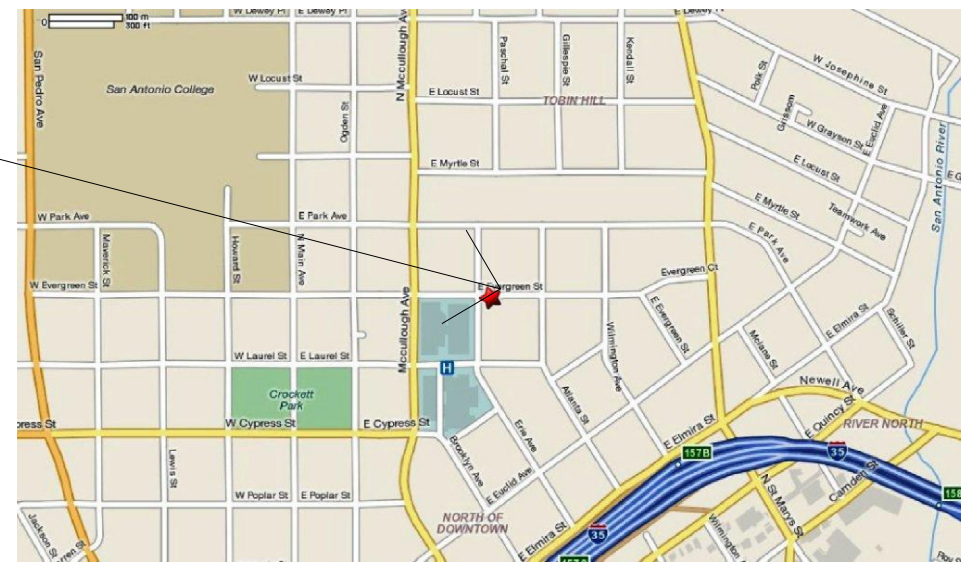


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LOTS 10 & 11, BLOCK 29, NCB 396'
417 EVERGREEN
TOBIN HILL, SUBDIV.
SAN ANTONIO, TEXAS



LOCATION MAP

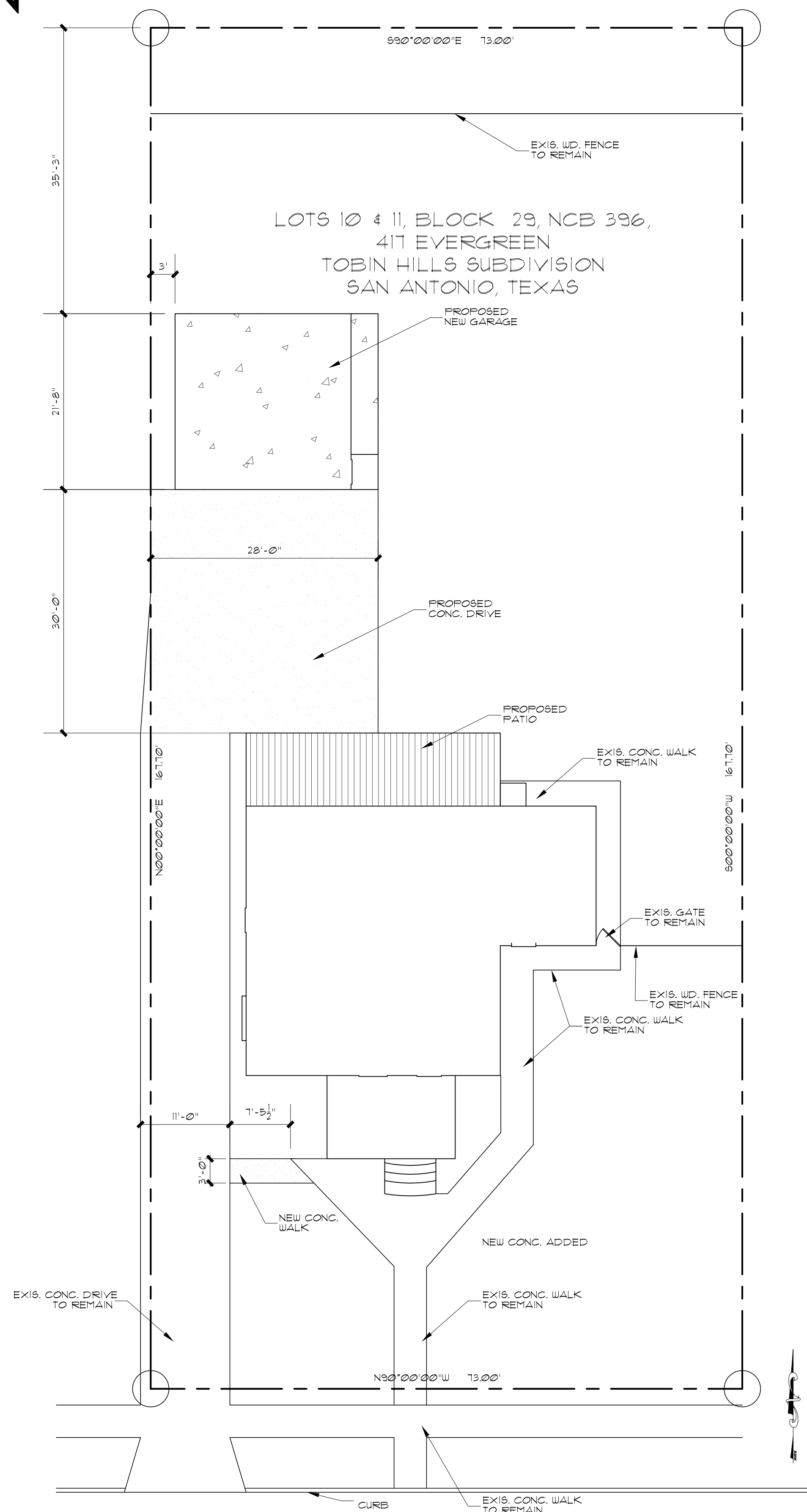
N.T.S.

GENERAL NOTES:

APPLICABLE CODES:

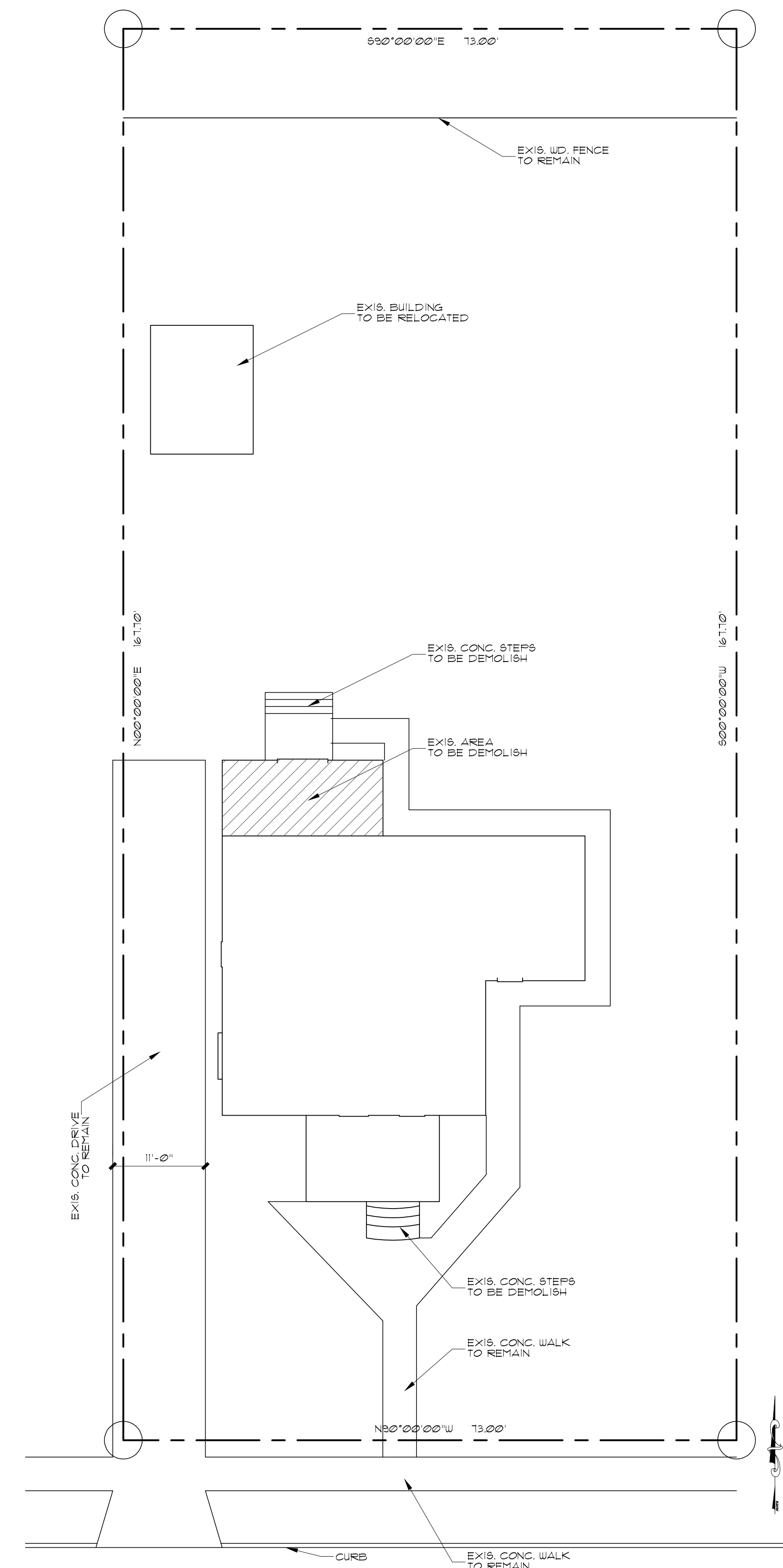
- 2015 INTERNATIONAL RESIDENTIAL CODE WITH LOCAL CITY AMENDMENTS UNIFIED DEVELOPMENT CODE
- 2015 UNIFORM MECHANICAL CODE WITH LOCAL CITY AMENDMENTS
- 2015 NATIONAL ELECTRICAL CODE CITY CODE CHAPTER 10 (ELECTRICAL)
- 2015 UNIFORM PLUMBING CODE WITH LOCAL CITY AMENDMENTS
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE

1. ELECTRICAL - TO COMPLY WITH NATIONAL ELECTRICAL CODE (NEC)/CITY CODE 2015. GROUND FAULT INTERRUPTERS REQUIRED ON EXTERIOR FRONT/REAR OUTLETS. ALSO, IN BATHROOM LAVATORIES, APPLIANCES AT KITCHEN COUNTER TOPS, INCLUSIVE OF ISLAND COUNTERS. ELECTRICAL CONVENIENCE OUTLETS SERVING KITCHEN ARTICLE 210-52(C) OF THE 2015 NEC. ACCESS DOORS SHALL BE PROVIDED FOR HYDRO MASSAGE TUB MOTORS. NEC 430-14.
2. FRAMING - ALL FRAMING MEMBERS TO COMPLY WITH IRC CHAPTER 23 FOR SPANS AND MATERIALS. ALSO FOR LOADS AND WEIGHTS. BRICK LINTELS, HEADER BEAMS OVER GARAGES, AND ROOF AND FLOOR TRUSSES TO BE ENGINEERED. STRUCTURE SPANS EXCEEDING 24' REQUIRE ENGINEERING OF SUCH MEMBERS AND ALL SUPPORTING MEMBERS. AT THE TIME OF FRAMING INSPECTION, PROVIDE A COMPLETE SET OF ENGINEERED TRUSS LOADING DESIGN PLANS AND TRUSS LAYOUT PLANS FOR ALL TRUSS APPLICATIONS.
3. GLASS - SAFETY GLAZING REQUIRED IN INGRESS AND EGRESS DOORS, SLIDING DOORS, STORM DOORS, AND DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOM, BATH ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET. GLAZING FIXED OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4. GLAZING IN WALLS ENCLOSING A STAIRWAY LANDINGS OR WITHIN 5' OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" ABOVE A WALKING SURFACE. IRC SECTION 2406.4.10
4. GUARDRAILS - 36" MINIMUM HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OF AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS AND RAMP, BALCONIES OR PORCHES WHICH ARE MORE THAN 30" ABOVE GRADE OR FLOOR LEVEL SHALL BE PROTECTED BY A GUARDRAIL. IRC SECTION 509. HANDRAILS SHALL BE A ROUNDED WITH MINIMUM OF 1 1/4" THICK AND MAX. 2"
5. PLUMBING, GAS AND SEWER - TO COMPLY WITH THE 2015 UNIFORM PLUMBING CODE AND LOCAL AMENDMENTS. WATER SAVING FIXTURES SHALL BE USED. NO WATER HEATER REGARDLESS OF THE HEAT SOURCE SHALL BE INSTALLED UNDER ANY STAIRWAY OR LANDING. AMENDMENTS SECTION 509. WATER HEATERS GENERATING A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PILOTS, BURNERS, OR HEATING ELEMENTS AND SWITCHES ARE AT LEAST 18" ABOVE THE FINISH FLOOR. UPC SECTION 510.2



PROPOSED SITE PLAN

SCALE: 1"=10'



EXISTING SITE PLAN

SCALE: 1"=10'

A REMODEL AND ADDITION

CROSSTIMBER LLC
LOTS 10 & 11, BLOCK 29, NCB 396'
417 EVERGREEN
TOBIN HILL, SUBDIV.
SAN ANTONIO, TEXAS

REVISIONS:

DATE	ITEM

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CHCKD BY: RAMc DATE: 02.09.2018

