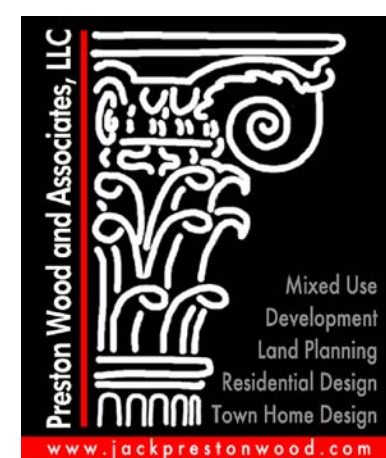


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Jack Preston Wood PBD Certification: TX-431  
 AMERICAN INSTITUTE OF BUILDING DESIGN

DESIGNER:	DATE:	DRAFTER:	DATE:
RGP	4-16-07	RGP/JMJ	5-1-07
REVISIONS 1:	DATE:	REVISIONS 2:	DATE:
JMJ	11-2-07	XXX	X-X-XX
REVISIONS 3:	DATE:	REVISIONS 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
XXX	DATE:	XXX	DATE:
XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

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**SQUARE FOOTAGES**

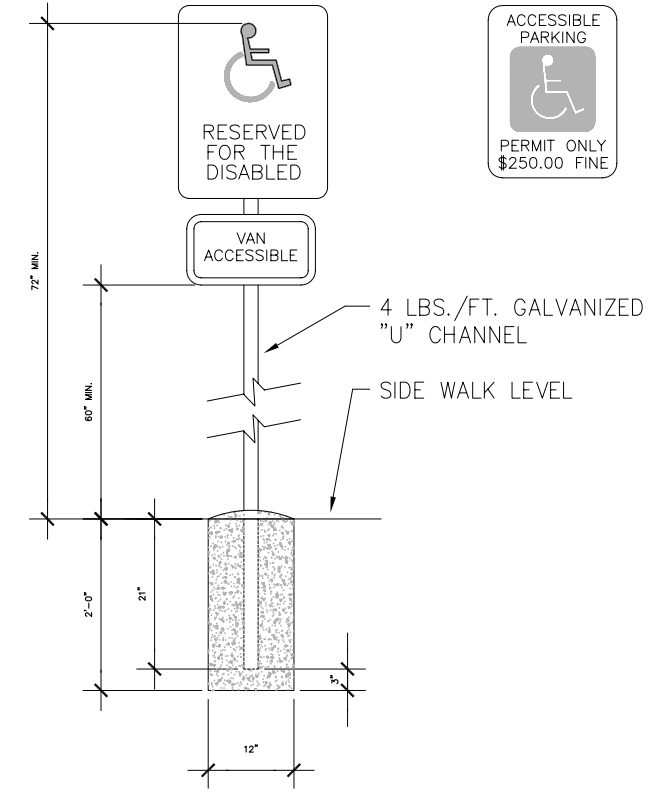
FLOOR AREA:	9704 S.F.
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**milagro building company**  
 SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

JOB # **D7060-3** **A.0**  
 PERMIT SET ISSUE DATE: 5 NOVEMBER 2007

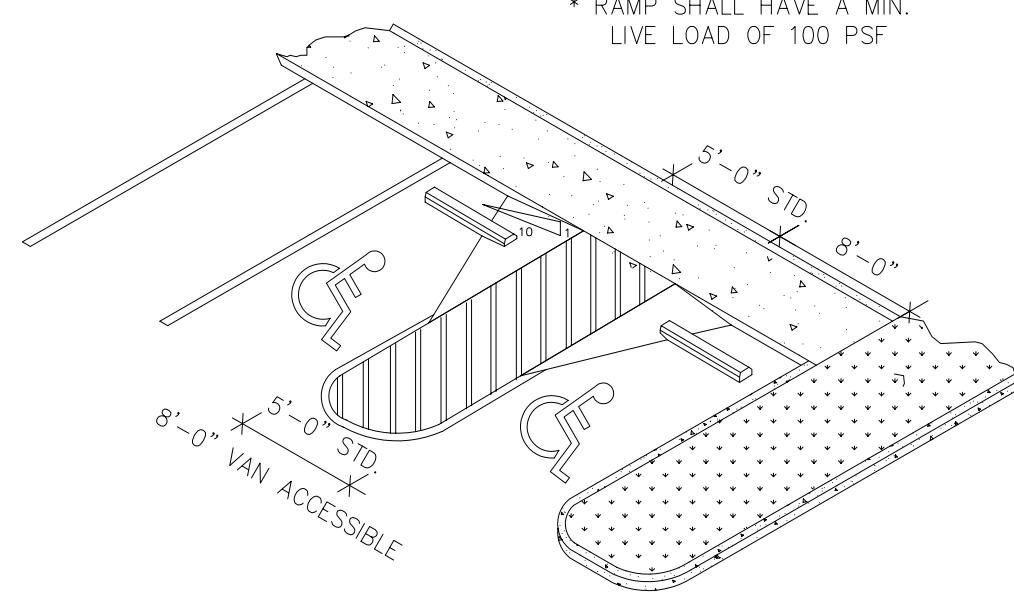
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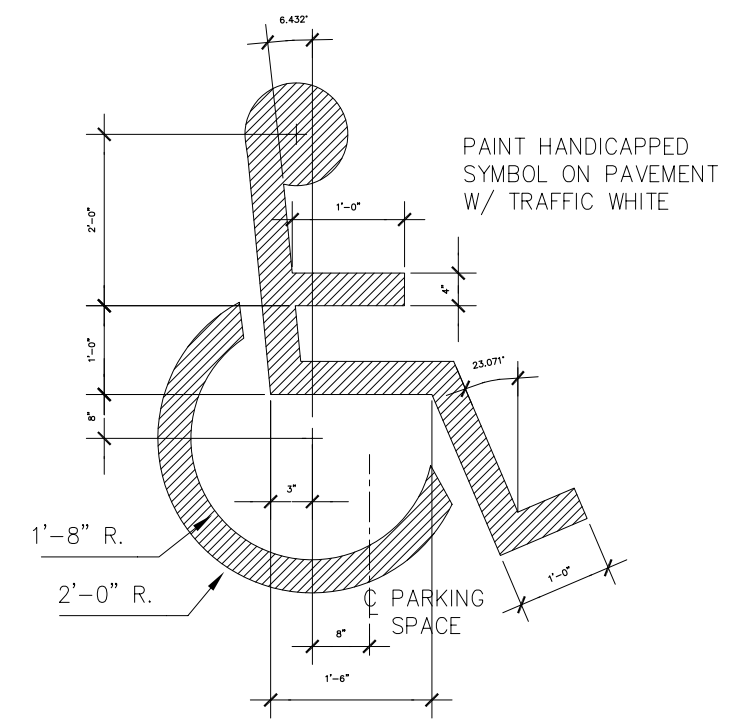
1 HC SIGNAGE  
N.T.S.

- HANDICAP RAMP:
- \* MAX. SLOPE @ 1 TO 12
  - \* MIN. WIDTH @ 36"
  - \* RAMP MAY HAVE A MAX. CROSS SLOPE OF 2%
  - \* RAMP SHALL HAVE A MIN. LIVE LOAD OF 100 PSF

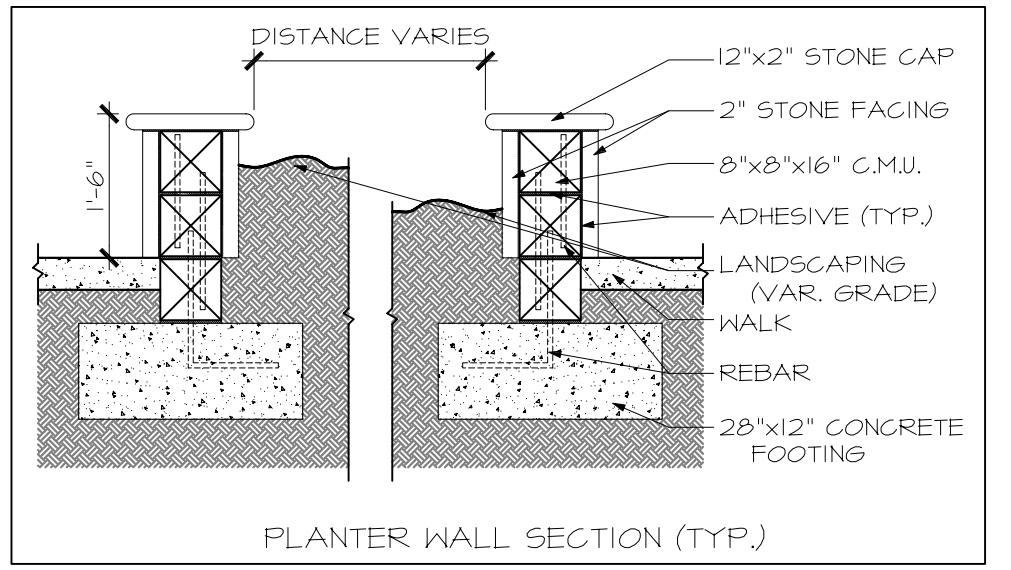
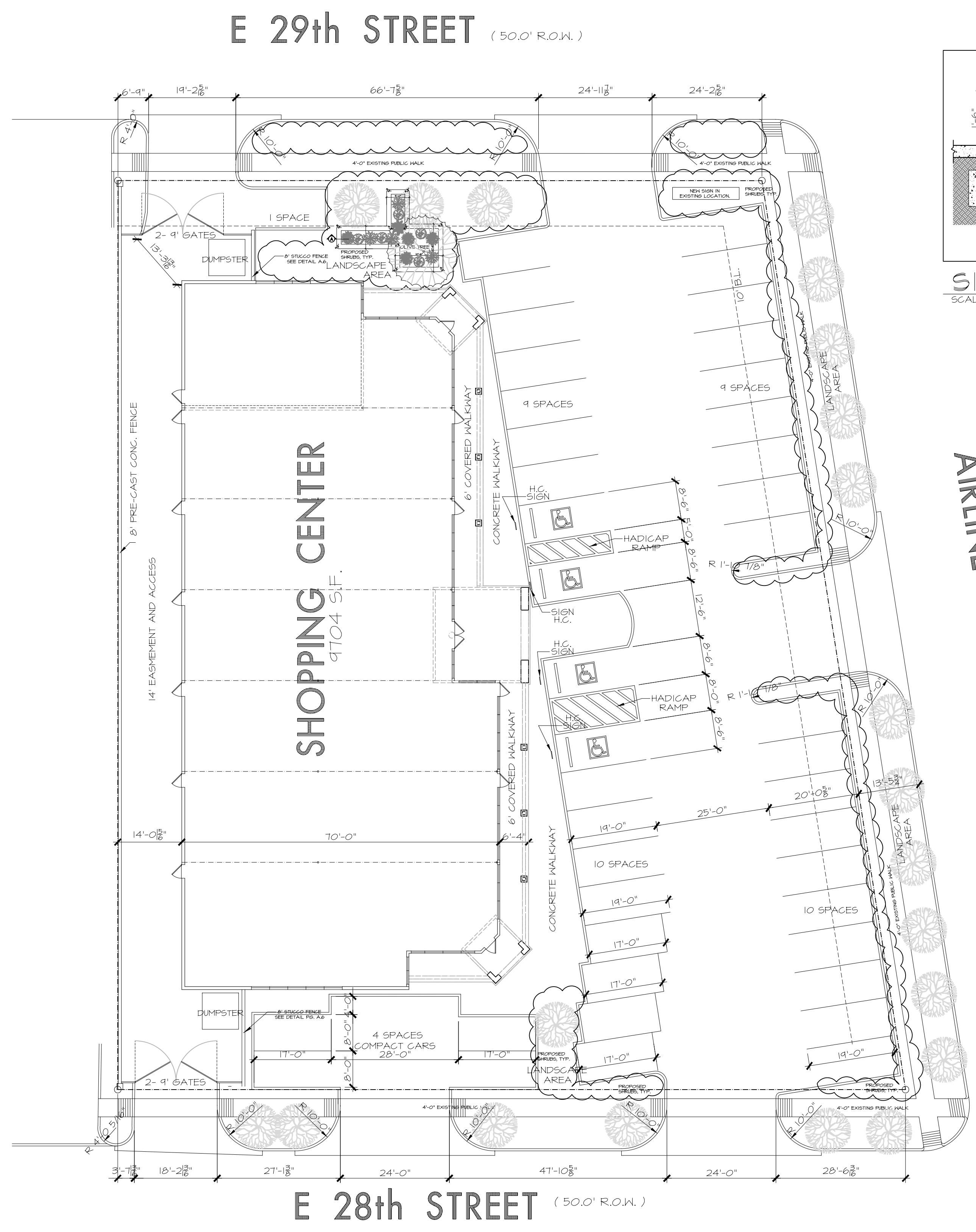
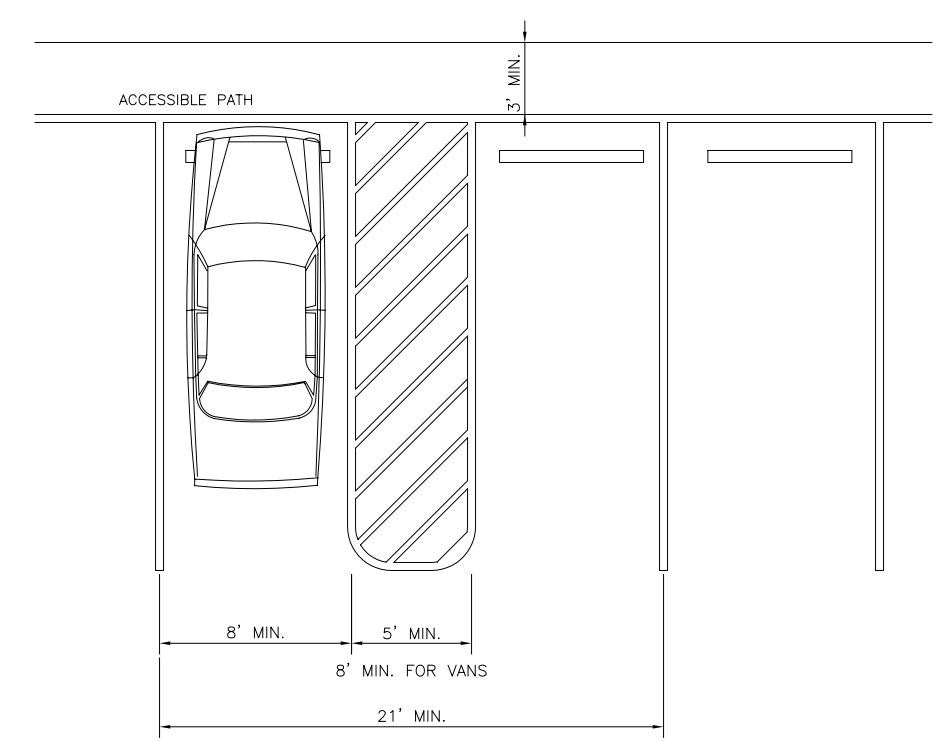


NOTE:  
ALL HANDICAP PARKING SPACES & RAMP SHALL MEET W/ STANDARDS SET BY ADA 1994.

