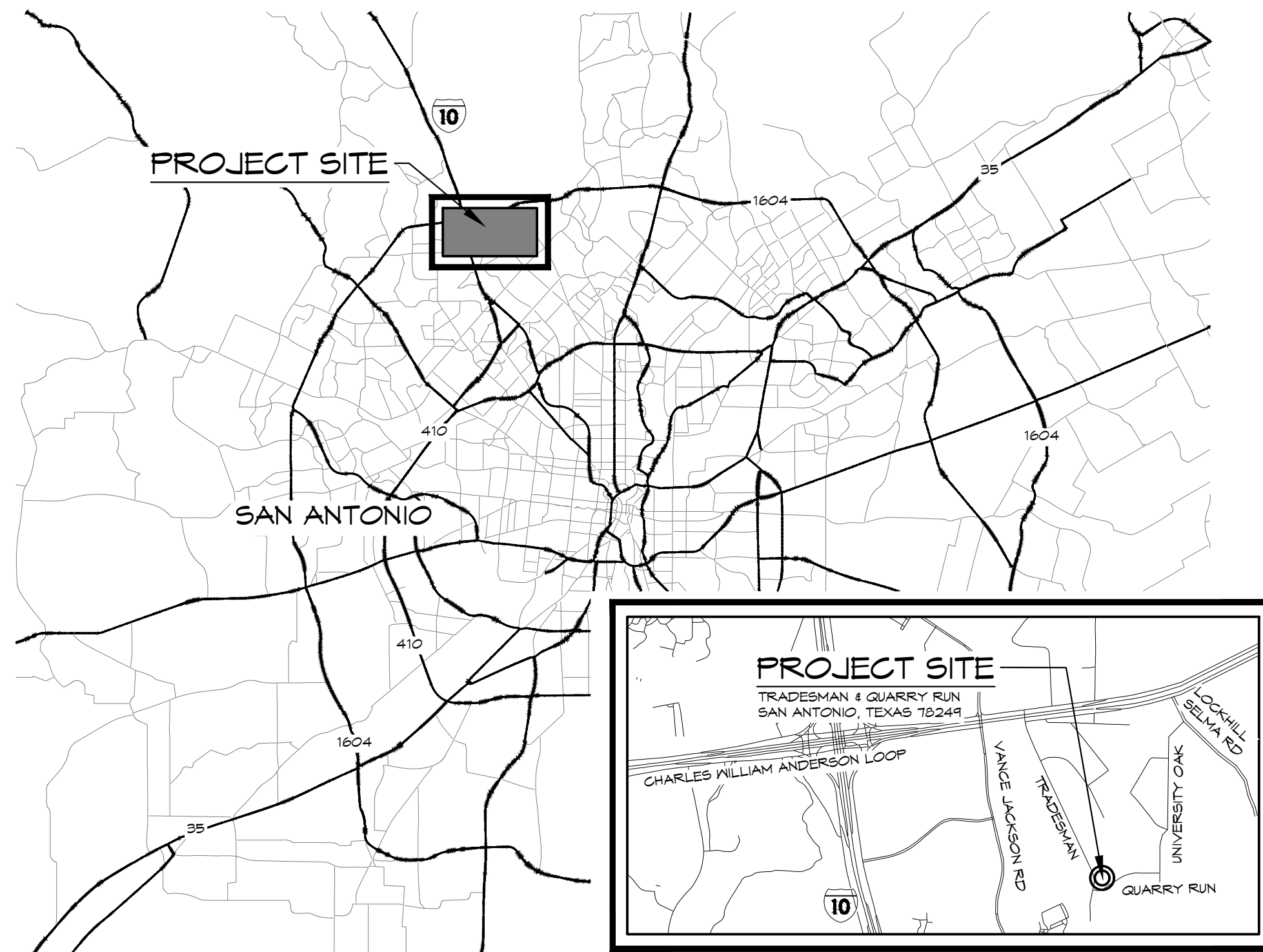




ATEX ROOFING AND REMODELING
SAN ANTONIO, TEXAS

ATEX ROOFING & REMODELING

TRADESMAN & QUARRY RUN
SAN ANTONIO, TEXAS 78249



APPLICABLE BUILDING CODES	
2015 INTERNATIONAL BUILDING CODE (IBC)	
2015 INTERNATIONAL FIRE CODE (IFC)	
2015 INTERNATIONAL MECHANICAL CODE (IMC)	
2015 INTERNATIONAL PLUMBING CODE (IPC)	
2015 INTERNATIONAL FUEL GAS CODE (IFGC)	
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	
2014 NATIONAL ELECTRIC CODE (NEC)	
OTHER LAWS & REGULATIONS:	
2015 CHAPTER 10 BUILDING-RELATED CODES	
2015 INTERNATIONAL FIRE CODE CH 11, WITH LOCAL AMENDMENTS	
2011 CHAPTER 28- SIGNS AND BILLBOARDS	
INTERNATIONAL CODE COUNCIL eCODES	
2015 SAN ANTONIO PROPERTY MAINTENANCE CODE	
PROJECT STATISTICS	
OCCUPANCY GROUP (S): BUSINESS (B)	
CONSTRUCTION TYPE: IIB	
NUMBER OF STORIES: 1	
FIRE SUPPRESSION: NFPA 13	
TOTAL GROSS AREA: 28,120 SF (TOTAL BUILDINGS 1 & 2)	
MAX HEIGHT: 32'-6" A.F.F.	

ARCHITECTURAL	
A001	EXTERIOR WALL & ROOF TYPES
A002	ARCHITECTURAL SPECIFICATIONS
A003	ENERGY CODE SUMMARY
A004	ACCESSIBILITY DETAILS
A101	ARCHITECTURAL SITE PLAN
A110	BUILDING 1 FIRST FLOOR PLAN
A111	BUILDING 2 FIRST FLOOR PLAN
A151	BUILDING 1 REFLECTED CEILING PLAN
A201	BUILDING 1 ELEVATIONS
A202	BUILDING 2 ELEVATIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A351	WALL SECTIONS & DETAILS
A352	WALL SECTIONS & DETAILS
A401	ENLARGED PLANS & ELEVATIONS
A501	ARCHITECTURAL DETAILS
A601	DOOR & WINDOW DETAILS

OWNER: GENERAL CONTRACTOR: METAL BUILDING SUPPLIER: LIFE SAFETY: CIVIL ENGINEER: LANDSCAPE ARCHITECT: STRUCTURAL ENGINEER: MEP ENGINEER: ARCHITECT:

ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX ADDRESS CITY, ST ZIP P: XXX-XXX-XXXX

STUDIO M
ARCHITECTURE & PLANNING

CONSULTANT

ARCHITECT

STUDIO M
ARCHITECTURE & PLANNING
2 WEST MAIN ST. CARMEL, IN 46032
317.810.1502

SEAL



SHEET TITLE

COVER

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER

17193

ISSUE STATUS

PERMIT SET

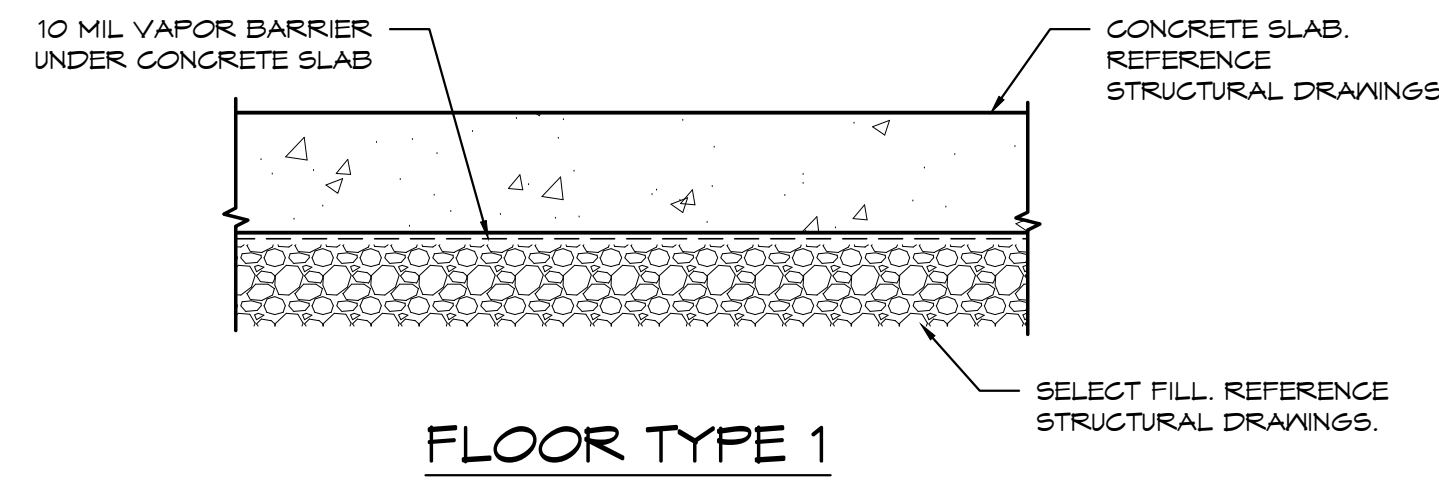
ISSUE DATE

02/20/2019

SHEET NO.

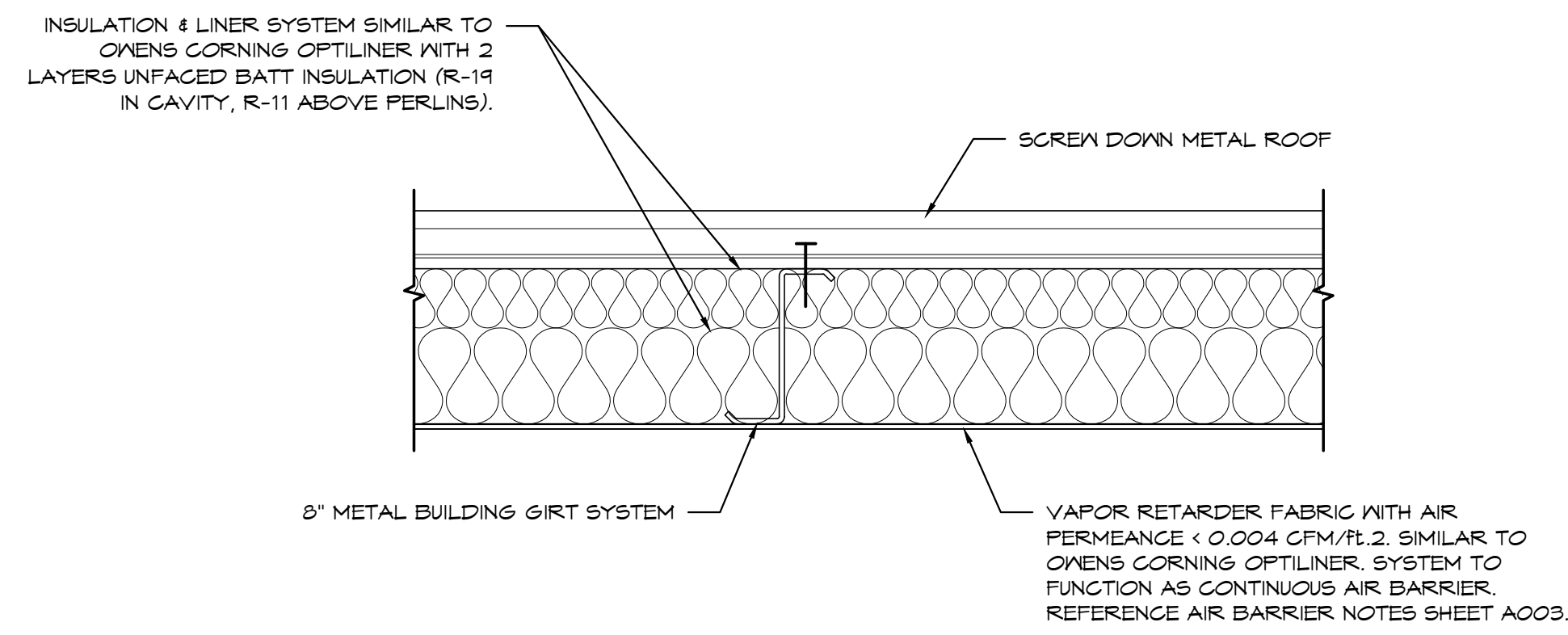
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2 WEST MAIN ST.
CARMEL, IN 46032
P: 317.810.1502



FLOOR TYPES

SCALE: 1 1/2" = 1'-0"

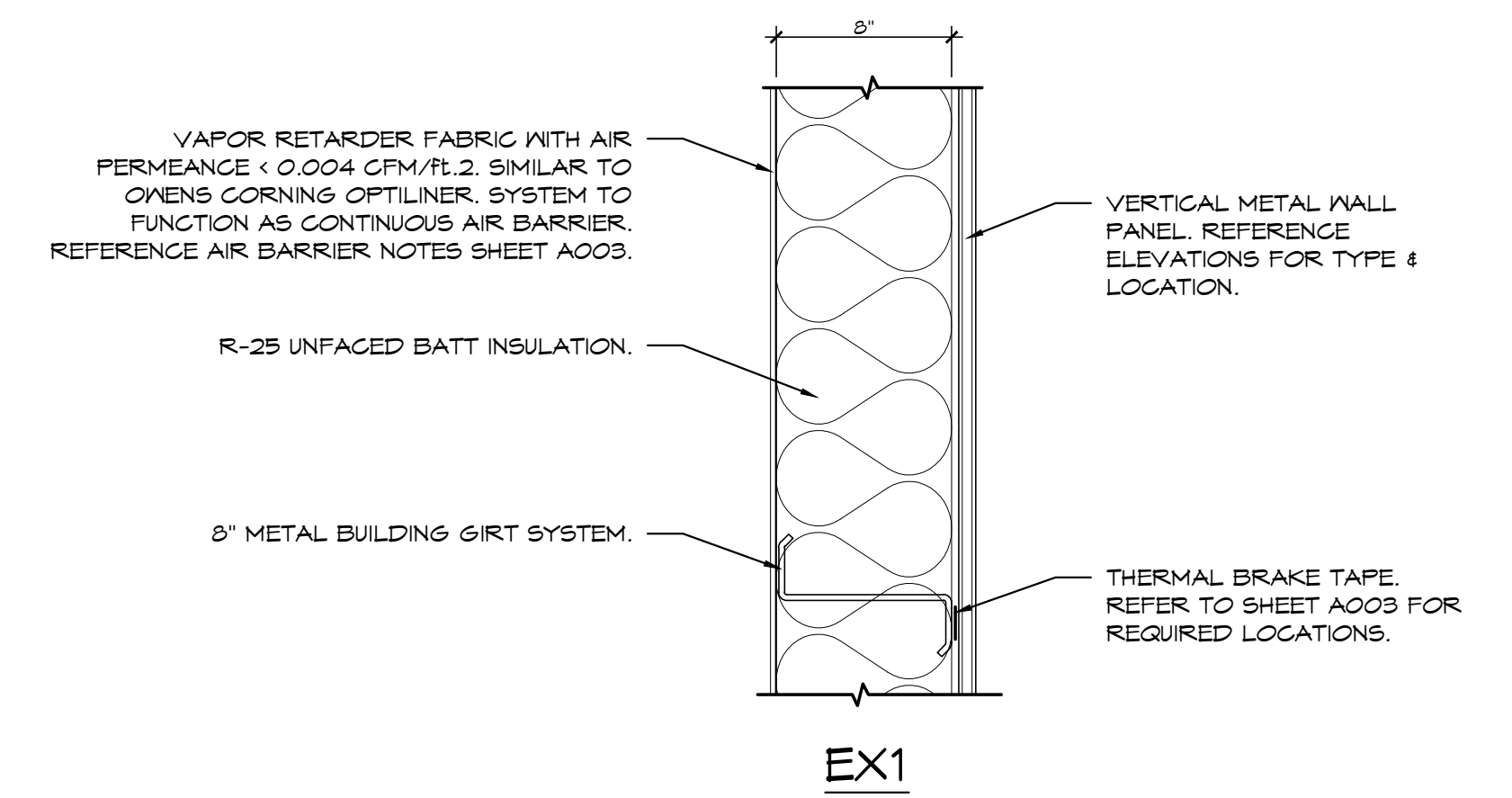


ROOF TYPE 1

ROOF TYPE "1" R-VALUE	
OUTSIDE AIR FILM	.17
TOP LAYER UNFACED BATT INSULATION	11
BOTTOM LAYER UNFACED BATT INSULATION	19
INSIDE AIR FILM	.68
TOTAL	30.05

ROOF TYPES

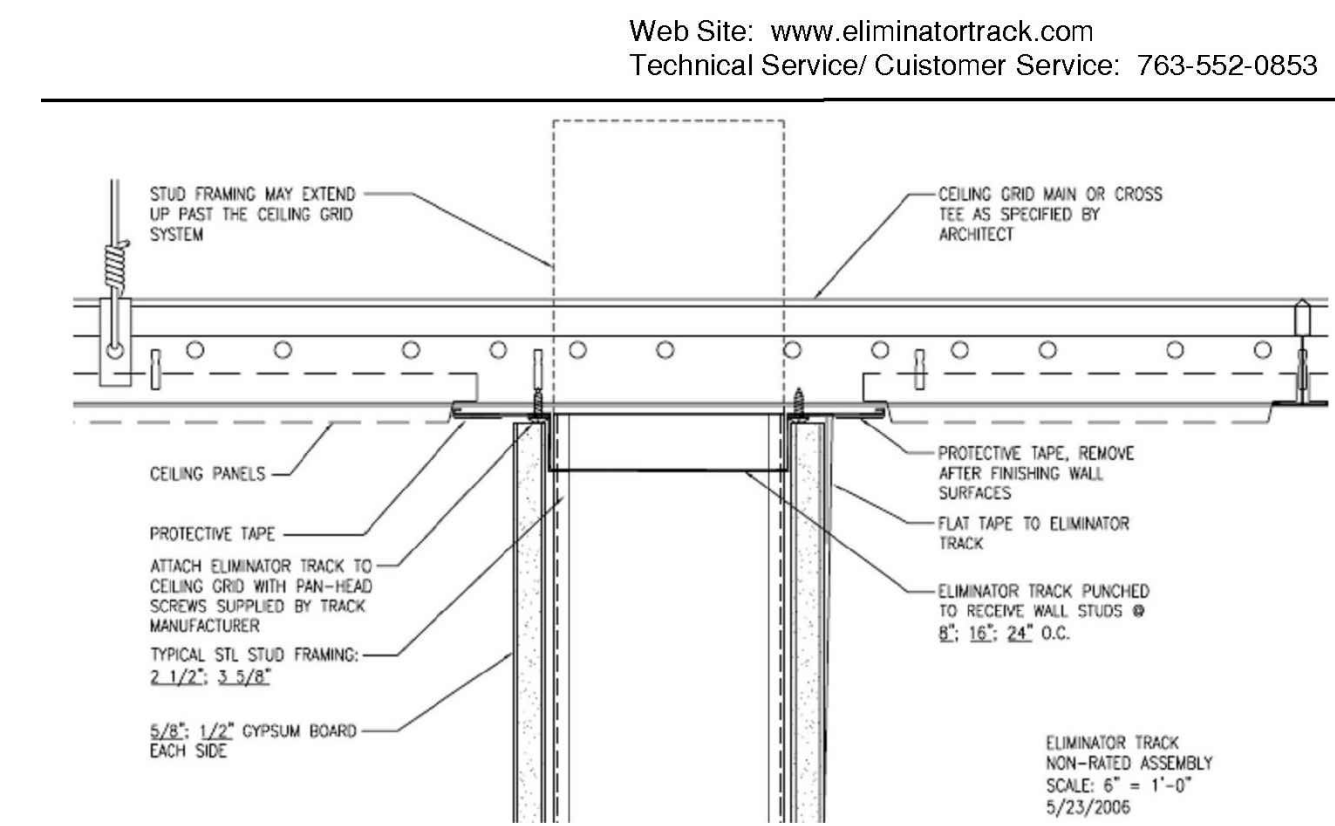
SCALE: 1 1/2" = 1'-0"



EX1 - R-VALUE	
OUTSIDE AIR FILM	.17
6" MB INSULATION	25
INSIDE AIR FILM	.68
TOTAL	25.05

EXTERIOR WALL TYPES

SCALE: 1 1/2" = 1'-0"



INTERIOR CEILING GRID DETAIL

SCALE: NTS

CONSULTANT

ARCHITECT

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317.910.1502

SCALE



SHEET TITLE

EXTERIOR WALL &
ROOF TYPES

REVISIONS

NO.	DESCRIPTION	DATE
1		

PROJECT NUMBER

171133

ISSUE STATUS

PERMIT SET

ISSUE DATE

02/20/2019

SHEET NO.

