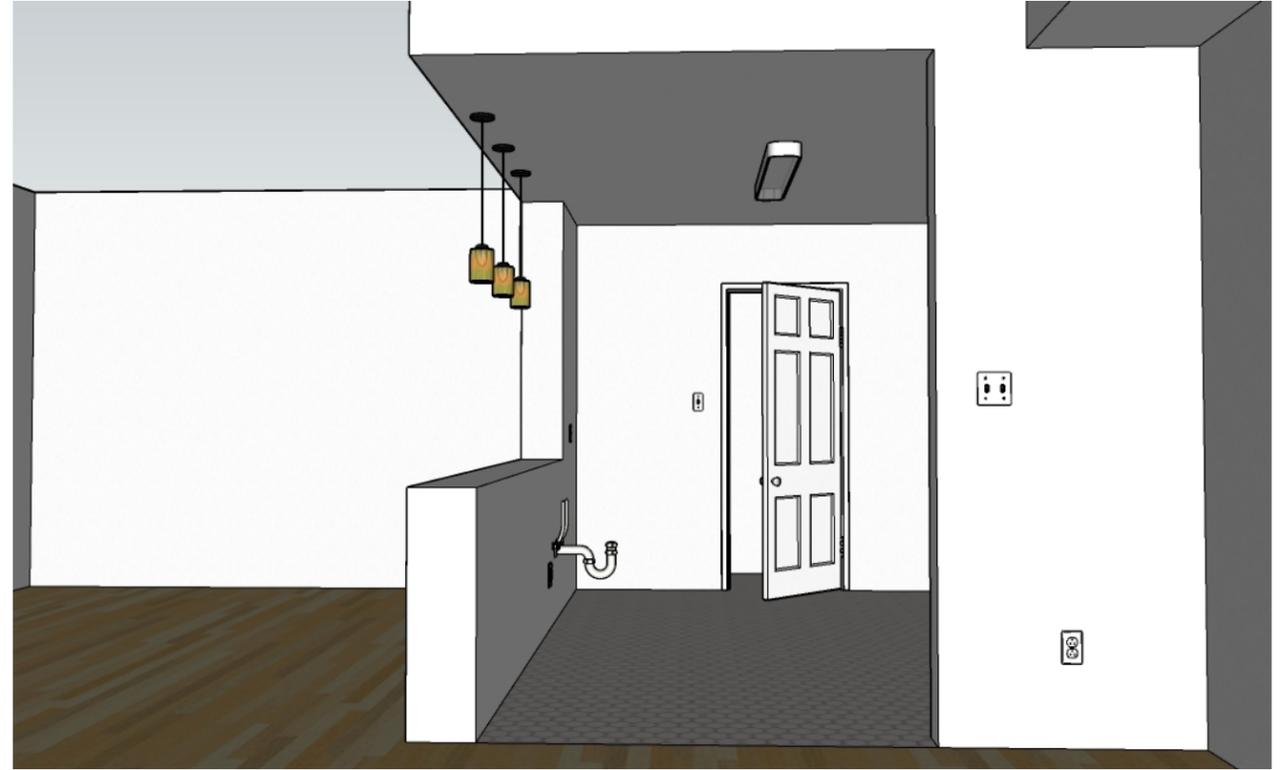
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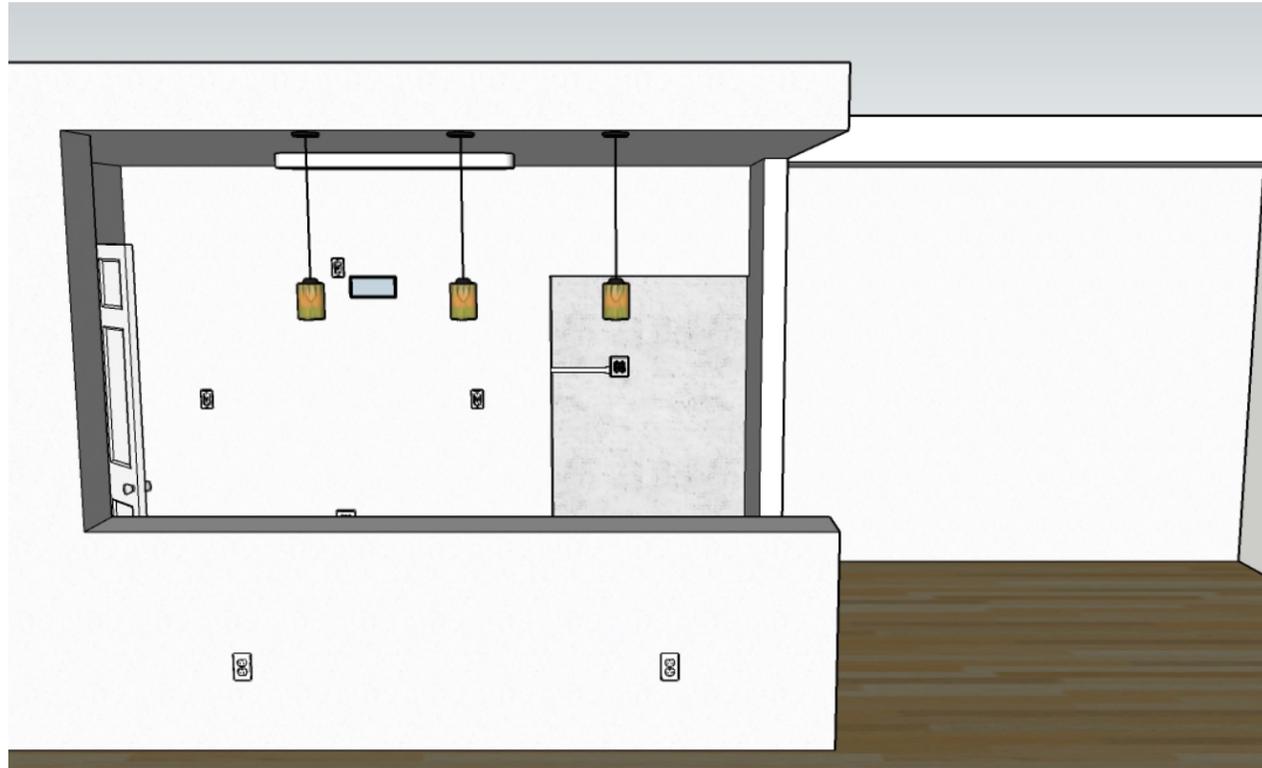