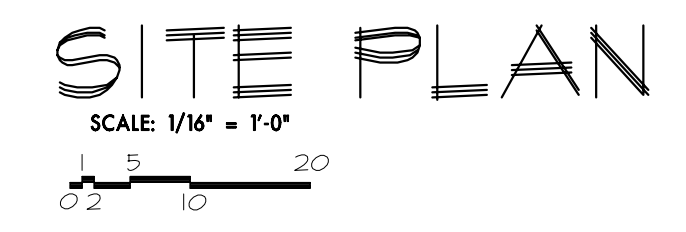
2 ACCESSIBLE PARKING  
N.T.S.



3 PAVEMENT SIGNAGE  
N.T.S.



SITE DETAIL-A  
SCALE: 1/2" = 1'-0"



SITE PLAN

NOTE! BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING LINES AND SETBACK LINES PRIOR TO CONSTRUCTION

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 RSP: 5-1-07 RSP/JMJ T-23-07  
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 XXX X-X-XX XXX X-X-XX  
 REVISIONS 3: DATE: REVISIONS 4: DATE:  
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 XXX DATE: DATE:  
 XXX X-X-XX XXX X-X-XX  
 CHECKED BY: DATE: CORRECTIONS: DATE:  
 XXX X-X-XX JMJ 10-2-07

REFERENCE: D7004

**SITE NOTES**

- ALL DRAWINGS PRESENTED HERE REFERENCES THE IRC/IBC 2000 BUILDING CODES, W/CITY OF HOUSTON AMENDMENTS.
- FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER. QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION AND PROVIDE A SITE GRADING PLAN OR PER LOCAL AUTHORITY.
- ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0'.
- BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE, AND SETBACK LINES PRIOR TO CONSTRUCTION.
- PLUMBER TO CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 P.V.C. SEE PLAN FOR SIZES.
- PLUMBER TO DETERMINE LOCATION OF WATER METER AND TO CONTACT THE LOCAL AUTHORITY TO CONNECT. WATER PIPE AND METER SIZES TO COMPLY WITH 1994 U.P.C. PIPING TO BE SCH. 40 P.V.C. SEE PLAN FOR SIZES.
- ELECTRICIAN TO RUN THREE CONDUITS TO GARAGE FOR:  
 A) ELECTRIC SERVICE  
 B) TELEPHONE SERVICE  
 C) CABLE SERVICE. AT SAME LOCATION.
- ALL DRAINAGE AND RUNOFFS SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED TO THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SWALE DETAIL. SITE DRAINAGE DETERMINED BY QUALIFIED ENGINEER.
- PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE.
- SHADED AREAS DESIGNATES COMMON AREAS. (PER APPLICATION)
- ALL WATER, SANITARY SEWER, STORM PIPING, AND PAVING LOCATED IN THE COMMON AREAS ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

**VICINITY MAP**



**LANDSCAPING REQUIREMENTS**

NO EXISTING TREES

EXISTING CONCRETE COVERED AREA TO STREET CURBS:  
 AT 13'-6" (AS DRAWN) TO STREET CURB: 38,874 S.F. OF CONCRETE TO CURB  
 AT 10'-0" TO STREET CURB: 36,846 S.F. OF CONCRETE TO CURB

MAX. BUILDING AREA: 11250 S.F.

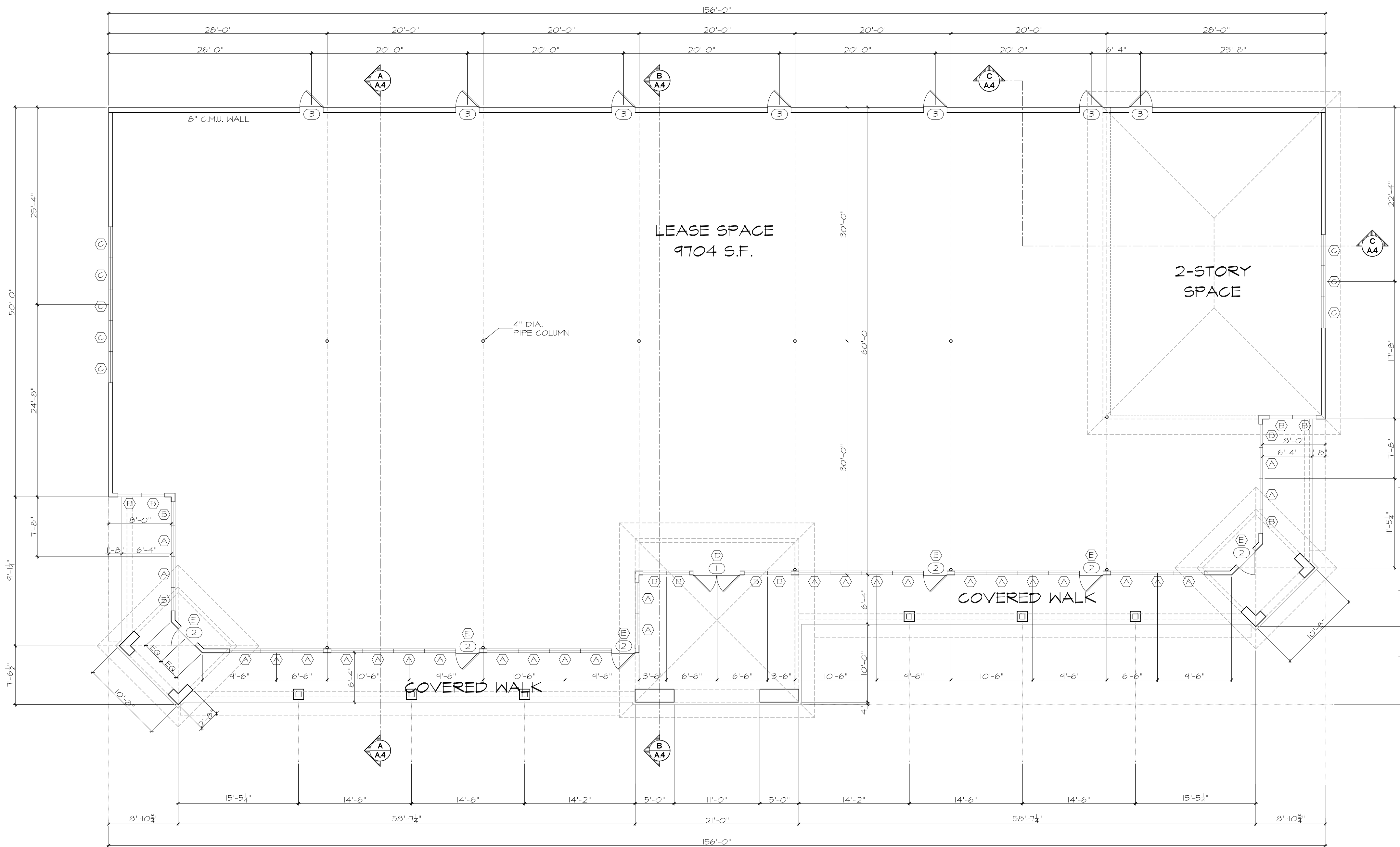
BUILDING AREA: 9704 S.F.

PARKING: 4/1000 S.F.-RETAIL  
 38.8 REQUIRED 45 SPACES PROVIDED

milagro building company  
 SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

JOB #	D7060-SITE-6	A.1
PERMIT SET	ISSUE DATE: 20 December 2007	





## FLOOR PLAN

SCALE: 1/8" = 1'-0"

### ACCESSIBILITY NOTES:

BUILDING AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD BUILDING CODE 1991, APPENDIX I AND IN ACCORDANCE WITH ANSI A-117.1.

- THE MINIMUM CLEAR WIDTH OF ALL ACCESSIBLE ROUTES OF TRAVEL SHALL BE 36 INCHES. CHANGES IN LEVEL AND THRESHOLD HEIGHTS SHALL CONFORM TO CODE (1/2" MAXIMUM HEIGHT).
- CONTRACTOR SHALL HOLD A 60" UNOBSTRUCTED TURNING SPACE WITHIN ALL PUBLIC TOILET ROOMS. TOILET DOORS SHALL NOT SWING INTO THE CLEAR FLOOR SPACE REQUIRED FOR ANY FIXTURE. GRAB BARS SHALL BE PLACED ABOVE ACCESSIBLE WATER CLOSETS AS PER CODE. STALL LATCHING HARDWARE SHALL BE MOUNTED 36" A.F.F. AND TOILET ROOM ACCESSORIES SHALL BE MOUNTED AS NOTED BELOW.
- WHERE CUSTOMER SERVICE COUNTERS ARE HIGHER THAN 36" OR NOT ACCESSIBLE, SERVICE WILL BE PROVIDED AT ACCESSIBLE TABLES WITHIN THE SAME AREA.
- CONTROLS AND HARDWARE:
  - THE HIGHEST OPERABLE PART OF ENVIRONMENTAL AND OTHER CONTROLS, DISPENSERS, RECEPTILES AND OTHER OPERABLE EQUIPMENT SHALL BE WITHIN THE REACH RANGES SPECIFIED IN THE CODE AND NOT LESS THAN 36" A.F.F. ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTILES ON WALLS SHALL BE MOUNTED A MINIMUM OF 15 INCHES IN HEIGHT A.F.F. DOOR HARDWARE SHALL BE MOUNTED NOT MORE THAN 42 INCHES A.F.F.
  - HANDLES, PULLS, LATCHES, LOGKS AND OTHER OPERATING DEVICES ON DOORS, WINDOWS, CABINETS, PLUMBING FIXTURES AND STORAGE FACILITIES SHALL HAVE LEVER OR OTHER SHAPES WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING TO OPERATE. DOORS SHALL COMPLY WITH CODE.

- DOOR MANEUVERING CLEARANCES SHALL BE PROVIDED AT ALL DOORS.
  - WHERE A DOOR MUST BE PULLED TO BE OPENED, AN UNOBSTRUCTED FLOOR SPACE SHALL EXTEND AT LEAST 18" BEYOND THE STRIKE JAMB.
  - WHERE A DOOR MUST BE PUSHED TO OPEN AND IS EQUIPPED WITH BOTH A CLOSER AND A LATCH, AN UNOBSTRUCTED FLOOR SPACE SHALL EXTEND AT LEAST 12 INCHES BEYOND THE STRIKE JAMB.
  - WHERE TWO DOORS ARE IN SERIES, THE MINIMUM DISTANCE BETWEEN THE HINGED OR PIVOTED DOORS SHALL BE 52 INCHES IN ADDITION TO ANY NEEDED DOOR SWING.
- LAVATORIES AND ASSOCIATED MIRRORS SHALL BE INSTALLED AS SHOWN:
  - HEIGHT: LAVATORIES AND SINKS SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34 INCHES A.F.F. THE TOTAL DEPTH OF CLEAR SPACE BENEATH A LAVATORY SHALL NOT BE LESS THAN 17 INCHES, OF WHICH THE CLEARANCE SHALL NOT BE MORE THAN 6 INCHES IN TOTAL DEPTH. KNEE CLEARANCE SHALL NOT BE LESS THAN 29 INCHES IN HEIGHT AND 30 INCHES IN WIDTH.
  - EXPOSED PIPES AND SURFACES: HOT WATER AND DRAIN PIPES EXPOSED UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES OR SINKS.
  - FAUCETS: FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 17 INCHES FROM THE EDGE OF THE LAVATORY, SINK OR COUNTER, AND SHALL COMPLY WITH CODE. SELF CLOSING VALVES SHALL REMAIN OPEN FOR AT LEAST 10 SECONDS PER OPERATION.
  - SINK DEPTH: SINKS SHALL NOT BE MORE THAN 6 1/2 INCHES IN DEPTH. E. MIRRORS, DISPENSERS AND OTHER FIXTURES: MIRRORS OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE TOP SHELF IS WITHIN 40 INCHES A.F.F.

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XXX	X-X-XX	XXX	X-X-XX
XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

### SCHEDULES

#### FINISH SCHEDULE

FINISHES AS NOTED.

