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Mantua Center Historic District - Boundary Increase
National Register of Historic Places
Mantua Center, Ohio

October 11, 2022

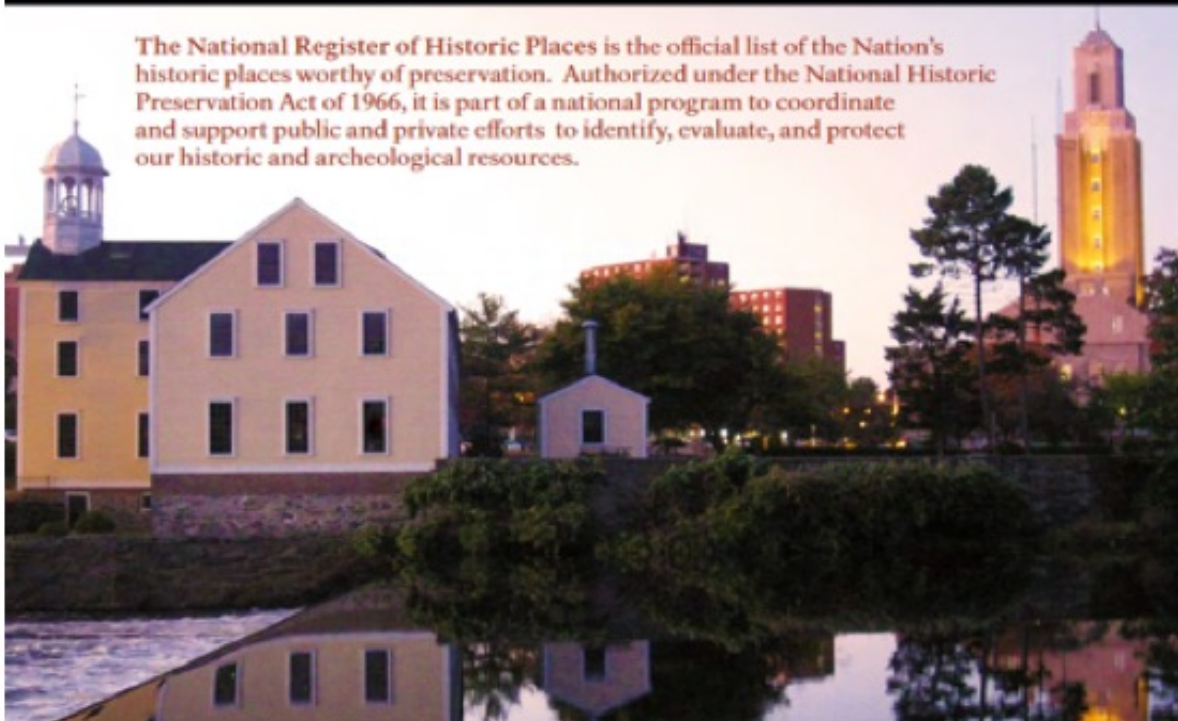
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Historic Building Preservation ✦ Architectural History ✦ Historic Preservation Planning

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National Register of Historic Places

The National Register of Historic Places is the official list of the Nation's historic places worthy of preservation. Authorized under the National Historic Preservation Act of 1966, it is part of a national program to coordinate and support public and private efforts to identify, evaluate, and protect our historic and archeological resources.





Benefits and Incentives of National Register Listing

- ❖ A district listing increases the value of the entire neighborhood as a collective whole giving it prestige as worthy of preservation and can serve as a basis for community planning decisions.
- ❖ Listing leads to pride in ownership and rehabilitation of buildings, which can be a catalyst for the immediate district and the surrounding neighborhood.
- ❖ Triggers Section 106 Review if federal funds are involved.
- ❖ Provides in-depth historical documentation including historic photographs, architectural drawings, archival maps and research.
- ❖ Historic designation as part of a historic district substantially reduces the overall cost of achieving historic status for individual buildings.
- ❖ Provides basis for grant funding.

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National Register Listing



- ❖ Does not place any additional state or federal design review requirements on a property owner
- ❖ Does not lead to public acquisition or require public access
- ❖ A property will not be listed if majority of property owners within a district object to listing
- ❖ Does not automatically invoke local historic district zoning or local landmark designation
- ❖ Local design review would remain in place, with or without listing
- ❖ Does not interfere with an owner's ability to demolish a building or make physical changes

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What types of places can be nominated to the National Register?