A001

CONDITIONS OF CONTRACT

The following Conditions of Contract are included as if bound with this document:

Owner Contractor Agreement:

- 1. AIA A101-1997, Stipulated Sum.

General Conditions:

- 1. AIA A201-1997, For Construction.

DIVISION 1 - GENERAL REQUIREMENTS

SECTION 01000 - PROJECT REQUIREMENTS

Permits:

- 1. Apply for, obtain, and pay for building permits, other permits, and utility company back charges required to perform the work. Submit copies to Architect.

Intent:

- 1. Drawings and specifications are intended to provide the basis for the proper completion of the Project suitable for the intended use of the Owner.
2. Items not expressly set forth but which are reasonably implied or necessary for the proper performance of this work shall be included.

Coordination:

- 1. Coordinate the work of all trades.
2. Verify location of utilities and existing conditions. Notify Architect of conditions differing from those indicated on the Drawings.
3. Verify dimensions on Drawings with dimensions at the Project. Do not scale Drawings.

Cutting and Patching:

- 1. Provide cutting and patching work to properly complete the Project.
2. Do not remove or alter structural components without written approval.
3. Cut with tools appropriate for materials to be cut.
4. Patch with materials and methods to produce patch which is not visible from a distance of five feet.
5. Do not cut and patch in a manner that would result in a failure of the work to perform as intended, decrease fire performance, decrease acoustical performance, decrease energy performance, decrease operational life, or decrease safety factors.

Field Engineering:

- 1. Verify and locate utilities and equipment.
2. Survey and layout improvements, utilities, structures, and components.

Project Meetings:

- 1. Arrange for a preconstruction conference prior to start of construction. Meeting shall be attended by Owner, Architect, Contractor, and major subcontractors.
2. Arrange for progress meetings twice a month during construction, prior to application for payment. Record minutes and distribute promptly.

Submittals:

- 1. Submit a project schedule and update at least monthly. Submit for approval all submittals listed in individual sections electronically.
2. Include details of construction and adjacent construction in shop drawings. Clearly indicate any deviations from requirements of the contract documents. Fabricate materials from approved shop drawings only.

Quality Assurance:

- 1. Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction, including accessibility guidelines where applicable. Submit copies of inspection reports, notices and similar documents to Architect.
2. Provide products of acceptable manufacturers which have been in satisfactory use in similar service for three years.
3. Use experienced installers. Furnish evidence of experience if requested.
4. Deliver, handle, and store materials in strict accordance with manufacturer's instructions.
5. Use of any supplier or subcontractor is subject to Owner's approval.
6. The owner will engage and pay for testing agencies as required. Refer to individual sections for additional requirements.

Temporary Facilities:

- 1. Provide temporary facilities and connections as required for the proper completion of the project.
2. Provide and maintain temporary utility services.
3. Meter and pay for utility service. Do not waste.
4. Provide temporary barricades as necessary to ensure protection of the public.

- 5. Provide suitable waste disposal units and empty regularly. Do not permit accumulation of trash and waste materials.
6. Provide temporary sanitary facilities.
7. Maintain egress within and around construction areas.
8. Provide fire extinguishers in work areas during construction.

Products and Substitutions:

- 1. Provide products and materials specified. Request Architect's selection of colors and accessories in sufficient time to avoid delaying progress of the work.
2. Requests for substitutions shall be submitted in writing, including reasons. Submit sufficient information for Architect to evaluate proposed substitution.
3. Remove and replace work which does not conform to the contract documents at no additional expense to the Owner.

Installation:

- 1. Inspect substrates and report unsatisfactory conditions in writing. Do not proceed until unsatisfactory conditions have been corrected.
2. Take field measurements prior to fabrication where practical. Form to required shapes and sizes with true edges, lines and angles. Provide inserts and templates as needed for work of other trades.
3. Install materials in exact accordance with manufacturer's instructions and approved submittals.
4. Restore units damaged during installation. Replace units which cannot be restored at no additional expense to the Owner.
5. Refer to additional installation requirements and tolerances specified under individual specification sections.

Closeout:

- 1. Prepare punchlist for remaining work for review by the Architect.
2. Complete punchlist items promptly at no additional expense to the Owner.
3. Submit accurate record documents of building and site.
4. Submit operating manuals, maintenance manuals, and warranty information.
5. Obtain and submit copy of occupancy permits.
6. Train Owner's personnel in use of building systems.
7. Remove temporary facilities and provide final cleaning and touch-up.
8. Restore portions of building, site improvements, landscaping and other items damaged by construction operations to the satisfaction of the Architect at no additional expense to the Owner.

SECTION 05500 - METAL FABRICATIONS

Summary:

- 1. Provide metal fabrications:
a. Handrails and railings.
2. Tolerances: Fabrication tolerance 1/8 inch in 10 feet, erection tolerance, 1/16 inch.

Submittals:

- 1. Submit product data, shop drawings.

Products:

- 1. Steel Plates, Shapes and Bars: ASTM A 36.
2. Steel Tubing: ASTM A 500 or A 501.
3. Steel Pipe, Black Finish: ASTM A 53.
4. Steel Finish: Primed.
5. Final Finish: To match canopy steel
1) 1st Coat: 5-1/4 Macropoxy 646-100 (applied at 5-10 mils DFT)
2) 2nd Coat: 5-1/4 Acrolon 100 MB Polyurethane Semi-Gloss (applied at 3-4 mils DFT)
3) 3rd Coat: 5-1/4 Acrolon 100 MB Polyurethane Semi-Gloss (applied at 3-4 mils DFT)
6. Fasteners: non-corrosive, suitable for service intended.
7. Zinc-Coating: Hot-dip galvanized coating for materials in exterior assemblies or exterior walls.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Comply with ASTM E 485 for handrail and railing structural performance.
3. Comply with AISC codes and specifications and with AWS Structural Welding Code.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

SECTION 07210 - BUILDING INSULATION

Summary:

- 1. Provide Building Insulation and Vapor Retarders:
a. Metal wall panel insulation - 6" mineral wool batt insulation with liner. Owens Corning Optiliner or equal. Min R-19.
b. Metal Building Roof Insulation & Liner System. Owens Corning Optiliner or equal. Provide 2 layers batt insulation. Min. R-19 bottom layer with R-11 top layer. See Energy Sheet for additional information regarding roof and wall insulation and moisture barrier.

Submittals:

- 1. Submit product data.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Install insulation and vapor barriers with continuous coverage to provide optimum performance.
3. Keep insulation dry at all times prior to and throughout installation.

SECTION 07411 - SCREW DOWN METAL ROOF PANELS

Summary:

- 1. Provide screw down metal roof panels.
2. Roofing Warranty: Manufacturer's Standard warranty covering both finish and weathertightness.

Submittals:

- 1. Submit product data, shop drawings, Manufacturer's standard warranty, and maintenance data.

Products:

- 1. Products: As selected by Architect complying with the following.
a. R-Panel Roofing.
b. Color to be selected by Architect with a min. 9-year aged SRI of 64.
2. Insulation: Refer to Section 07210 above.
3. Sheet Metal Accessories & Trim: SMACNA and NRCA recommendations.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Coordinate roofing installation with flashings and metal accessories to shed water properly.

SECTION 07421 - FORMED METAL WALL PANELS

Summary:

- 1. Provide metal wall panels. Refer to elevations for colors & patterns.

Submittals:

- 1. Submit product data, shop drawings, Manufacturer's standard warranty, and maintenance data.

Products:

- 1. Products: As selected by Architect to meet design intent illustrated in elevation drawings.
2. Sheet Metal Accessories & Trim: SMACNA and NRCA recommendations.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Coordinate roofing installation with flashings and metal accessories to shed water properly.

SECTION 07600 - FLASHING AND SHEET METAL

Summary:

- 1. Provide Standard Pre-engineered Building Flashing and Sheet Metal:
a. Metal counterflashing and base flashing.
b. Gutters and downspouts.
c. Exposed metal trim and fascia units.

Submittals:

- 1. Submit product data, samples, shop drawings.

Products:

- 1. Sheet Metal Flashing and Trim:
a. Manufacturer's standard to comply with metal wall and roof panels.
2. Fabricated units: Compliance with SMACNA Architectural Sheet Metal Manual.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Install flashing and sheet metal with provision for expansion and contraction.
3. Isolate dissimilar metals with bituminous coating.

SECTION 07900 - JOINT SEALERS

Summary:

- 1. Provide joint sealers at interior and exterior vertical and horizontal joints.

Submittals:

- 1. Submit product data, mockup of each joint type, adhesion test results for each joint type.

Products:

- 1. Metal Roof & Wall Panel Joints - As recommended by manufacturer to maintain all warranties.
2. Stonefront & Window Joints - As recommended by manufacturer to maintain all warranties.
3. All Other Exterior Locations - Tremco Spectrem 1
4. Interior Locations - Tremco TremFlex 834
5. Provide approved UL rated joint system at all penetrations in fire rated enclosures.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Test sealant adhesion for each substrate

- 3. Install in proper relation with adjacent work.
4. Clean adjacent surfaces soiled with sealant immediately.

DIVISION 8 - DOORS AND WINDOWS

SECTION 08110 - STEEL DOORS AND FRAMES

Summary:

- 1. Provide Steel Doors and Frames:
a. Exterior doors and Frames.

Submittals:

- 1. Submit product data, shop drawings.

Products:

- 1. Products: As selected by Architect complying with the following.
2. Standards: ANSI/SPI-100, Recommended Specifications for Standard Steel Doors and Frames.
3. Steel Doors: Standard seamless steel doors with hollow or composite construction.
a. Exterior Doors: ANSI/SPI-100, Grade III, extra-heavy-duty, minimum 16 gage galvanized sheet steel, 1-3/4 inches thick.
b. Finish: Factory primed and field painted.
4. Steel Frames:
a. Exterior Frames: Knockdown type.
b. Material: Galvanized sheet steel, mitered or coped corners.
1) 16 gage.
c. Accessories: Door silencers
d. Finish: Factory primed and field painted.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.

SECTION 08411 - ALUMINUM-FRAMED STOREFRONTS

Summary:

- 1. Provide Aluminum Entrances and Storefront:
a. Exterior entrance doors.
b. Frames for entrances.
c. Storefront-type framing system.
d. Sidelights.

Submittals:

- 1. Submit product data, shop drawings.

Products:

- 1. Products: As selected by Architect complying with the following.
2. Storefront system: US Aluminum Center Glaze IT451 system, 2" x 4-1/2" or equal glass and glazing. Single in doors.
3. Glass and Glazing: 1" Insulated Glazing in Storefront.
4. Glazing Color: Clear.
5. Door Hanging Devices: Hinges
6. Closers: Concealed
7. Closer Operation: Single acting closers.
8. Hardware: See Door Schedule for Hardware sets.
9. Aluminum Finish: TFD
10. Isolate dissimilar metals.

SECTION 08710 - DOOR HARDWARE

Summary:

- 1. Provide hardware for swinging doors.
2. Comply with code and accessibility requirements.

Submittals:

- 1. Submit product data, samples, proposed hardware schedule, maintenance data.

Products:

- 1. Products: As selected by Architect complying with the following.
2. Product Requirements:
a. Handicapped Accessibility: ANSI A117.1, ADAAG, and local requirements.
b. Materials and Application: ANSI A156 series standards.
c. Quality Level: Commercial.
3. Locksets and Latch sets: Cylinder type.
4. Lock cylinders: Interchangeable type.
5. Keying: Owner's requirements.
6. Hinges and Butts: Full-mortise type with nonremovable pins at exterior, entrance and security doors.
7. Closers: High frequency.
8. Closers: Barrier-free type.
9. Exit Devices: High frequency type.
10. Hardware Finish: Satin chrome.
11. Weatherstripping
12. Thresholds.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Comply with DHI "Recommended Locations for Builders' Hardware" and hardware manufacturer's instructions.
3. Refer to the door schedule for hardware sets.

DIVISION 9 - FINISHES

SECTION 09110 - PAINTING

Summary:

- 1. Provide painting and surface preparation for interior and exterior unfinished surfaces as scheduled.

Submittals:

- 1. Submit product data, samples, extra stock consisting of 1 unopened gallon of each type of paint used.

Products:

- 1. Products: As selected by Architect complying with the following.
2. Regulations: Compliance with VOC and environmental regulations.
3. First-line commercial-quality products for all coating systems.

Installation:

- 1. Comply with requirements of Section 01000 - Project Requirements.
2. Provide field-applied mock-ups of each color and finish selected on actual surfaces to be painted.
3. Test sample area for adhesion for each type of paint.
4. Sand before painting until smooth and flat and sand between coats.
5. Apply paint to achieve manufacturer's recommended dry film thicknesses.
6. Paint entire surface where patch painting is required.
7. Recoat areas which show bleed-through or defects.
8. Clean paint spatter from adjacent surfaces and glass.
9. Touch-up damaged surfaces at completion of construction.

Schedule:

- 1. Provide paint systems complying with the following schedule. Products by Sherwin Williams.
2. Canopy Framing Metal:
a. Glass:
1) Semi
b. System:
1) 1st Coat: 5-1/4 Macropoxy 646-100 (applied at 5-10 mils DFT)
2) 2nd Coat: 5-1/4 Acrolon 100 MB Polyurethane Semi-Gloss (applied at 3-4 mils DFT)
3) 3rd Coat: 5-1/4 Acrolon 100 MB Polyurethane Semi-Gloss (applied at 3-4 mils DFT)

SECTION 10522 - FIRE EXTINGUISHERS

Summary:

- 1. Provide fire extinguishers
a. Fire extinguishers.

Submittals:

- 1. Submit product data.

Products:

- 1. Products: As selected by Architect complying with the following. Temporary fire extinguishers will be installed in the unleased spaces until leased. Tenant will be responsible for final lease space location and type.
2. Standards: UL and FM listed products.
3. Fire Extinguishers:
a. Type: Multipurpose dry chemical.
b. Rating: Sized for project requirements.

Installation:

- 4. Comply with requirements of Section 01000 - Project Requirements

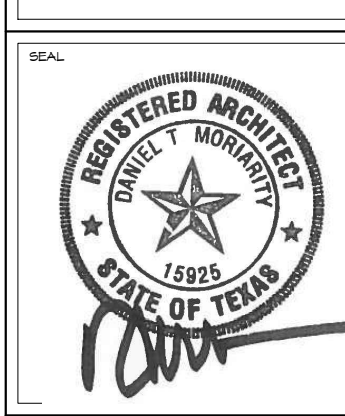
ARCHITECTURAL SPECIFICATIONS

SCALE: NTS

ATEX ROOFING AND REMODELING
SAN ANTONIO, TEXAS

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ARCHITECTURAL SPECIFICATIONS

Table with 3 columns: REVISION, DESCRIPTION, DATE

PROJECT NUMBER: 17193

ISSUE STATUS: PERMIT SET

ISSUE DATE: 02/20/2019

SHEET NO: A002

ENERGY CODE SUMMARY NOTES:

- METHOD OF ENERGY COMPLIANCE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH LOCAL AMENDMENTS FOR NEW CONSTRUCTION OF COMMERCIAL BUILDINGS.
- SUB-COMPLIANCE METHOD: PRESCRIPTIVE PATH PER IECC 2015 SECTIONS C402 - C406 WITH U-FACTOR CALCULATIONS.
- PER IECC SECTION C402, THE FOLLOWING ADDITIONAL EFFICIENCY PACKAGE WILL BE PROVIDED:
REDUCED INTERIOR LIGHTING POWER. REFERENCE MEP ENERGY SUMMARY SHEET.
- PROJECT LOCATION: SAN ANTONIO, TEXAS
- CLIMATE ZONE: 2A

VERTICAL GLAZING / WALL AREA:

BUILDING 1:
TOTAL GLAZING (515 SF) / TOTAL WALL AREA (10,805 SF) = .047%

BUILDING 2:
TOTAL GLAZING (88 SF) / TOTAL WALL AREA (10,805 SF) = .008%

ARCHITECTURAL ENERGY SUMMARY

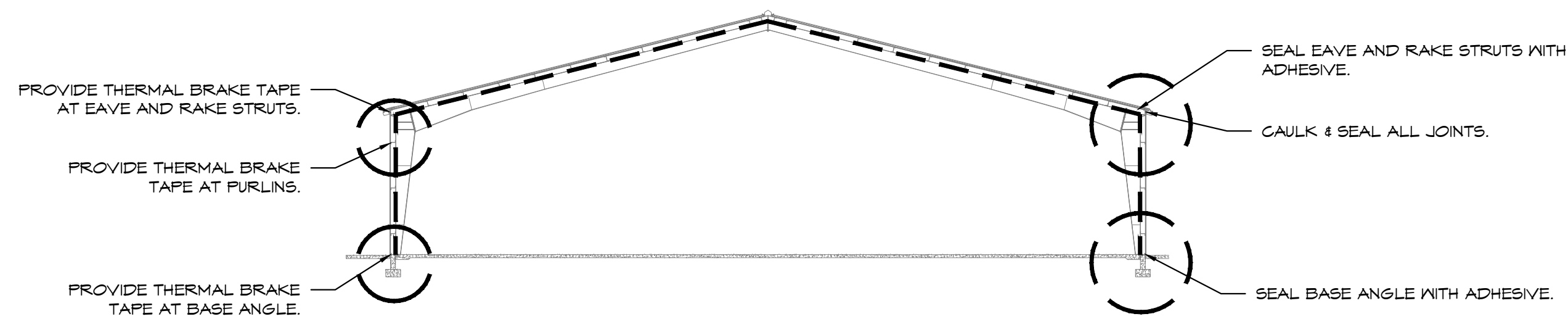
ASSEMBLY:	GROSS AREA: (SF)	CAVITY R-VALUE:	CONT. R-VALUE:	TOTAL R-VALUE:	U-FACTOR (1/R-VALUE):	TIME OF INSTALLATION: SHELL BUILDING PHASE / FUTURE IFO	SPECIAL REQUIREMENTS / REF. SECTION
ROOF TYPE 1 TYPE: METAL BUILDING, SCREEN DOWN INSULATION: DOUBLE LAYER UNFACED BATT	14,060	--	--	--	.044	<input checked="" type="checkbox"/> <input type="checkbox"/>	HIGH ALBEDO ROOF REQUIRED. MINIMUM INITIAL SOLAR REFLECTANCE OF .95 OR A MINIMUM SOLAR REFLECTANCE INDEX OF 28 PER LOCAL AMENDMENTS AND C402.9. REFERENCE ROOF TYPES SHEET A001.
EXTERIOR WALL 1 TYPE: METAL BUILDING WALL INSULATION: DOUBLE LAYER UNFACED BATT	10,805	--	--	--	.057	<input checked="" type="checkbox"/> <input type="checkbox"/>	REFERENCE EXTERIOR WALL TYPES SHEET A001.
SLAB TYPE: CONCRETE SLAB ON GRADE INSULATION: NOT REQUIRED (NR)	14,385	NR	NR	NR	NR	<input checked="" type="checkbox"/> <input type="checkbox"/>	REFERENCE FLOOR TYPES SHEET A001.
WINDOW 1 TYPE: ALUMINUM STOREFRONT (INCLUDES DOORS, SIDE LITES, AND SQUARE FIXED WINDOWS) LOCATION: EXTERIOR WALL 1	BLDG 1 515 BLDG 2 88	--	--	--	.34	<input checked="" type="checkbox"/> <input type="checkbox"/>	MAXIMUM U-FACTOR AND SHGC REQUIRED PER C402.4. MAXIMUM U-FACTOR: .50 (FIXED WINDOWS), .83 (ENTRANCE DOORS). MAXIMUM SHGC: .25 (ALL SOUTH, EAST OR WEST FACING FENESTRATION).
DOOR 1 TYPE: INSULATED METAL OVERHEAD DOORS LOCATION: EXTERIOR WALL 1	BLDG 1 728 BLDG 2 504	--	--	--	.21	<input checked="" type="checkbox"/> <input type="checkbox"/>	MINIMUM R-VALUE OF 4.75. REFERENCE DOOR SCHEDULE SHEET A601.
DOOR 3 TYPE: INSULATED METAL LOCATION: EXTERIOR WALL 1	BLDG 1 72 BLDG 2 0	--	--	--	.36	<input checked="" type="checkbox"/> <input type="checkbox"/>	MINIMUM R-VALUE OF 2.75. REFERENCE DOOR SCHEDULE SHEET A601.