ROOM	FLOOR	WALLS	CEILING	HT.	REMARKS
FRONT	CONCRETE	OPEN	5/CLG		UNFINISHED WALLS & CEILING
BACK	CONCRETE	8" C.M.U.	OPEN	5/CLG	WEATHER SEALANT ON WALL
LEFT	CONCRETE	-	OPEN	5/CLG	UNFINISHED WALLS & CEILING
RIGHT	CONCRETE	-	OPEN	5/CLG	UNFINISHED WALLS & CEILING
CEILING	CONCRETE	-	OPEN	22'-4"	UNFINISHED WALLS & CEILING

C.TOWER	CONCRETE	STUCCO	HARDI	2T-5'	PAINT COLORS BY OWNER
TOWERS	CONCRETE	STUCCO	HARDI	11'-0"	PAINT COLORS BY OWNER
CHALK	CONCRETE	STUCCO	HARDI	12'-5'	PAINT COLORS BY OWNER
FRONT	-	STUCCO	-	-	PAINT COLORS BY OWNER
REAR	-	8" C.M.U.	-	-	PAINT COLORS BY OWNER
LEFT	-	STUCCO	-	-	PAINT COLORS BY OWNER
RIGHT	-	STUCCO	-	-	PAINT COLORS BY OWNER

#### DOOR SCHEDULE

KEY	QTY.	SIZE	AREA	STYLE	MANUF.
(1)	1	6070	18	FULL ILT. DBL. FRONT DRS.	VISTAHALL
(2)	6	3070	6	FULL ILT. FRONT DR.	VISTAHALL
(3)	6	3070	6	MANSONRY FRAME MTL. DR.	LUNSFORD

- TOTAL GLAZING AREA: 180
- \* ALL DOOR GLAZING TO BE SAFETY 4 LOW "E".
  - \* FRONT DOUBLE DOORS TO BE 2" THICK.
  - \* STORE FRONT DOORS TO BE 1 1/2" THICK.
  - \* ALL EXIST DOORS TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE AND EFFORT.
  - \* ALL EXISTING DOORS MUST HAVE PANIC HARDWARE.

#### WINDOW SCHEDULE

SIZES AS NOTED.

KEY	QTY.	SIZE	AREA	STYLE	MANUF.
(A)	28	49100	28	2LT. w/ 18" TEMP. GLZ. MULLION	VISTAHALL SERIES 2000
(B)	12	30100	12	2LT. w/ 18" TEMP. GLZ. MULLION	VISTAHALL SERIES 2000
(C)	4	4980	4	ILT. MULLION	VISTAHALL SERIES 2000
(D)	1	6090	1	2LT. TRANS. MULLION ABOVE DOOR.	VISTAHALL SERIES 2000
(E)	6	3030	6	ILT. TRANS. MULLION ABOVE DOOR.	VISTAHALL SERIES 2000

- TOTAL GLAZING AREA: 1840
- \* WINDOW TO BE SAFETY GLAZING WHEN ADJACENT TO EXIT DOORS.
  - \* STORE FRONT WINDOWS WITH ANNOIDIZED METAL FRAMES AND LOW "E" TINTED GLASS.

### PLAN NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS.
- CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON PLAN.

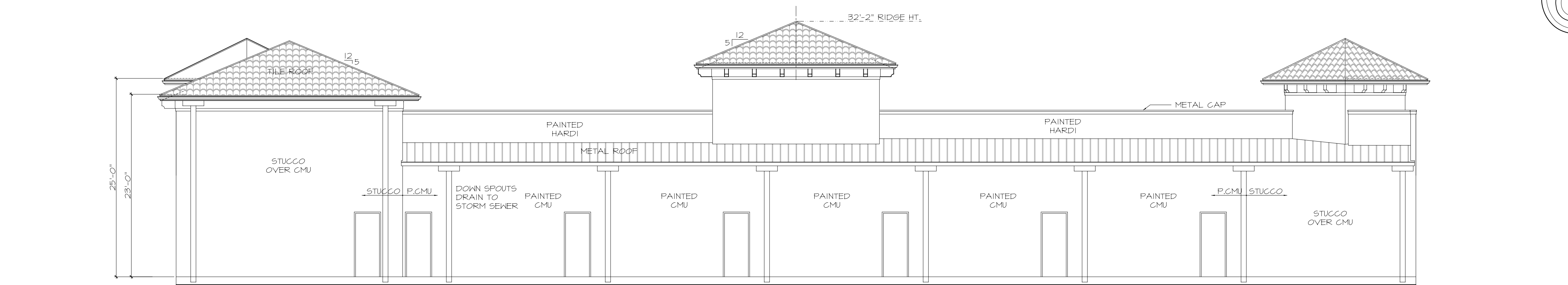
### SQUARE FOOTAGES

FLOOR AREA:	9704 S.F.
PORCH AREA:	1412 S.F.
TOTAL COVER:	11,116 S.F.

**milagro building company**  
 SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

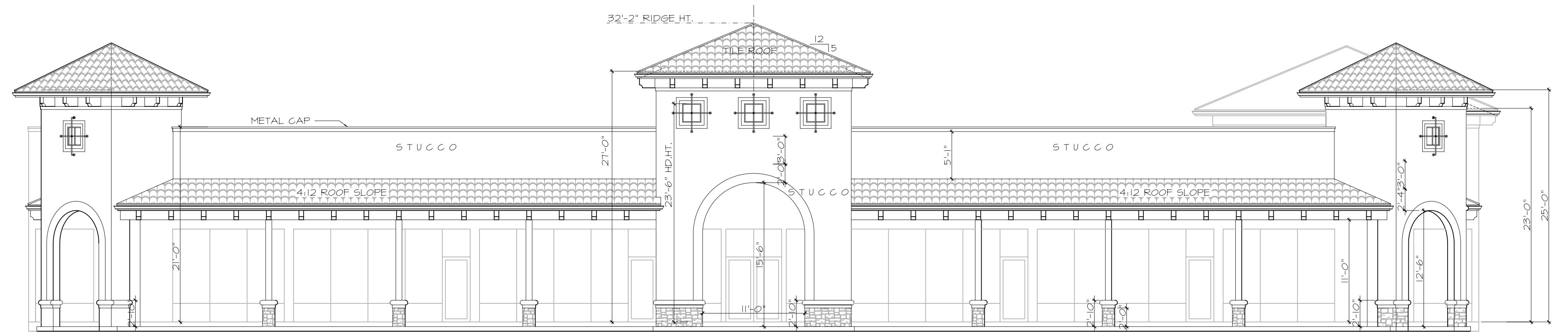
JOB # D7060-3  
 PERMIT SET

**A.2**  
 ISSUE DATE: 5 NOVEMBER 2007



# REAR ELEVATION

SCALE: 1/8" = 1'-0"



# FRONT ELEVATION

SCALE: 1/8" = 1'-0"

PRIMARY EXTERIOR MATERIAL: STUCCO  
 SECONDARY EXTERIOR MATERIAL: APPLIED STONE  
 ROOF MATERIAL: TILE AND METAL  
 ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING BRICK MOLD OR EQUAL SURROUNDS.  
 MATCH TRANSOMS TO UNITS BELOW.  
 HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.  
 SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.

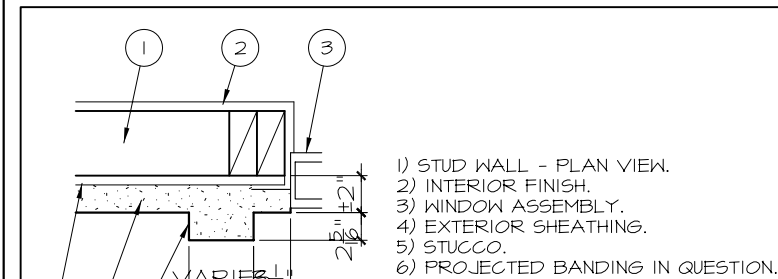
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XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

## ELEVATION NOTES

- ALL DRAWINGS HERE REFERENCED THE 2000 INTERNATIONAL RESIDENTIAL CODE (AMENDMENTS) AND THE 2000 INTERNATIONAL BUILDING CODE (AMENDMENTS).
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARDS NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- ALL BEDROOM WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM OPENINGS ARE 24" HIGH, 20" WIDE AND MIN 5.7 SQ. FT. NET CLEAR OPENING.
- ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FIRST FLOOR LEVEL. (AT THE STAIRWELL OPENINGS ON A 1 HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. SEE IRC 2000 SECT. 703.1 AND 703.4 AND TABLE 702 (EXTERIOR WALLS) PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2000 SECT. 703.5. BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY.
- PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (SECT. R308.4):
  - GLAZING IN TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
  - GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
  - GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
  - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 4 SQ. FT.
  - BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR.
  - TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR WHEN BOTTOM OF THIS PANE IS LOWER THAN 36" FROM THE FLOOR.
  - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
  - GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY WALKING SURFACE AND 60" HORIZONTALLY FROM ANY WALKING SURFACE WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
- ALL RAILINGS (WOOD, METAL OR PREFAB) TO HAVE 4" MAXIMUM SPACING BETWEEN BAULISTERS (SPINDLES) AND TO CONFORM WITH IRC 2000 SECT. R308.4. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN IRC 2000 TABLE R301.4 AND ON THE LAST SHEET OF THIS DOCUMENT.
  - INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT. R308.2).
  - EXTERIOR GUARDS TO HAVE RAILS NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RAIL. MAXIMUM UNSUPPORTED SPAN OF LOWEST RAILER SHALL BE 6'-0".
- ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL U.G.N.
- ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2000 CHAPTER 10, AND BE BUILT AND CEILING APPROVED PER IRC 2000 CHAPTER 10. A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW.
- CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS OR 3'-0" FROM ANY ROOF LINE (RIPED). SEE IRC 2000 SECT. R308.6. CHIMNEY PIPES SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
- PROVIDE SPARK ARRESTORS AT CHIMNEY NEAR TO HAVE MINIMUM GAP OF 1/2" MINIMUM GAP OF 3/8" AND TO COMPLY WITH IRC 2000 CHAPTER 10.
- ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR EXTERIOR WALL. DISTANCE OF GAS VENT PIPES THROUGH AN EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.

## STUCCO DETAIL



- 1) STUCCO - PLAN VIEW
  - 2) INTERIOR FINISH
  - 3) WINDOW ASSEMBLY
  - 4) EXTERIOR SHEATHING
  - 5) STUCCO
  - 6) PROJECTED BANDING IN QUESTION
- 2" TYPICAL OFFSET AT ALL DOORS AND WINDOWS. THIS AREA TO BE FINISHED WITH MATCHING PAINT TO THE DOORS AND WINDOWS.  
 NOTE: WHEN FRAME BETWEEN WINDOWS OR DOOR/WINDOW SPACING IS 6" OR LESS, LEAVE AREA FLAT AND FINISH ENTIRE AREA TO MATCH WINDOW FRAME COLOR.  
 WHEN FRAME IS GREATER THAN 6" ADD THE 2" OFFSET EACH SIDE TO MATCH WINDOW FRAMES. THEN RAISE MINIMUM 4" WIDE BAND BETWEEN AND FINISH IN TRIM COLOR.  
 TYPICAL SURROUND DETAIL - DOORS AND WINDOWS

## SQUARE FOOTAGES

FLOOR AREA:	9704 S.F.
PORCH AREA:	1412 S.F.

TOTAL COVER: 11,116 S.F.