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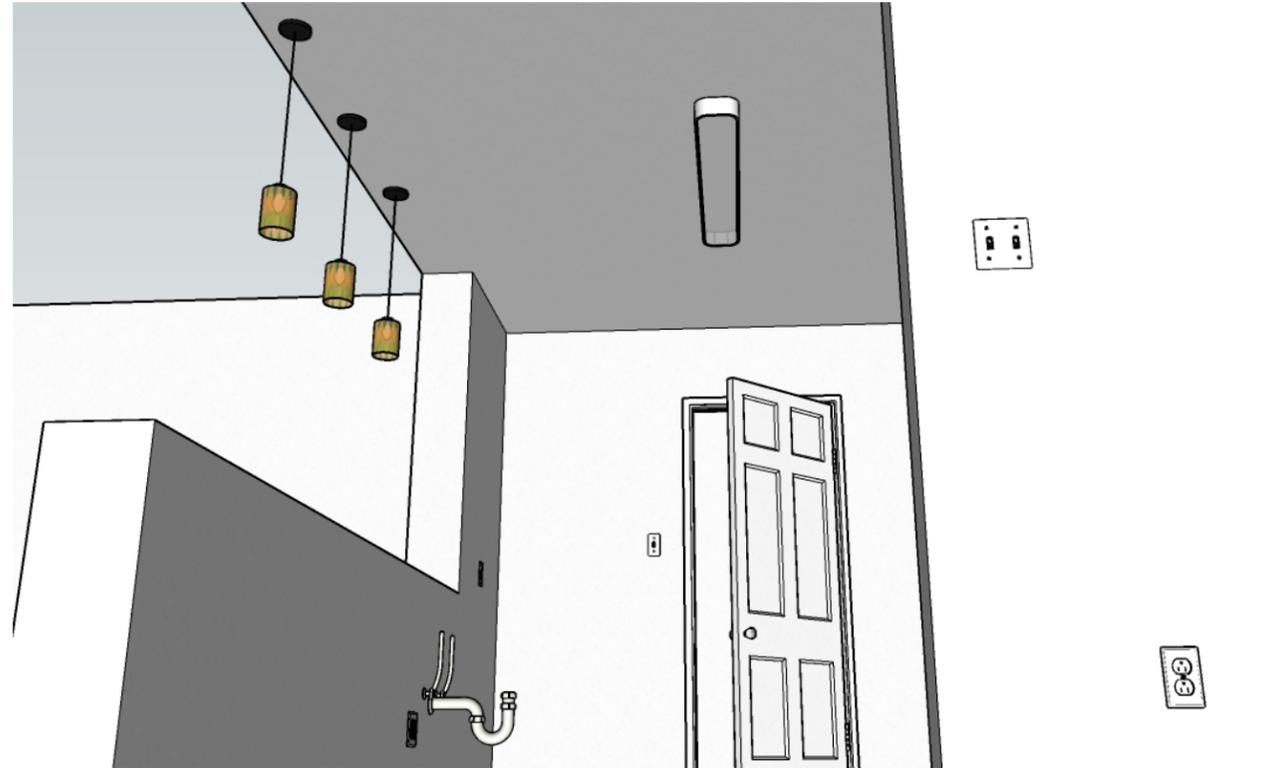