AIR BARRIER NOTES

- A CONTINUOUS AIR BARRIER IN COMPLIANCE WITH IECC C402.5 SHALL BE PROVIDED THROUGHOUT THE BUILDING THERMAL ENVELOPE.
- AIR BARRIER JOINTS AND SEAMS SHALL BE SEALED PER C402.5.1.1.
- VAPOR RETARDER FABRIC SIMILAR TO OVENS CORNING OPTILINER TO FUNCTION AS CONTINUOUS AIR BARRIER IN ACCORDANCE WITH SECTION C402.5.1.2.1 AND MANUFACTURER'S RECOMMENDED INSTALLATION.

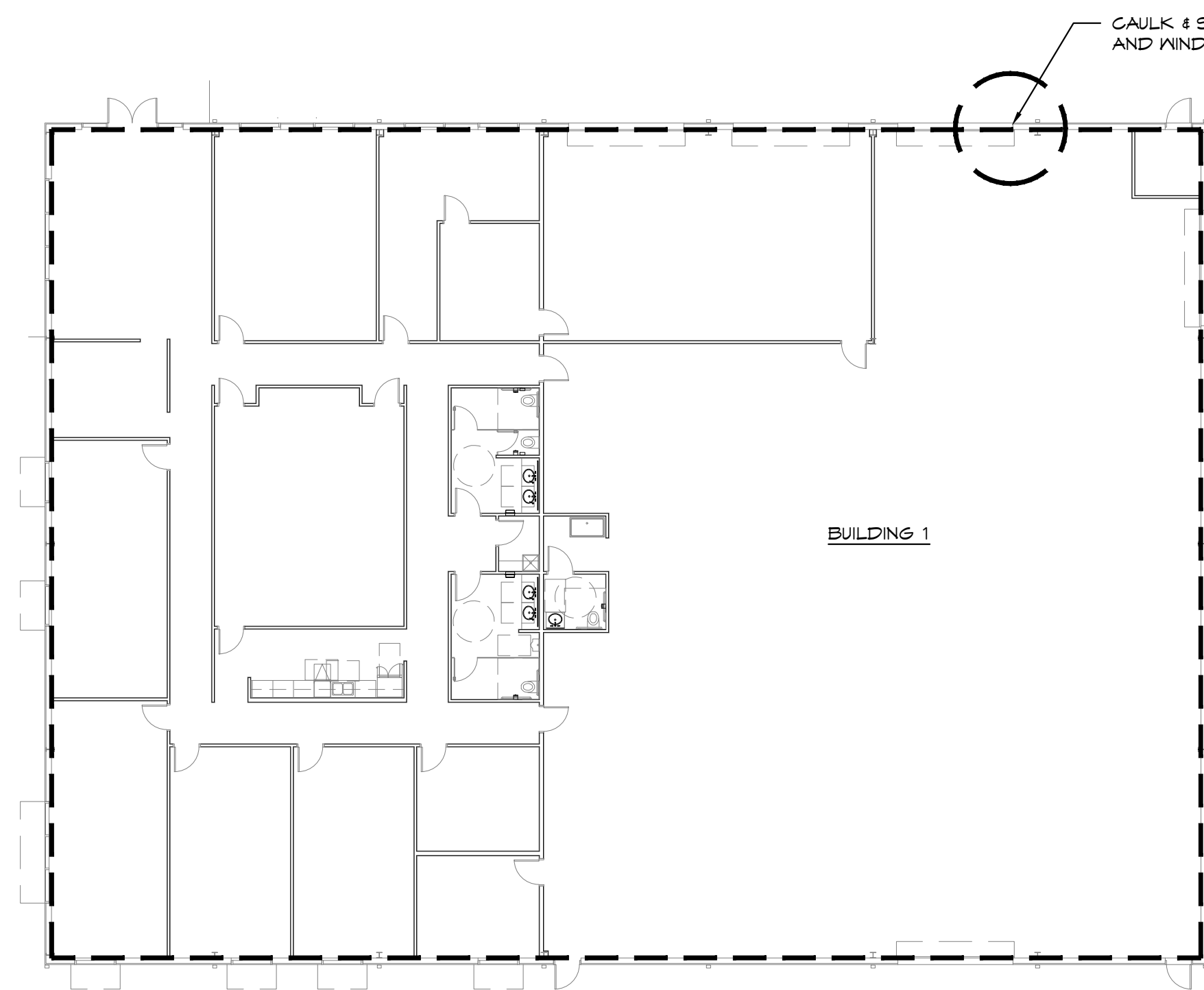
AIR BARRIER DIAGRAM LEGEND

--- LOCATION OF CONTINUOUS AIR BARRIER PER IECC C402.5



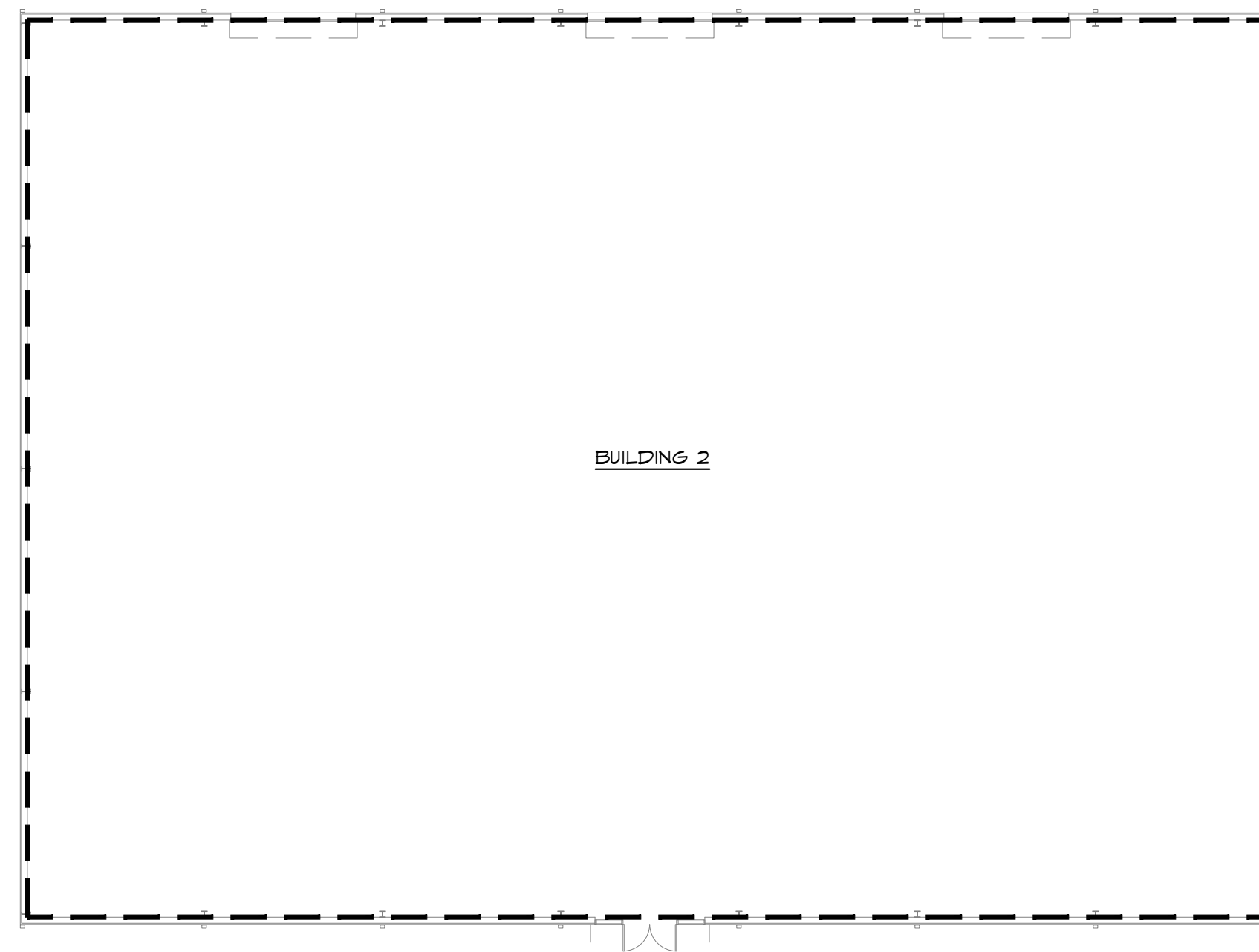
AIR BARRIER SECTION DIAGRAM

1
A003 SCALE: 1/16" = 1'-0"



AIR BARRIER PLAN DIAGRAM

2
A003 SCALE: 1/16" = 1'-0"



ATEX ROOFING AND REMODELING
SAN ANTONIO, TEXAS

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317.910.1502

SEAL



SHEET TITLE

ENERGY CODE SUMMARY

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER

17193

ISSUE STATUS

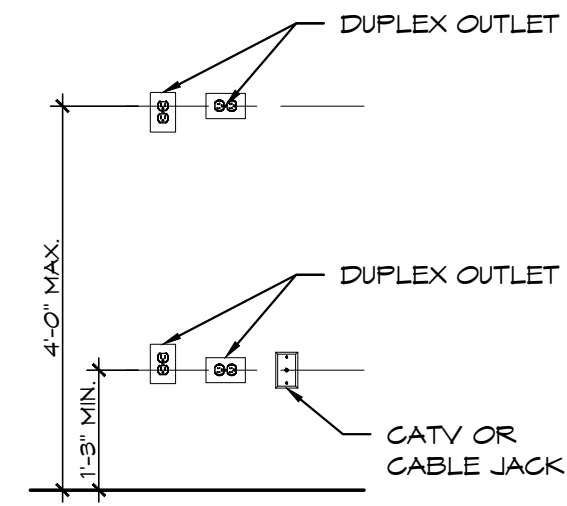
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ISSUE DATE

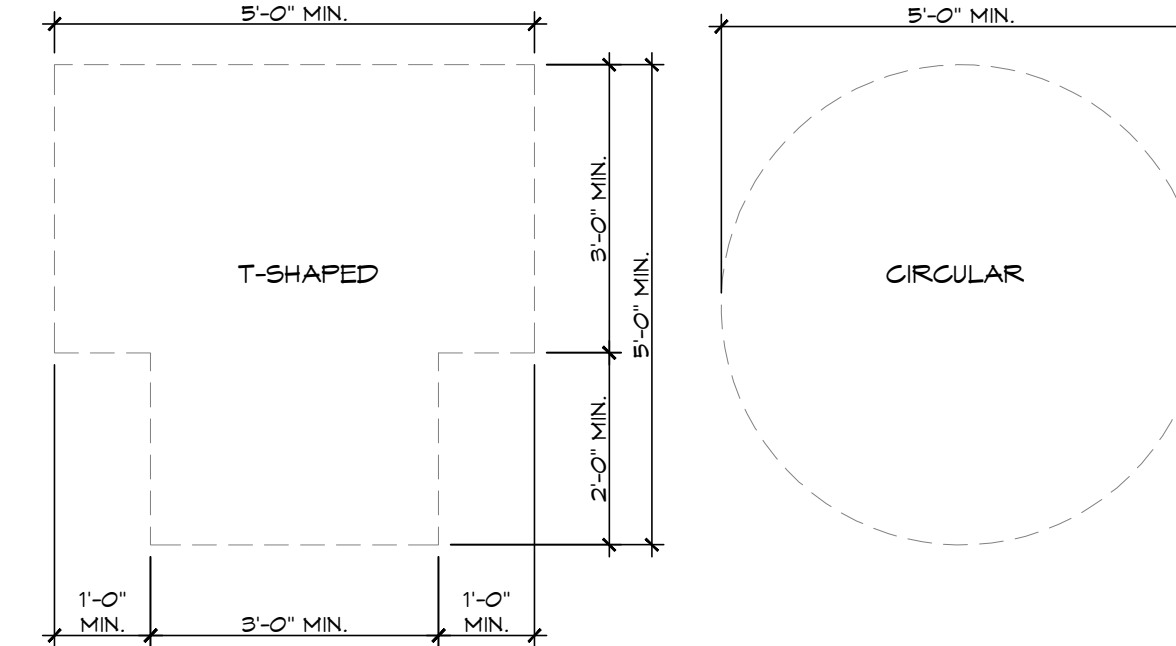
02/20/2019

SHEET NO.

A003



NOTE:
MOUNTING HEIGHTS ARE OBSTRUCTED AND
NON-OBSTRUCTED REACH REQUIREMENTS
AS OUTLINED IN TAS SECTION 303 & 304.



NOTE:
ALL ACCESSIBLE ROOMS SHALL PROVIDE A
TURNING SPACE, T-SHAPED OR CIRCULAR, IN
ACCORDANCE WITH TAS SEC. 304.

APPLICABLE CODES

1. TEXAS ACCESSIBILITY STANDARDS (TAS)
2. 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

ACCESSIBILITY NOTES

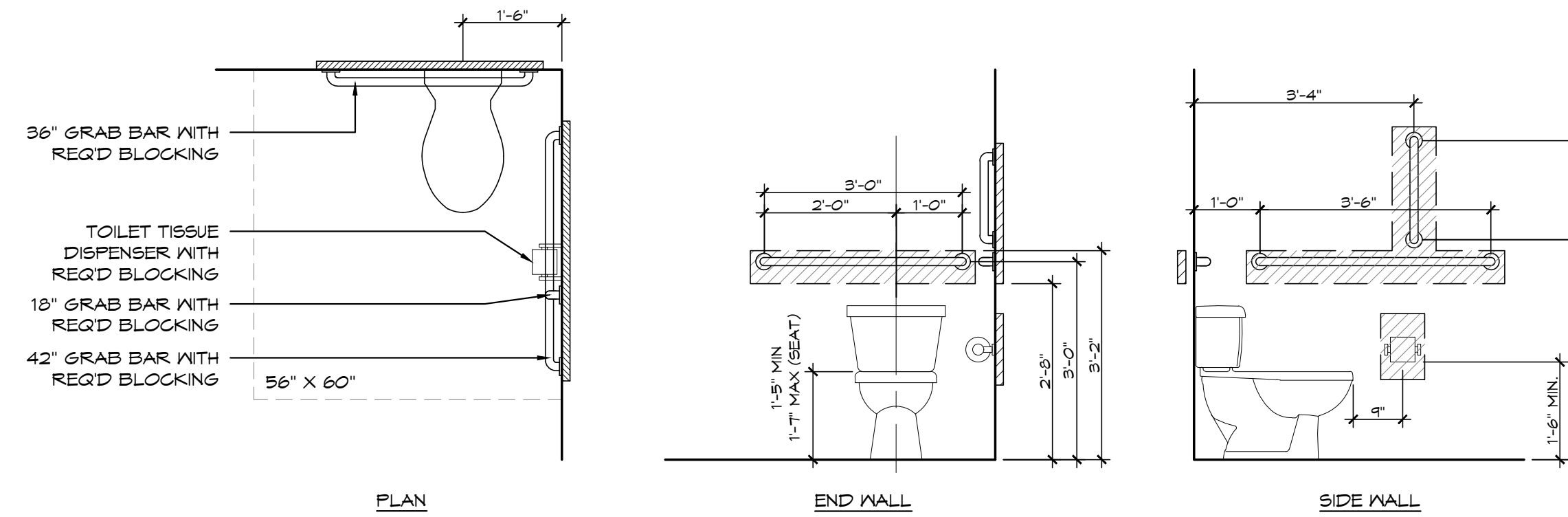
2. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CODES AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THESE NOTES ARE CONTRADICTORY TO THE ACTUAL CONSTRUCTION.
3. PROJECT SPECIFIC ACCESSIBILITY REQUIREMENTS NOT SHOWN ON THIS PAGE WILL BE INDICATED AS NEEDED THROUGHOUT THE DRAWINGS.
4. REFERENCE CIVIL DRAWINGS FOR ACCESSIBLE SITE INFORMATION.
5. GRAPHIC DEPICTION OF ACCESSORIES SHOWN ON THIS PAGE ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFERENCE ACCESSORY SCHEDULES AND PLAN NOTES FOR SPECIFIC TYPES.
6. WHERE MINIMUM AND MAXIMUM DIMENSIONS ARE SHOWN, LOCATE PER MANUFACTURER'S RECOMMENDATION FOR BARRIER FREE INSTALLATION.
7. ALL TACTILE SIGNS TO BE DESIGNED AND INSTALLED TO MEET REQUIREMENTS OF TAS SECTION 103.
8. CLEAR FLOOR SPACE AT DOORS TO COMPLY WITH TAS SECTION 404.