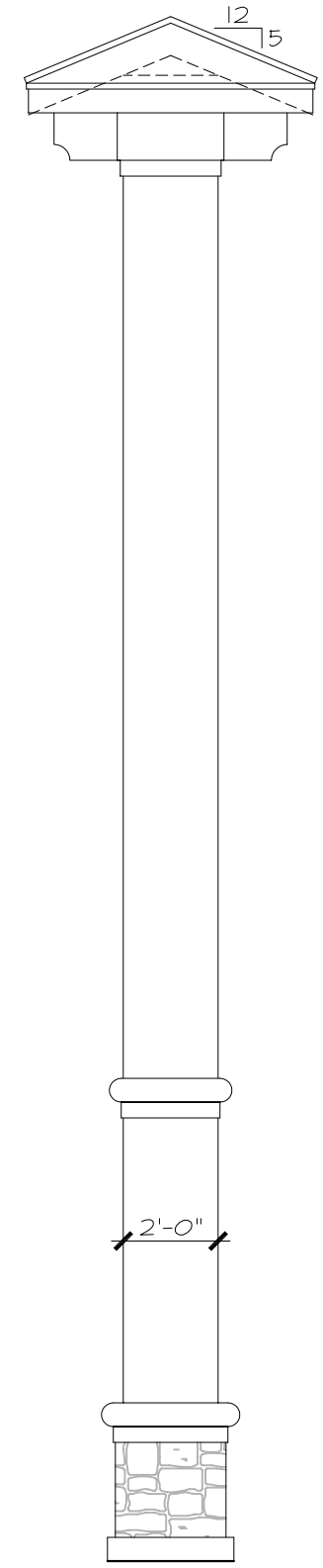
## milagro building company

SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

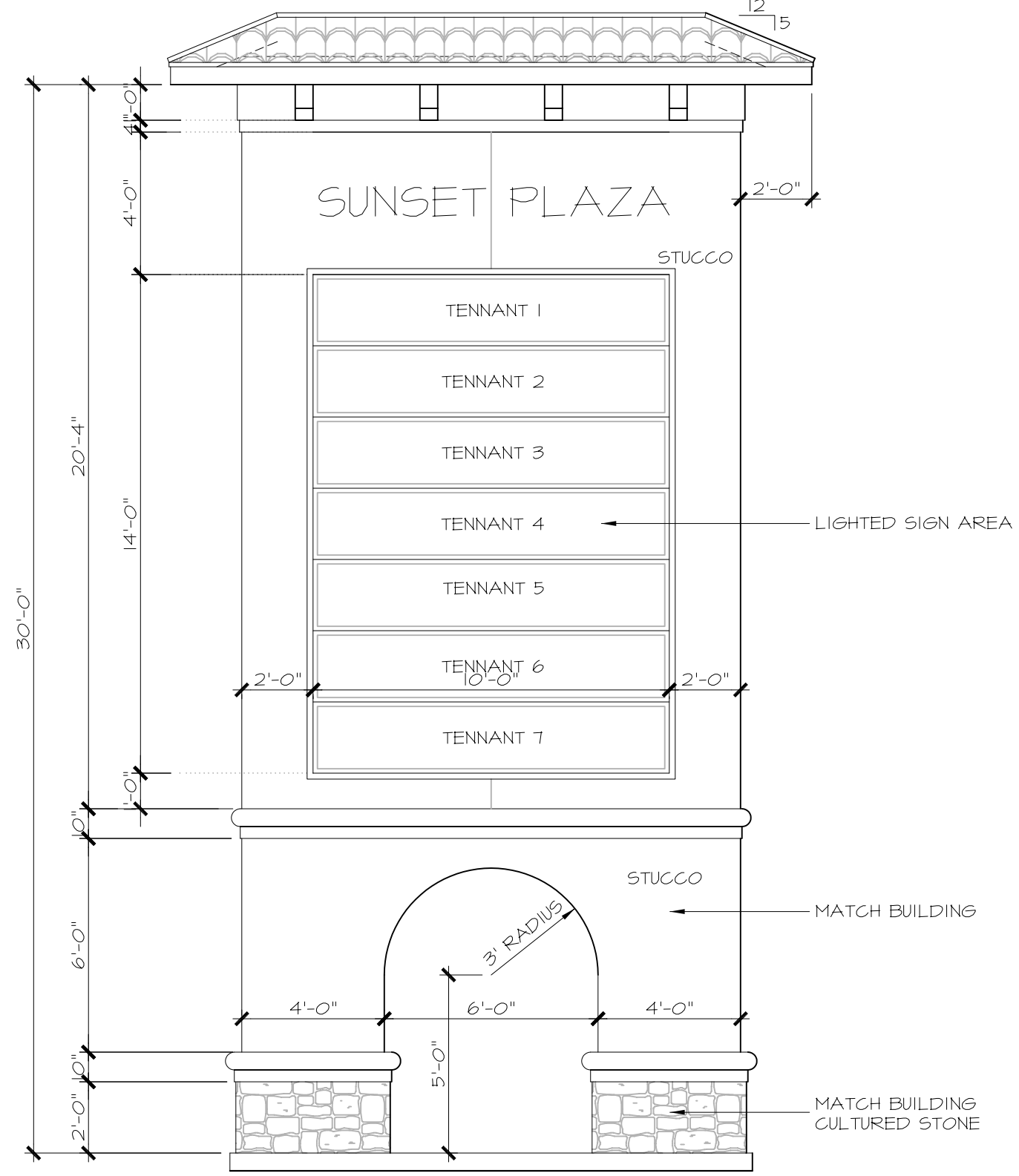
JOB #	A.3
D7060-3	
PERMIT SET	ISSUE DATE: 5 NOVEMBER 2007

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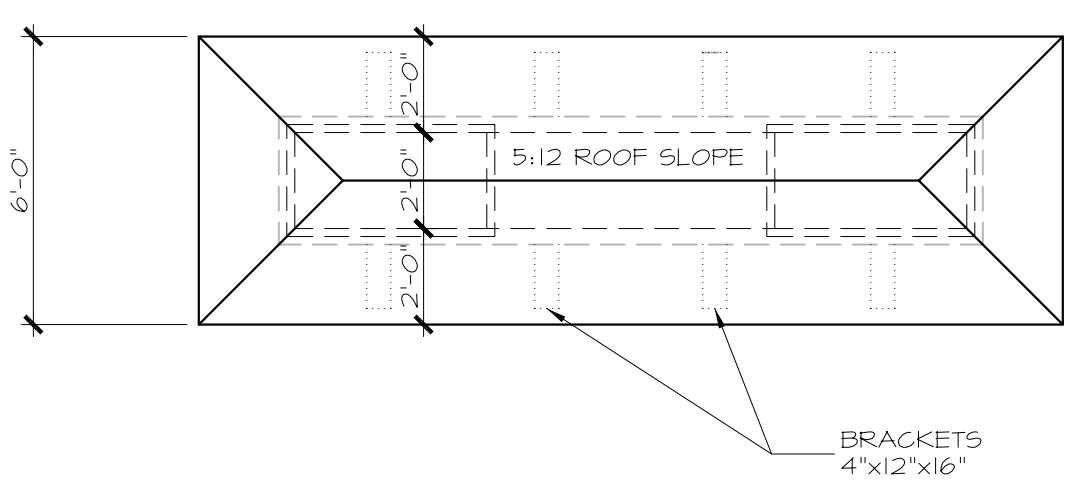
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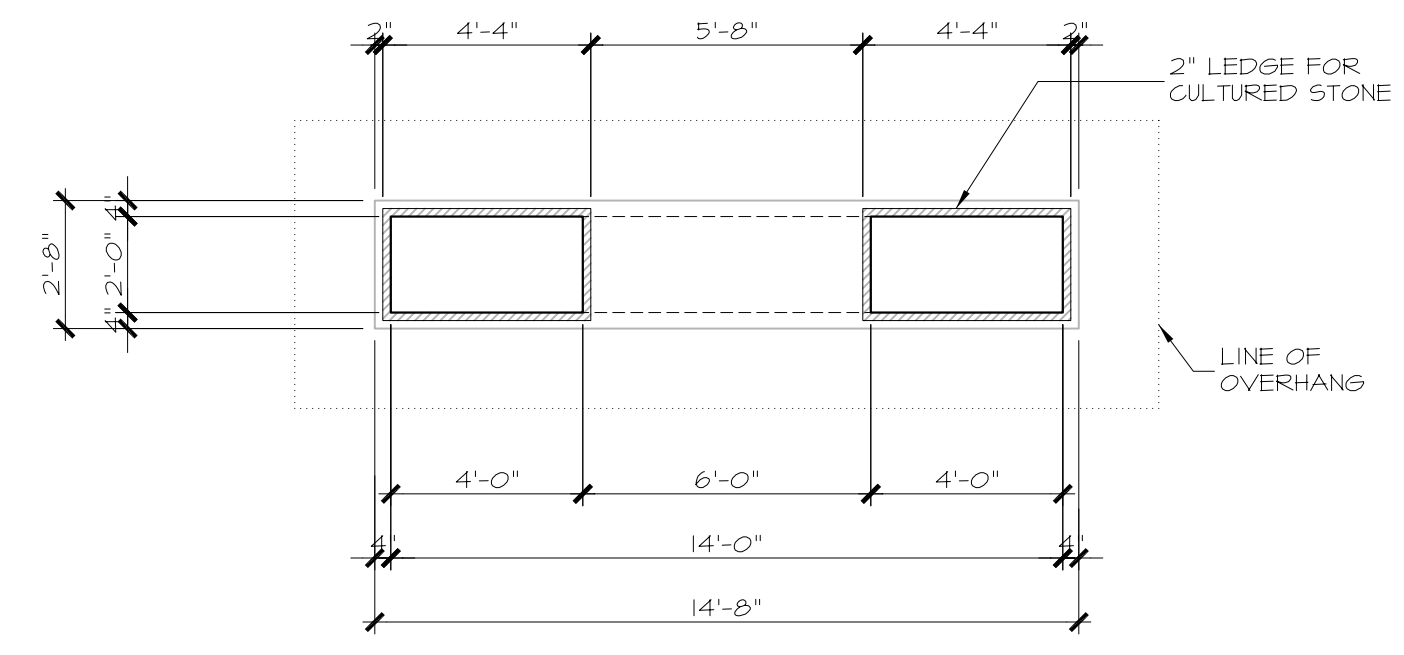
**SIDE ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**FRONT/REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 PRIMARY EXTERIOR MATERIAL: STUCCO  
 SECONDARY EXTERIOR MATERIAL: APPLIED STONE  
 ROOF MATERIAL: TILE AND METAL  
 SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**PLAN**  
SCALE: 1/4" = 1'-0"

**PWA**

**Preston Wood & Associates, LLC**  
 1116-A Naylor Street Houston, TX 77002  
 phone: 713.522.2724 fax: 713.523.2690  
 www.jackprestonwood.com

Jack Preston Wood PBD Certification: TX-431  
**AMERICAN INSTITUTE OF BUILDING DESIGN**

DESIGNER:	DATE:	DRAWN:	DATE:
RISP	4-16-07	RISP	5-11-07
REVISIONS 1:	DATE:	REVISIONS 2:	DATE:
JM	X-X-XX	RGP	10-30-07
REVISIONS 3:	DATE:	REVISIONS 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