- ❖ Districts, buildings, sites, structures and objects significant to the local community, state or nation are eligible for listing.
- ❖ A property must generally be 50 years old to qualify.
- ❖ Nominated properties must be historically significant meeting one of four established criteria and retain architectural integrity.
 - A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
 - B. Property is associated with the lives of persons significant in our past.
 - C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
 - D. Property has yielded, or is likely to yield, information important in prehistory or history.

Mantua Center Historic District Map

Mantua Center Historic District NR #74001607

Listed in 1974

Six Contributing Resources:

- ❖ Public Common
- ❖ Christian Church
- ❖ Methodist Church (Civic Center)
- ❖ Town Hall
- ❖ White-Carlton House
- ❖ Baker Carlton House

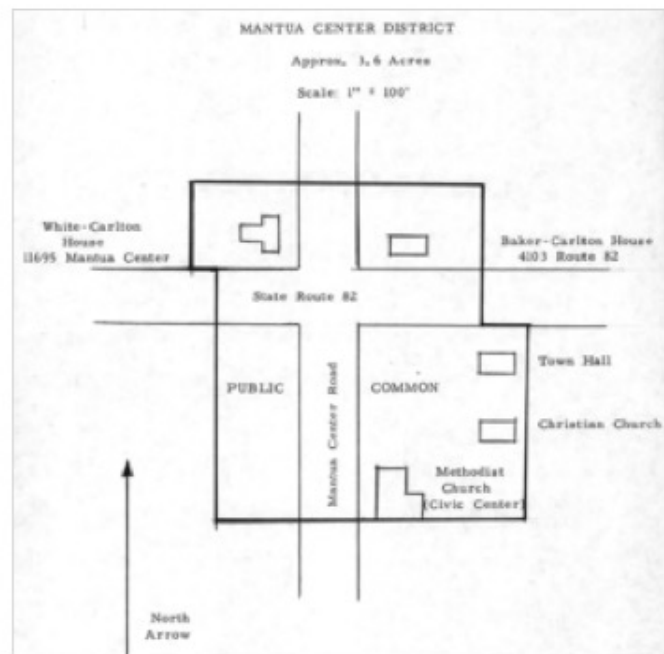
Significance: Criterion A in the areas of Religion/Philosophy and Social/Humanitarian

Period of Significance: 1835-1895

Mantua Center is a remarkably intact example of an early nineteenth century crossroads township center, containing many of the essential ingredients of the life of period, community, religious and residential

In relation to the settlement of the township the buildings at the center are relatively late, all built around 1835-1840

The first settler arrived in 1798, and Mantua Township was organized in 1810



The National Register & Your Community

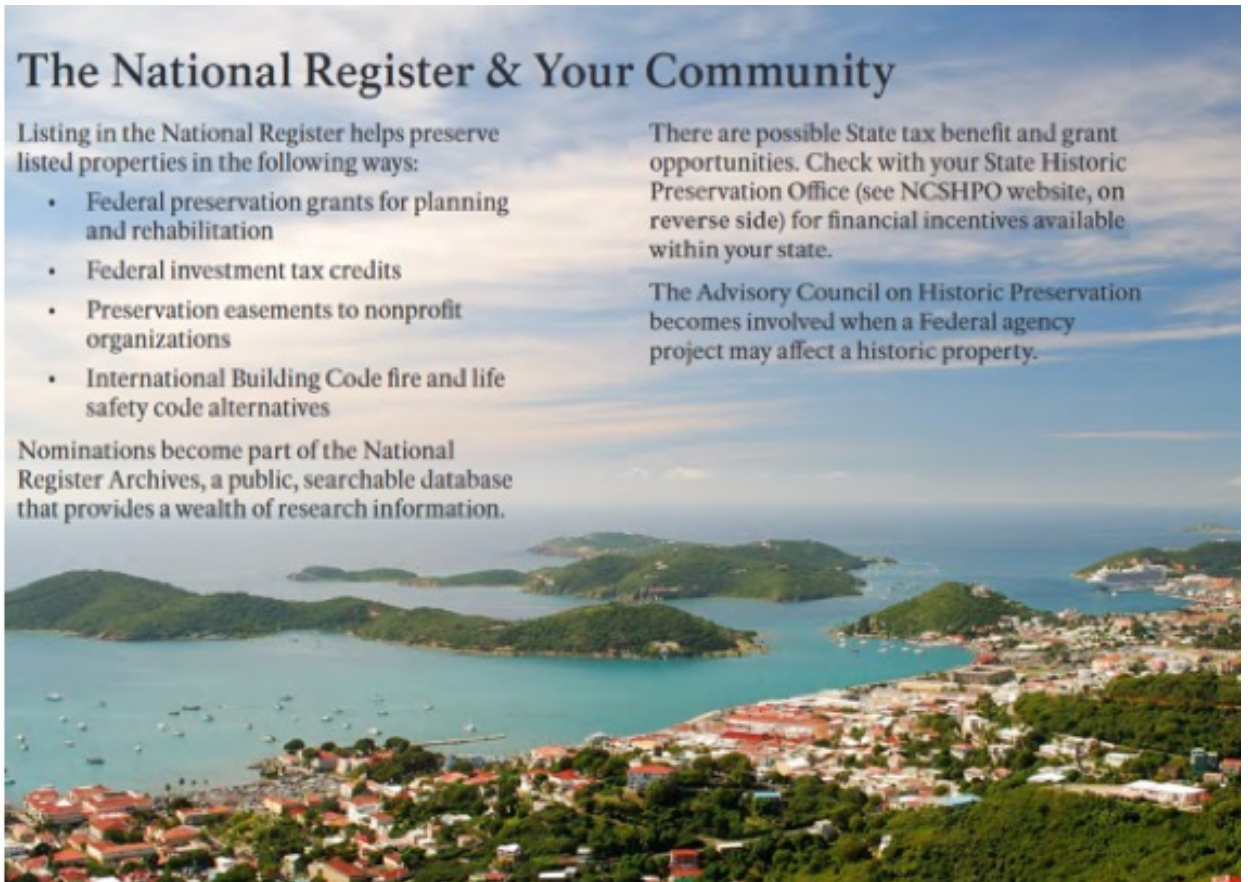
Listing in the National Register helps preserve listed properties in the following ways:

- Federal preservation grants for planning and rehabilitation
- Federal investment tax credits
- Preservation easements to nonprofit organizations
- International Building Code fire and life safety code alternatives

Nominations become part of the National Register Archives, a public, searchable database that provides a wealth of research information.

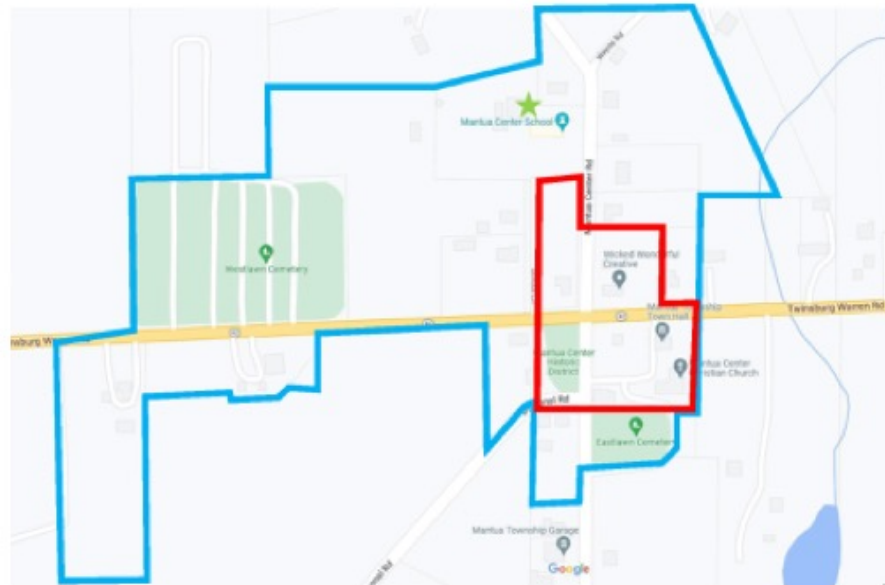
There are possible State tax benefit and grant opportunities. Check with your State Historic Preservation Office (see NCSHPO website, on reverse side) for financial incentives available within your state.

The Advisory Council on Historic Preservation becomes involved when a Federal agency project may affect a historic property.



Proposed Mantua Center National Register Historic

- ❖ Mantua Center Historic District NR (#74001607), Portage County Map in Red
- ❖ Proposed Boundary Increase in Blue
- ❖ Mantua Center School, NR (#13000682) 
- ❖ SHPO Site Visit 9/9/22



Mantua Center School, NR #13000682

Individually Listed in 2013
by Hiram College and the Mantua Historical Society

Significance: Criterion A: Community Planning & Development and Criterion C: Architecture