1 MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"

2 TURNING SPACE

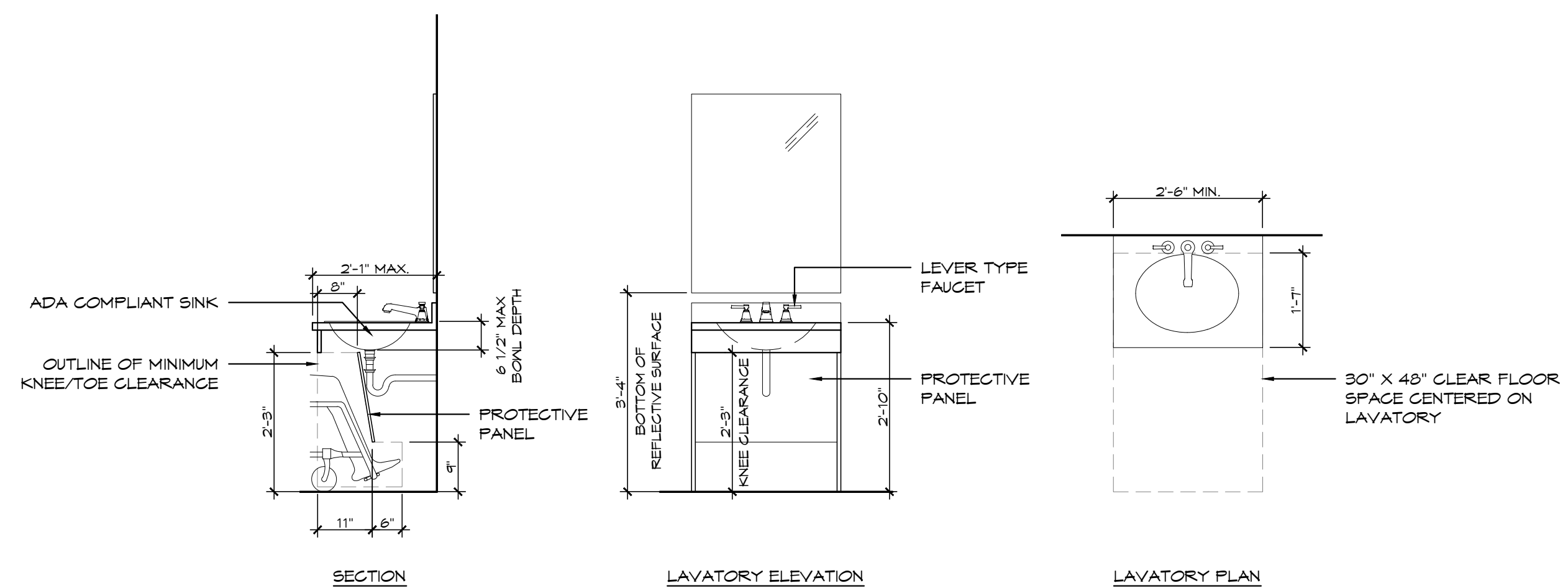
SCALE: 1/2" = 1'-0"



NOTES:
1. ACCESSIBLE WATER CLOSETS TO MEET
TAS SECTION 604.
2. GRAB BARS SHALL COMPLY WITH
SECTION 609.
3. FLUSH CONTROLS TO BE LOCATED ON
THE OPEN SIDE OF THE WATER CLOSE.

3 ACCESSIBLE WATER CLOSETS

SCALE: 1/2" = 1'-0"



NOTES:
1. ACCESSIBLE LAVATORIES SHALL
COMPLY WITH TAS SECTION 606.
2. KNEE/TOE CLEARANCE SHALL COMPLY
WITH TAS SECTION 306.
3. EXTEND FLOORING UNDER LAVATORY
CASEWORK.

4 ACCESSIBLE LAVATORIES

SCALE: 1/2" = 1'-0"



SHEET TITLE
ACCESSIBILITY
DETAILS

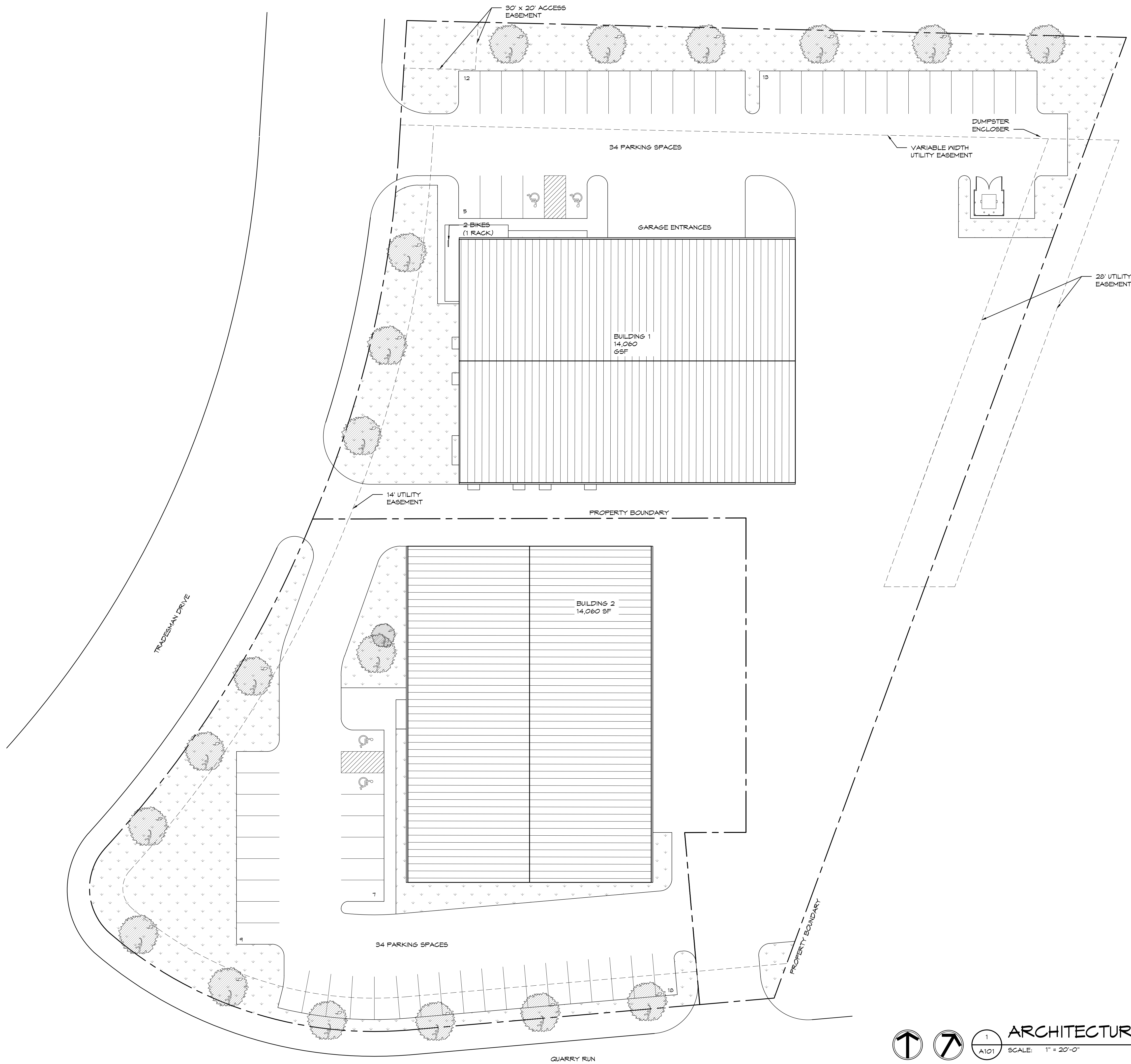
REVISION	DESCRIPTION	DATE
1		

PROJECT NUMBER
171133

ISSUE STATUS
PERMIT SET

ISSUE DATE
02/20/2019

SHEET NO.
A004

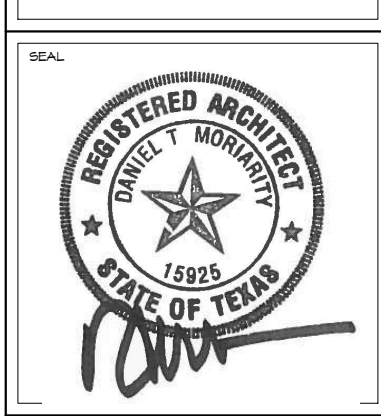


SITE AREA: 116,016 SF (2.66 ACRES)
 GROSS BUILDING AREA:
 BUILDING 1: 14,060 SF
 BUILDING 2: 14,060 SF
 TOTAL: 28,120 SF
 IMPERVIOUS SITE AREA: 43,121 SF (37.1%)
 GREEN SPACE: 22,284 SF (19.2%)
 PARKING:
 64 TOTAL PARKING SPACES
 4 ACCESSIBLE SPACES PROVIDED
 ZONING: C-3 ERZD & L ERZD
 SETBACK REQUIREMENTS (PLAN NORTH):
 C-3 (GENERAL COMMERCIAL DISTRICT):
 FRONT MIN = NA
 FRONT MAX = NA
 SIDE MIN = 30'
 REAR MIN = 30'
 HEIGHT MAX = 35'
 L (LIGHT INDUSTRIAL DISTRICT):
 FRONT MIN = 25'
 FRONT MAX = NA
 SIDE MIN = 30'
 REAR MIN = 30'
 HEIGHT MAX = 35'

ATEX ROOFING AND REMODELING
 SAN ANTONIO, TEXAS

CONSULTANT

ARCHITECT
STUDIO M
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 317.910.1502



SHEET TITLE
 ARCHITECTURAL
 SITE PLAN

REVISION	DESCRIPTION	DATE
1		

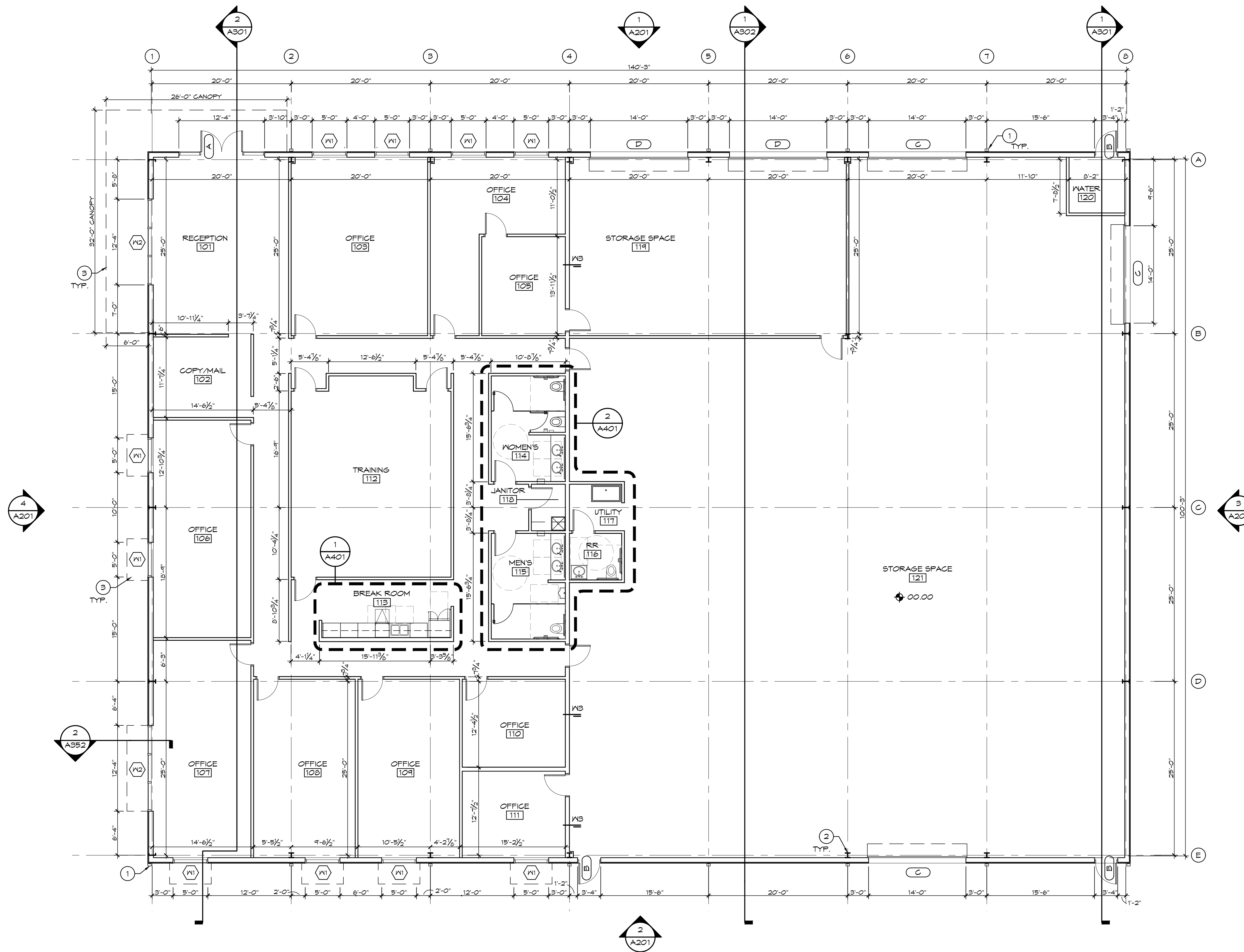
PROJECT NUMBER
17193

ISSUE STATUS
PERMIT SET

ISSUE DATE
02/20/2019

SHEET NO.
A101

PLAN NORTH
 TRUE NORTH
 1" = 20'-0"
ARCHITECTURAL SITE PLAN



BLDG 1- FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 PLAN NORTH
 TRUE NORTH

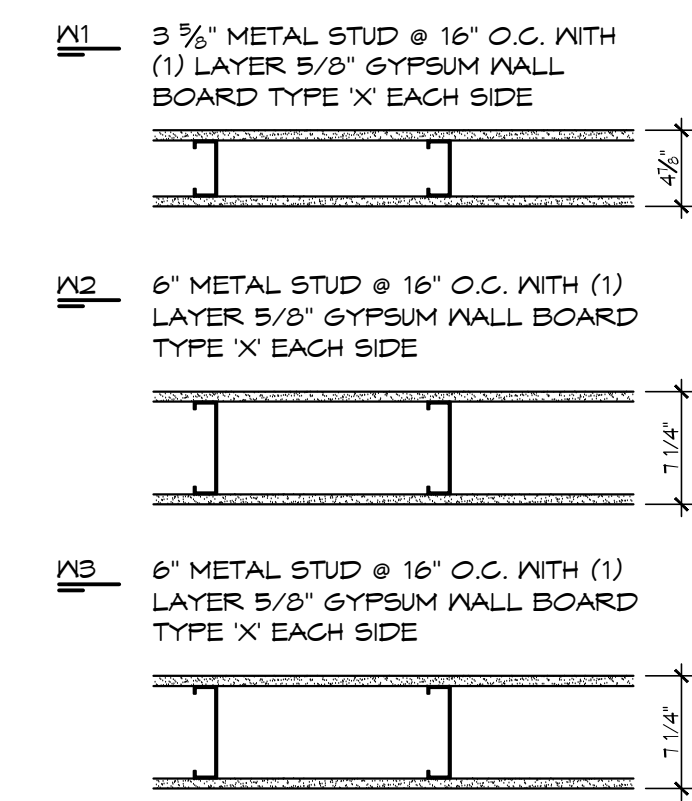
GENERAL NOTES

- A. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF STEEL OR OPENING TO CENTERLINE OF COLUMN.
- B. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO CENTERLINE OF COLUMN.
- C. ALL WORK IS TO BE COMPLETED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND STANDARDS, INCLUDING, BUT NOT LIMITED TO THE CODES LISTED ON THE TITLE SHEET.
- D. REFER TO A001 FOR EXTERIOR WALL TYPE AND ROOF TYPE DESIGNATIONS.
- E. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURES LIMIT HEIGHT.
- F. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT.
- G. ALL INTERIOR WALLS TO BE "M" U.N.O.

PLAN NOTES

- ① ALUMINUM DOWNSPOUT. SIZE PER MANUFACTURER'S RECOMMENDATION. REFERENCE ARCHITECTURAL ELEVATIONS.
- ② STRUCTURAL COLUMN. REFERENCE STRUCTURAL DRAWINGS, TYPICAL.
- ③ CANOPY ABOVE. 3'-0" x 6'-0" ABOVE TYPE M1 WINDOWS WHERE SHOWN ON PLANS. REFERENCE PLANS FOR ENTRANCE CANOPY DIMENSIONS.

INTERIOR WALL TYPES



M3 FRAMING NOTES:
 WALL EXTENDS TO DECK. REFERENCE SECTION X/XXX/
 PROVIDE 600S250-54 STUDS @ 12" O.C. W/ 600T150-68 TOP AND BOTTOM TRACK.
 PROVIDE CONTINUOUS HORIZONTAL CHANNEL TYPE BRIDGING AT 48" O.C VERTICALLY. USE 14 GAGE DEFLECTION TRACK AT TOP.