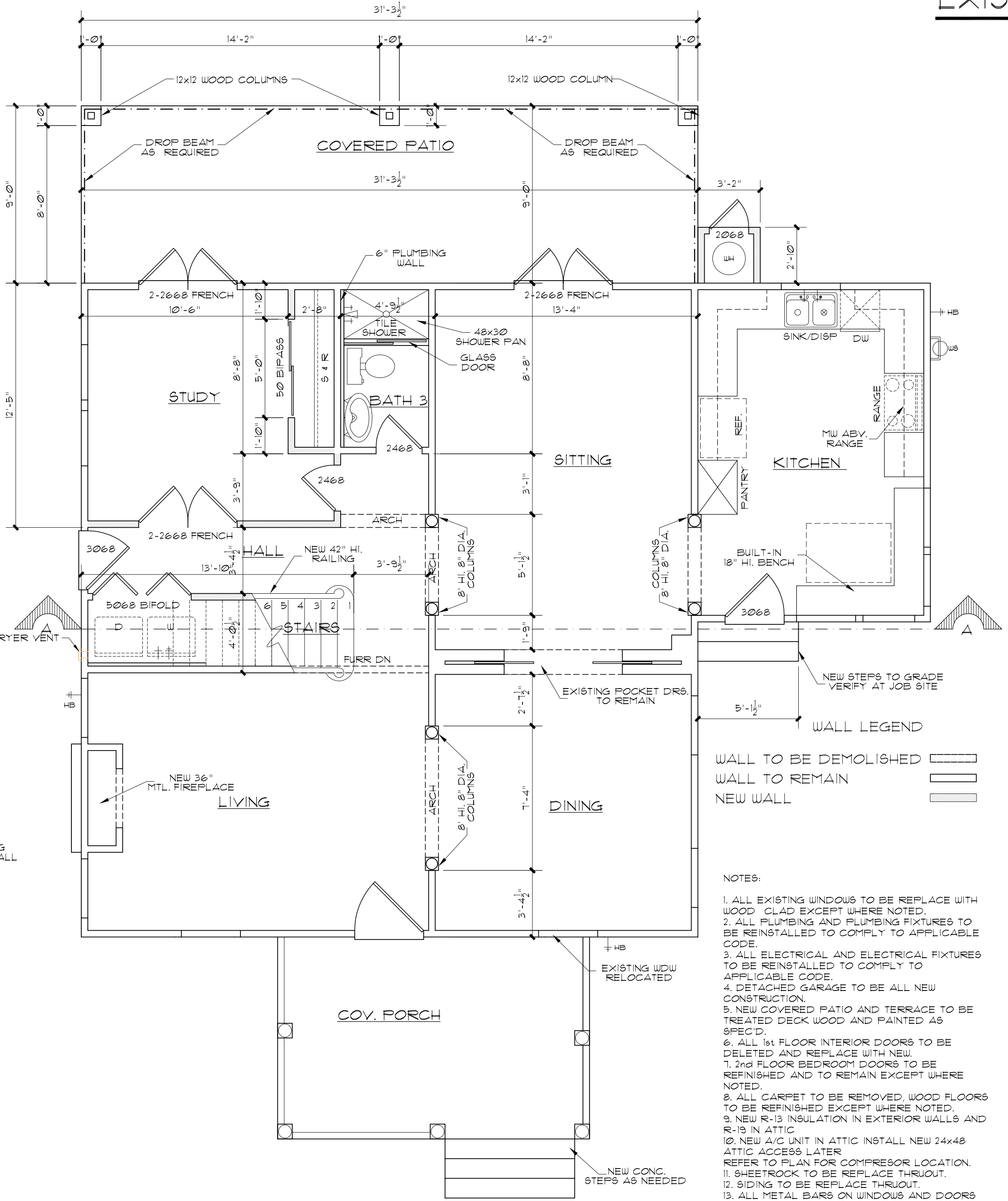
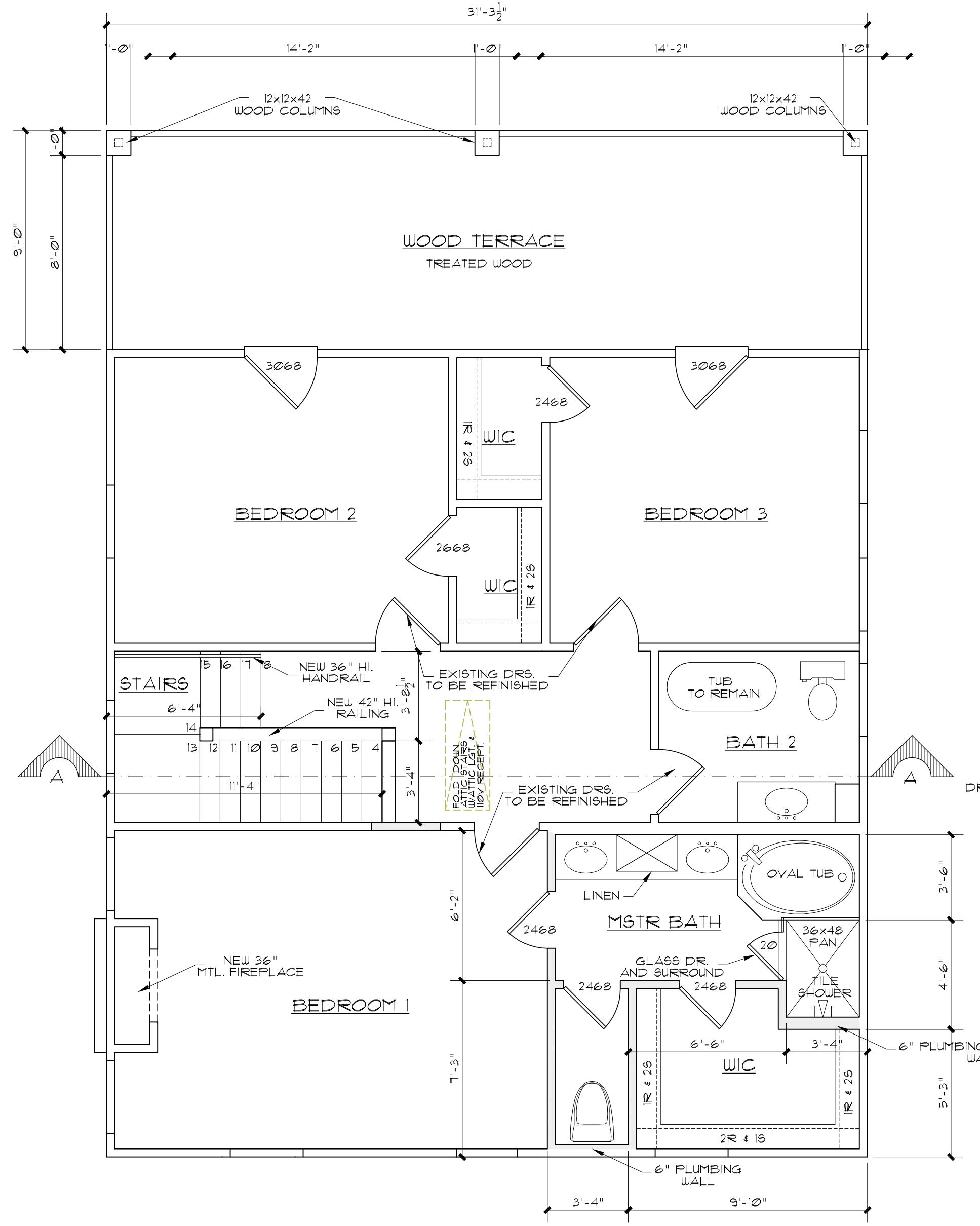
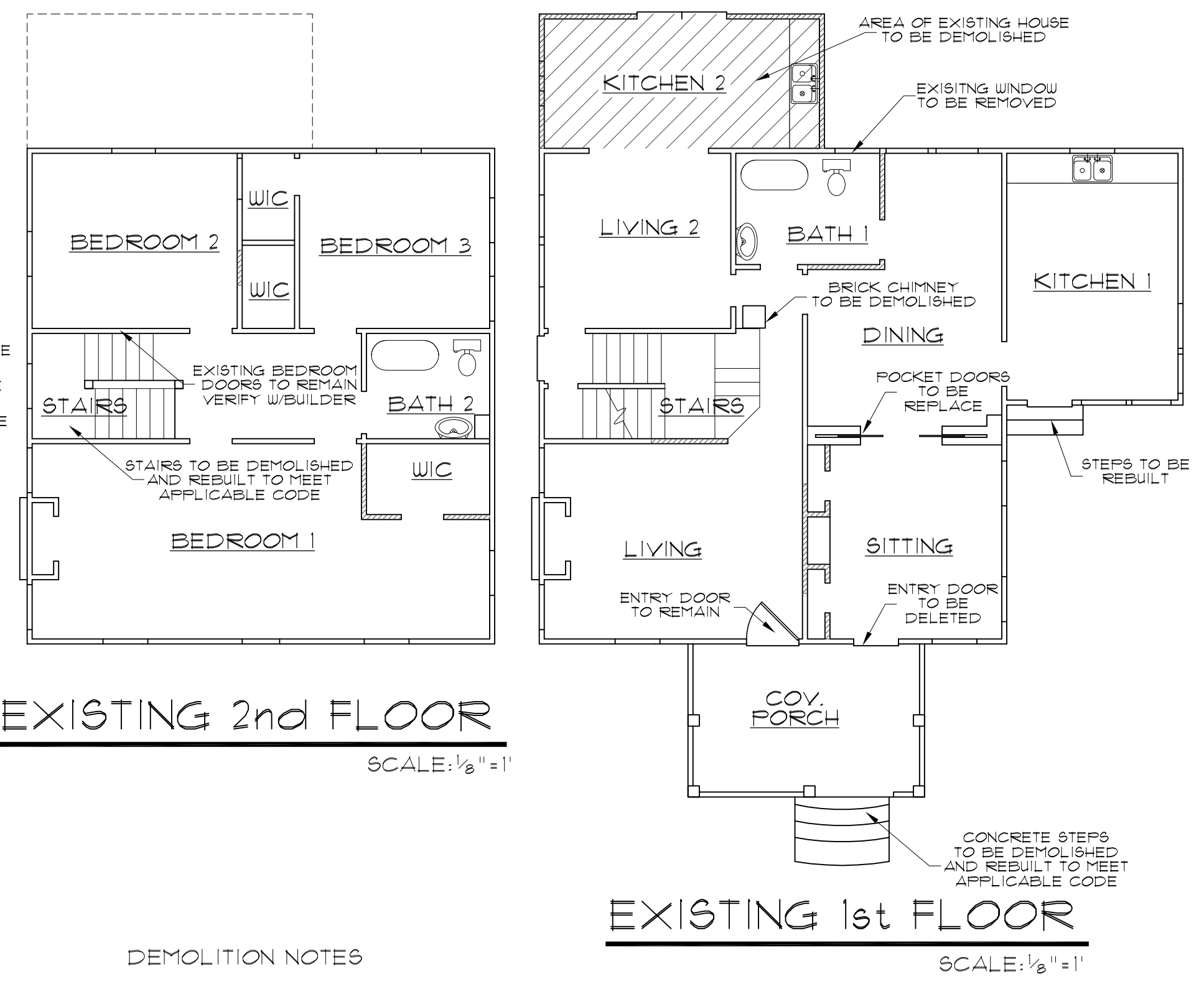
PROJECT No:

SHEET 1 of 6

14255 BLANCO
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ricardo@mcculloughda.com

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DEMOLITION NOTES

- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED. ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NONLOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NONCONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS.
- PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
- PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED, SAND AND LEFT IN A PAINT READY CONDITION.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- REMOVE POPCORN TEXTURE ON CEILINGS THROUGHT THE HOUSE.

CONTRACTOR NOTES

- CONTRACTOR SHALL INSURE ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES, WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE N.Y.S. UNIFORM FIRE PREVENTION AND BUILDING CODE, N.Y.S. ENERGY CONSERVATION CODE, N.Y.S. PLUMBING CODE, NATIONAL ELECTRIC CODE, AND ALL OTHER FEDERAL, STATE AND LOCAL AGENCY REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF ANY DISCREPANCIES BETWEEN AGENCY REQUIREMENTS, THE CONTRACTOR SHALL OBSERVE THE MORE STRINGENT OF REQUIREMENTS.
- CONTRACTOR (AND HIS SUBCONTRACTORS) SHALL BE LICENSED BY THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED IN ADVANCE BY THE OWNER.
- CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY FOR ALL NECESSARY PERMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.
- ALL WORK IS TO BE COORDINATED WITH THE OWNER. THE CONTRACTOR IS TO MEET WITH THE OWNER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR WILL PRESENT THE BUILDING PERMIT AND INSURANCE CERTIFICATES TO THE OWNER PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ANY NECESSARY MEASURES TO PROTECT THE WORKERS AND OTHER PERSONS DURING CONSTRUCTION.
- CHECK WITH THE OWNER FOR COORDINATION OF THE WORK UNDER THIS CONTRACT WITH WORK OF OTHER TRADES. OWNER'S REGULATIONS GOVERN ALL ASPECTS OF OUTSIDE CONTRACTORS WORKING ON THE PROPERTY.
- CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS ON PROJECT SITE DURING CONSTRUCTION.
- UNLESS INDICATED OTHERWISE, ALL MATERIAL FURNISHED AND INCORPORATED INTO THE WORK SHALL BE NEW UNUSED AND OF QUALITY STANDARD TO THE INDUSTRY FOR FIRST CLASS WORK OF SIMILAR EQUIVALENCE AND CHARACTER. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARD OF THE TRADES INVOLVED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.
- PAINTING FOR GYPSUM BOARD AND WOOD CONSTRUCTION. PROVIDE TWO (2) FINISH COATS OF PREMIUM GRADE PAINT OVER SINGLE COAT OF COMPATIBLE PRIMER, PROHAR 200 SERIES BY SHERWIN WILLIAMS, CLEVELAND, OHIO OR APPROVED EQUAL. ALL PAINT BY SINGLE MANUFACTURER.
- VISIT THE SITE TO VERIFY EXISTING CONDITIONS. EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON INFORMATION TAKEN FROM LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEMS COMPENSATED BY ACTUAL FIELD CONDITIONS AT NO ADDITIONAL COST TO OWNER OR ARCHITECT. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
- UNLESS OTHERWISE INDICATED ALL INTERIOR FINISHES SHALL BE AS DIRECTED BY THE OWNER.
- CONTRACTOR TO OBTAIN AND PROVIDE OWNER WITH COLOR SAMPLES FOR PROPER COLOR SELECTION AND FINAL APPROVAL OF ALL FINISHES PRIOR TO INSTALLATION.
- ALL GYPSUM BOARD WORK SHALL BE DONE IN ACCORDANCE WITH THE DRYWALL CONSTRUCTION HANDBOOK, LATEST EDITION, PREPARED BY UNITED STATES GYPSUM. ALL JOINTS AND SEAMS SHALL BE TAPED AND FINISHED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS.