Period of Significance: 1914-1963

Architect: Paul T. Cahill

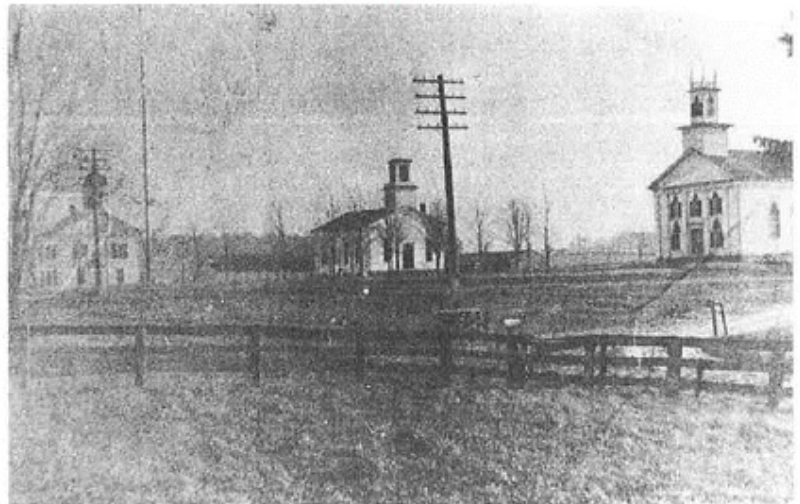
Mantua Center School is representative of the continuing evolution of the education process in Mantua Center and as a good example of an early 20th century Neoclassical educational facility



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Proposed Mantua Center Historic District Boundary Increase

- Significance under **Criterion A: Community Planning & Development and Exploration and Settlement** demonstrating the pattern of development in the Connecticut Western Reserve and Mantua Center during the 19th century
- Significance under **Criterion C** the area of **Architecture** as representative of building styles and types built during the 19th nineteenth century dominated by the Greek Revival style houses and farm buildings with examples of Upright & Wing, Four-over-Four, Hen & Chicks and Front Gable types.
- **Period of Significance: 1835-1895**



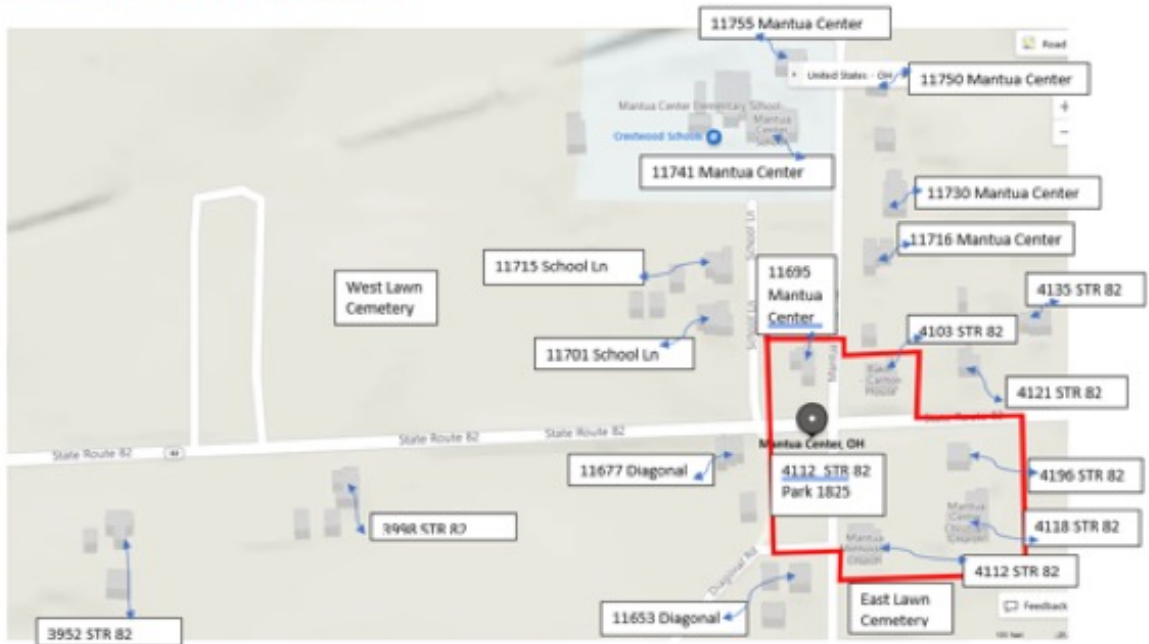
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Crossroads Township

Source: Combination Atlas Map of Portage County, Ohio, 1874.

Resources in Boundary Increase





In 1861, a new commodious frame schoolhouse, with a bell contained in a cupola, was built on the southwest side of public square across the road from the Union Church (Civic Center). It is now J. Klimek's remodeled residence at 11653 Center Road.