ATEX ROOFING AND REMODELING
 SAN ANTONIO, TEXAS

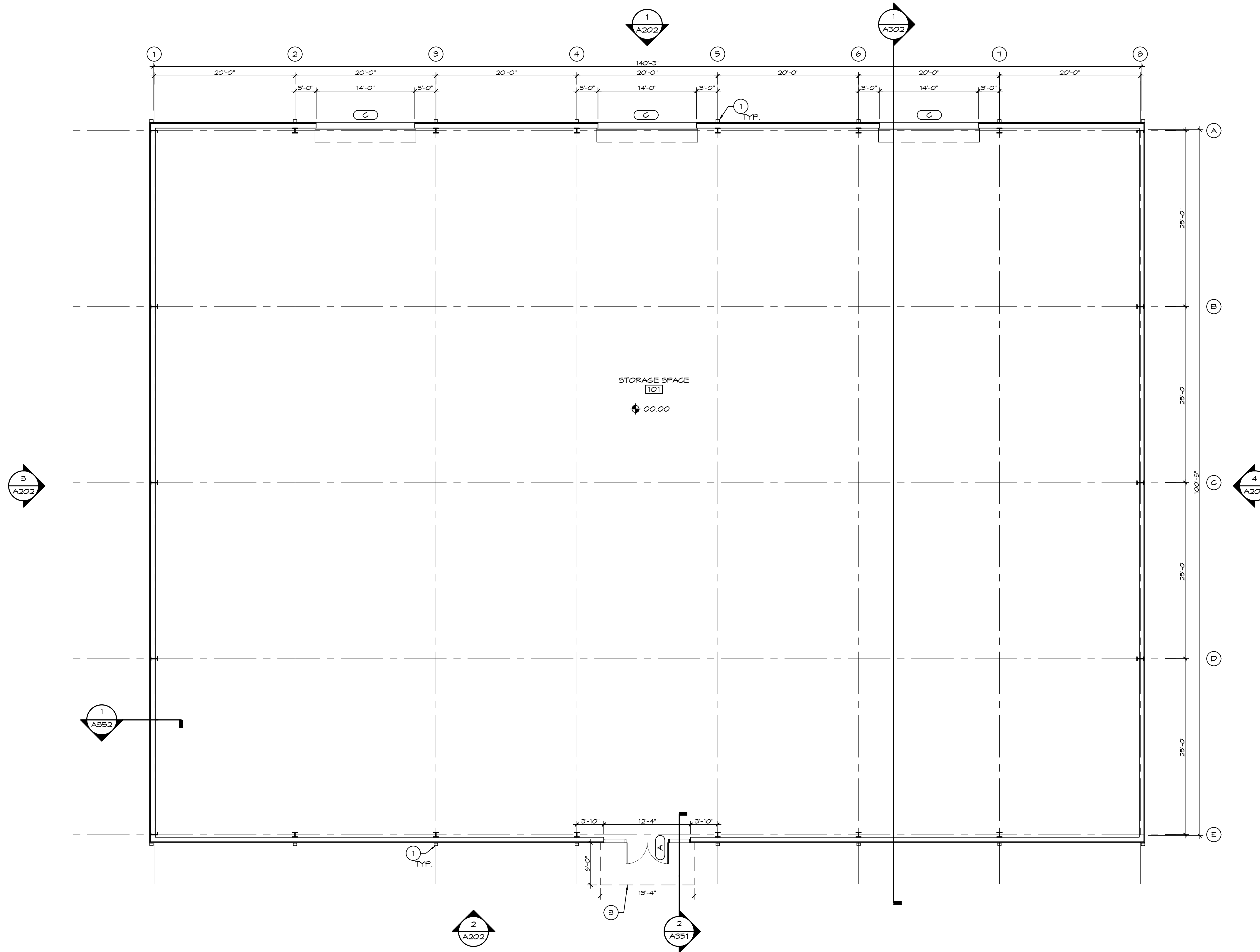
CONSULTANT

ARCHITECT

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 317.910.1502



SHEET TITLE	
BUILDING 1 FIRST FLOOR PLAN	
REVISIONS	DATE
1	DESCRIPTION
PROJECT NUMBER	
171193	
ISSUE STATUS	
PERMIT SET	
ISSUE DATE	
02/20/2019	
SHEET NO.	
A110	



1
A111

BLDG 2 - FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. ALL EXTERIOR DIMENSIONS ARE FROM FACE OF STEEL OR OPENING TO CENTERLINE OF COLUMN.
- B. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO CENTERLINE OF COLUMN.
- C. ALL WORK IS TO BE COMPLETED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, RULES, REGULATIONS, AND STANDARDS, INCLUDING, BUT NOT LIMITED TO THE CODES LISTED ON THE TITLE SHEET.
- D. REFER TO A001 FOR EXTERIOR WALL TYPE AND ROOF TYPE DESIGNATIONS.
- E. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURERS LIMIT HEIGHT.
- F. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCE AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT.
- G. ALL INTERIOR WALLS TO BE "W1" U.N.O.

PLAN NOTES

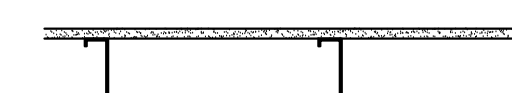
- ① ALUMINUM DOWNSPOUT. SIZE PER MANUFACTURER'S RECOMMENDATION. REFERENCE ARCHITECTURAL ELEVATIONS.
- ② STRUCTURAL COLUMN. REFERENCE STRUCTURAL DRAWINGS, TYPICAL.
- ③ CANOPY ABOVE. 3'-0" x 6'-0" ABOVE TYPE W1 WINDOWS WHERE SHOWN ON PLANS. REFERENCE PLANS FOR ENTRANCE CANOPY DIMENSIONS.

INTERIOR WALL TYPES

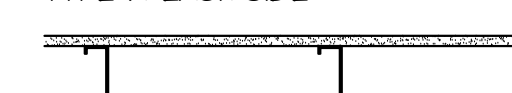
W1 3 1/2" METAL STUD @ 16" O.C. WITH (1) LAYER 5/8" GYPSUM WALL BOARD TYPE 'X' EACH SIDE



W2 6" METAL STUD @ 16" O.C. WITH (1) LAYER 5/8" GYPSUM WALL BOARD TYPE 'X' EACH SIDE



W3 6" METAL STUD @ 16" O.C. WITH (1) LAYER 5/8" GYPSUM WALL BOARD TYPE 'X' EACH SIDE



W3 FRAMING NOTES: WALL EXTENDS TO DECK. REFERENCE SECTION X/XXX/

PROVIDE 600S250-54 STUDS @ 12" O.C. W/ 600T150-68 TOP AND BOTTOM TRACK.

PROVIDE CONTINUOUS HORIZONTAL CHANNEL TYPE BRIDGING AT 48" OC VERTICALLY. USE 14 GAGE DEFLECTION TRACK AT TOP.

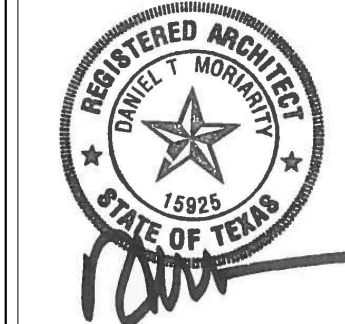
ATEX ROOFING AND REMODELING
 SAN ANTONIO, TEXAS

CONSULTANT

ARCHITECT

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 2 WEST MAIN ST. CARMEL, IN 46032
 317.810.1502

SEAL



SHEET TITLE

BUILDING 2
FIRST FLOOR PLAN

REVISIONS

NO.	DESCRIPTION	DATE
1		

PROJECT NUMBER

171133

ISSUE STATUS

PERMIT SET

ISSUE DATE

02/20/2019

SHEET NO.

A111



BLDG 1- FIRST FLOOR RCP
 SCALE: 1/8" = 1'-0"

A TEX ROOFING AND REMODELING
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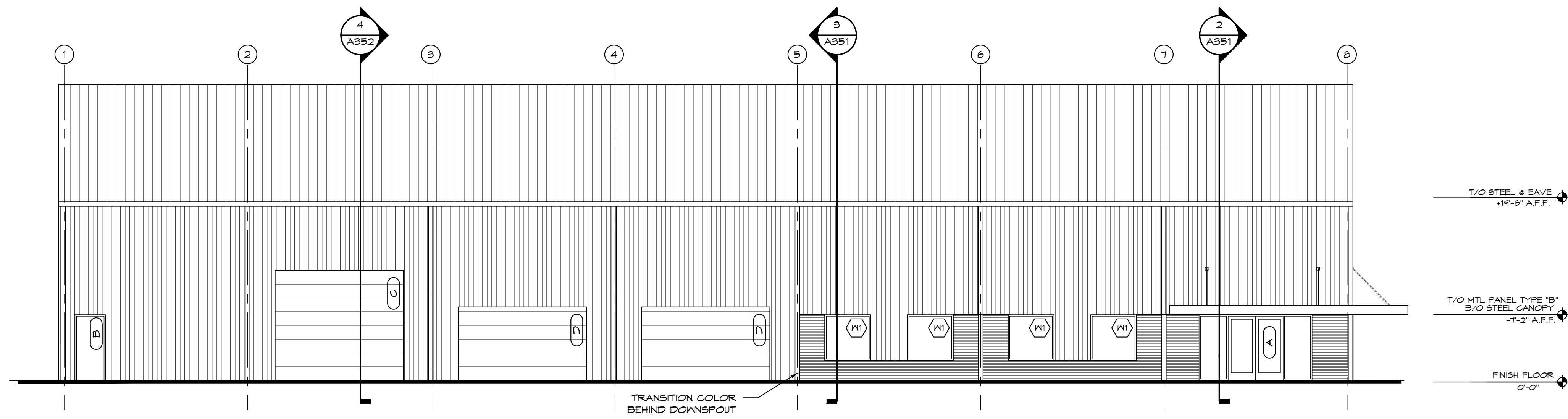
SHEET TITLE
**BUILDING 1
 REFLECTED CEILING
 PLAN**

REVISIONS	DESCRIPTION	DATE
1		

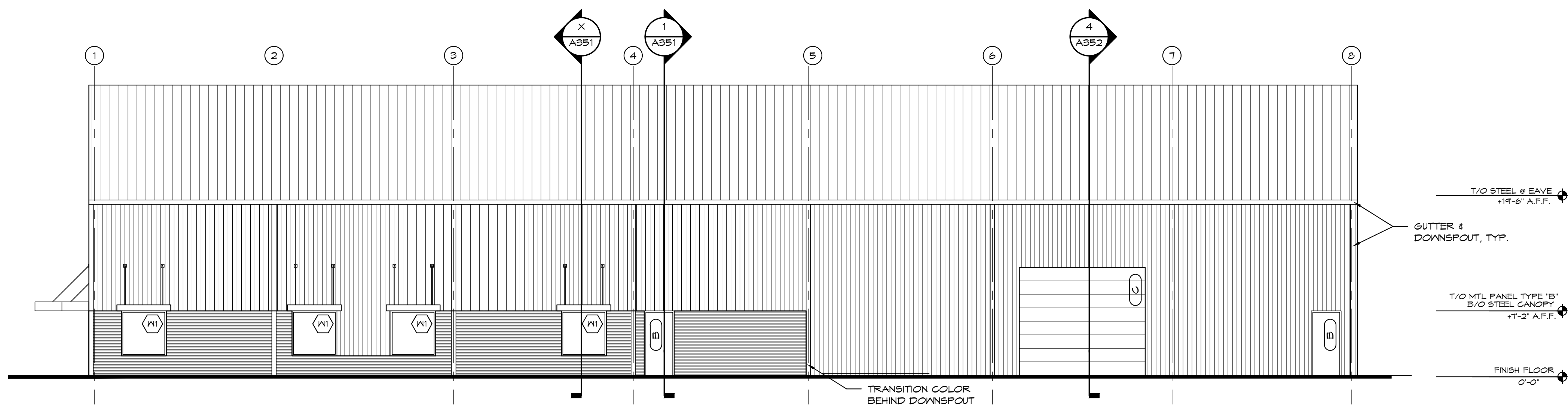
PROJECT NUMBER: 171133
 ISSUE STATUS: PERMIT SET
 ISSUE DATE: 02/20/2019
 SHEET NO: **A151**

EXTERIOR FINISH SCHEDULE

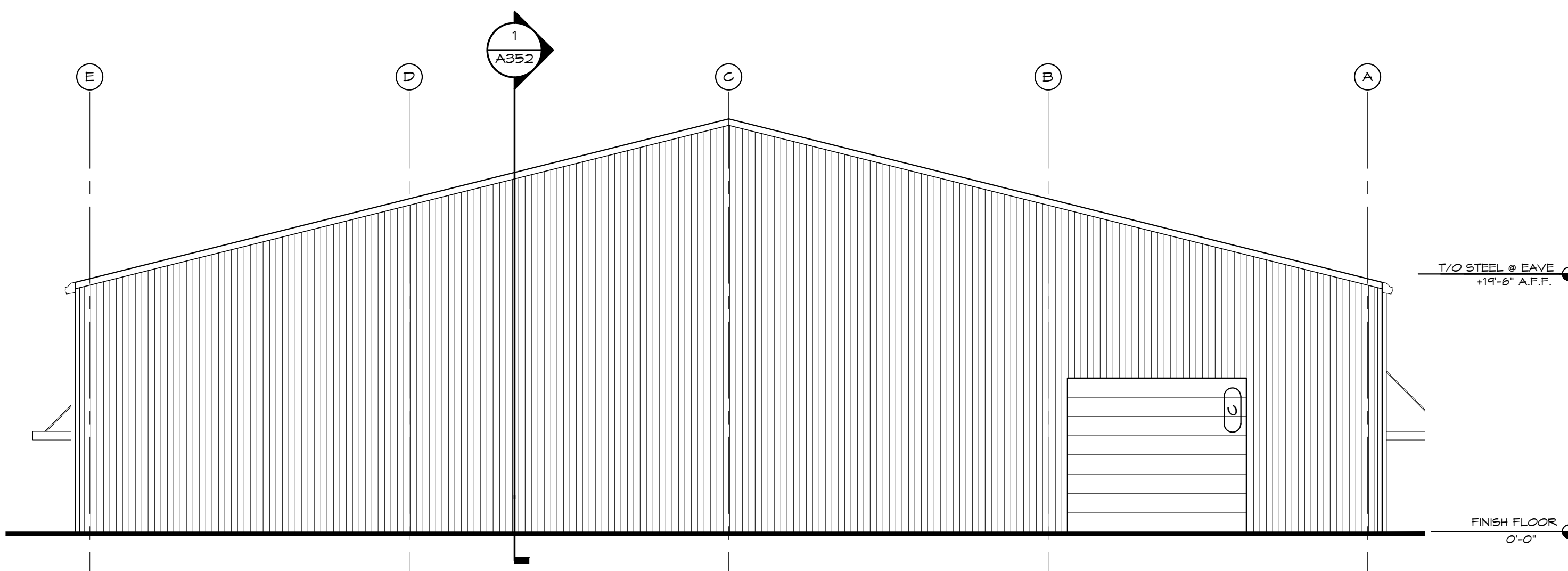
-  STANDING SEAM METAL ROOF
COLOR: TBD
 -  VERTICAL METAL PANEL TYPE "A"
COLOR: TBD
 -  VERTICAL METAL PANEL TYPE "B"
COLOR: TBD
 -  PRE-FINISHED STEEL CANOPIES
COLOR: TBD
 -  ALUMINUM STOREFRONT
COLOR: TBD
 -  GUTTERS & DOWNSPOUTS & TRIM
COLOR: TBD
- NOTE: ARCHITECT TO APPROVE ALL FINAL COLOR SELECTIONS.



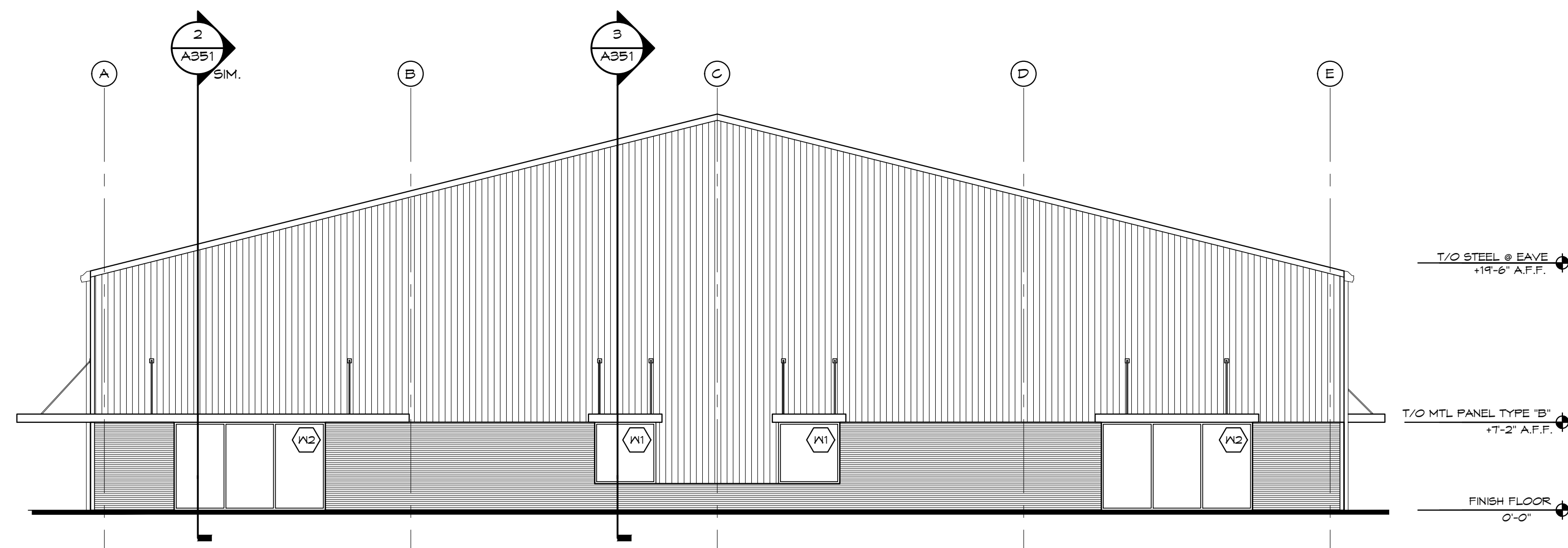
1 BLDG 1 - NORTH ELEVATION
A201 SCALE: 1/8" = 1'-0"



2 BLDG 1 - SOUTH ELEVATION
A201 SCALE: 1/8" = 1'-0"



3 BLDG 1 - EAST ELEVATION
A201 SCALE: 1/8" = 1'-0"

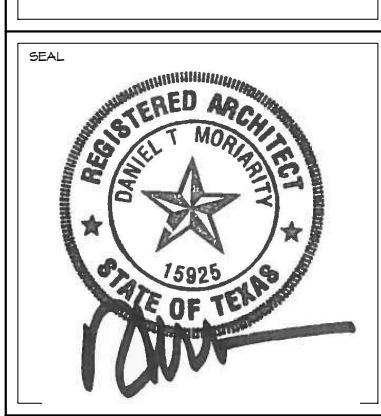


4 BLDG 1 - WEST ELEVATION
A201 SCALE: 1/8" = 1'-0"

ATEX ROOFING AND REMODELING
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317.910.1502