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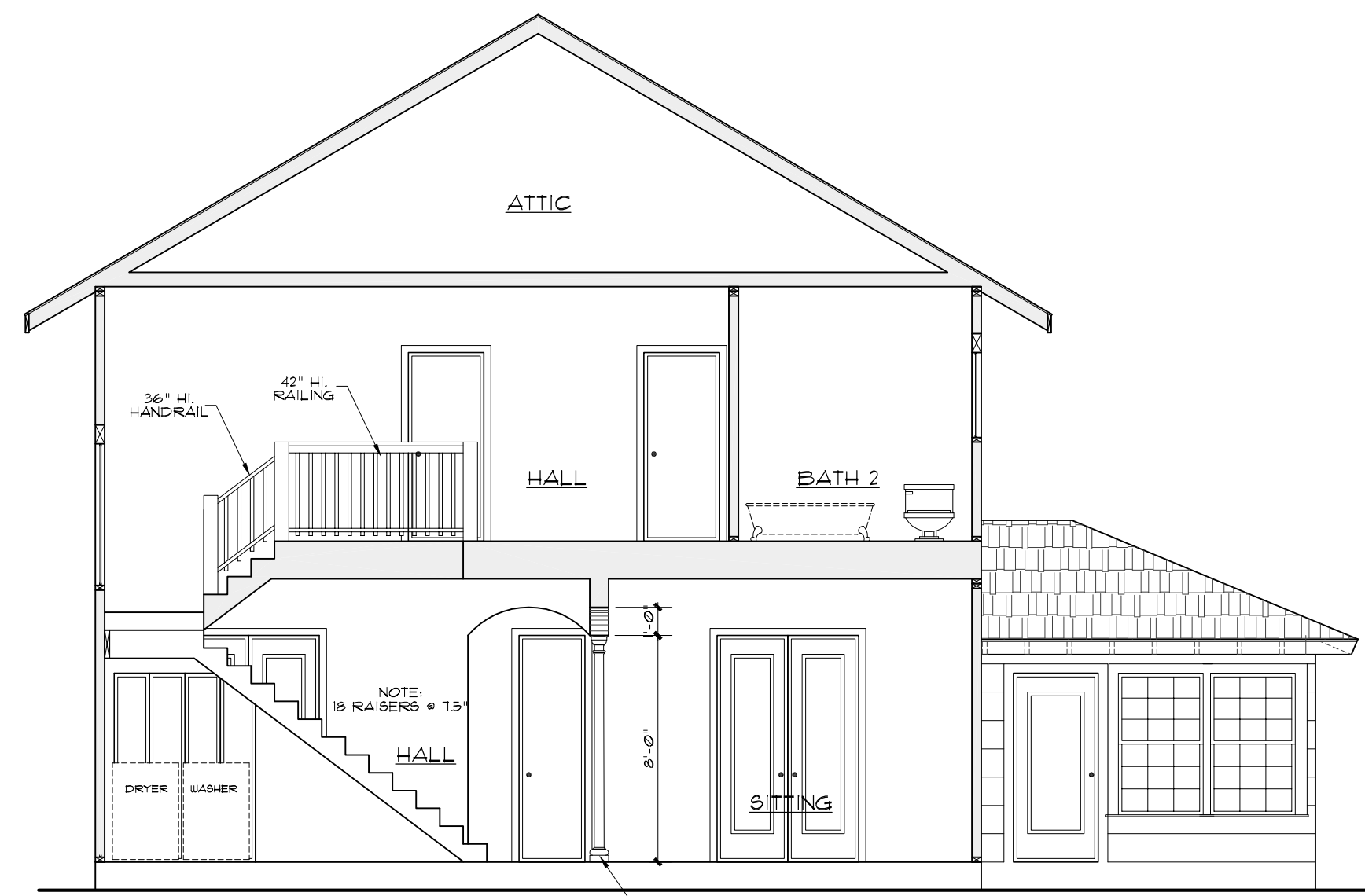
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CHKD BY: RAMC	DATE: 02.09.2018
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SHEET 2 of	6

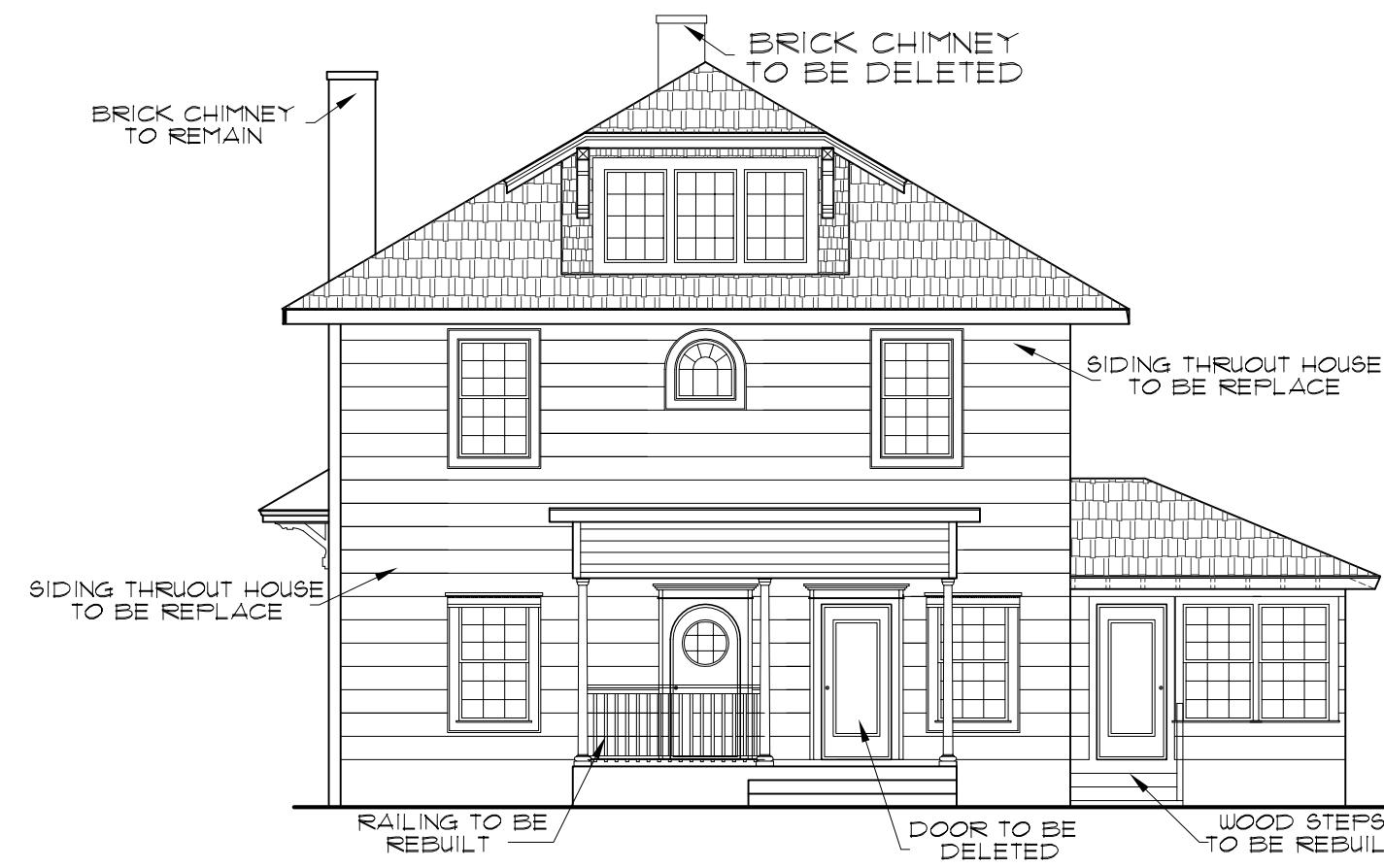
AREAS TABULATIONS

PROPOSED	EXISTING
1st FLOOR 1242#	1st FLOOR 1414#
2nd FLOOR 913#	2nd FLOOR 913#
TOTAL LIVING 2,215#	TOTAL LIVING 2,387#
PORCH 116#	PORCH 162#
GARAGE 533#	
BONUS ROOM 505#	
GAR. PORCH 17#	
PATIO 281#	
TERRACE 281#	



SECTION A

SCALE: 3/16" = 1"



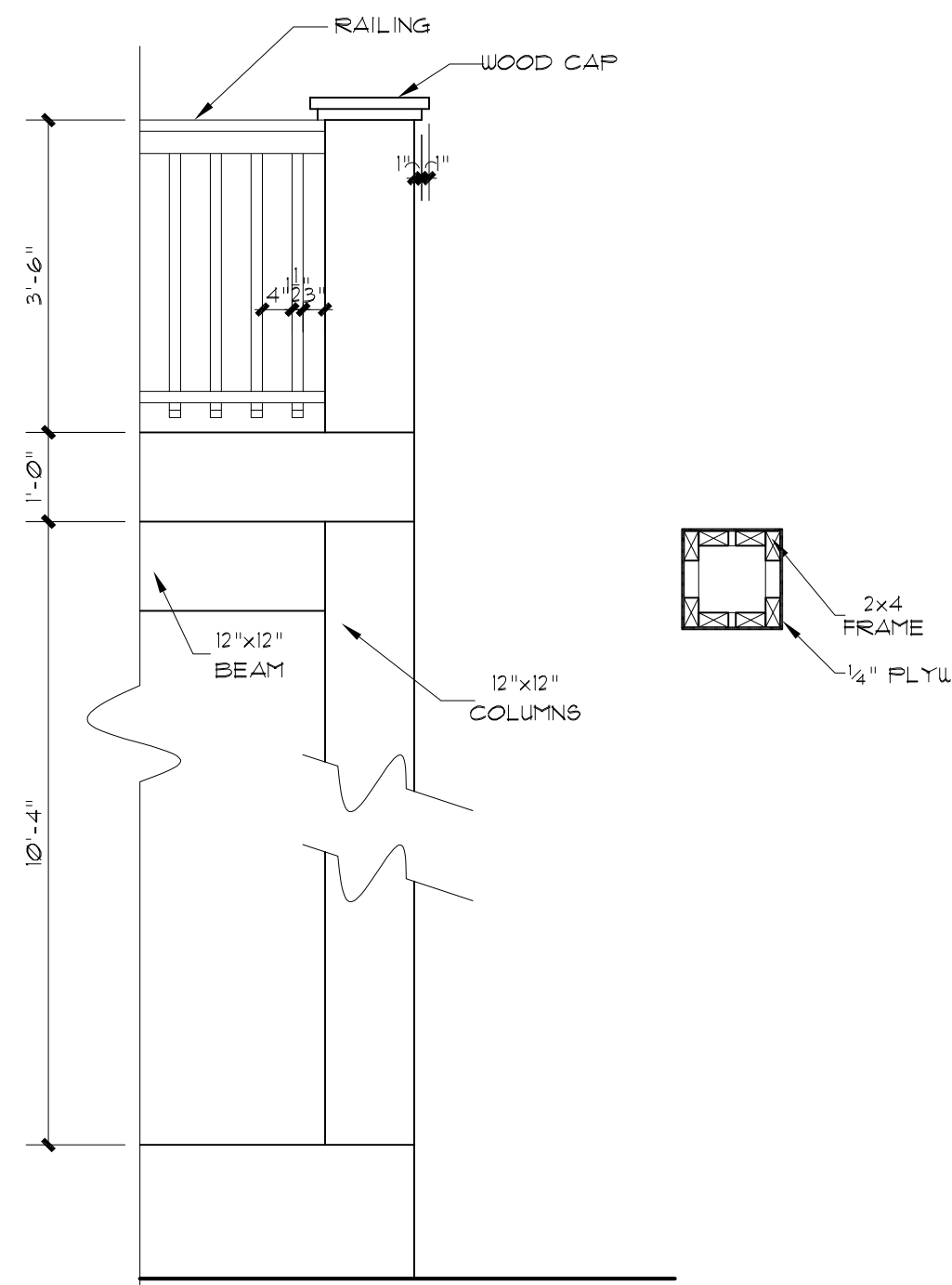
EXISTING FRONT ELEVATION

SCALE: 1/8" = 1"