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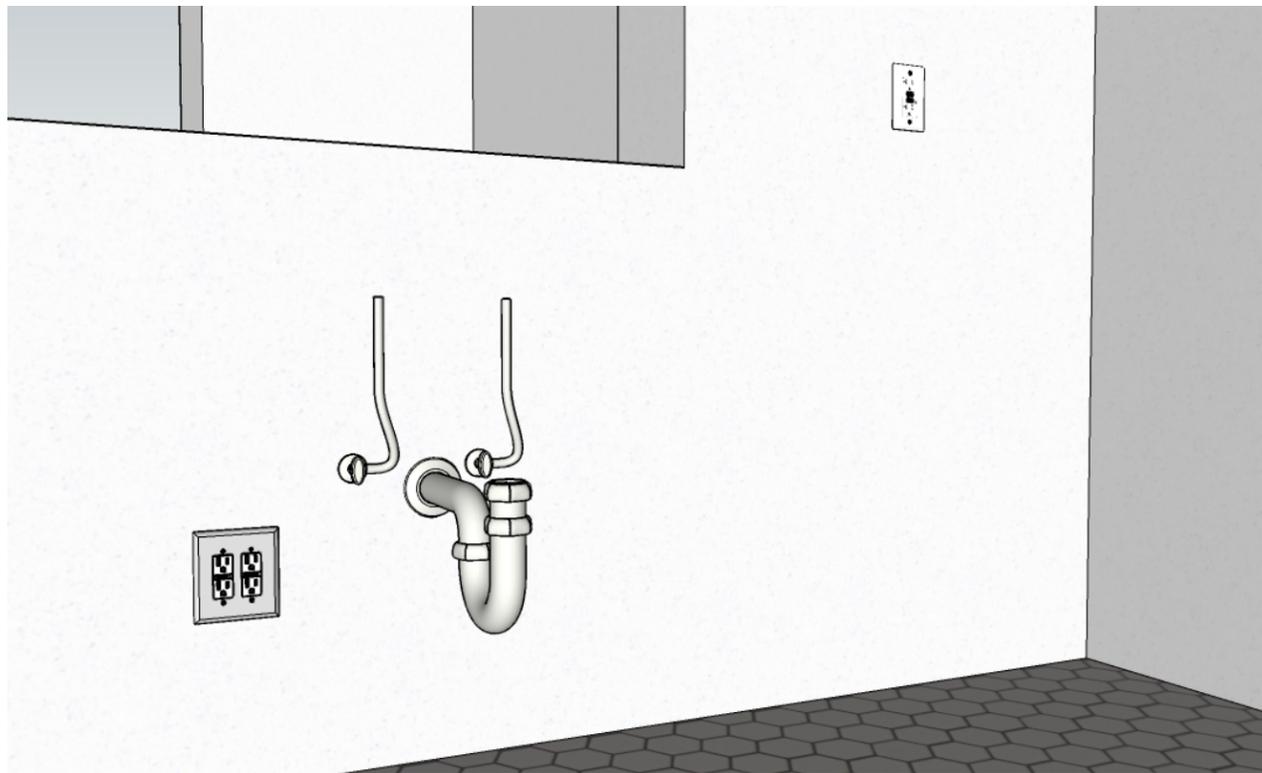
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