SHEET TITLE
BUILDING 1 ELEVATIONS

REVISION	DESCRIPTION	DATE
1		







PROJECT NUMBER
17193

ISSUE STATUS
PERMIT SET

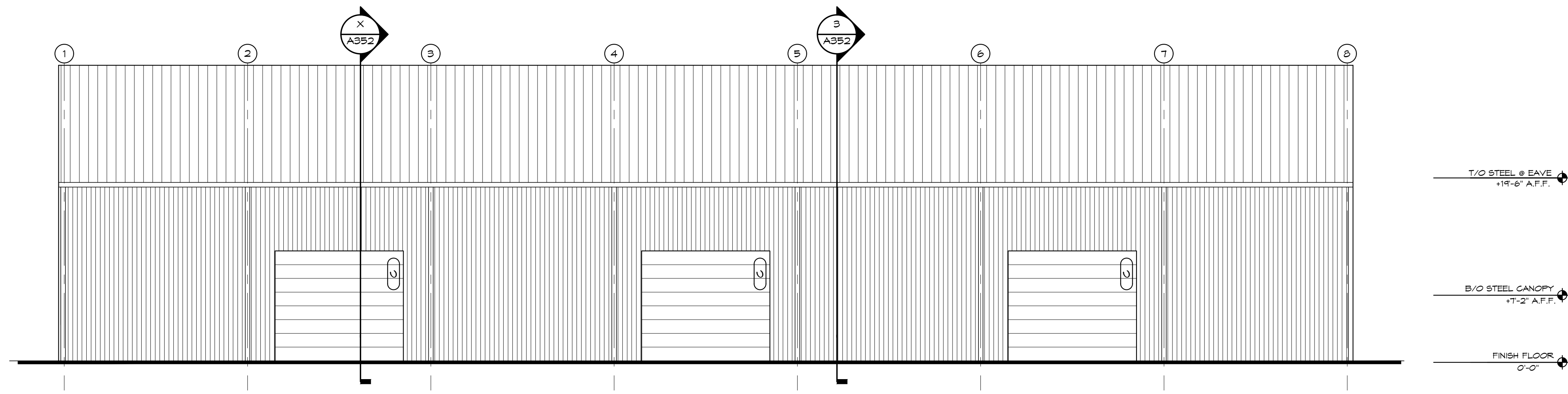
ISSUE DATE
02/20/2019

SHEET NO.
A201

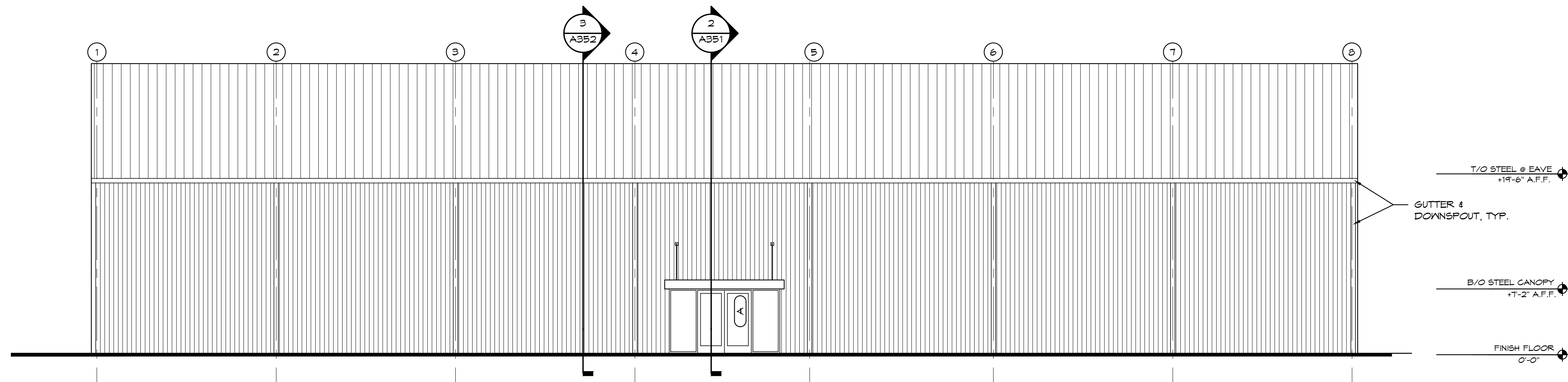
EXTERIOR FINISH SCHEDULE

-  STANDING SEAM METAL ROOF
COLOR: TBD
 -  VERTICAL METAL PANEL TYPE "A"
COLOR: TBD
 -  VERTICAL METAL PANEL TYPE "B"
COLOR: TBD
 -  PRE-FINISHED STEEL CANOPIES
COLOR: TBD
 -  ALUMINUM STOREFRONT
COLOR: TBD
 -  GUTTERS & DOWNSPOUTS & TRIM
COLOR: TBD
- NOTE: ARCHITECT TO APPROVE ALL FINAL COLOR SELECTIONS.

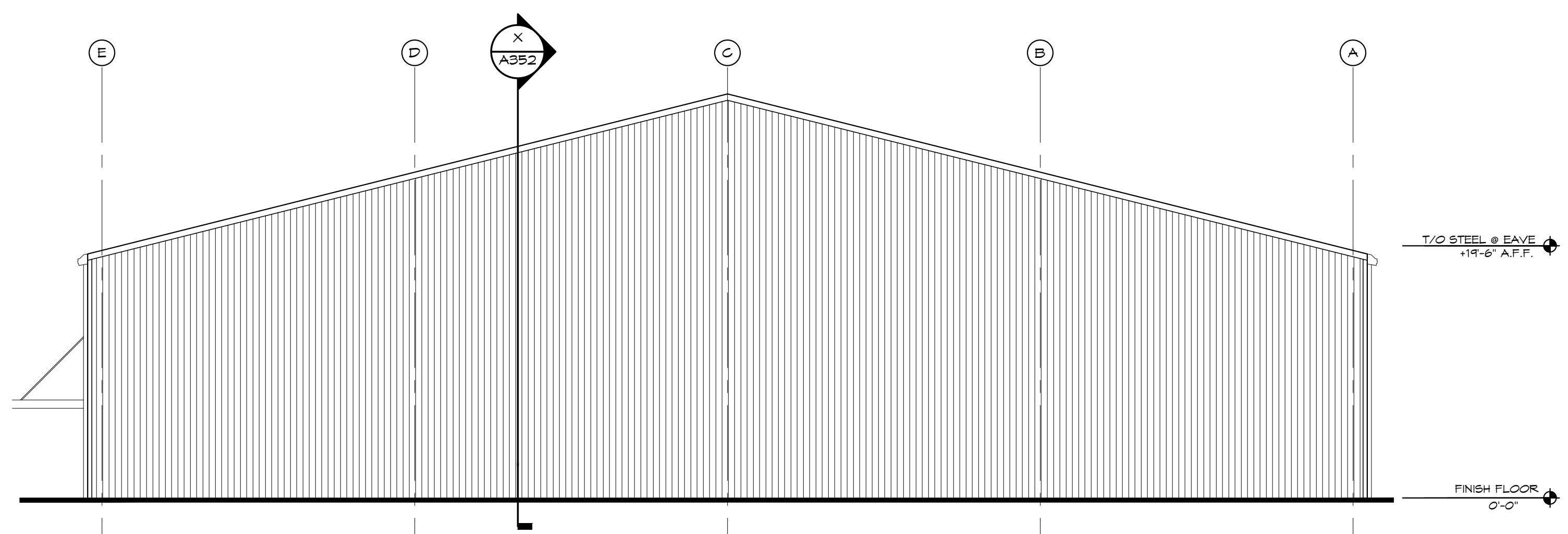
ATEX ROOFING AND REMODELING
SAN ANTONIO, TEXAS



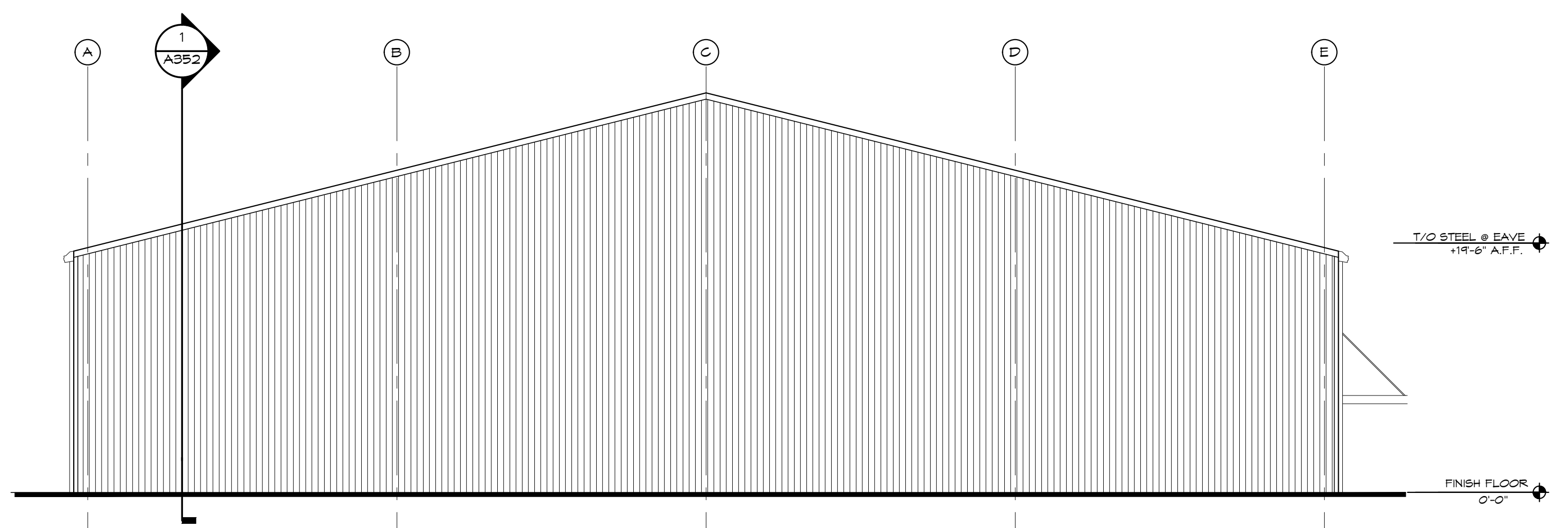
1 BLDG 2 - EAST ELEVATION
A202 SCALE: 1/8" = 1'-0"



2 BLDG 2 - WEST ELEVATION
A202 SCALE: 1/8" = 1'-0"



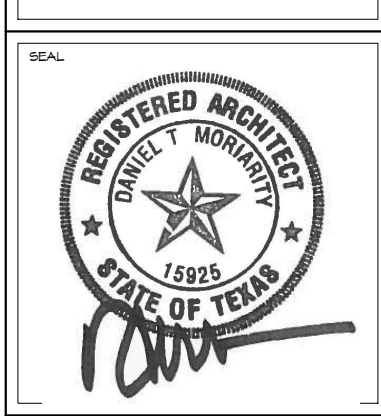
3 BLDG 2 - NORTH ELEVATION
A202 SCALE: 1/8" = 1'-0"



4 BLDG 2 - SOUTH ELEVATION
A202 SCALE: 1/8" = 1'-0"

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SHEET TITLE
BUILDING 2 ELEVATIONS

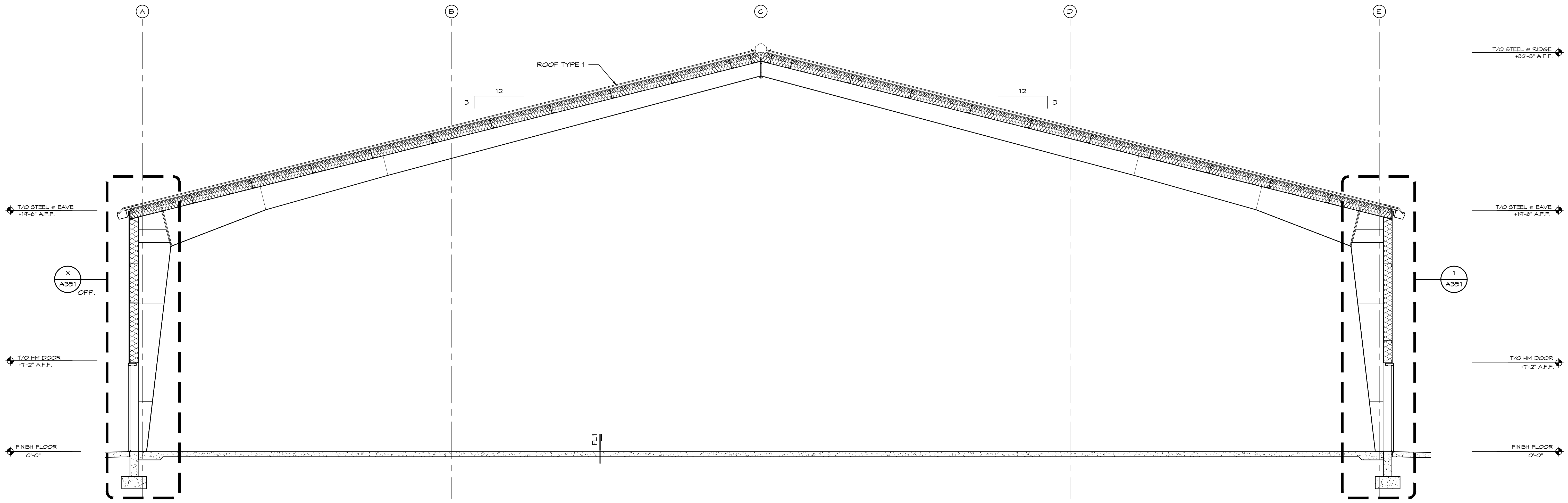
REVISIONS	DESCRIPTION	DATE
1		

PROJECT NUMBER
17193

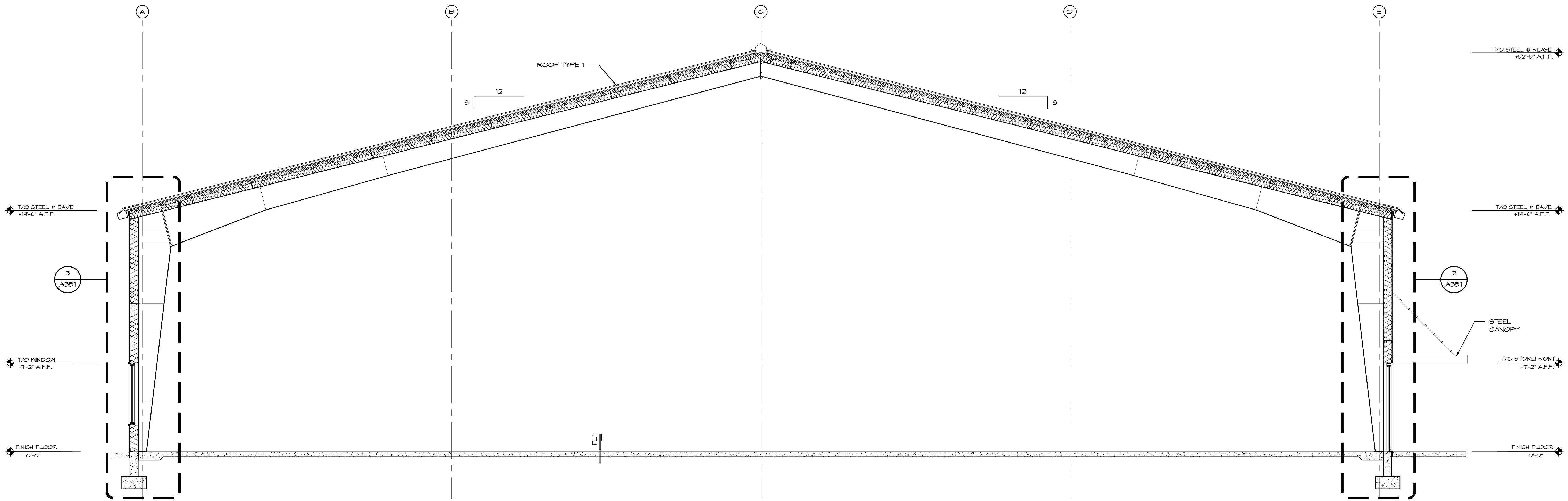
ISSUE STATUS
PERMIT SET

ISSUE DATE
02/20/2019

SHEET NO.
A202



1 BUILDING SECTION
 A301 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
 A301 SCALE: 1/4" = 1'-0"

ATEX ROOFING AND REMODELING
 SAN ANTONIO, TEXAS

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 2 WEST MAIN ST. CARMEL, IN 46032
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SHEET TITLE
 BUILDING SECTIONS

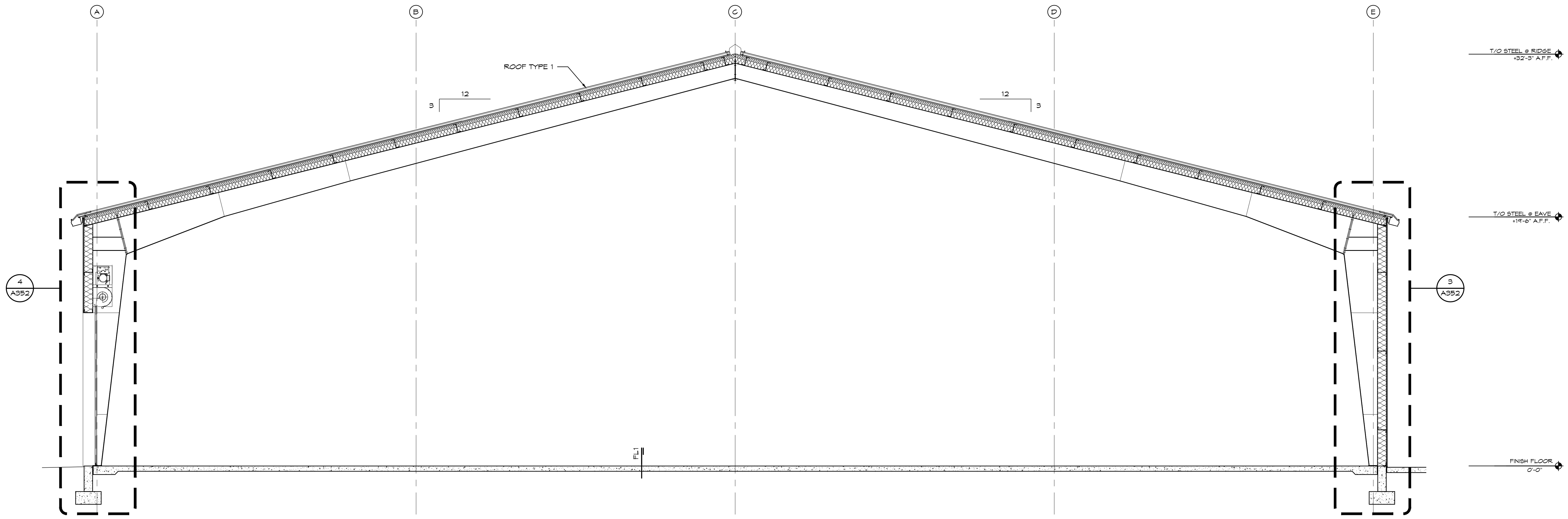
REVISION	DESCRIPTION	DATE
1		

PROJECT NUMBER
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ISSUE STATUS
 PERMIT SET