REDRAW # \_\_\_\_\_

**PLAN NOTES**

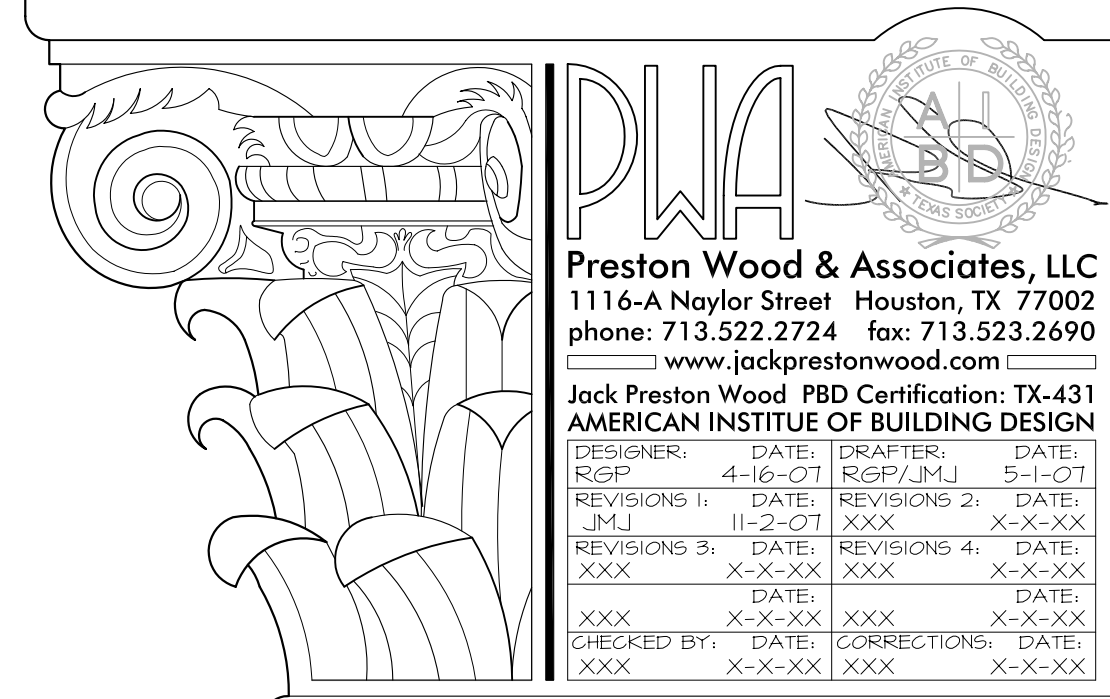
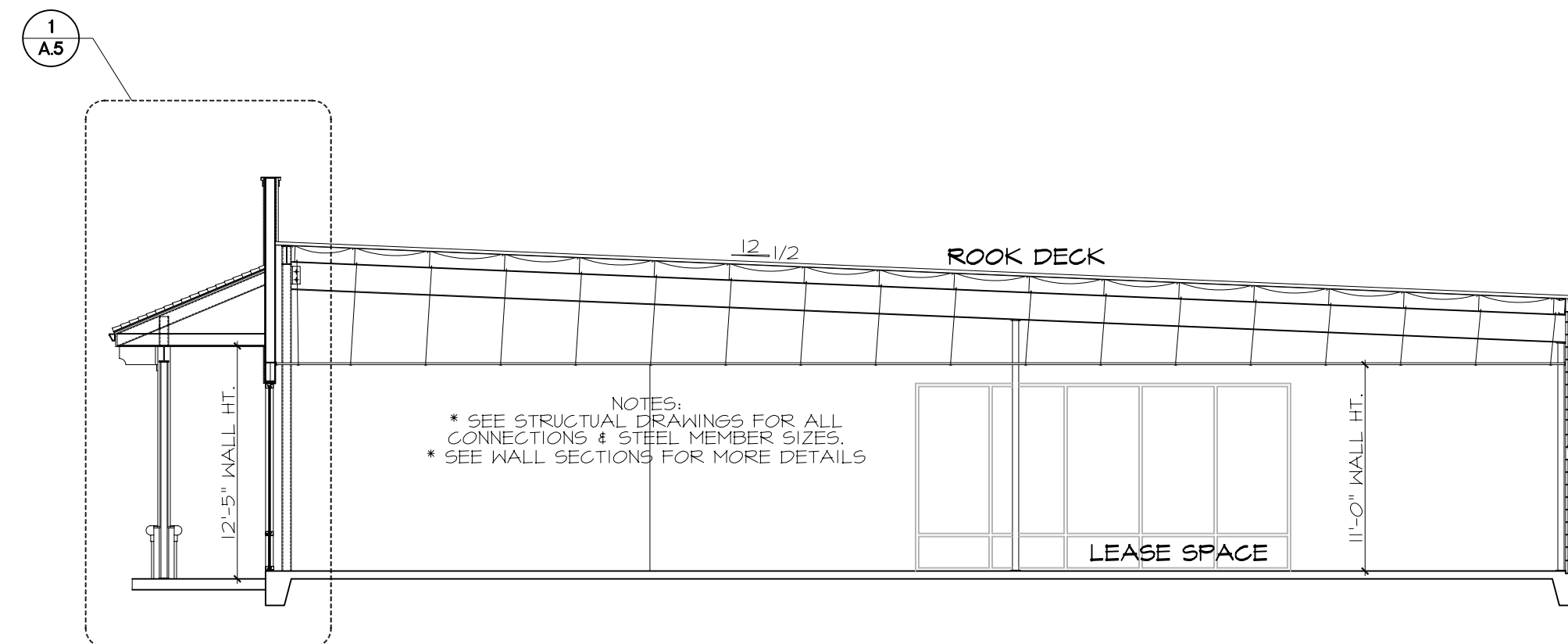
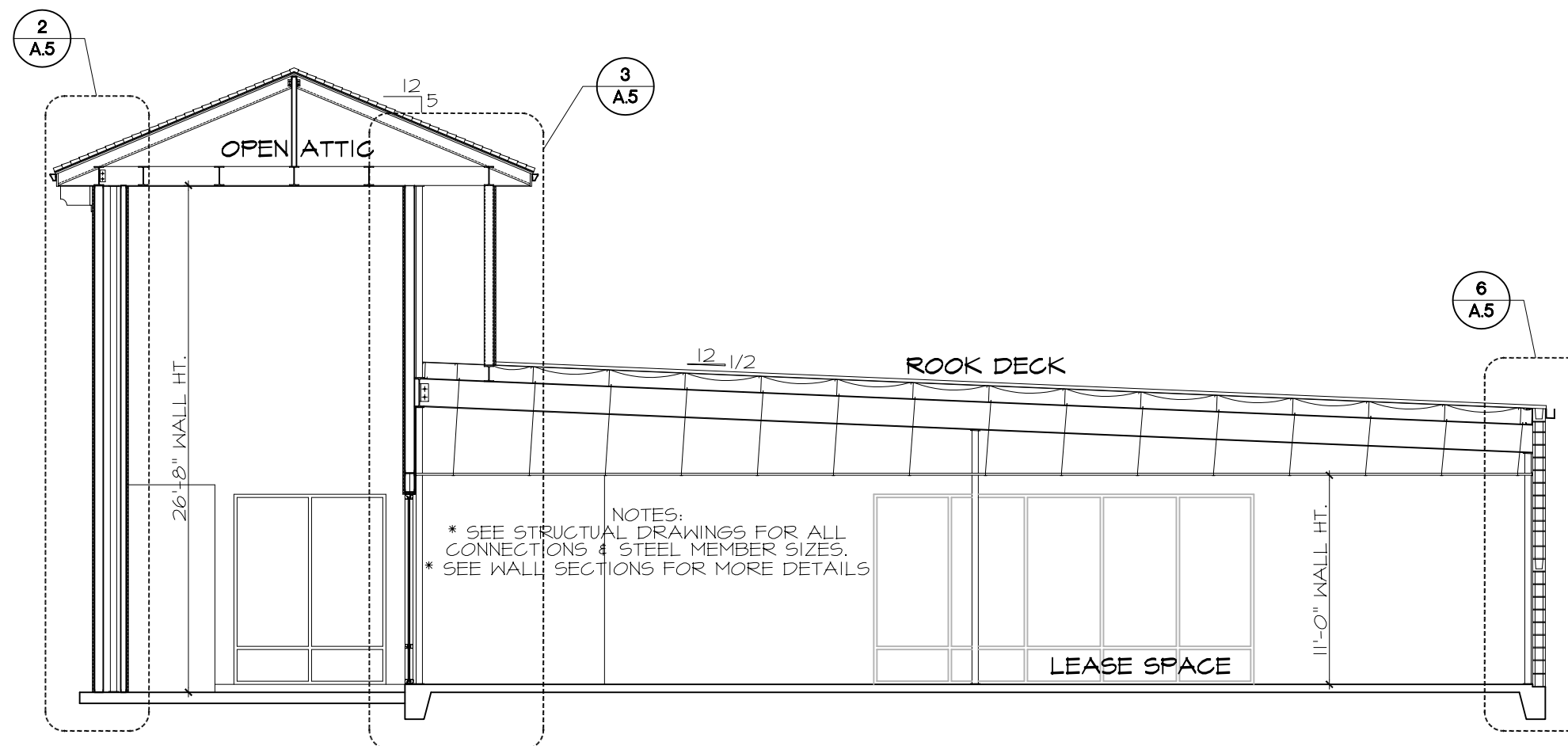
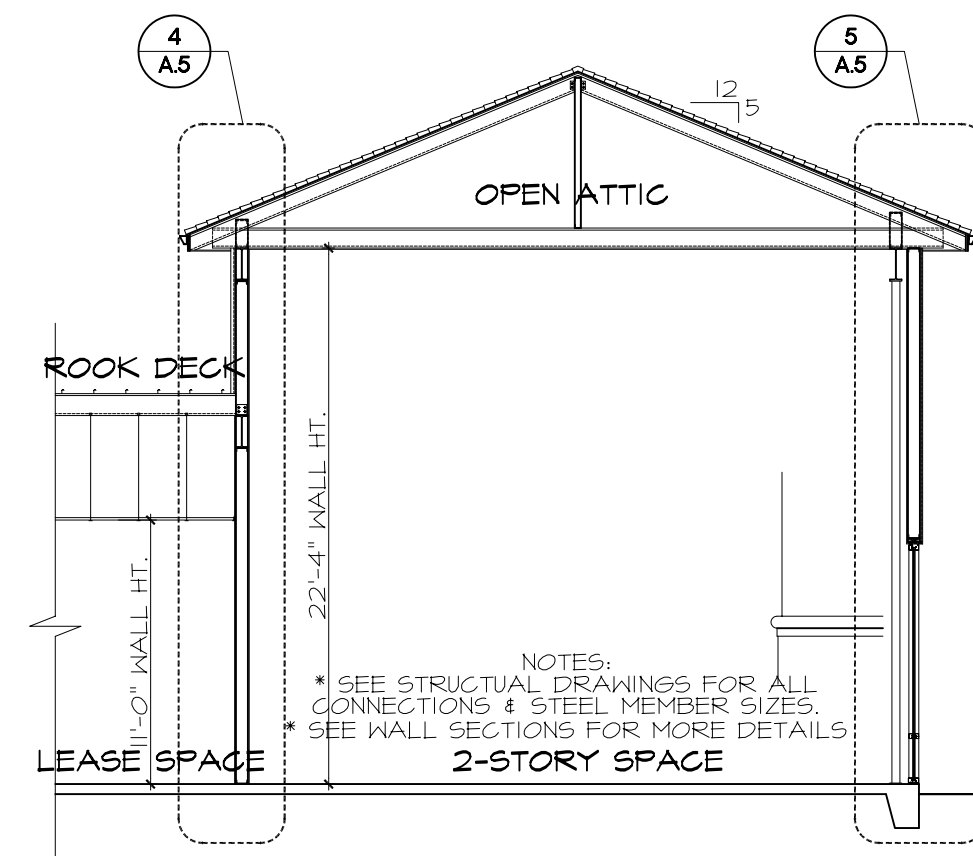
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS.
- CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON PLAN.

**SQUARE FOOTAGES**

FLOOR AREA:	9704 S.F.
PORCH AREA:	1412 S.F.
TOTAL COVER:	11,116 S.F.

**milagro building company**  
 SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

JOB # **D7060-SIGN** **A.4**  
 PERMIT SET ISSUE DATE: 5 NOVEMBER 2007



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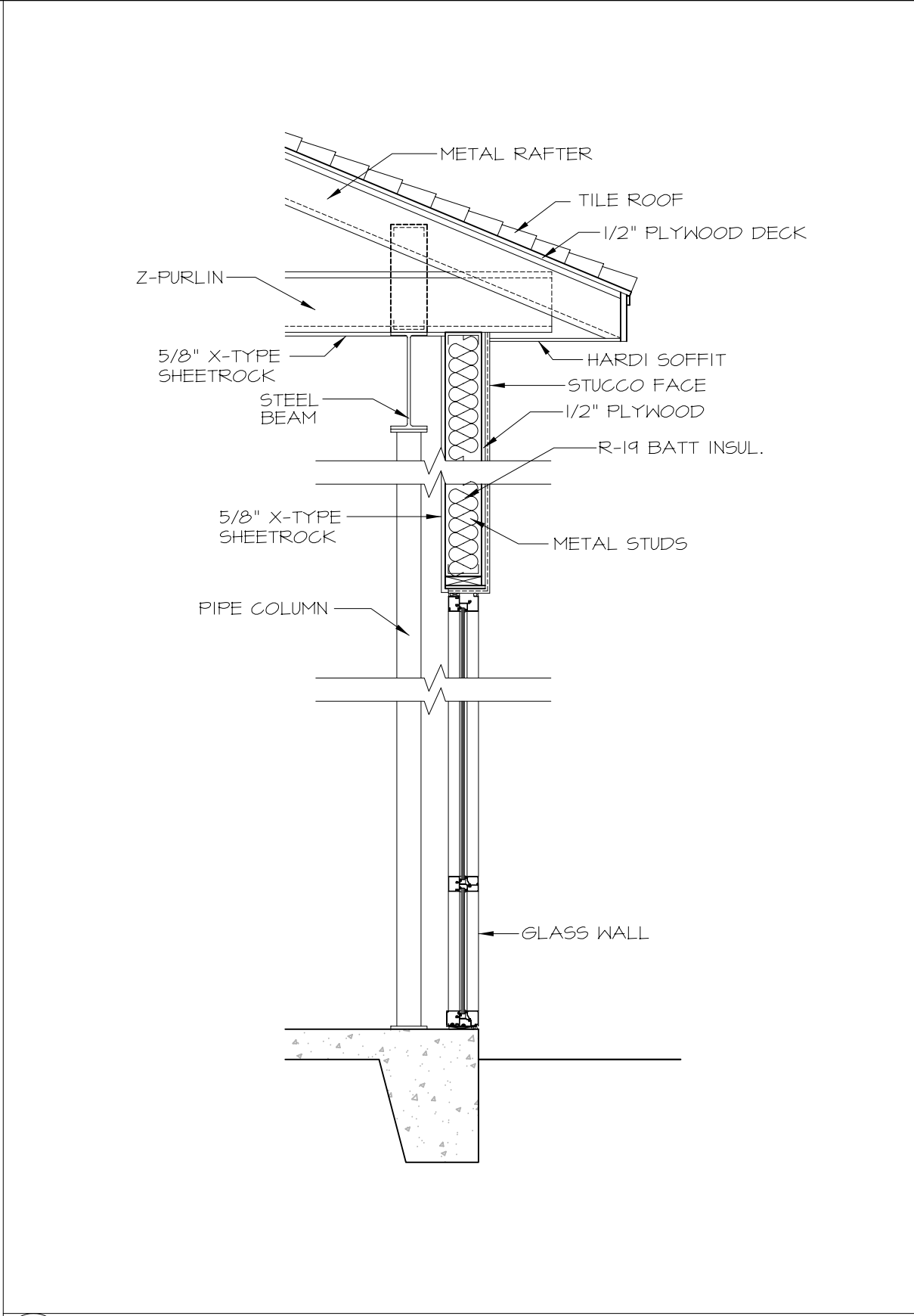
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RGP	4-16-07	RGP/JMJ	5-1-07
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JMJ	11-2-07	XXX	X-X-XX
REVISIONS 3:	DATE:	REVISIONS 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
XXX	DATE:	XXX	DATE:
XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

SQUARE FOOTAGES	
FLOOR AREA:	9704 S.F.
PORCH AREA:	1412 S.F.
TOTAL COVER:	11,116 S.F.

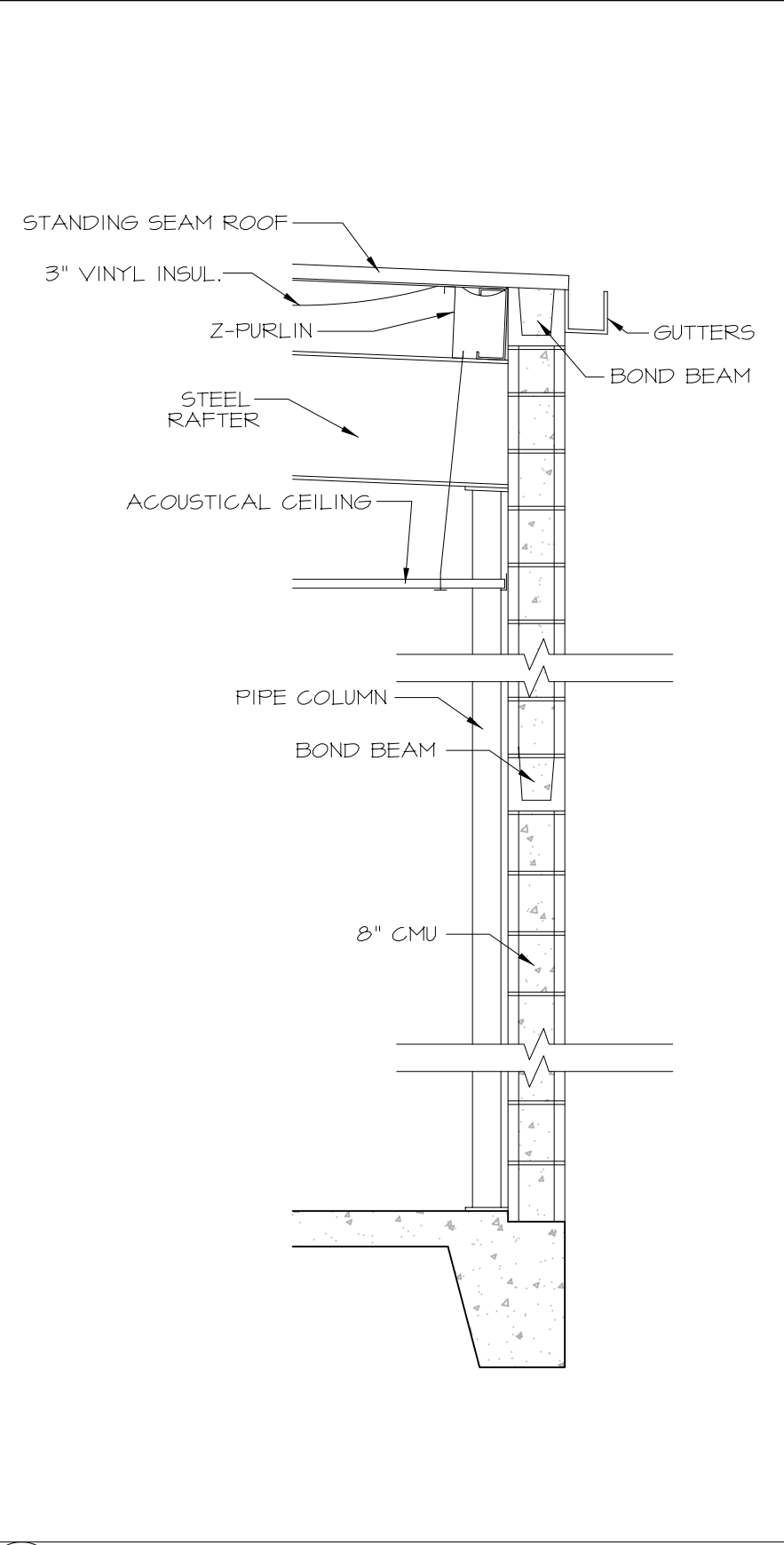
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 SUNSET HEIGHTS PLACE II  
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JOB # **D7060-3** **A.5**  
 PERMIT SET ISSUE DATE: 5 NOVEMBER 2007