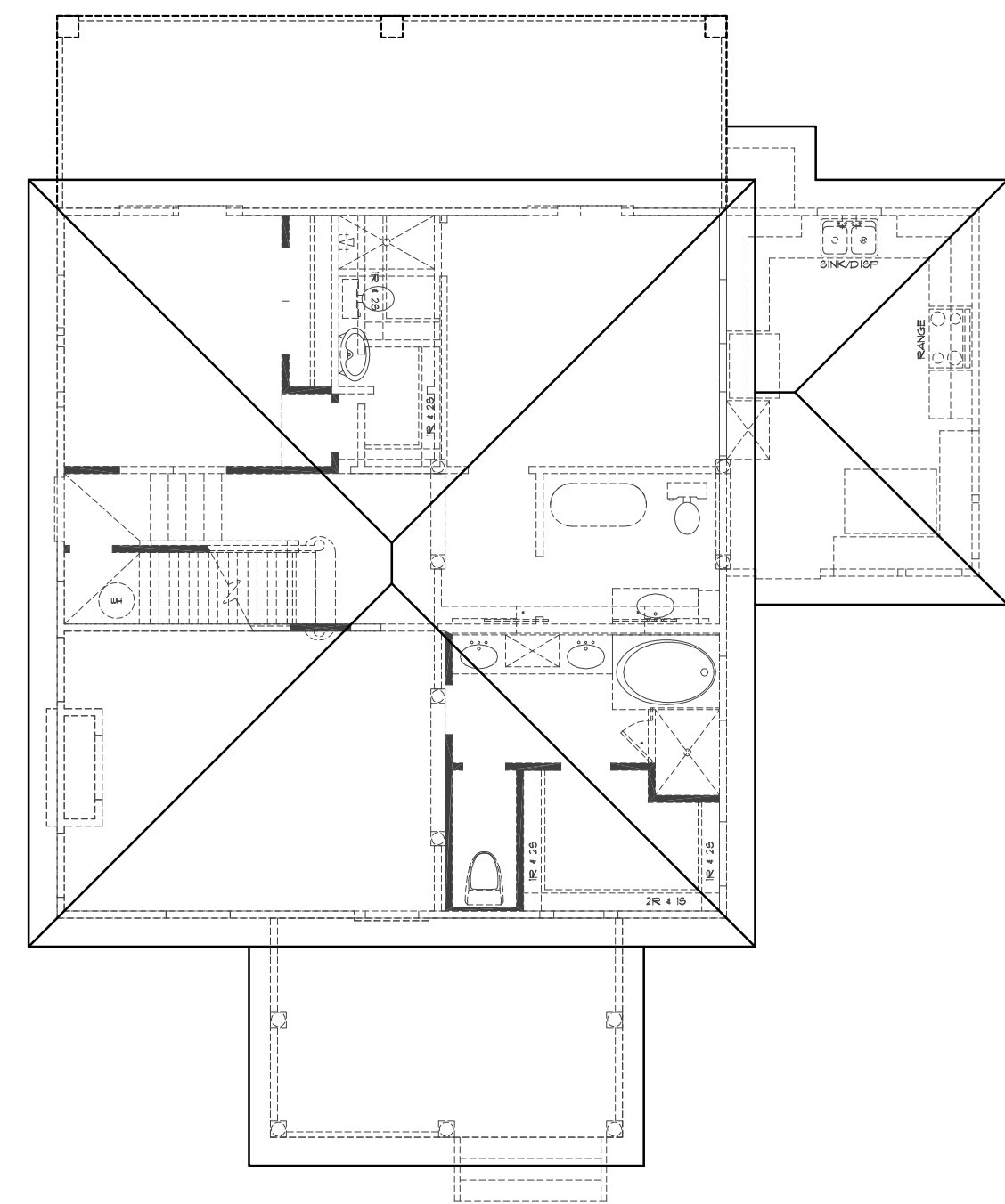
PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1"



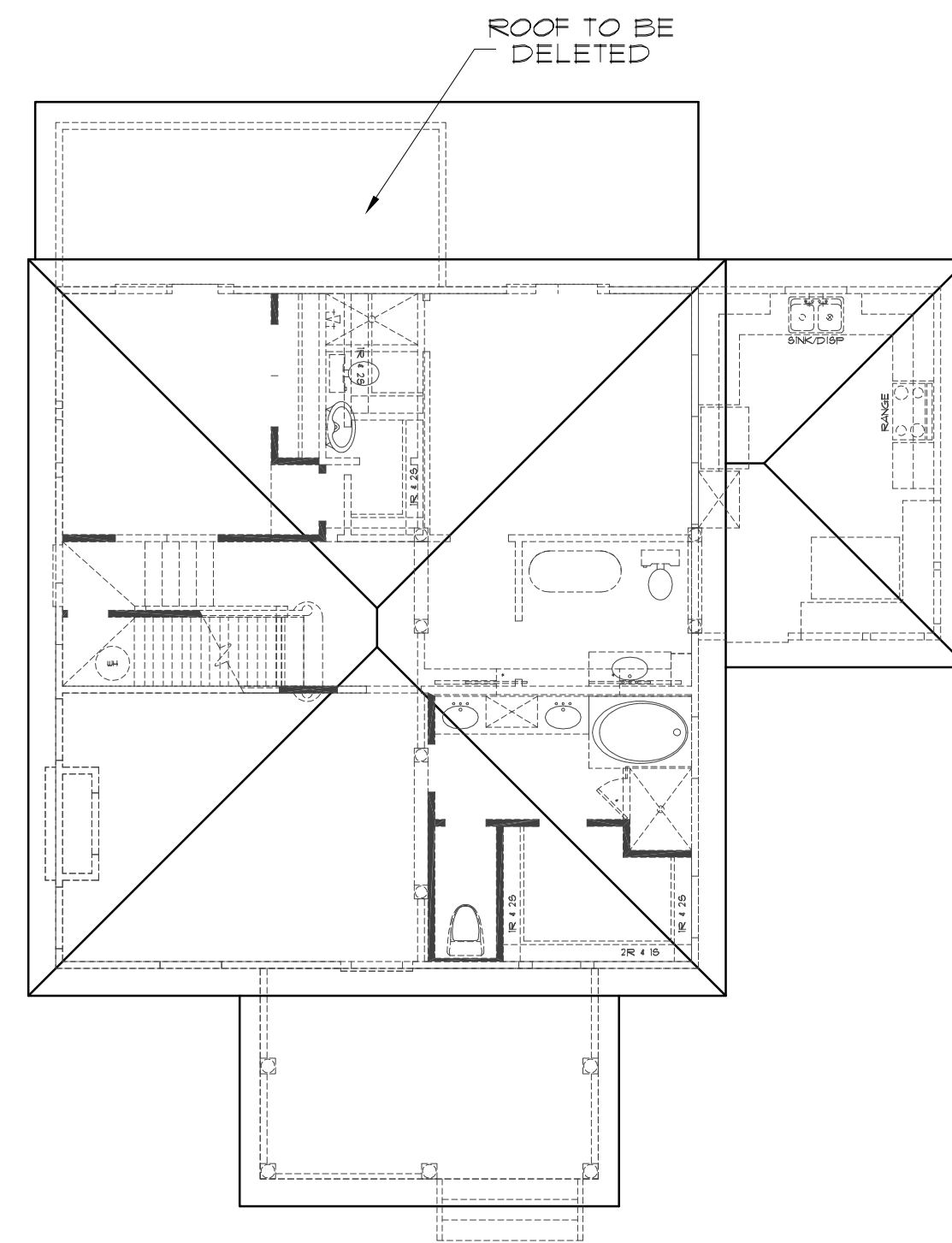
COLUMN DETAIL & PLAN

SCALE: 1/2" = 1'-0"



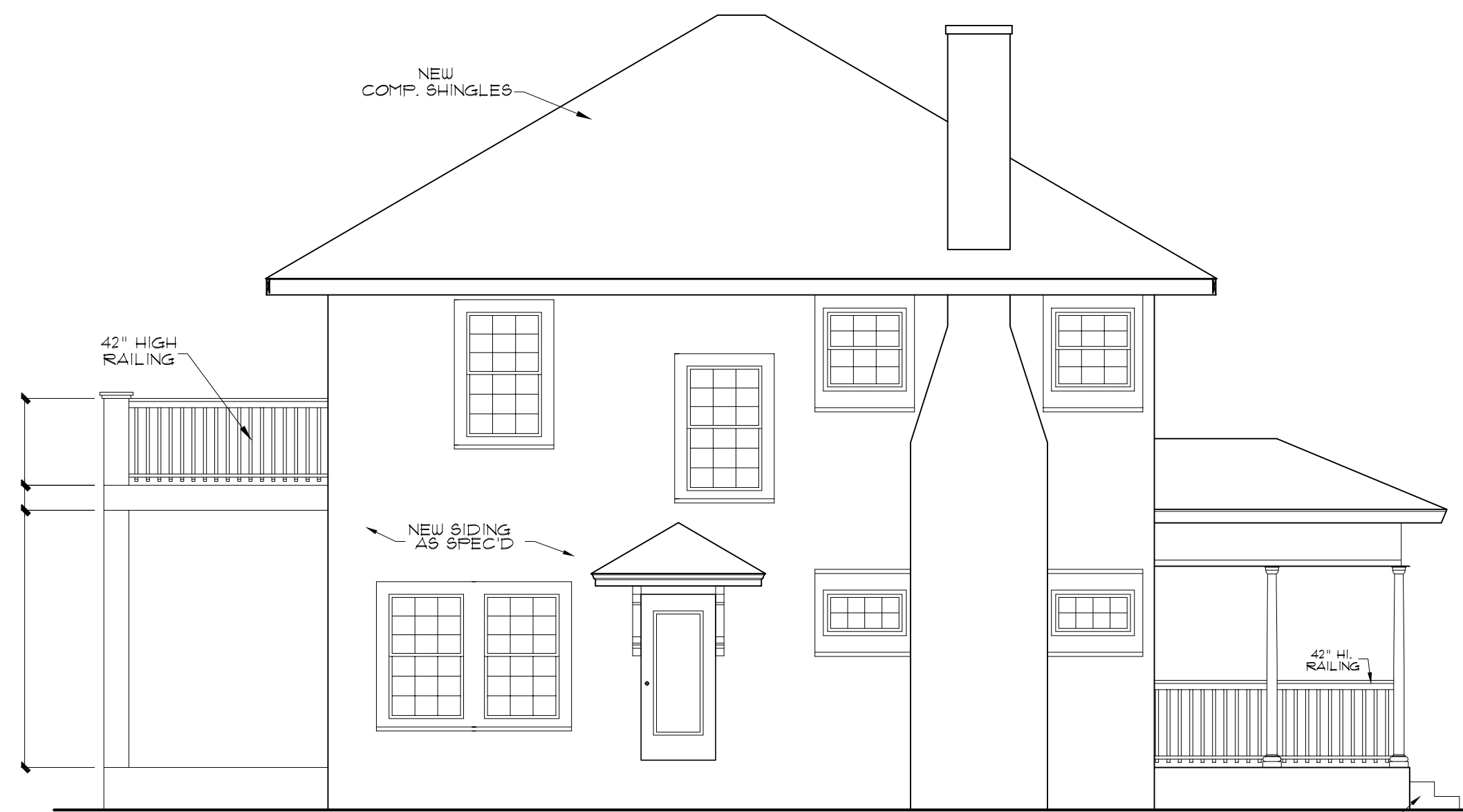
PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"



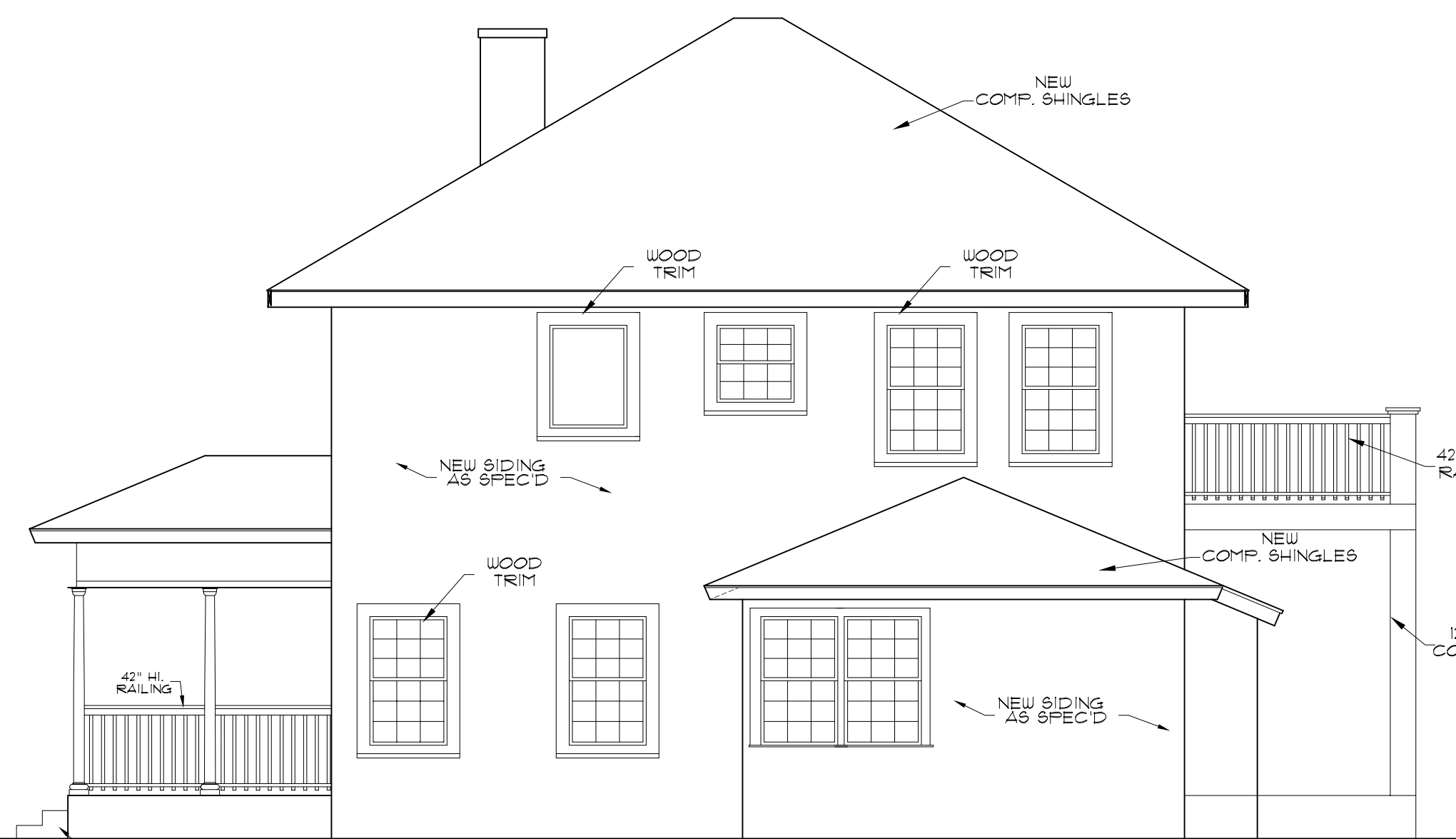
EXISTING ROOF PLAN

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1"



RIGHT ELEVATION

SCALE: 3/16" = 1"



REAR ELEVATION

SCALE: 3/16" = 1"