ISSUE DATE
 02/20/2019

SHEET NO.
 A301

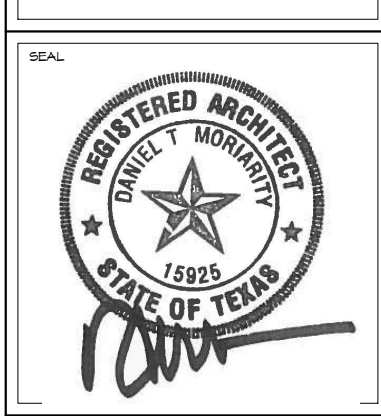


1 BUILDING SECTION
 A302 SCALE: 1/4" = 1'-0"

ATEX ROOFING AND REMODELING
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SHEET TITLE
 BUILDING SECTIONS

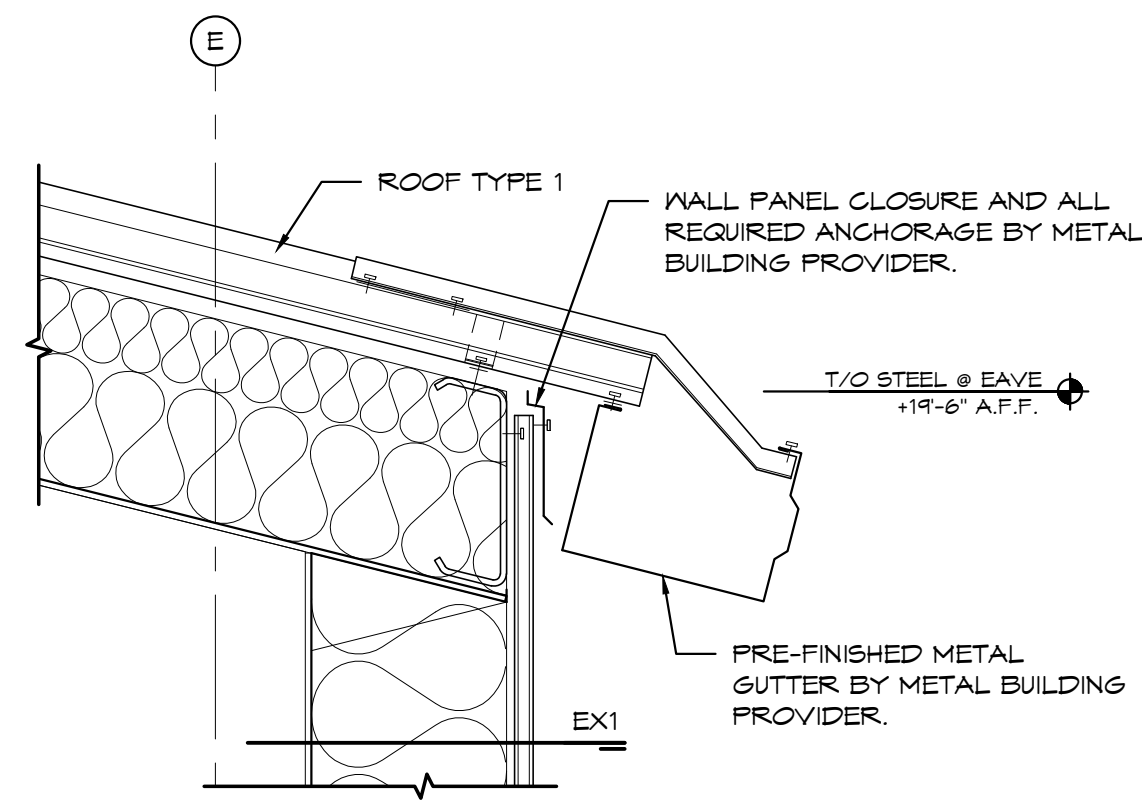
REVISIONS	DESCRIPTION	DATE
1		

PROJECT NUMBER
 17193

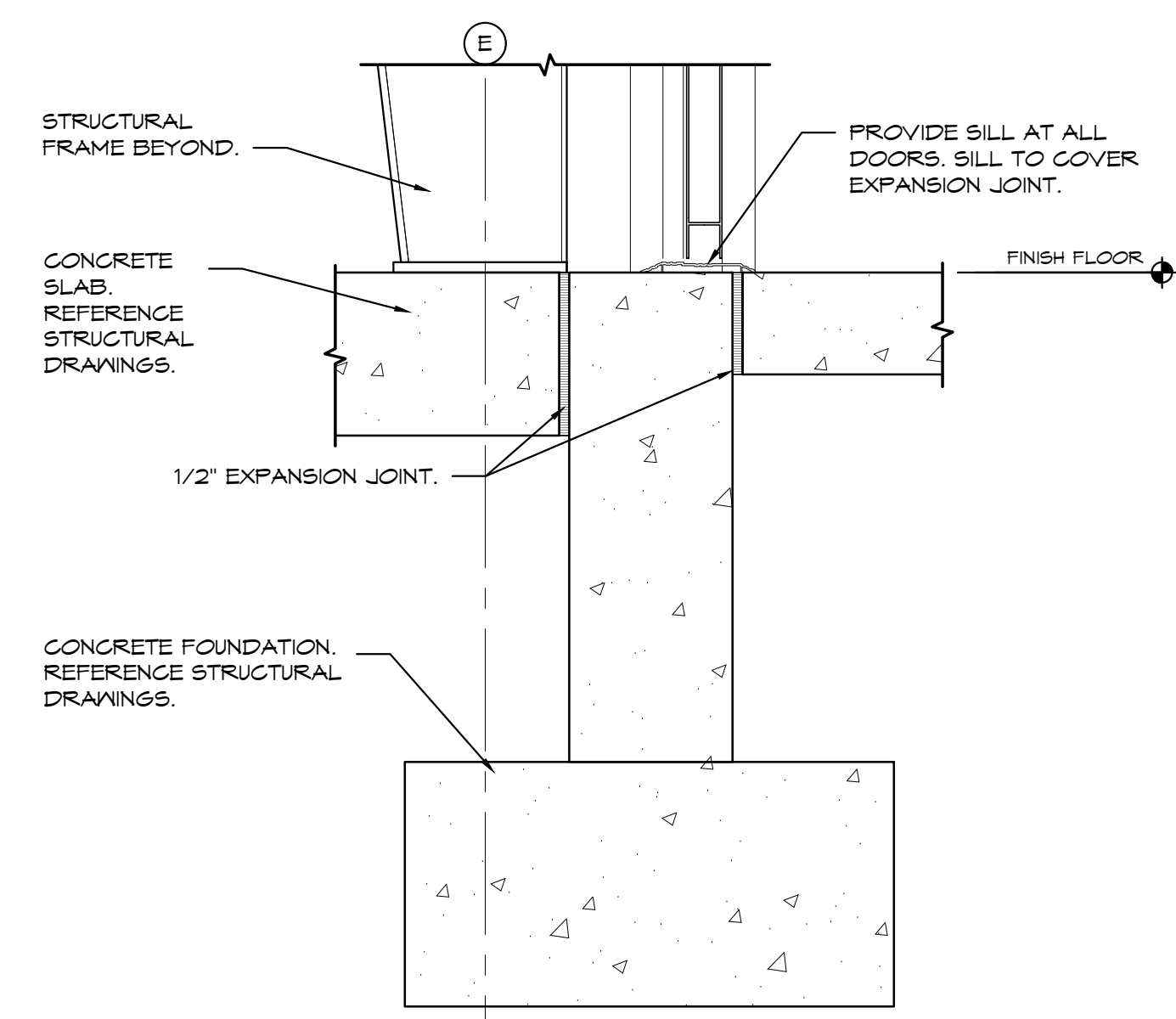
ISSUE STATUS
 PERMIT SET

ISSUE DATE
 02/20/2019

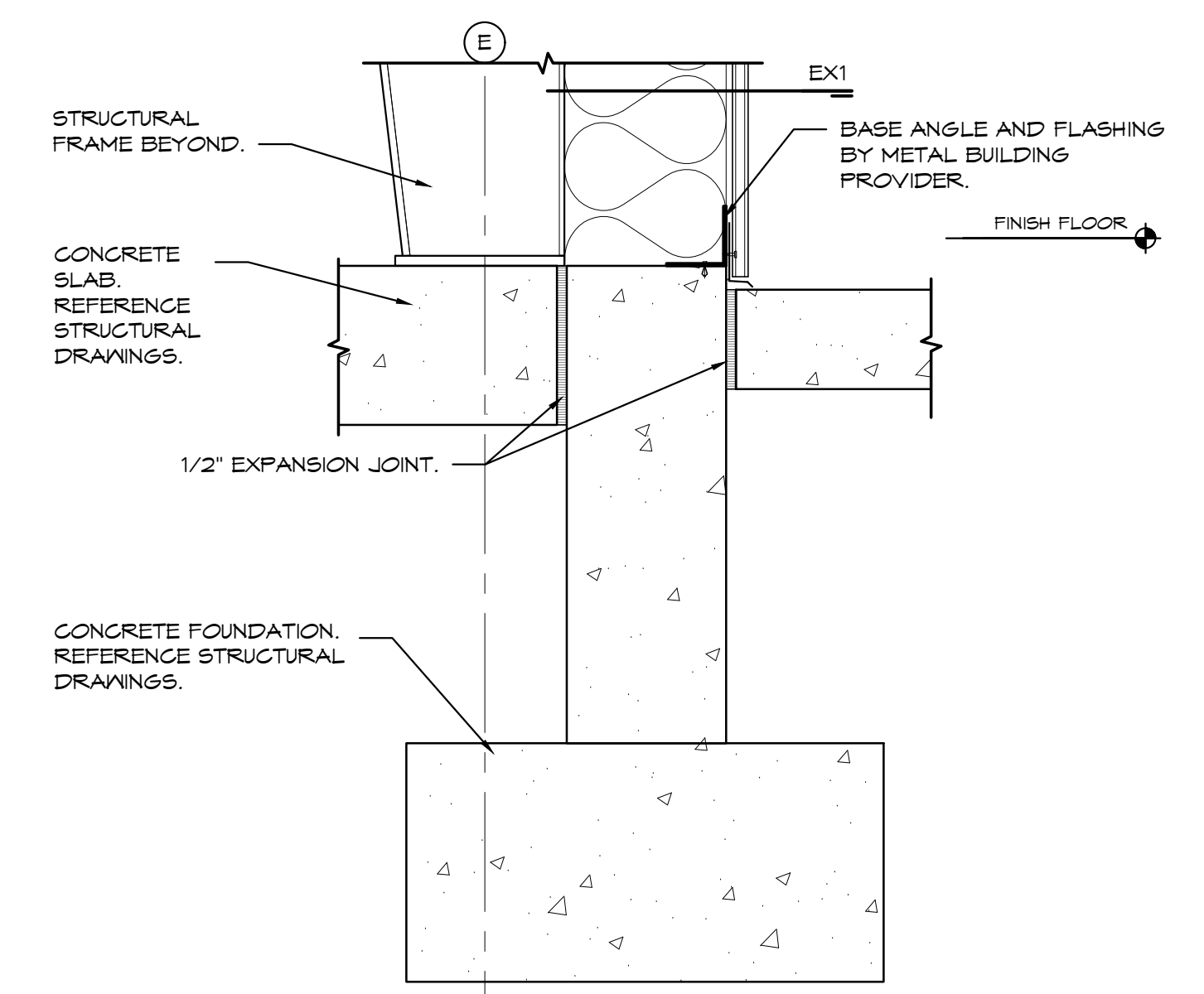
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A302



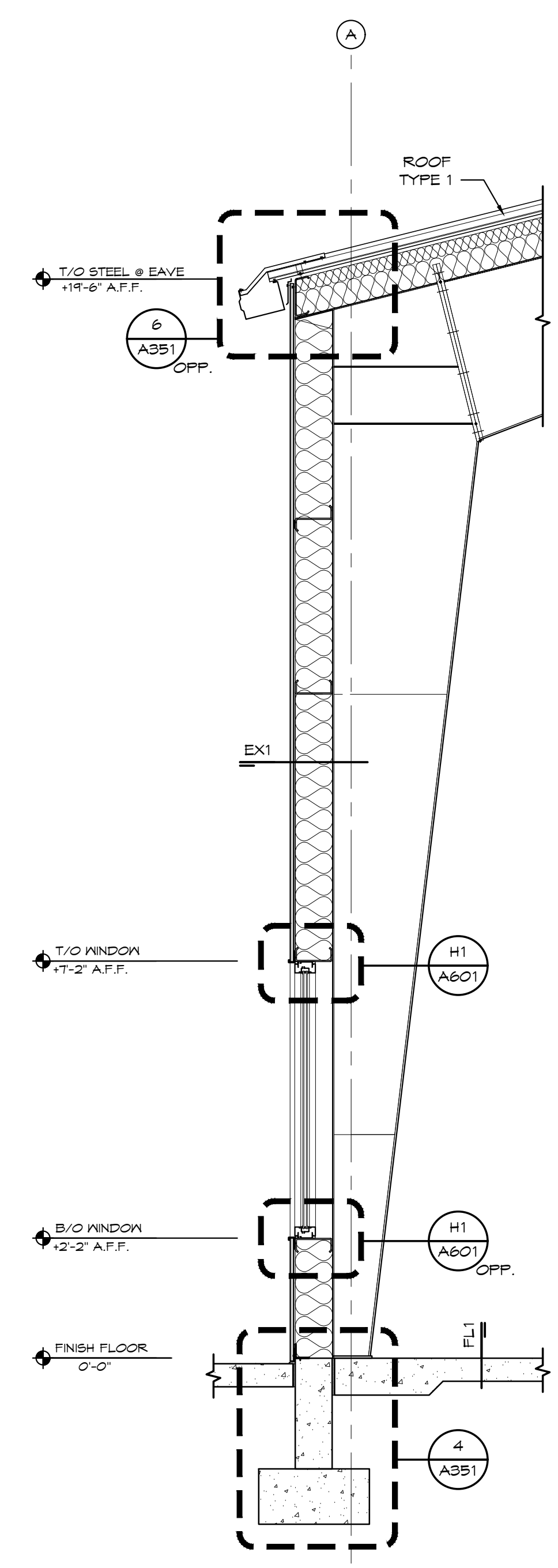
6 SECTION DETAIL
A351 SCALE: 1-1/2" = 1'-0"



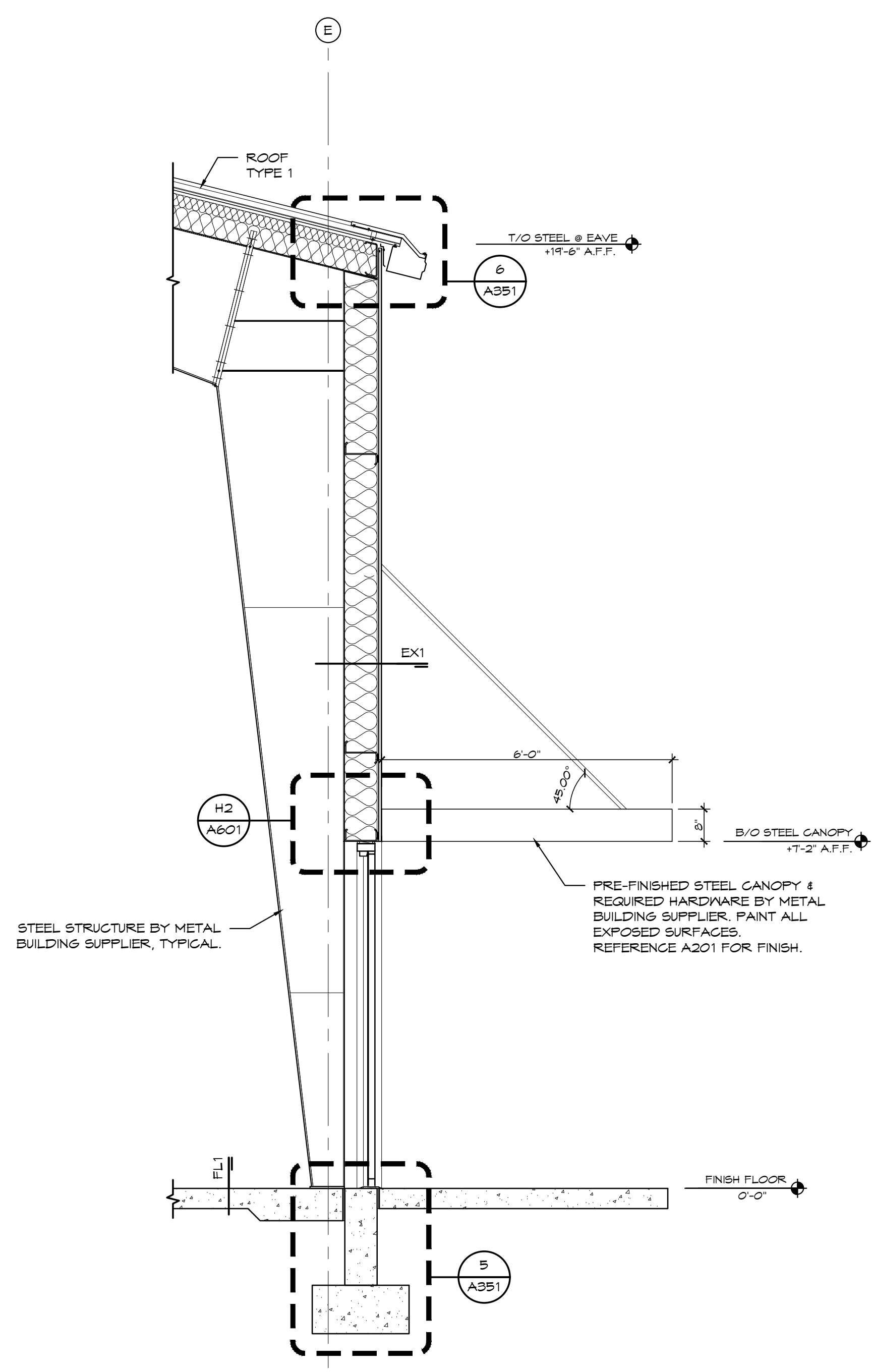
5 SECTION DETAIL
A351 SCALE: 1-1/2" = 1'-0"



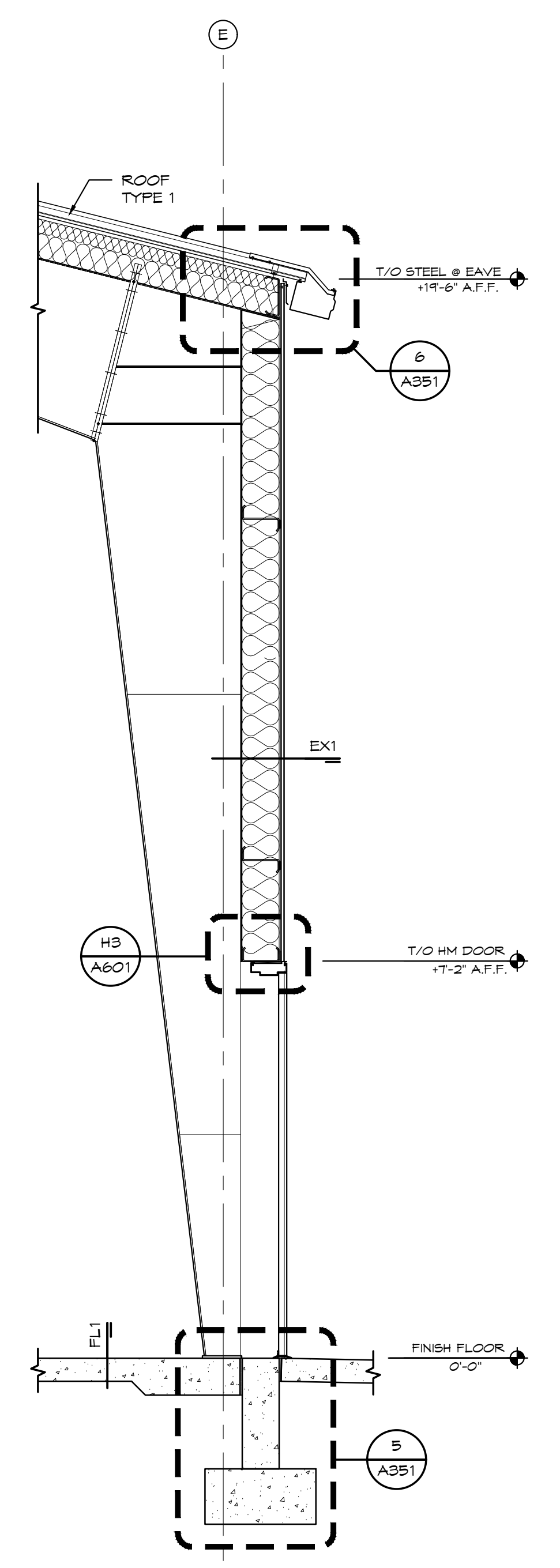
4 SECTION DETAIL
A351 SCALE: 1-1/2" = 1'-0"