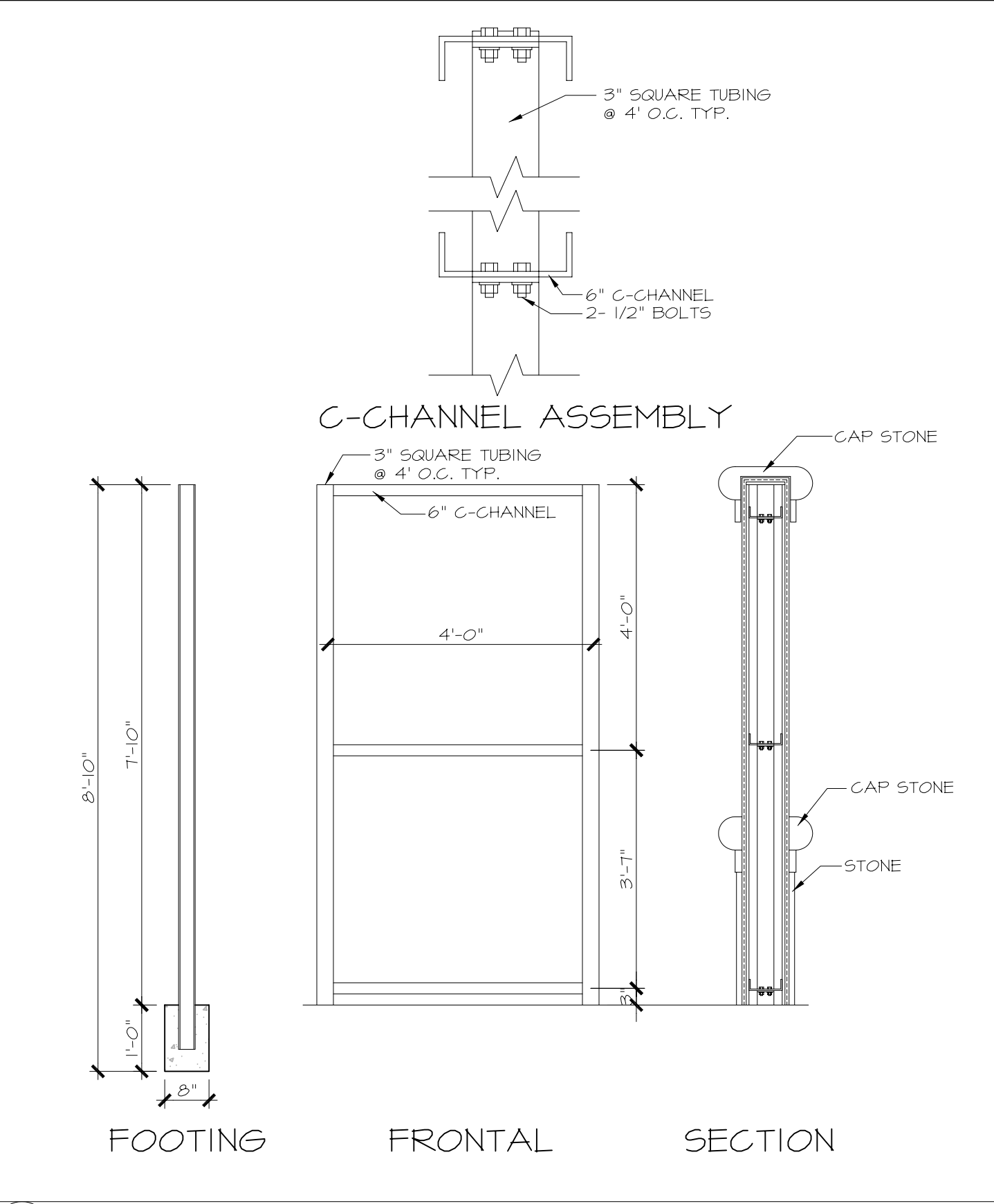




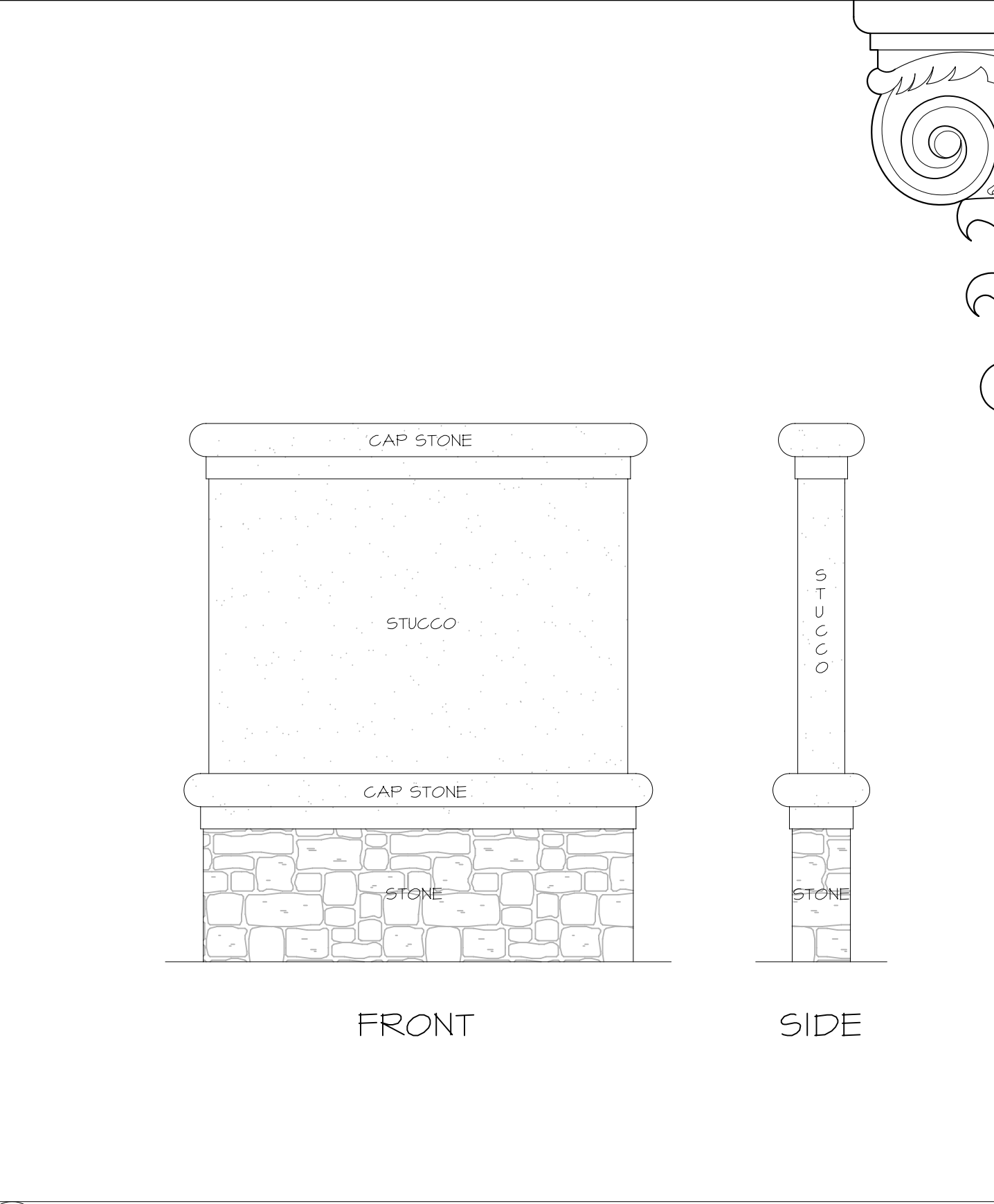
5 SECTION: THRU RAISED CEILING AREA



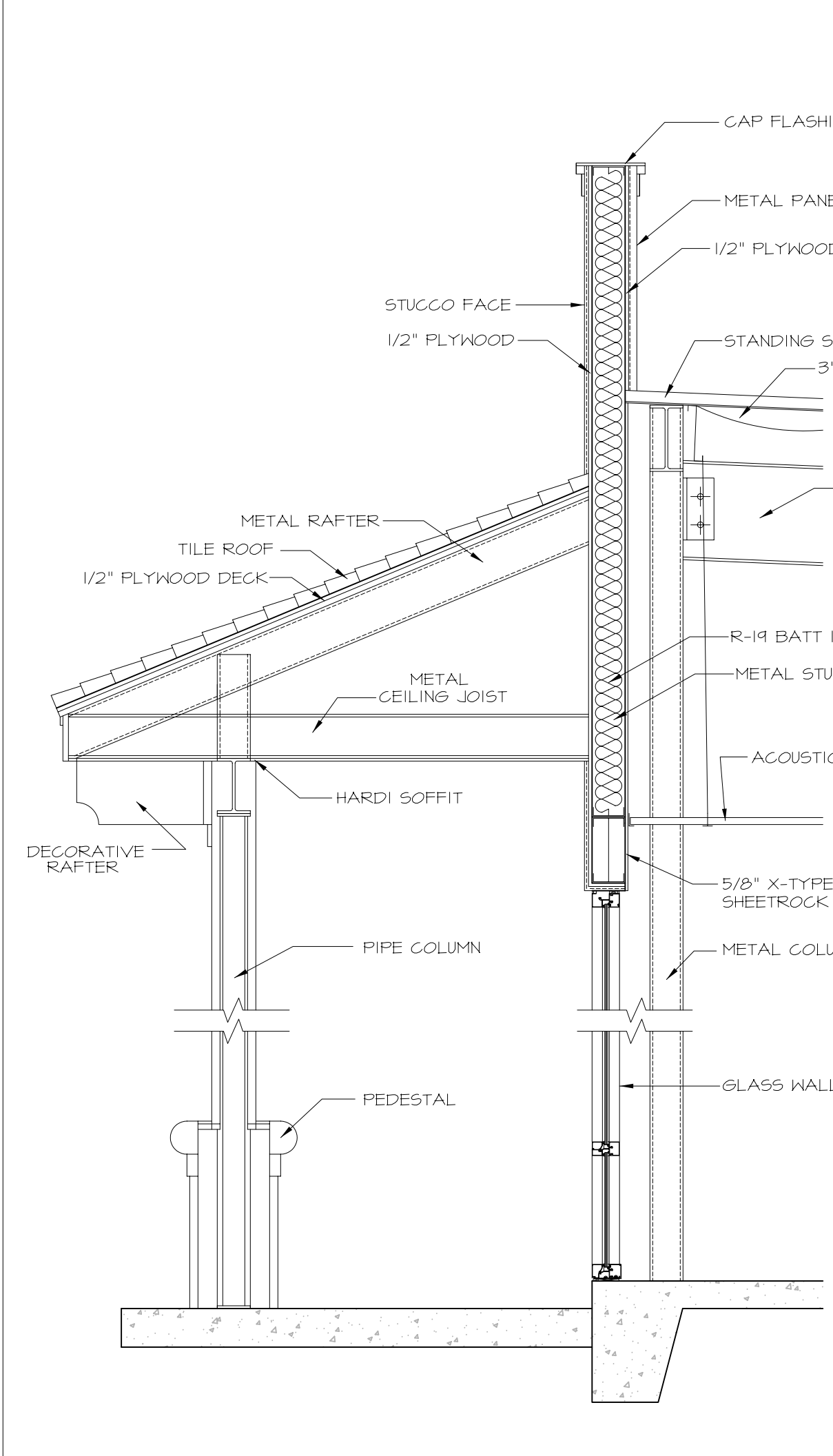
6 SECTION: THRU REAR WALL



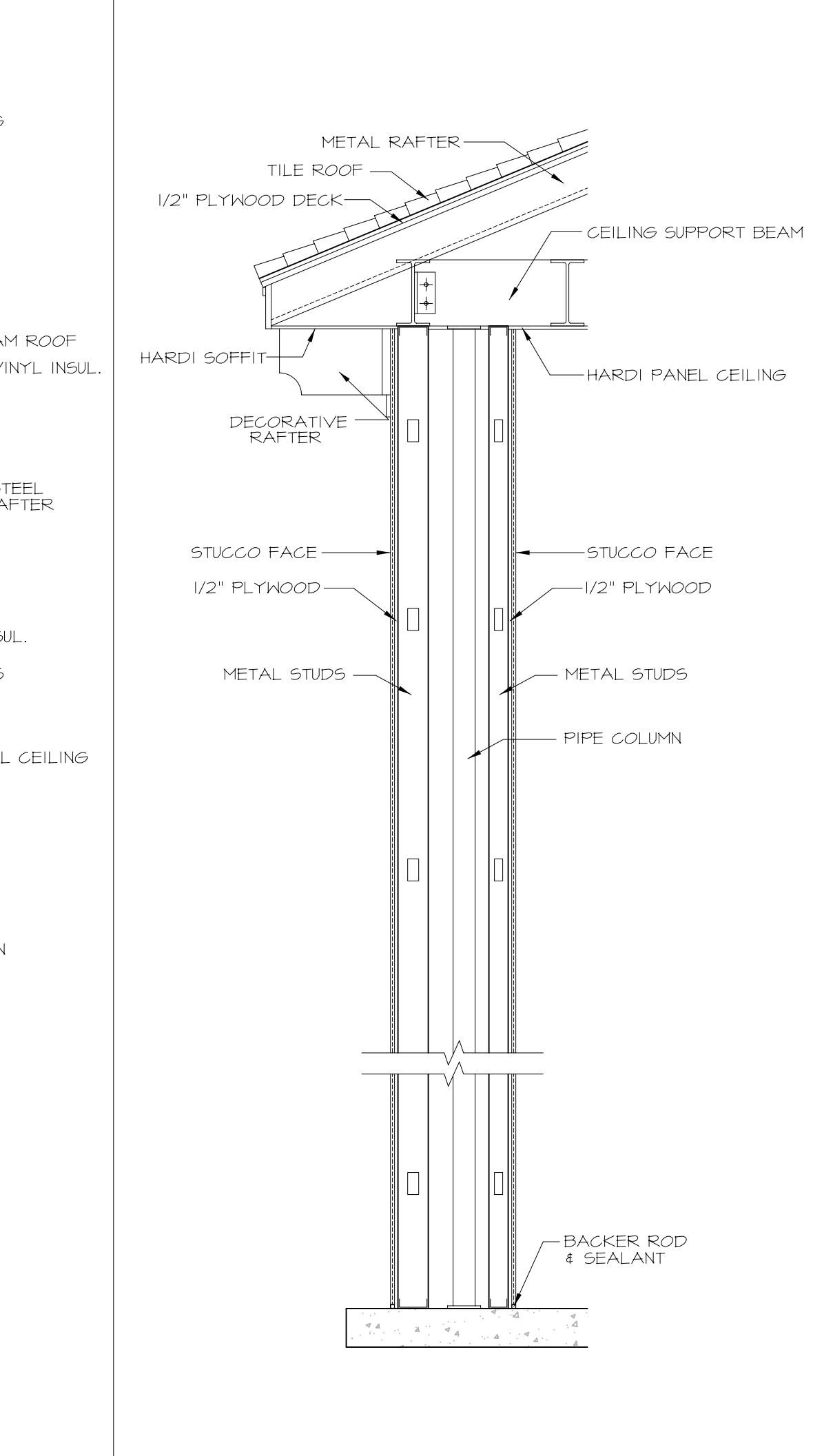
6 FENCE DETAILS: ASSEMBLY



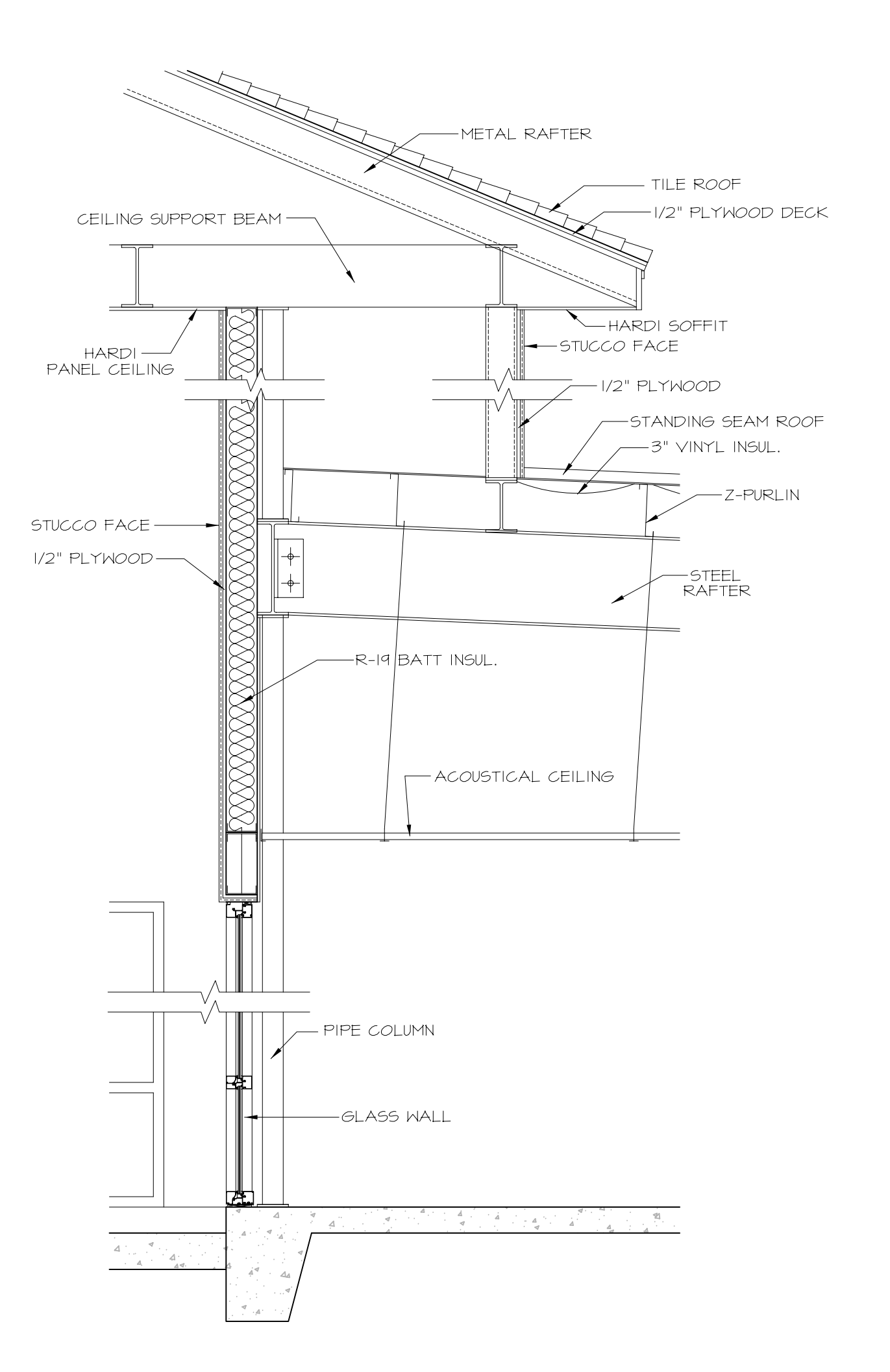
6 FENCE DETAILS: ELEVATIONS



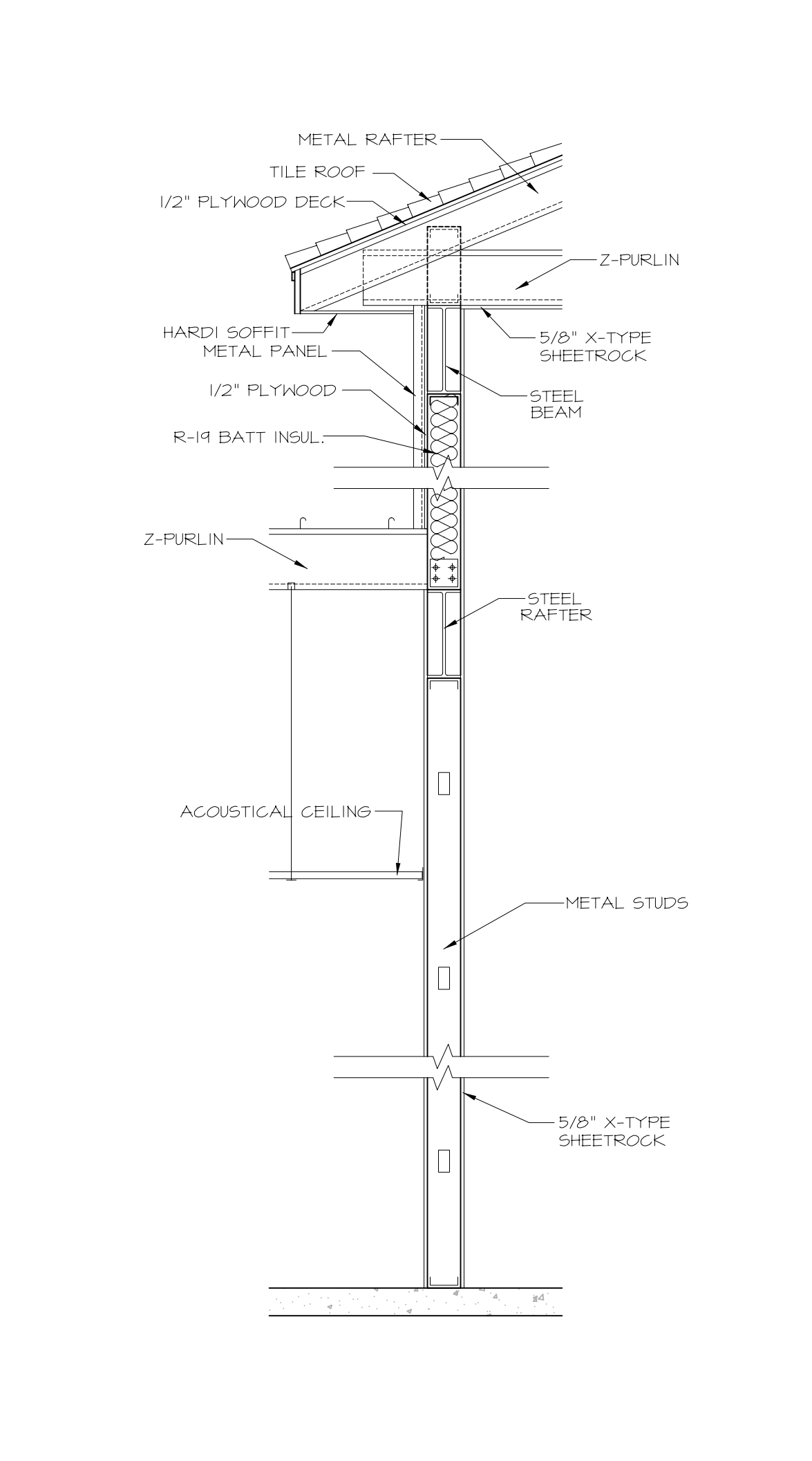
1 SECTION: THRU FRONT COVERED WALK



2 SECTION: THRU CENTER TOWER



3 SECTION: THRU C.TOWER & LEASE SPACE