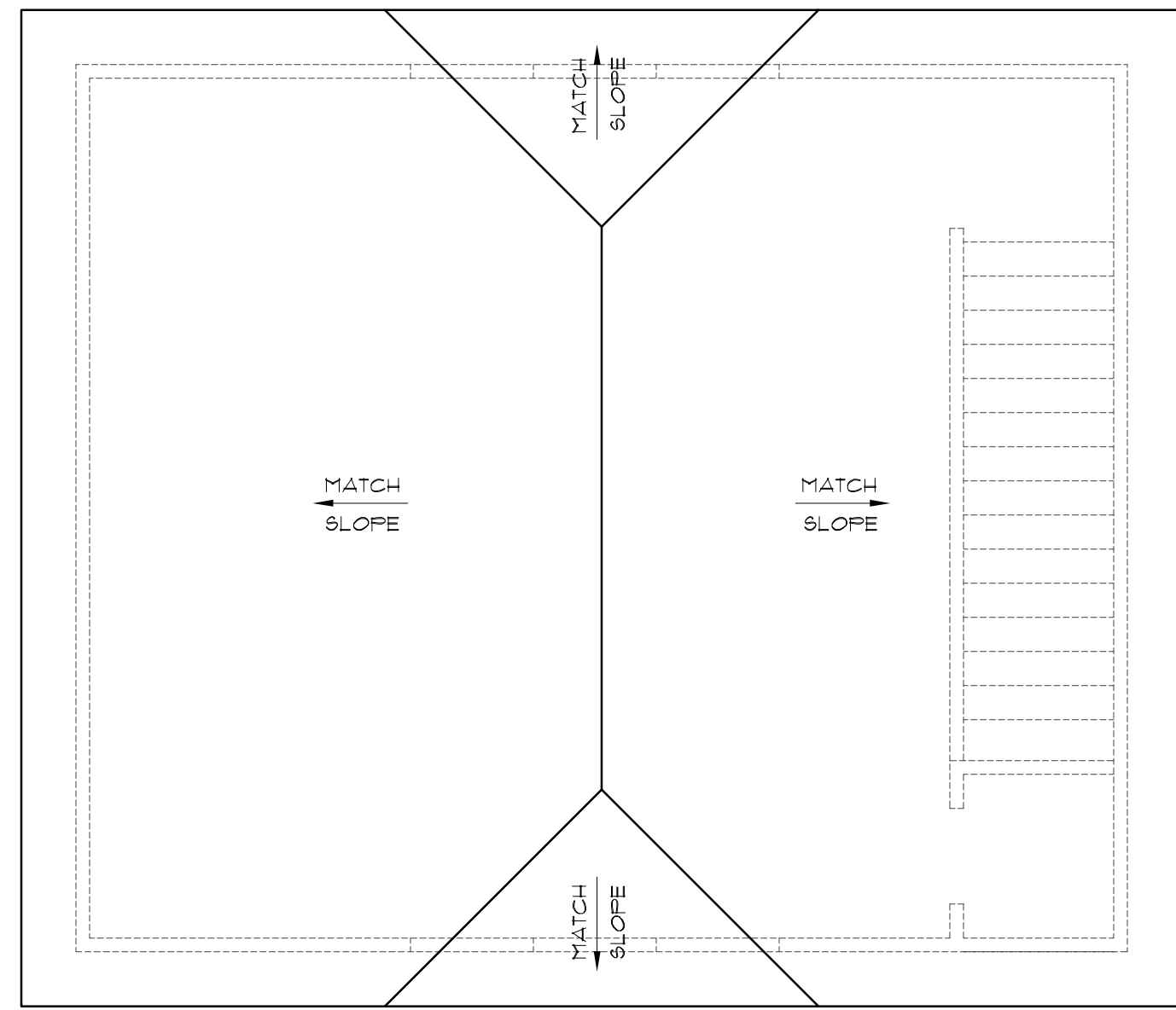
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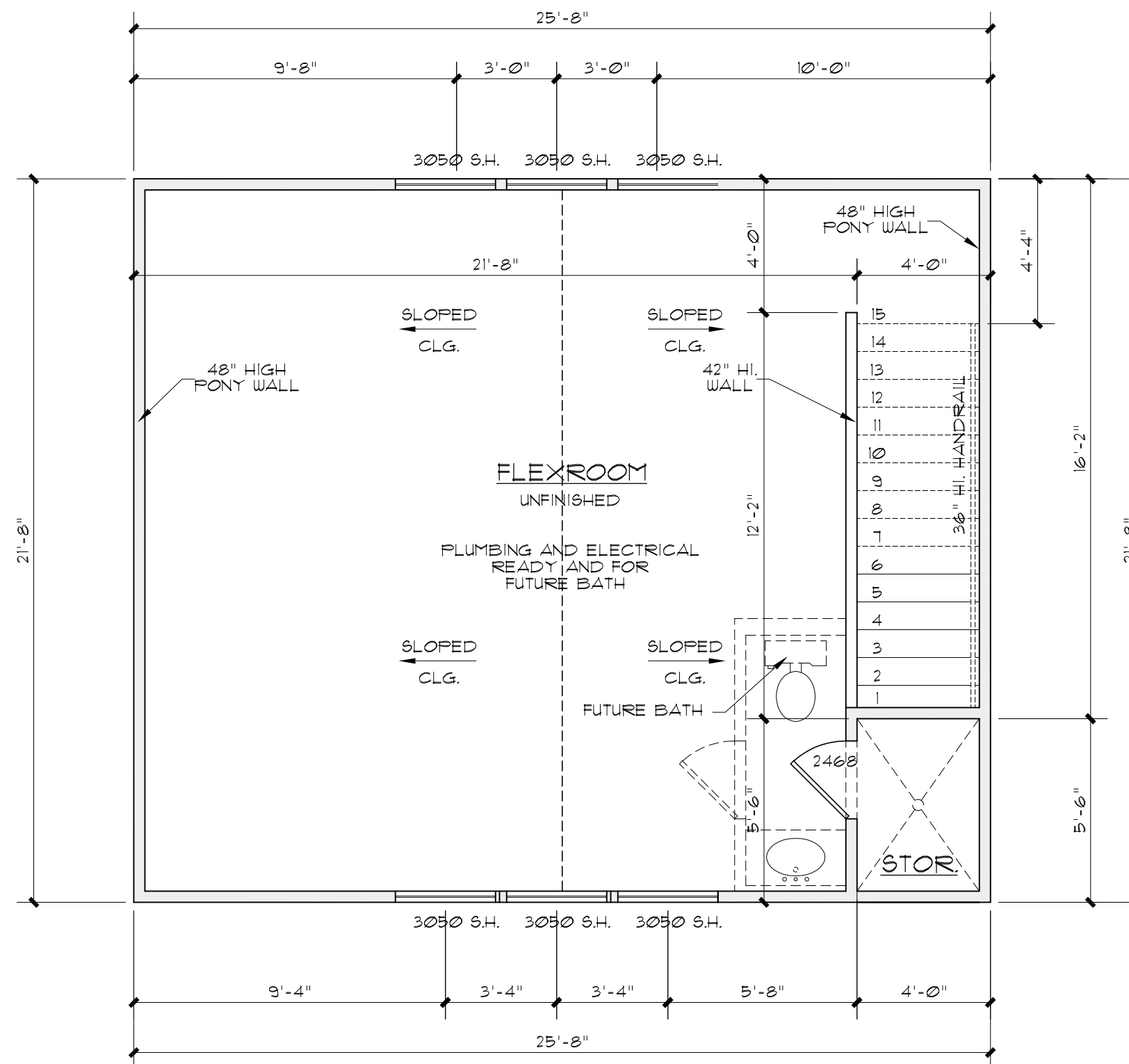
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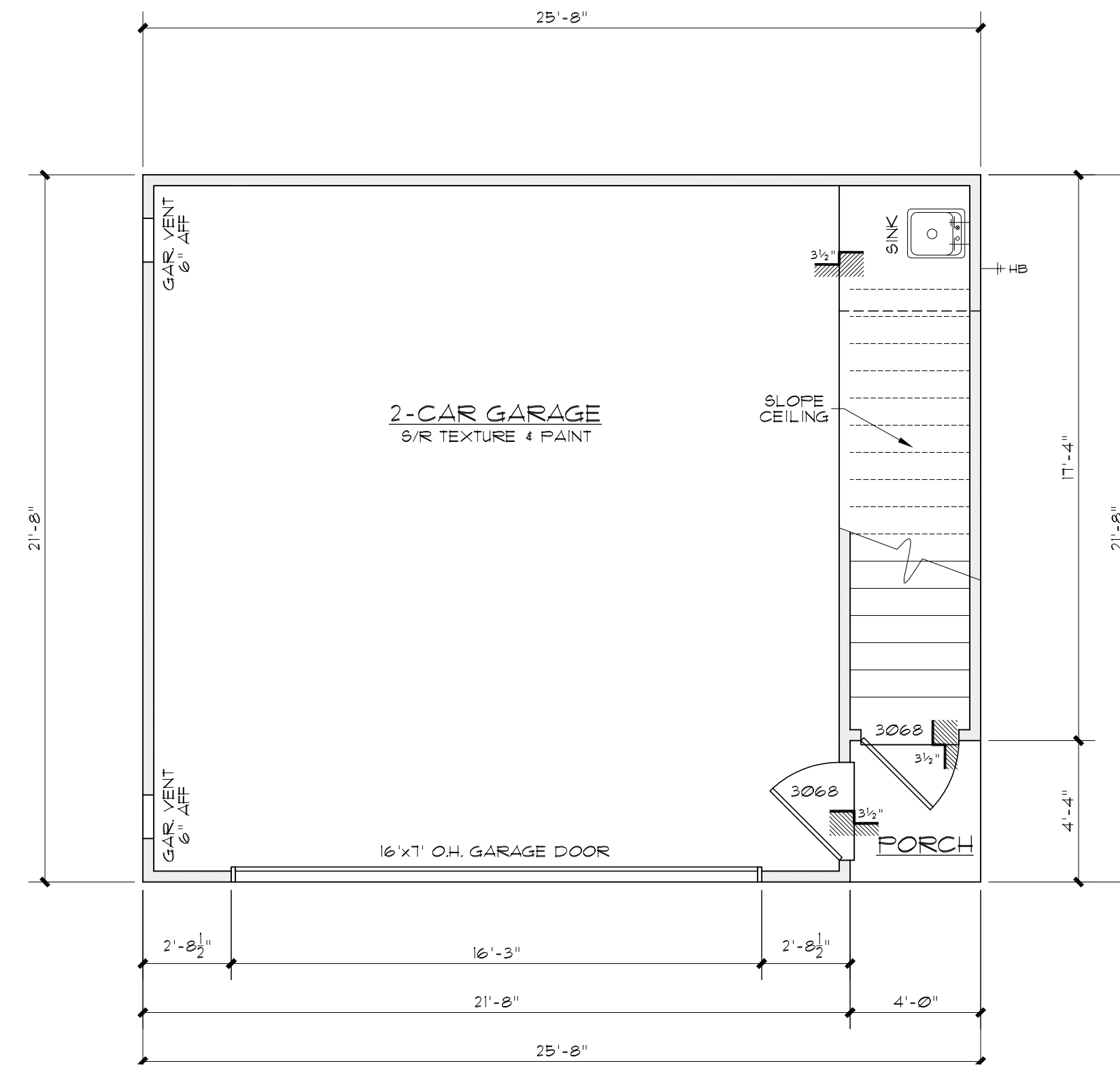
GARAGE ROOF PLAN

SCALE: 1/8" = 1'-0"



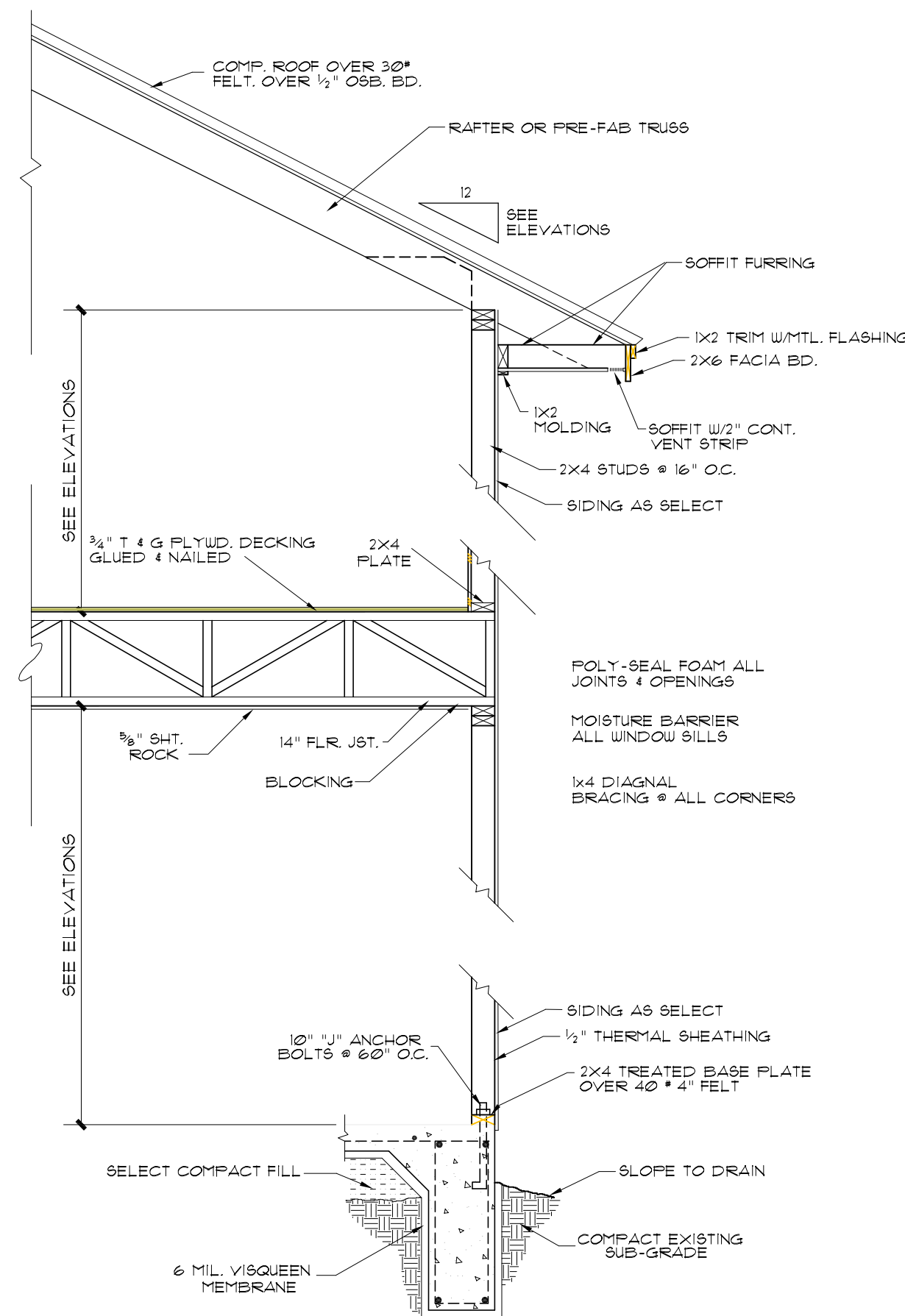
PROPOSED GARAGE 2nd FLOOR

SCALE: 1/4" = 1'-0"