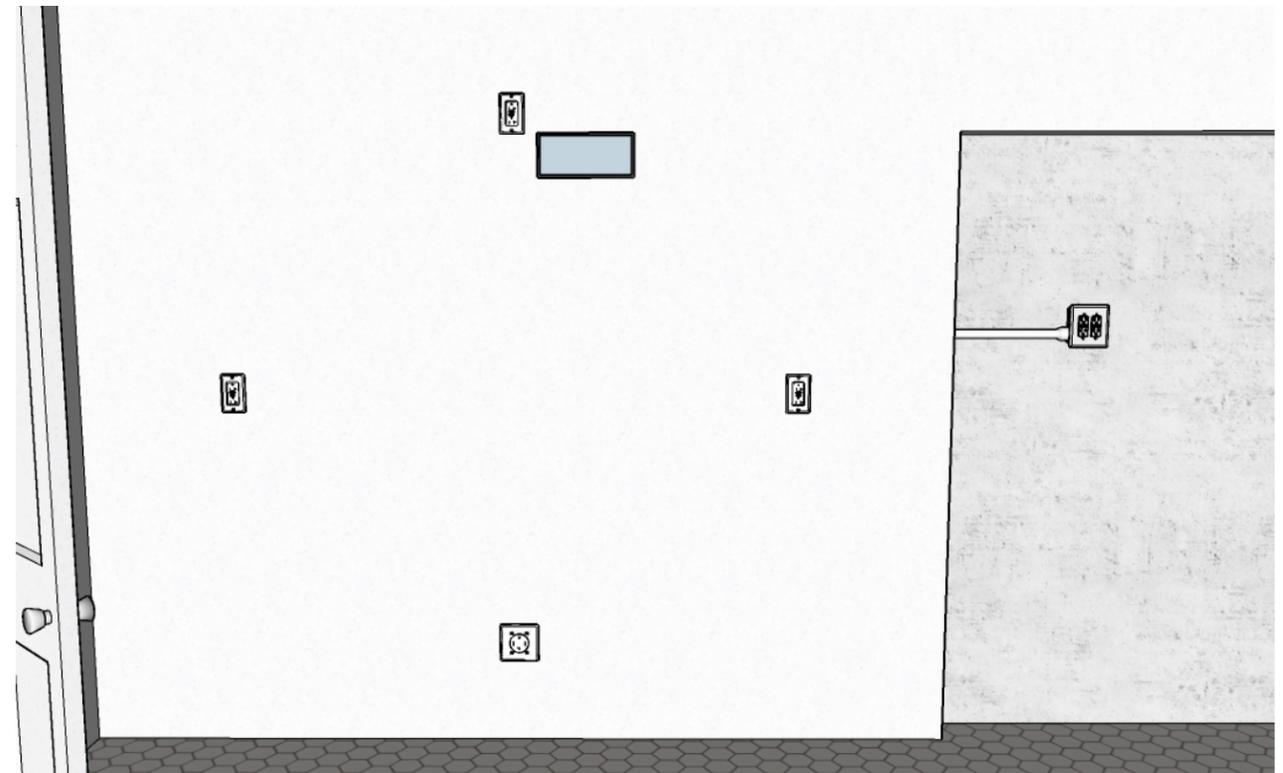
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**RENDERING  
PLAN A**