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Mantua Center District #5 Schoolhouse



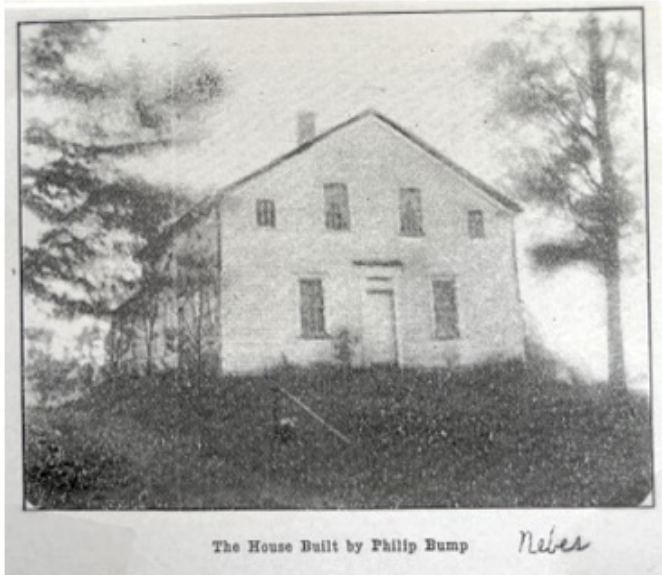
Moore House

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Plum-Tinker House

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The House Built by Philip Bump

Nebes



Bump House

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National Register Process & Timeline

- ❖ Draft Nomination submitted to SHPO by January 15, 2023
60-day review period from submission
- ❖ Revised Draft
- ❖ Owners will be notified by Certified Mail of Proposed National Register Mantua Center Historic District Boundary Increase
- ❖ Objections to National Register listing must be filed before the OHSPAB meeting by letter submitted to SHPO. District will not be listed if more than 50% of owners of property within the district file objections.
- ❖ OHSPAB Meeting, held in Columbus and available live online – June 16, 2023
- ❖ Submitted to NPS for review – up to 3-4 months for listing

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WHO ARE CONSULTING PARTIES?

The following parties are entitled to participate as consulting parties during Section 106 review:

- ▶ Advisory Council on Historic Preservation;
- ▶ State Historic Preservation Officers;
- ▶ Federally recognized Indian tribes/THPOs;
- ▶ Native Hawaiian organizations;
- ▶ Local governments; and
- ▶ Applicants for federal assistance, permits, licenses, and other approvals.

Other individuals and organizations with a demonstrated interest in the project may participate in Section 106 review as consulting parties "due to the nature of their legal or economic relation to the undertaking or affected properties, or their concern with the undertaking's effects on historic properties." Their participation is subject to approval by the responsible federal agency.

Section 106 Review

What is Section 106 Review?

In the National Historic Preservation Act of 1966 (NHPA), Congress established a comprehensive program to preserve the historical and cultural foundations of the nation as a living part of community life. Section 106 of the NHPA is crucial to that program because it requires consideration of historic preservation in the multitude of projects with federal involvement that take place across the nation every day.

Section 106 requires federal agencies to consider the effects of projects they carry out, approve, or fund on historic properties. Additionally, federal agencies must provide the ACHP an opportunity to comment on such projects prior to the agency's decision on them.

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SECTION 106: WHAT IS AN ADVERSE EFFECT?

If a project may alter characteristics that qualify a specific property for inclusion in the National Register in a manner that would diminish the integrity of the property that project is considered to have an adverse effect. Integrity is the ability of a property to convey its significance, based on its location, design, setting, materials, workmanship, feeling, and association.

Adverse effects can be direct or indirect and include the following:

- ▶ physical destruction or damage
- ▶ alteration inconsistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties
- ▶ relocation of the property
- ▶ change in the character of the property's use or setting
- ▶ introduction of incompatible visual, atmospheric, or audible elements
- ▶ neglect and deterioration
- ▶ transfer, lease, or sale of a historic property out of federal control without adequate preservation restrictions

Historic Preservation Resources and Information

National Park Service, National Register – Frequently Asked Questions. Available at <https://www.nps.gov/subjects/nationalregister/faqs.htm>

National Park Service, National Register of Historic Places – How to List a Property. Available at <https://www.nps.gov/subjects/nationalregister/how-to-list-a-property.htm>

National Park Service, About the National Register of Historic Places. Available at https://www.ohiohistory.org/OHC/media/OHC-Media/Documents/about_nr.pdf

Ohio State Historic Preservation Office National Register and Contact Information. Available at <https://www.ohiohistory.org/preserve/state-historic-preservation-office/nationalregister>

Naylor Wellman, LLC. More information available at www.naylorwellman.com