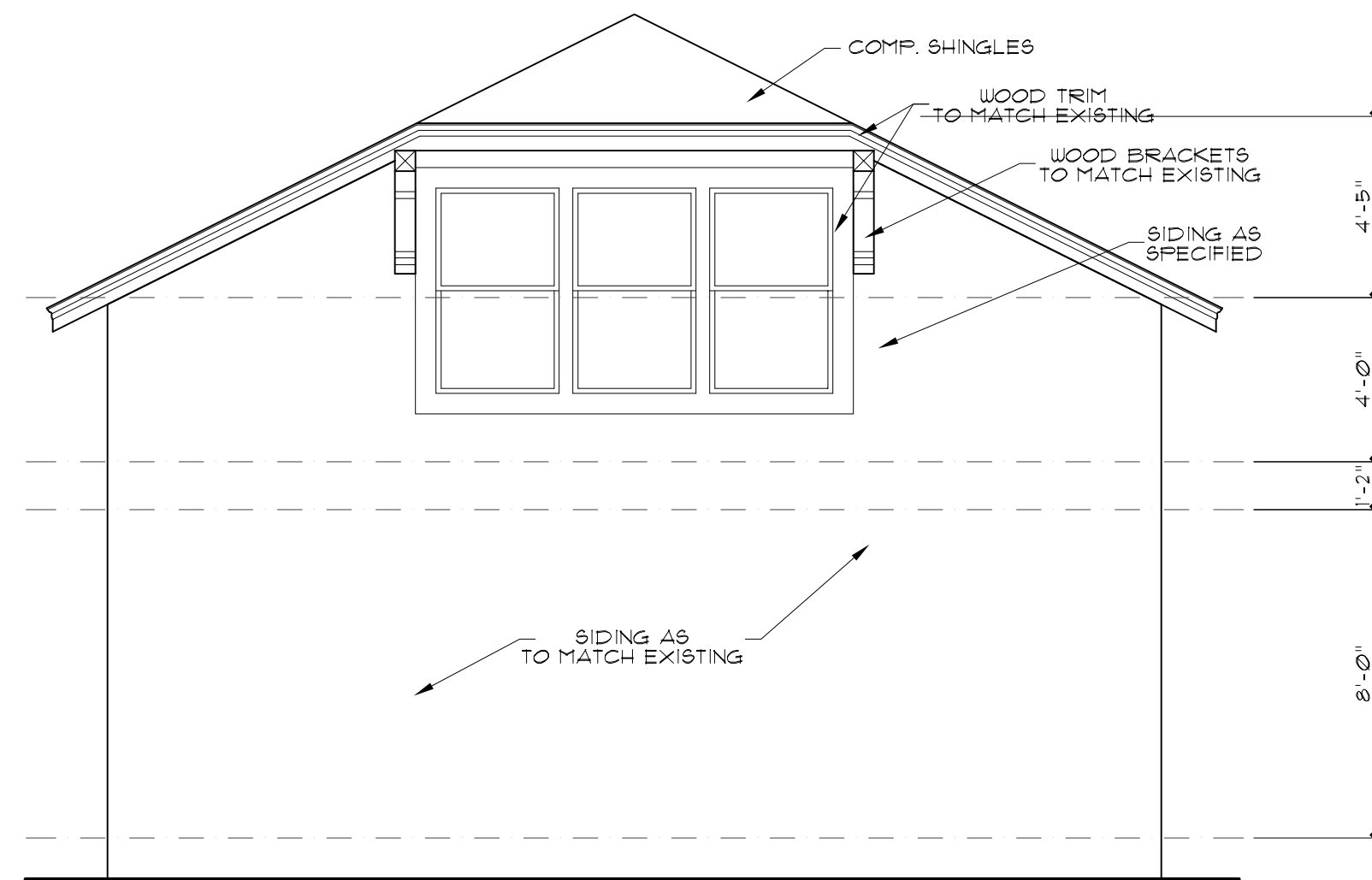
PROPOSED GARAGE 1st FLOOR

SCALE: 1/4" = 1'-0"



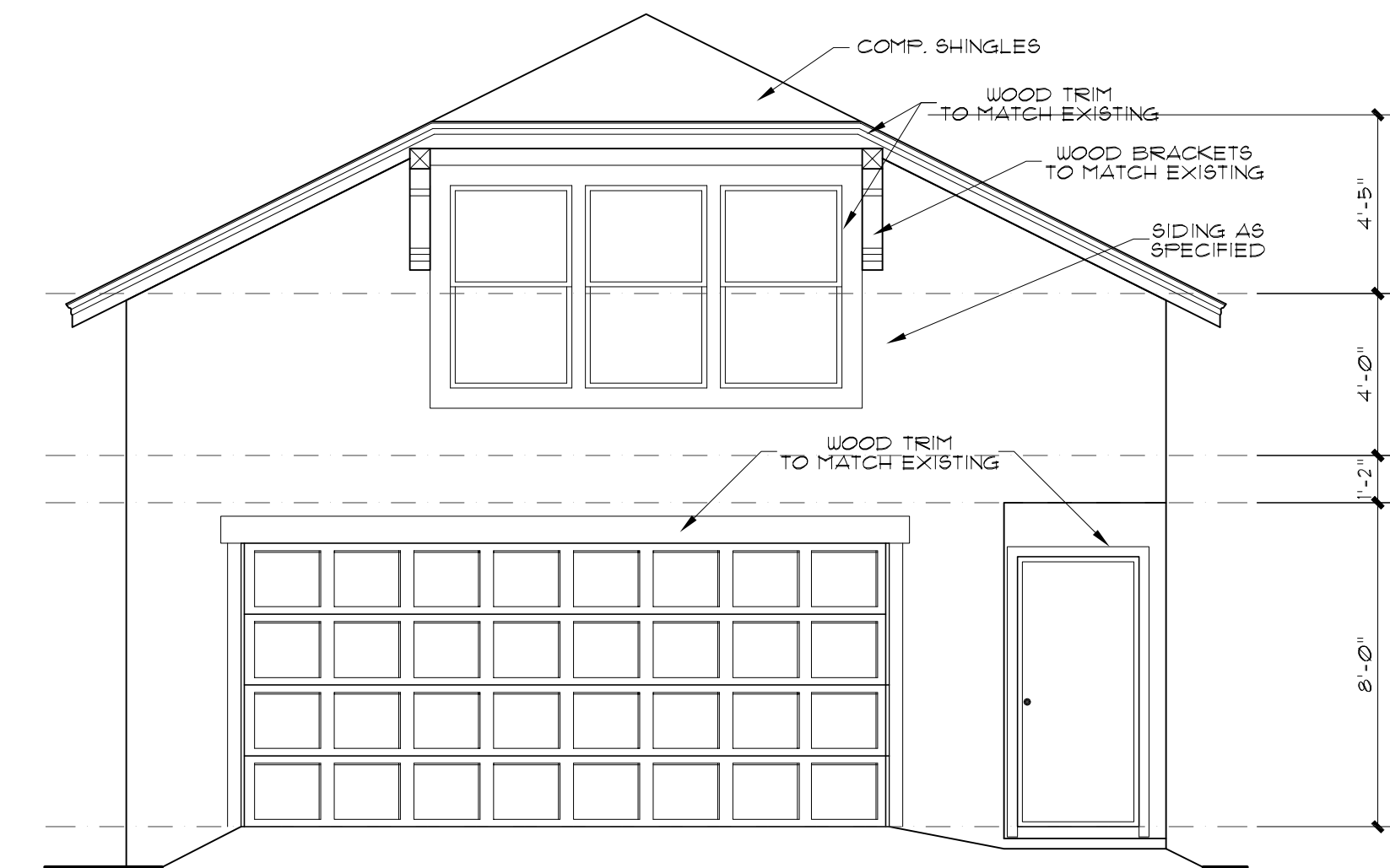
GARAGE 2 STORY WALL SECTION

SCALE: 1/2" = 1'-0"



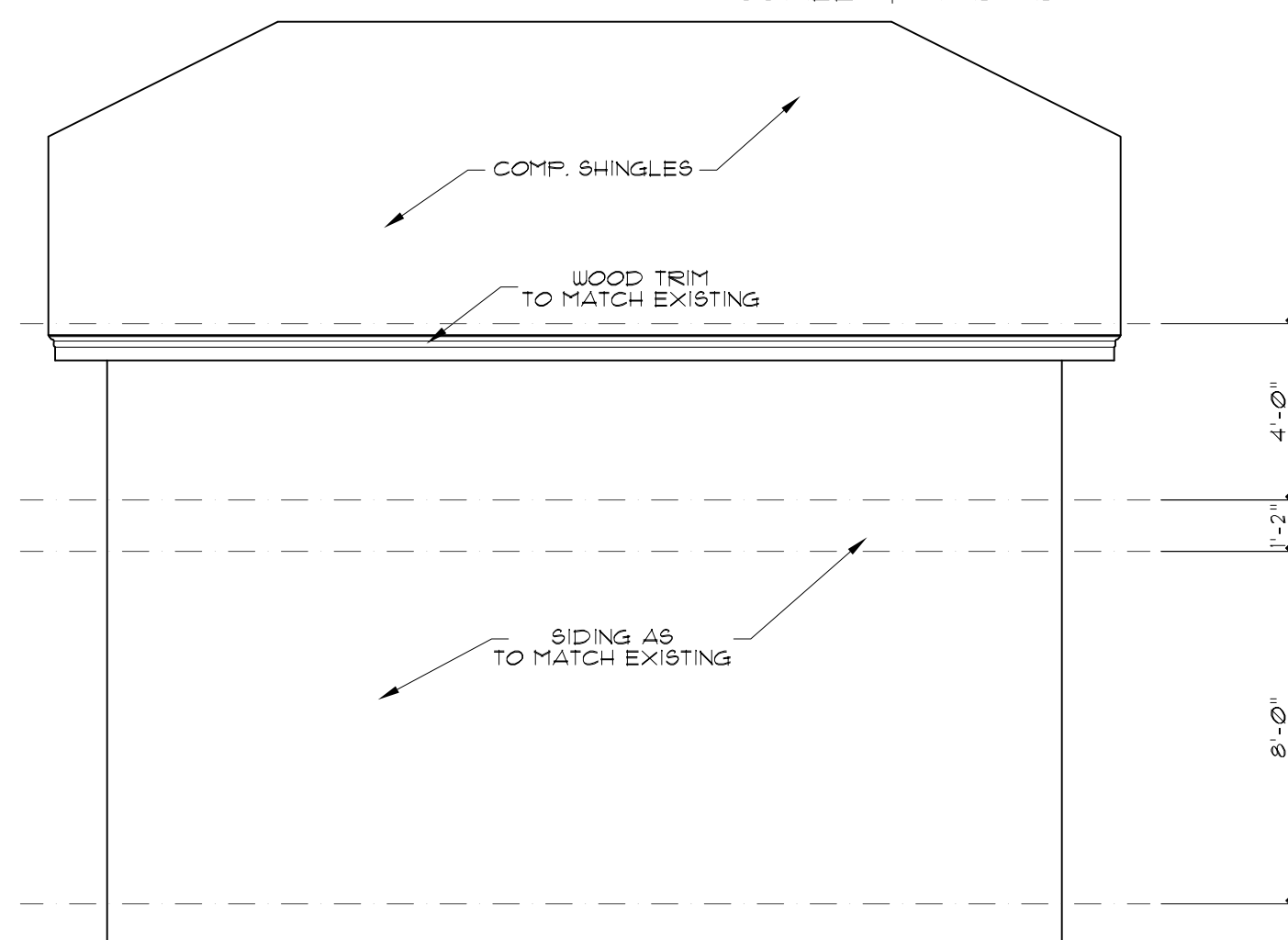
GARAGE REAR ELEV.