**A.09**



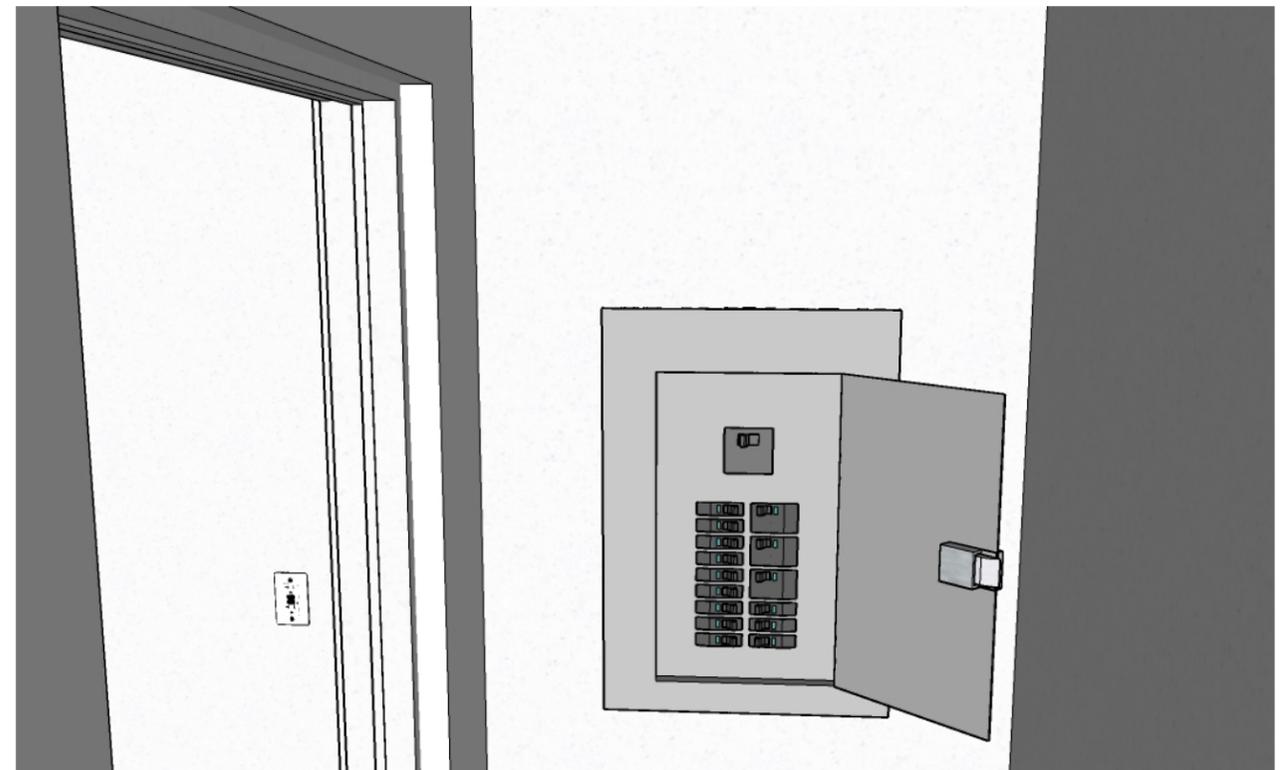
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RENDERING  
 PLAN B

**A.10**