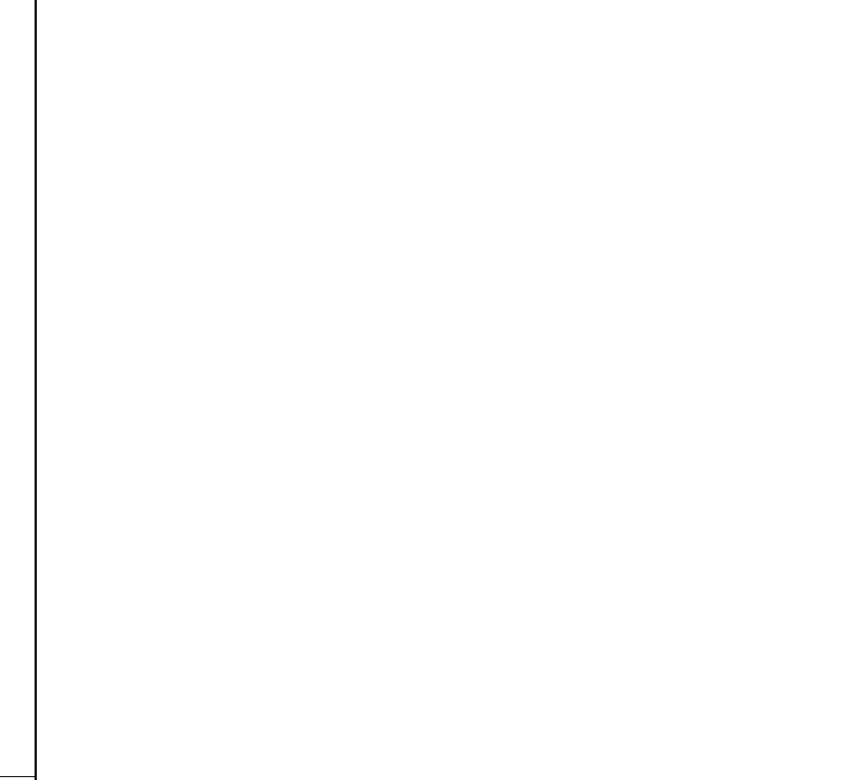
4 SECTION: THRU RAISED CEILING AREA

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RGP	4-16-07	RGP	5-1-07
REVISIONS 1:	DATE:	REVISIONS 2:	DATE:
JM	X-X-XX	XXX	X-X-XX
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XXX	X-X-XX	XXX	X-X-XX
DATE:	DATE:	DATE:	DATE:
XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

REDRAW #  
**WALL SECTION DEFINITIONS**

\* SEE STRUCTURAL DRAWINGS FOR ALL CONNECTIONS  
 † STEEL MEMBER SIZES.