SCALE: 1/4" = 1'-0"



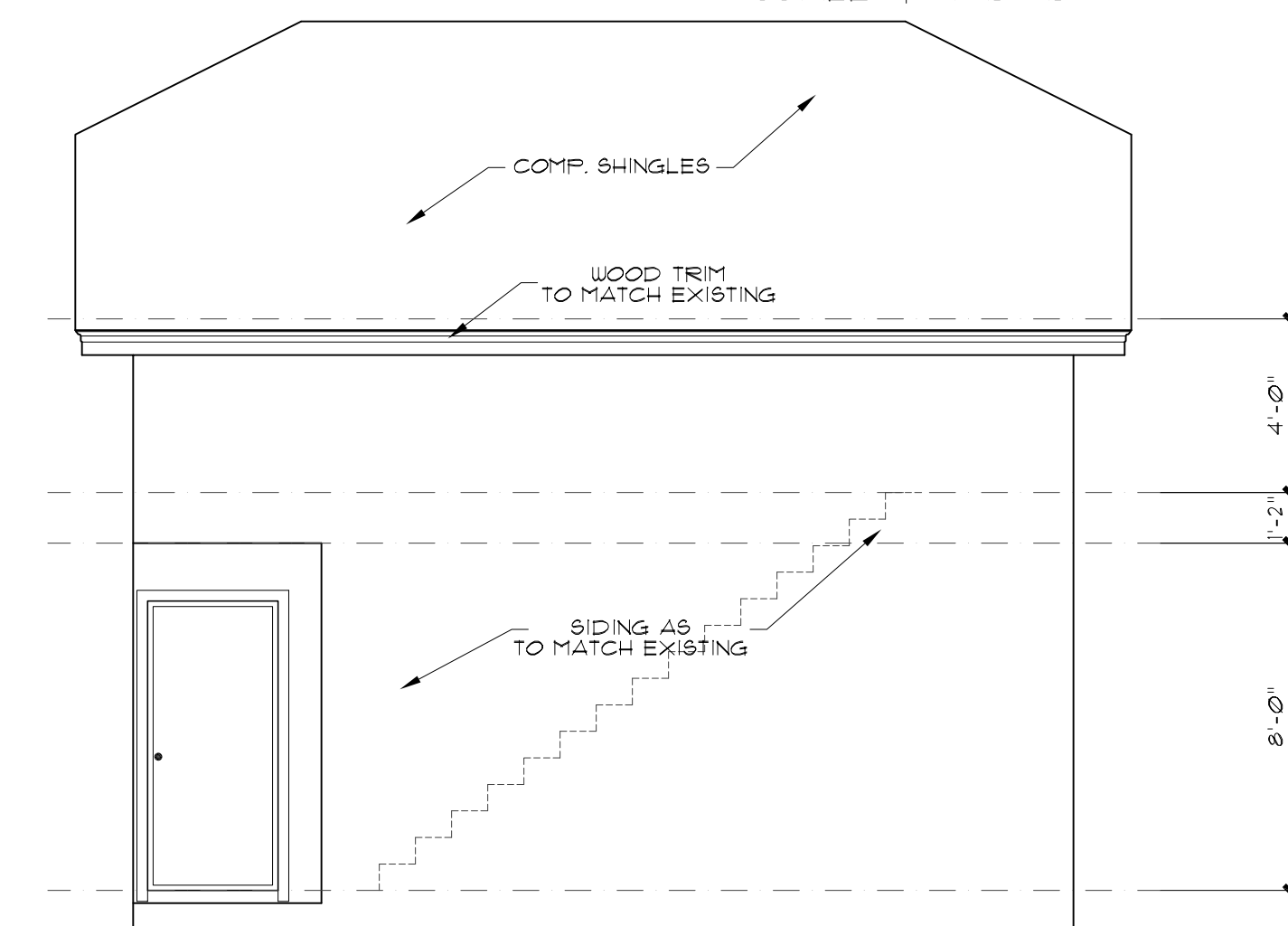
GARAGE FRONT ELEV.

SCALE: 1/4" = 1'-0"



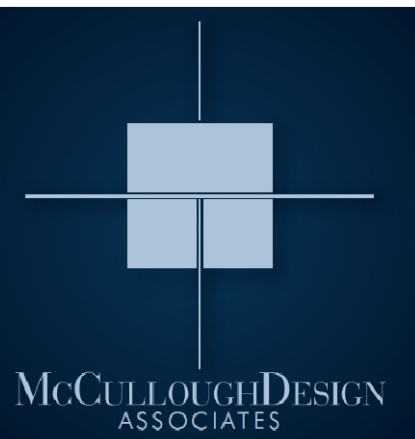
GARAGE LEFT ELEV.

SCALE: 1/4" = 1'-0"



GARAGE RIGHT ELEV.

SCALE: 1/4" = 1'-0"



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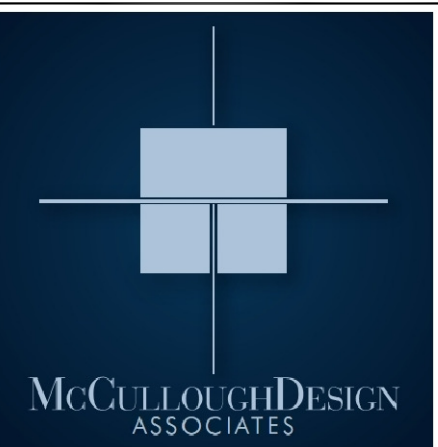
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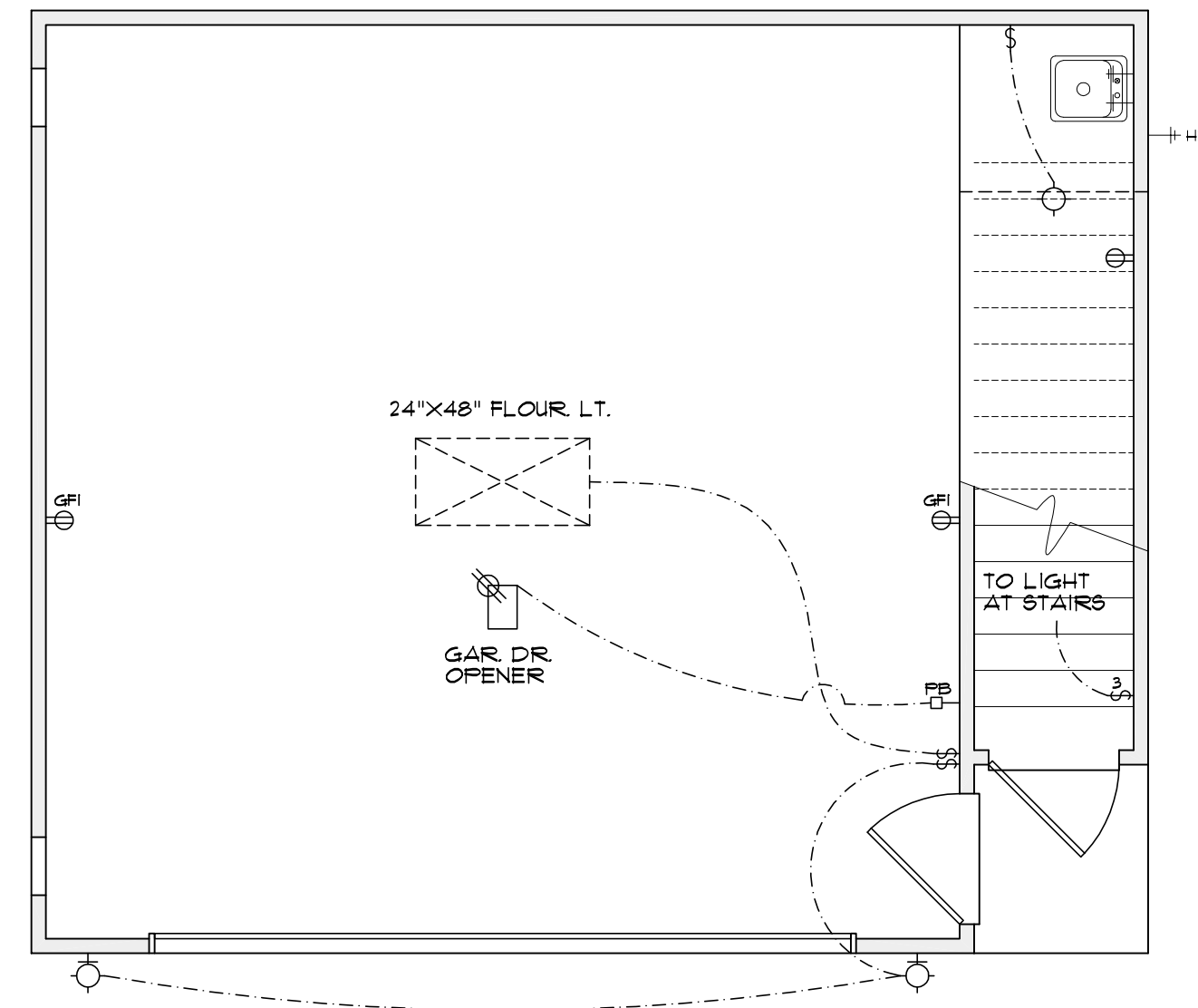
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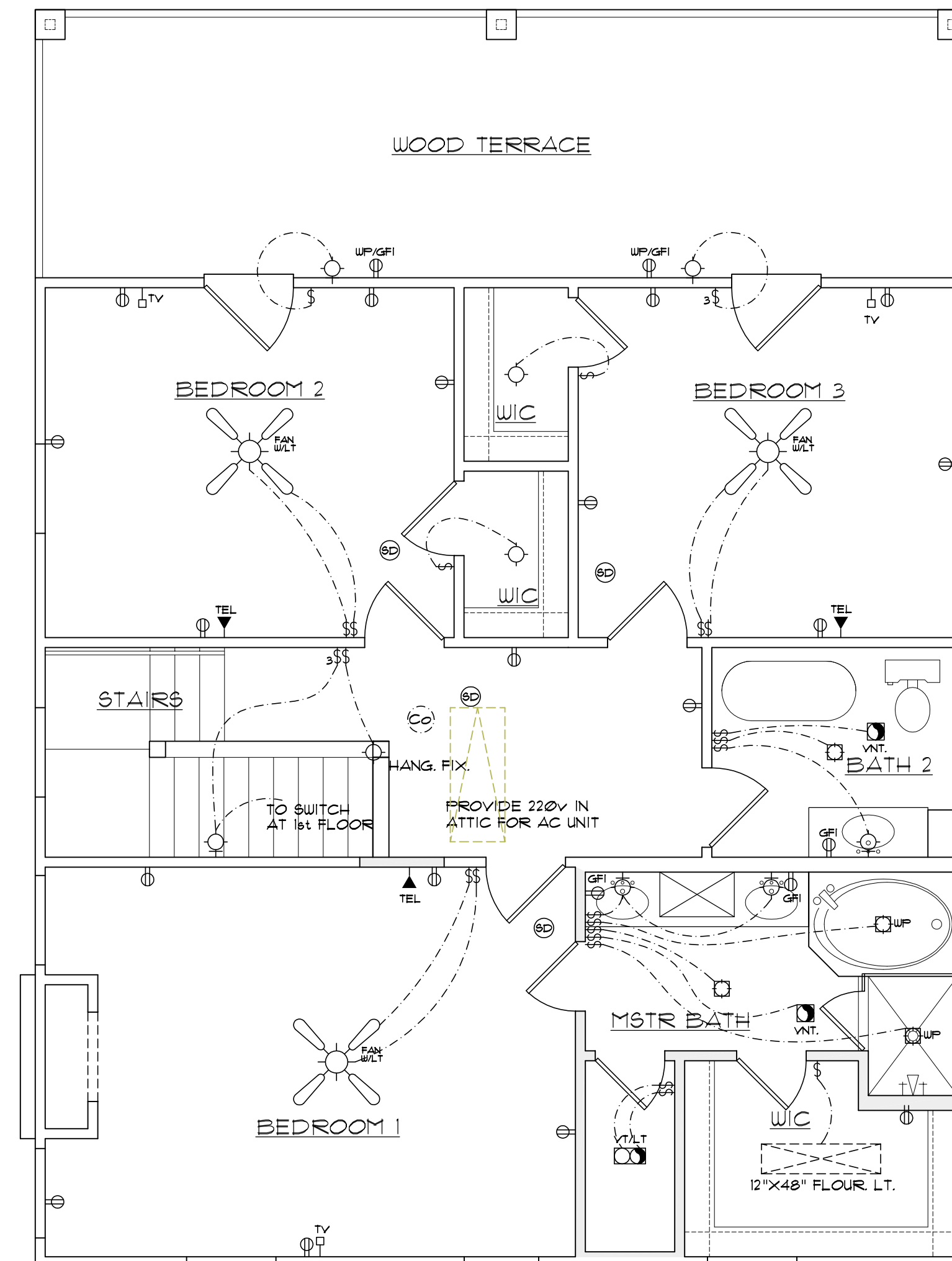
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GARAGE
1st FLOOR ELECTRICAL PLAN

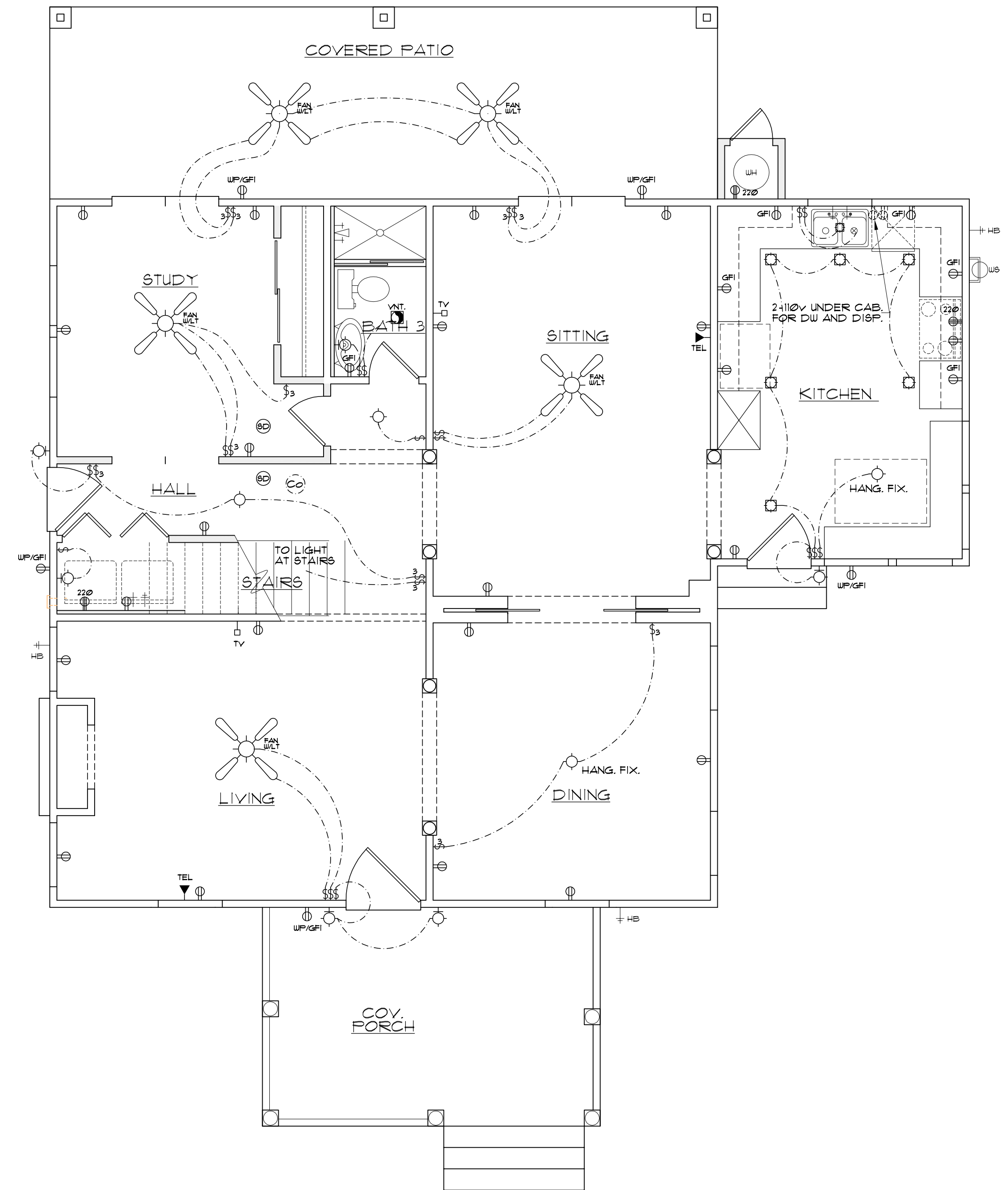
SCALE: 1/4"=1'-0"