6 FENCE DETAILS: ELEVATIONS

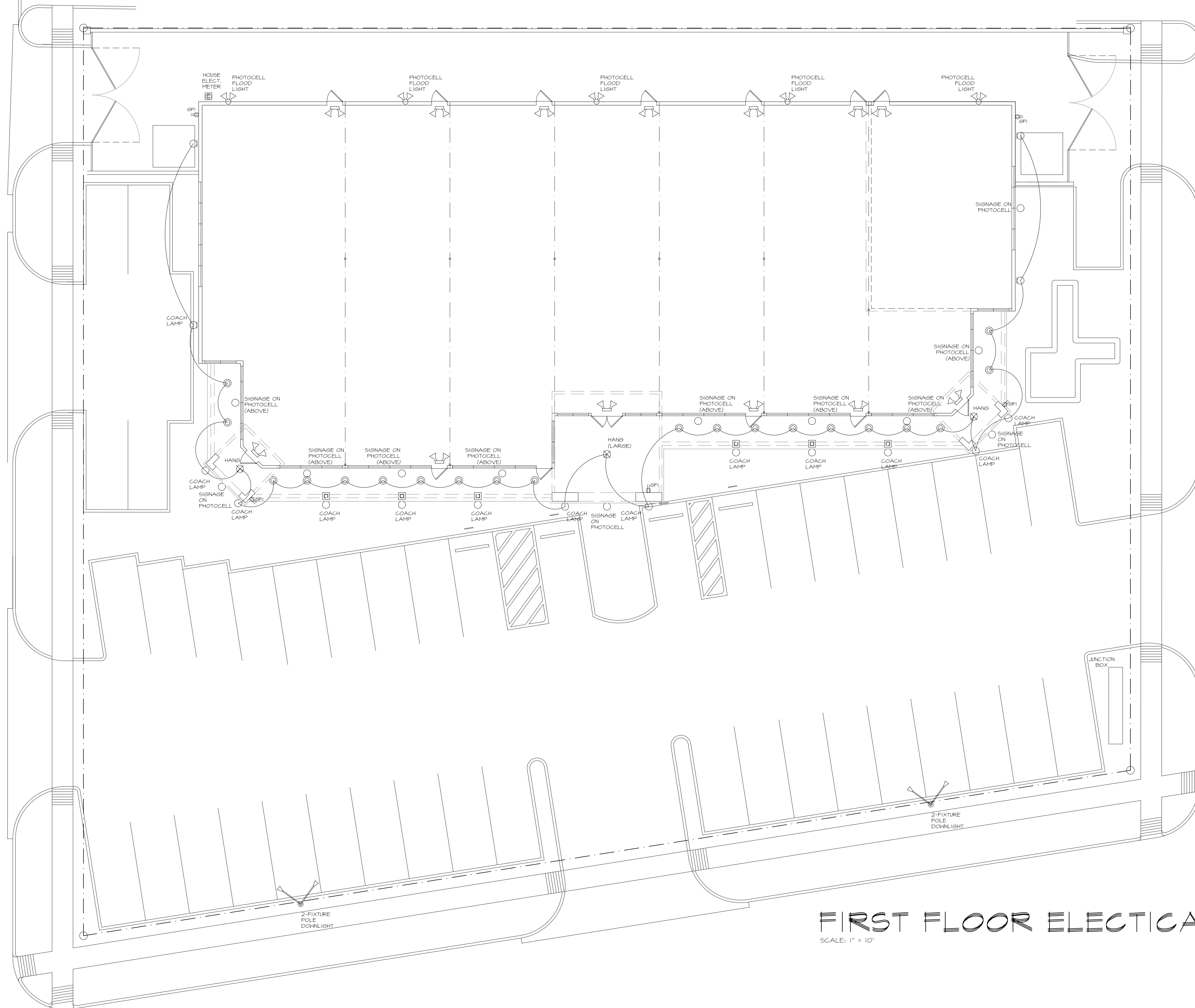
**SQUARE FOOTAGES**

FLOOR AREA:	9704 S.F.
PORCH AREA:	1412 S.F.
TOTAL COVER:	11,116 S.F.

**milagro building company**  
 SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

JOB # D7060-3  
 PERMIT SET  
 ISSUE DATE: 5 NOVEMBER 2007

A.6



FIRST FLOOR ELECTRICAL  
SCALE: 1" = 10'

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RGP	4-16-07	RGP	5-1-07
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XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

REDRAW #

ELECTRICAL SCHEDULE:

SYMBOL	FIXTURE	WATTAGE	QUANTITY
⊙	HP COACH LAMP	100 WATT	16
⊙	HP RECESSED CAN	100 WATT	20
⊗	HP HANGING (LARGE)	500 WATT	1
⊗	HP HANGING	100 WATT	2
⬆	HP FLOOD LT. PHOTOCELL	400 WATT	5
⊙	HP SIGNAGE PHOTOCELL	1200 WATT	11
⬆	HP LANDSCAPE UP-LIGHT	70 WATT	5
⬆	EMERGENCY EX. LIGHT W/BATTERY BACKUP	120 VOLT	18
⬆	2-FIXTURE HP POLE DOWNLIGHT	XXXX WATT	2

ELECTRICAL NOTES

- SMOKE DETECTORS REQUIRE A 120V CONNECTION TO HOSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
- PROVIDE G.F.C.I. OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
- RECESS LIGHTS IN INSULATED CEILINGS TO BE LIGHTGUARD 1102 IC - 1105 OR EQUAL.
- PROVIDE 100V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
- ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 3'-0" FROM ANY PROPERTY LINE. EXTERIOR VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
- WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SWITCH OFF AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.

SQUARE FOOTAGES

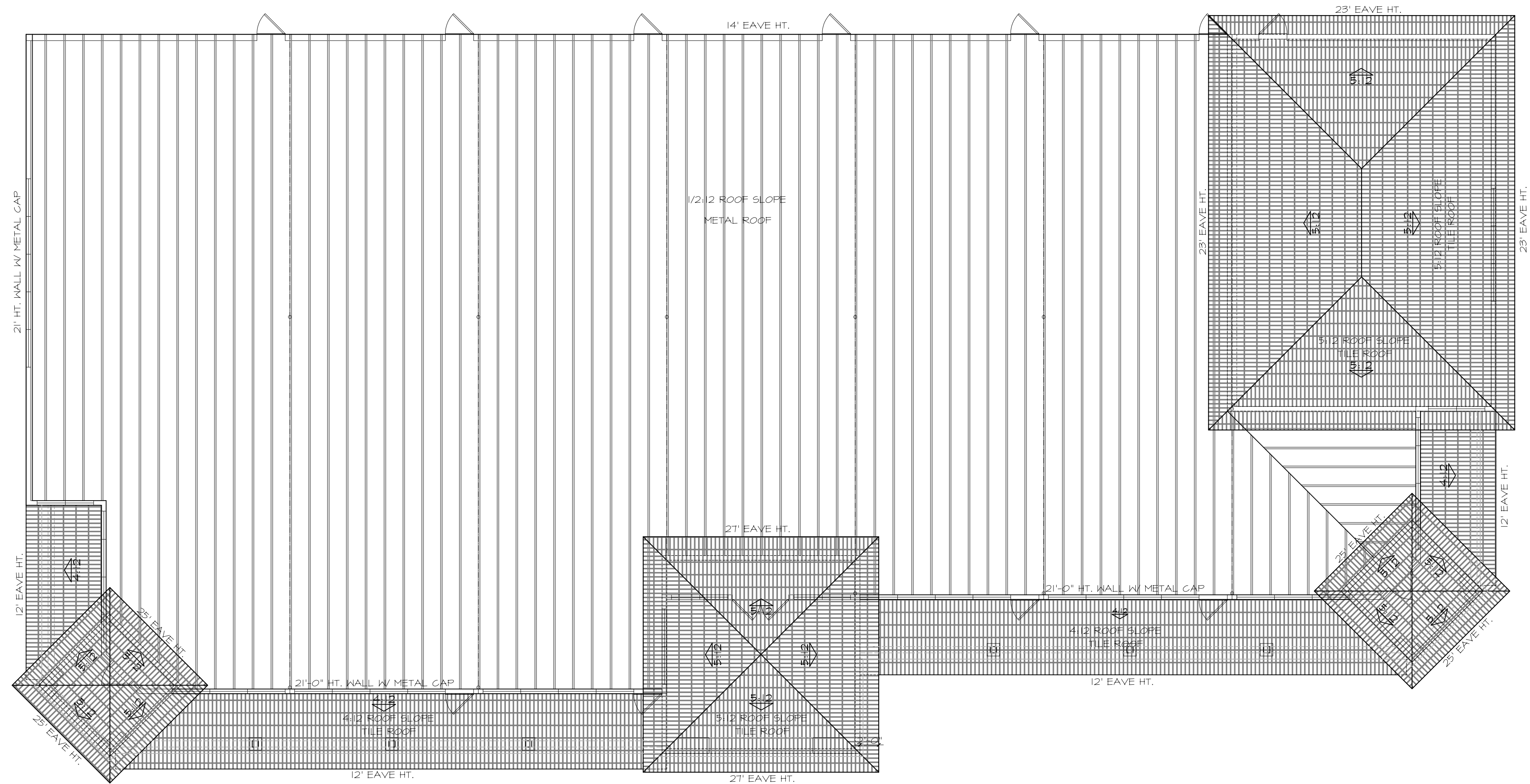
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**milagro building company**  
SUNSET HEIGHTS PLACE II  
AIRLINE DRIVE HOUSTON, TX

JOB # **D7060-3** **A.7**

PERMIT SET ISSUE DATE: 1/29/08





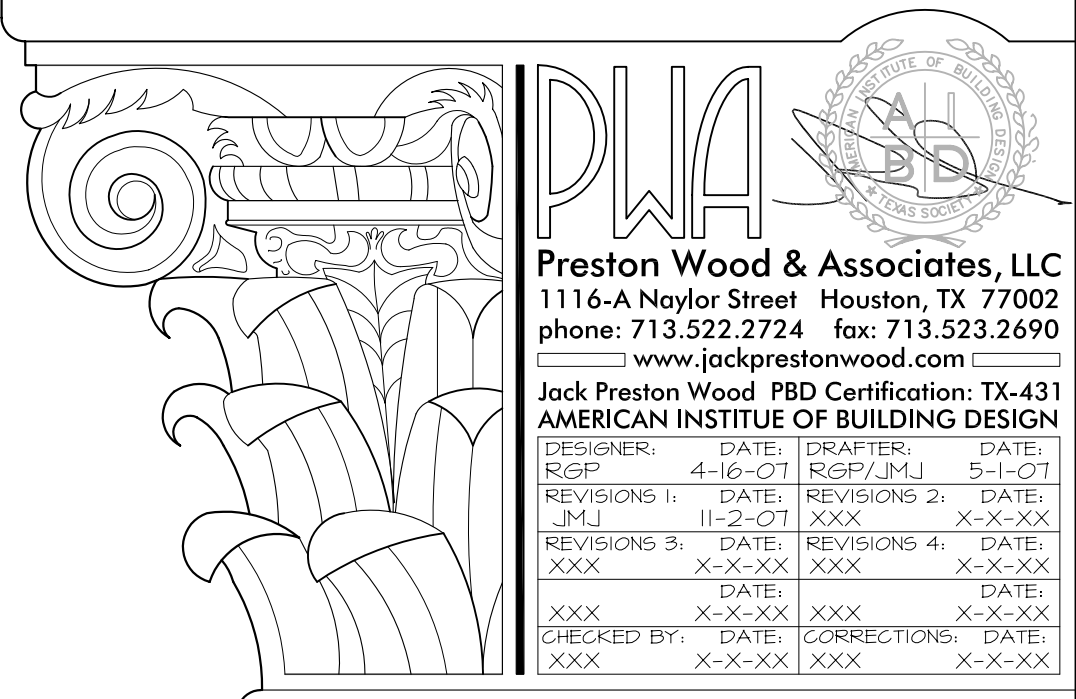
- BUBBLE NOTES:
- 1) ADJUST SLOPES TO MATCH RIDGES.
  - 2) ADJUST OVERHANGS TO MATCH FASCIA.
  - 3) ADJUST PLATE HEIGHT TO MATCH FASCIA.

## ROOF PLAN

SCALE: 1/8" = 1'-0"

PLATE HEIGHTS AS NOTED.  
 SLOPES AS NOTED.  
 24" OVERHANGS FROM FRAME U.N.O.  
 8" OVERHANGS AT GABLE ENDS U.N.O.  
 6" OVERHANG AT DORMERS U.N.O.  
 SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.  
 ROOF MATERIAL: TILE @ 5:12 SLOPES  
 TILE @ 4:12 SLOPES  
 METAL @ 1/2":12 SLOPES

PLUMBING VENTS AND ALL OTHER PENETRATIONS THROUGH ROOF DECKING SHALL BE DIRECTED TO BACK ROOF SLOPE.  
 MINIMIZE PLUMBING VENT PENETRATIONS THROUGH ROOF DECKING.  
 COLOR COORDINATE PIPING TO ROOF MATERIAL WHERE APPLICABLE.



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JMJ	11-2-07	XXX	X-X-XX
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XXX	X-X-XX	XXX	X-X-XX
REVISIONS 3:	DATE:	REVISIONS 4:	DATE:
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XXX	X-X-XX	XXX	X-X-XX
CHECKED BY:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX

### SQUARE FOOTAGES

FLOOR AREA:	9704 S.F.
PORCH AREA:	1412 S.F.
TOTAL COVER:	11,116 S.F.

**milagro building company**  
 SUNSET HEIGHTS PLACE II  
 AIRLINE DRIVE HOUSTON, TX

JOB # D7060-3 **A.8**  
 PERMIT SET ISSUE DATE: 5 NOVEMBER 2007