ELECTRICAL				PLUMBING			
SW	BUTCH	HD	TELEVISION OUTLET	WH	WATER HEATER	W	WATER SINK
3SW	DIPPER SWITCH	HD	SATELLITE TELEVISION	SH	SHOWER HEAD	HOB	HOSE BIB FAUCET
4SW	THREE WAY SWITCH	HO	INTERCOM	WC	WATER CLOSET	CW	COLD WATER TO NEP
5SW	FOUR WAY SWITCH	HO	SPEAKER OUTLET	HCW	HOT & COLD WATER	FD	FLOOR DRAIN
DO	DUPLEX OUTLET	SD	SMOKE DETECTOR	GL	GAS LINE	GV	GAS VALVE
FO	FLOOR OUTLET	TH	THERMOSTAT	GP	GAS KEY (FOR NO. 1 VALVE)		
SO	SWITCH OUTLET	EP	ELECTRICAL PANEL				
CO	CEILING OUTLET	KB	KEY SWITCH				
DO	DUPLEX OUTLET WITH GROUND	PM	PURCHASE MOUNT CLG.				
DO	DUPLEX OUTLET	WM	WALL MOUNT FIXTURE				
DO	DUPLEX OUTLET RECESSED	PC	PULL CHAIN LIGHT				
DO	WATERPROOF DUPLEX OUTLET	RC	RECESSED CEILING FIXTURE				
DO	J-BOX DUPLEX OUTLET	RB	RECESSED BYREBALL FIXTURE				
TO	TELEPHONE OUTLET	RF	RECESSED BYREBALL FIXTURE				
FO	TELEPHONE FLOOR OUTLET	RL	HALOGEN RECESSED CEILING FIXTURE				
		FL	FLOOR LIGHT				
		CF	CEILING FAN W/ LT.				



2nd FLOOR ELECTRICAL PLAN

SCALE: 1/4"=1'-0"



1st FLOOR ELECTRICAL PLAN

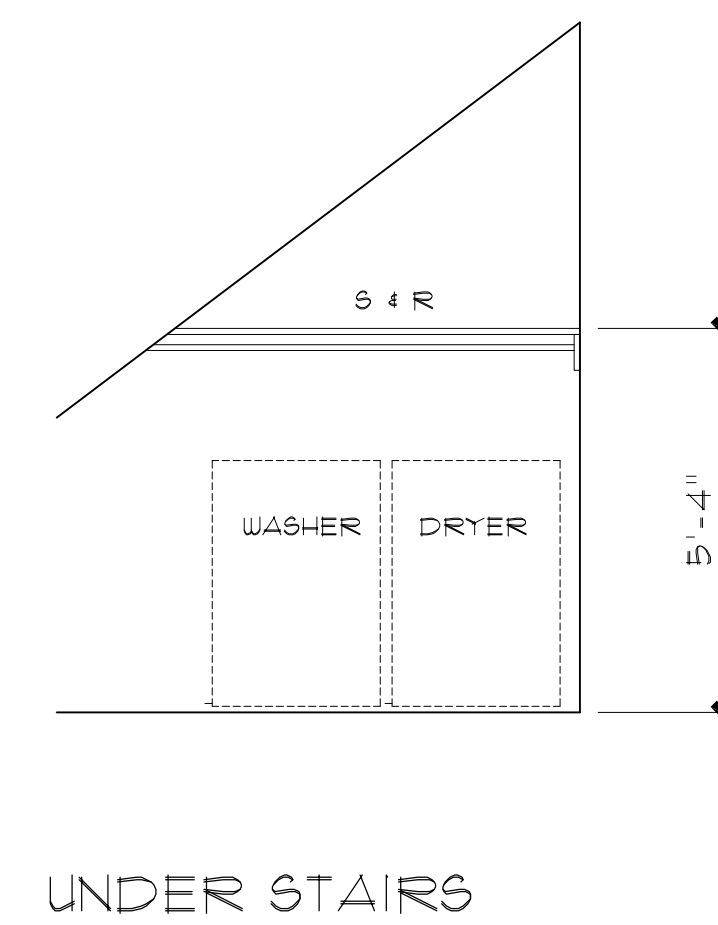
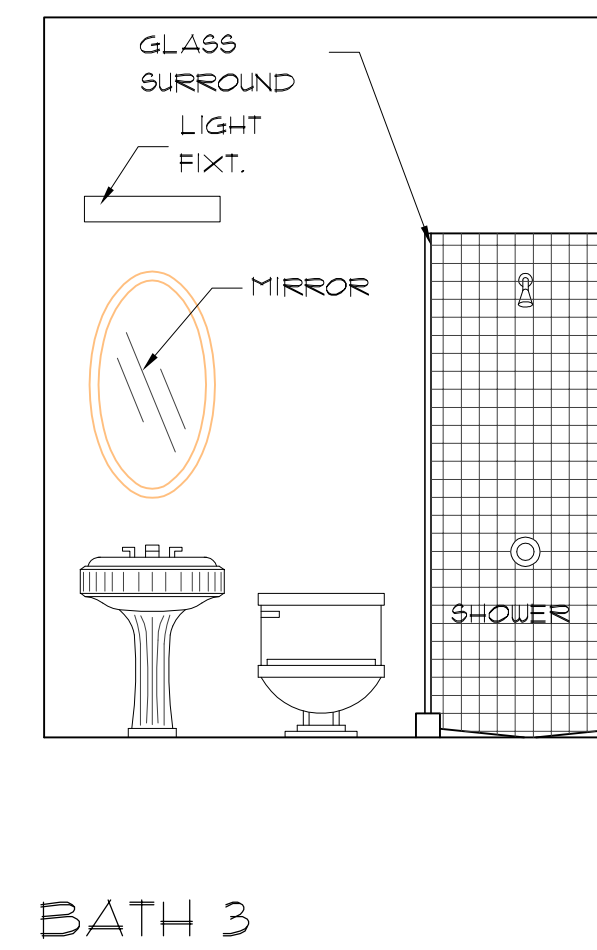
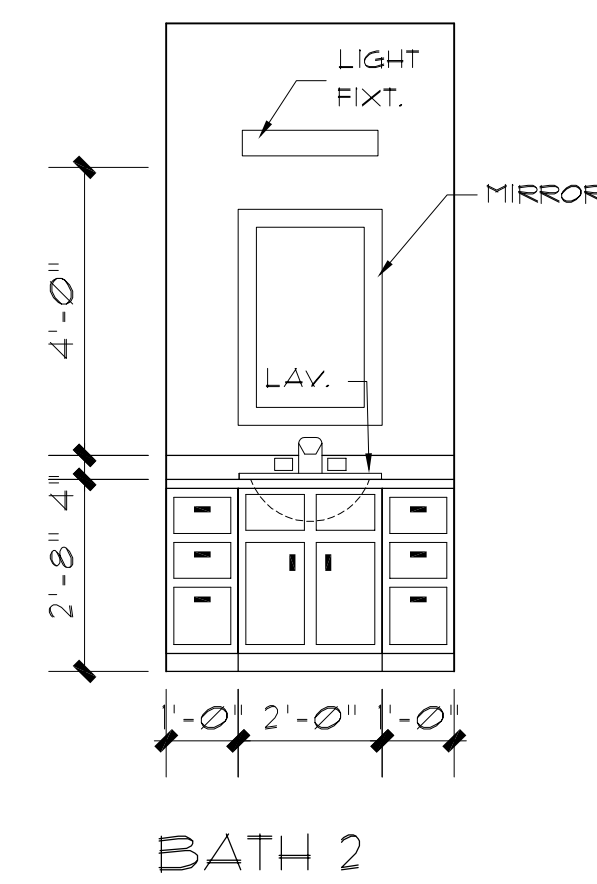
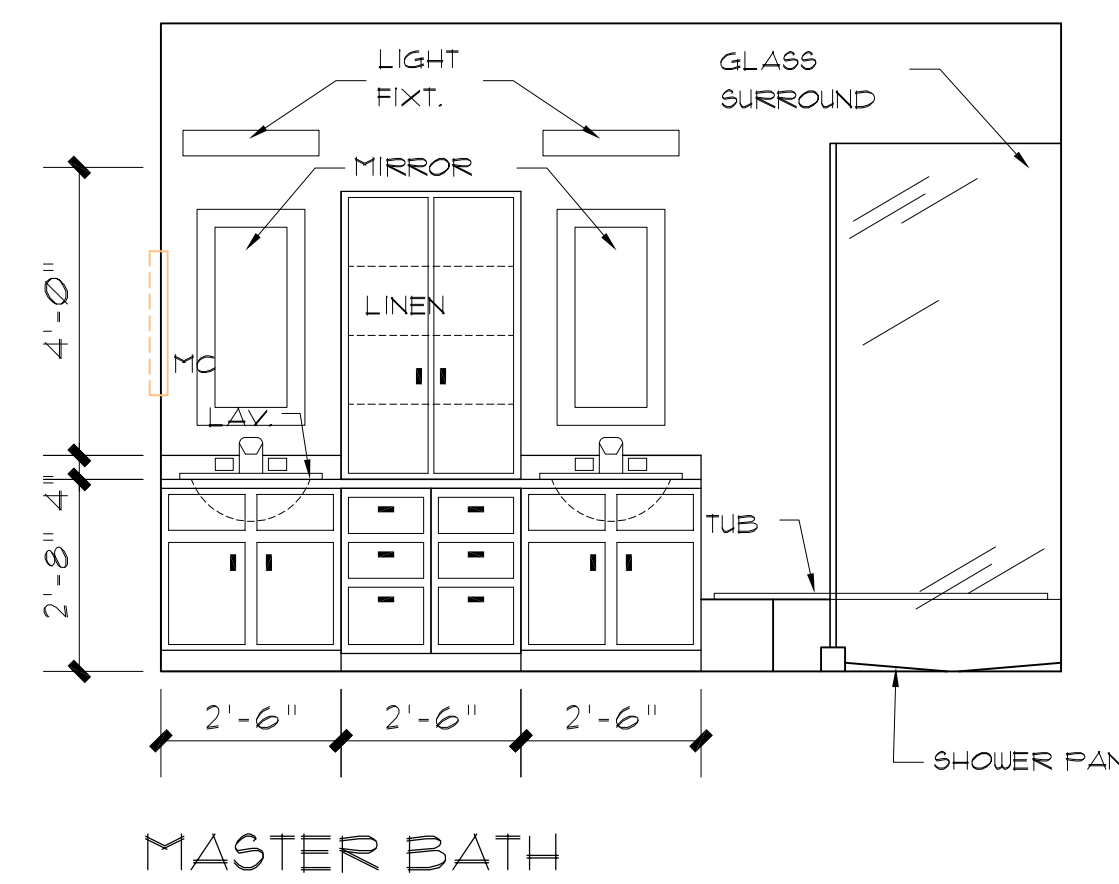
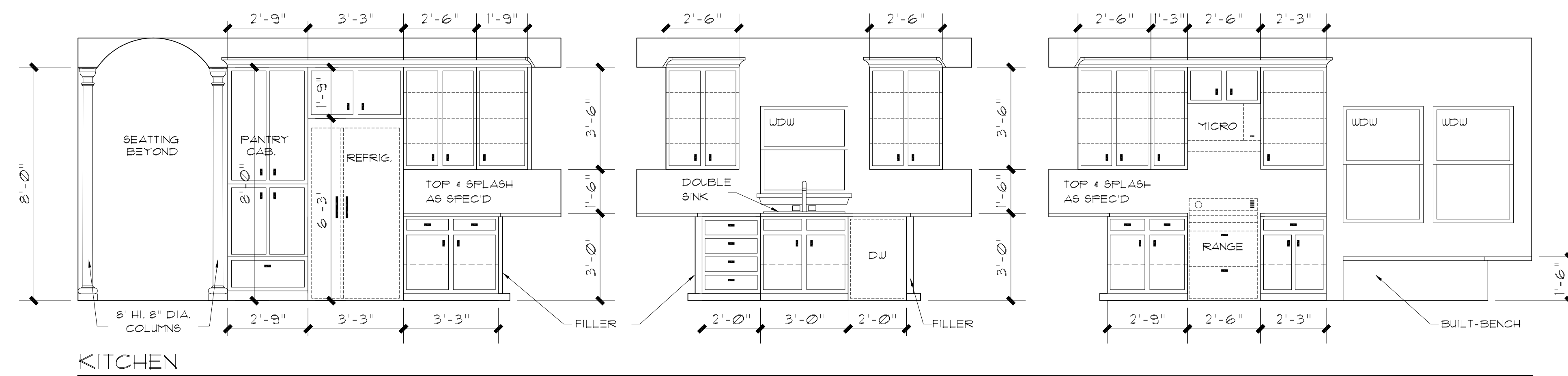
SCALE: 1/4"=1'-0"

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INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

- CABINETS:**
1. ALL CABINET MILL WORK SHALL BE STAIN GRADE QUALITY WOOD, AS SELECTED BY THE OWNER (PROVIDE AN ALLOWANCE).
 2. ALL CABINET DIMENSIONS MUST BE VERIFIED AT JOB SITE.
 3. ALL FIXTURE AND APPLIANCE OPENINGS MUST BE MADE ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

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417 EVERGREEN
TOBIN HILL, SUBDIV.
SAN ANTONIO, TEXAS

REVISIONS:	
DATE	ITEM

DRAWN BY: RAMc	SCALED: AS NOTED
CHCKD BY: RAMc	DATE: 02.09.2018
	PROJECT No:
SHEET 6 of	6