3 WALL SECTION
A351 SCALE: 1/2" = 1'-0"



2 WALL SECTION
A351 SCALE: 1/2" = 1'-0"



1 WALL SECTION
A351 SCALE: 1/2" = 1'-0"

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317.910.1502



SHEET TITLE
WALL SECTIONS & DETAILS

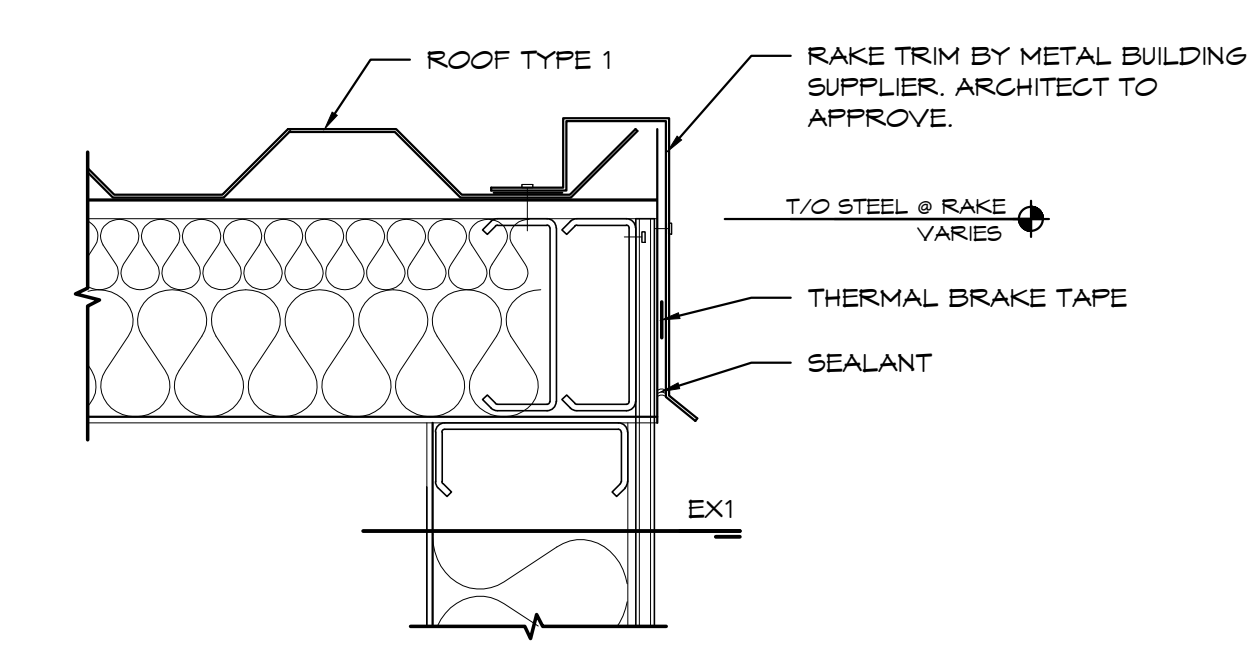
REVISIONS	DESCRIPTION	DATE
1		

PROJECT NUMBER
171193

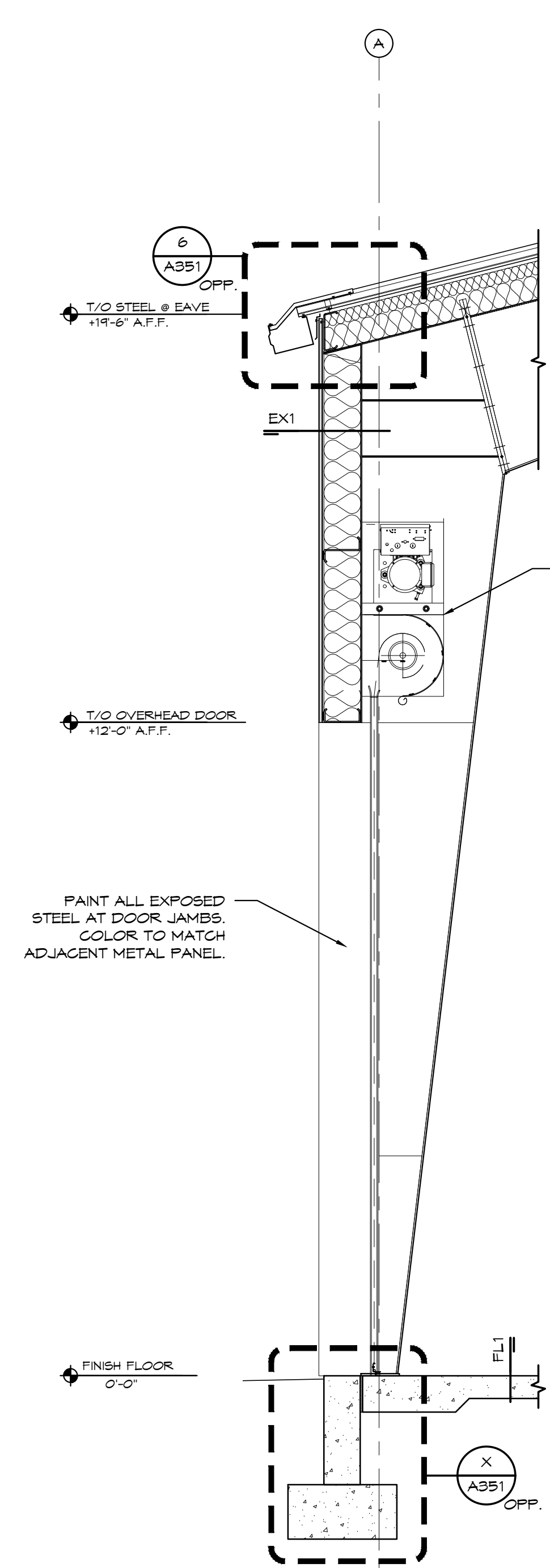
ISSUE STATUS
PERMIT SET

ISSUE DATE
02/20/2019

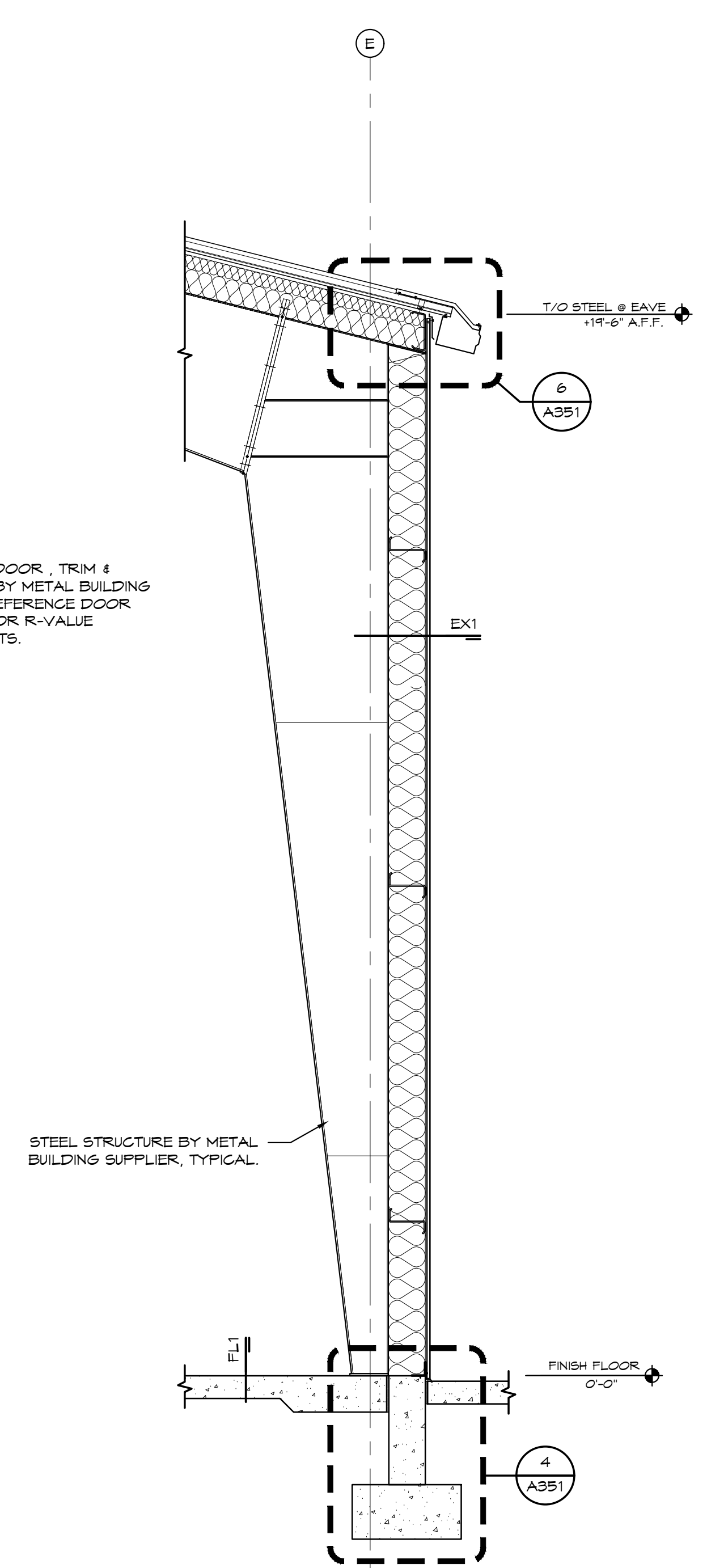
SHEET NO.
A351



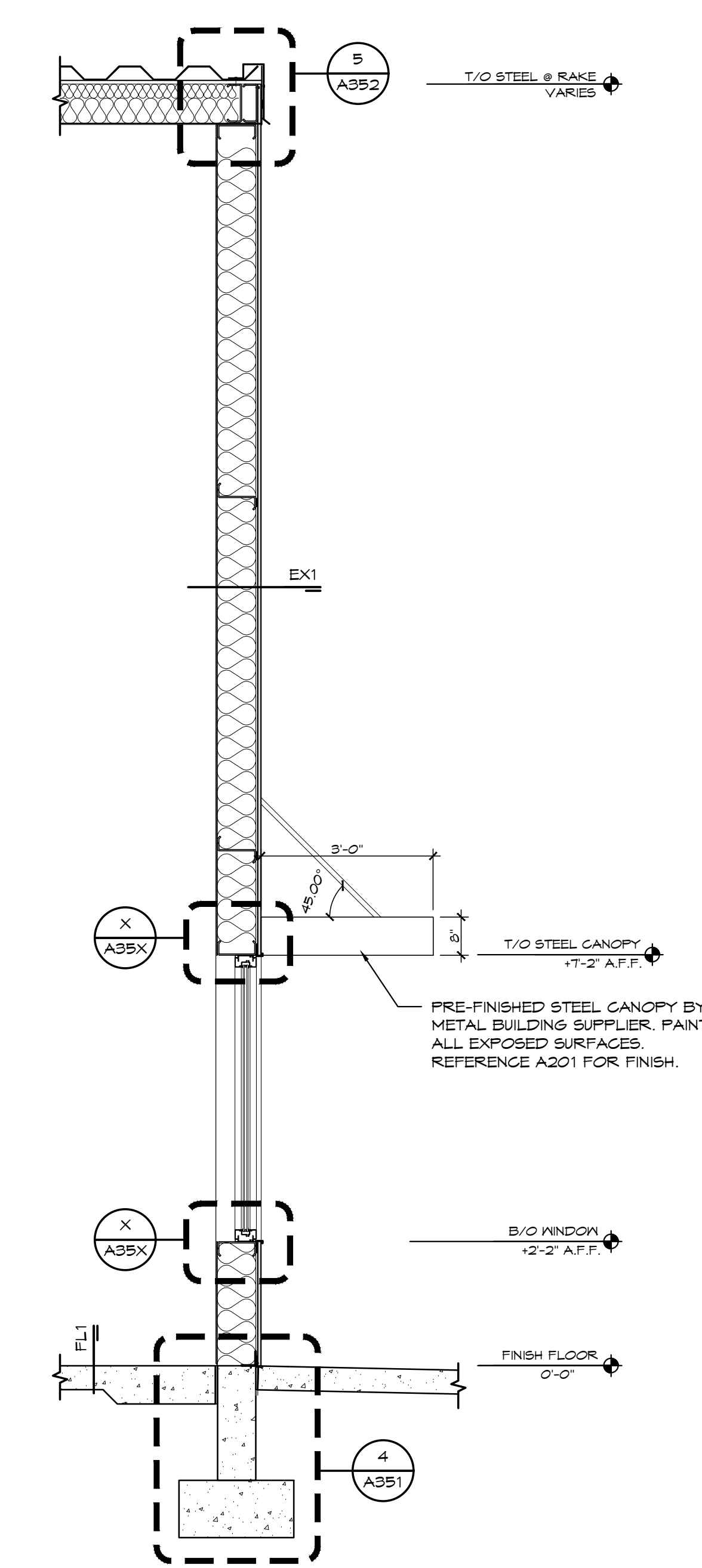
5 SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



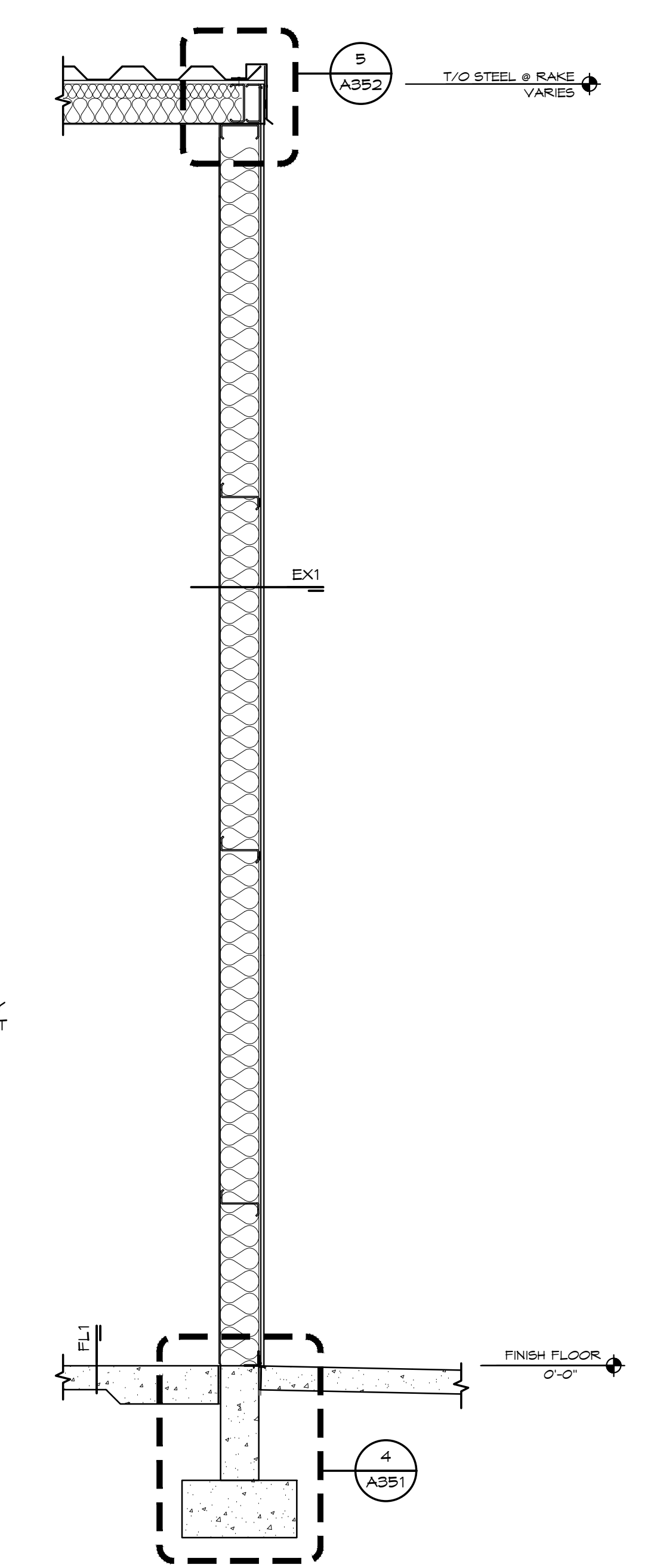
4 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



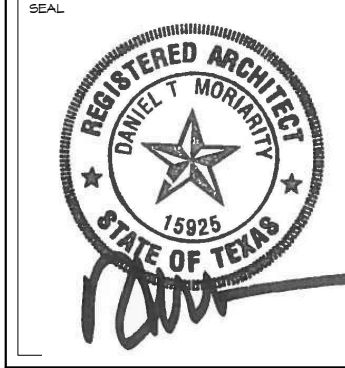
1 WALL SECTION
SCALE: 1/2" = 1'-0"

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2 WEST MAIN ST. CARMEL, IN 46032
317.910.1502

SEAL



SHEET TITLE

WALL SECTIONS & DETAILS

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER

171133

ISSUE STATUS

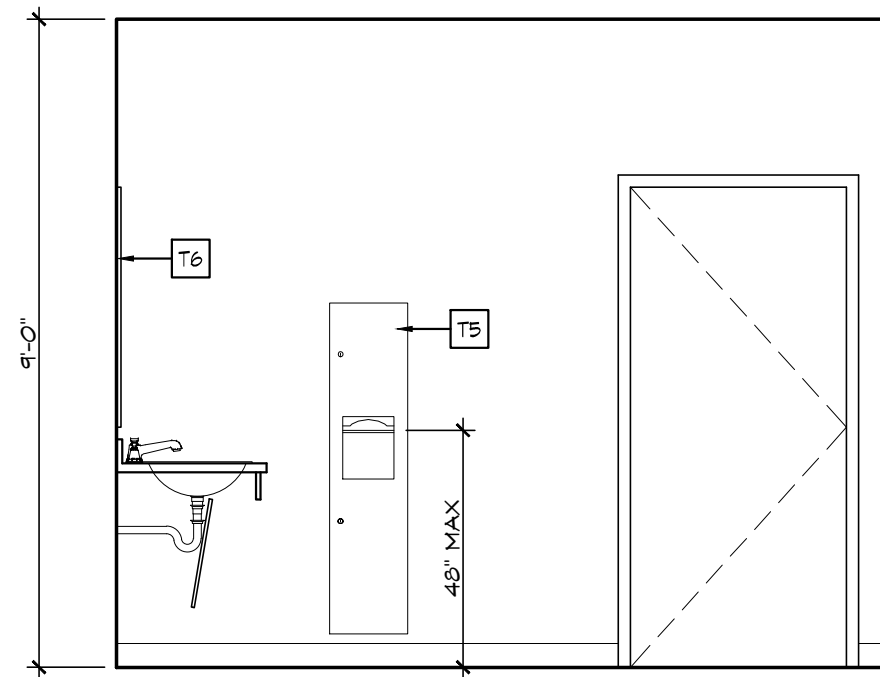
PERMIT SET

ISSUE DATE

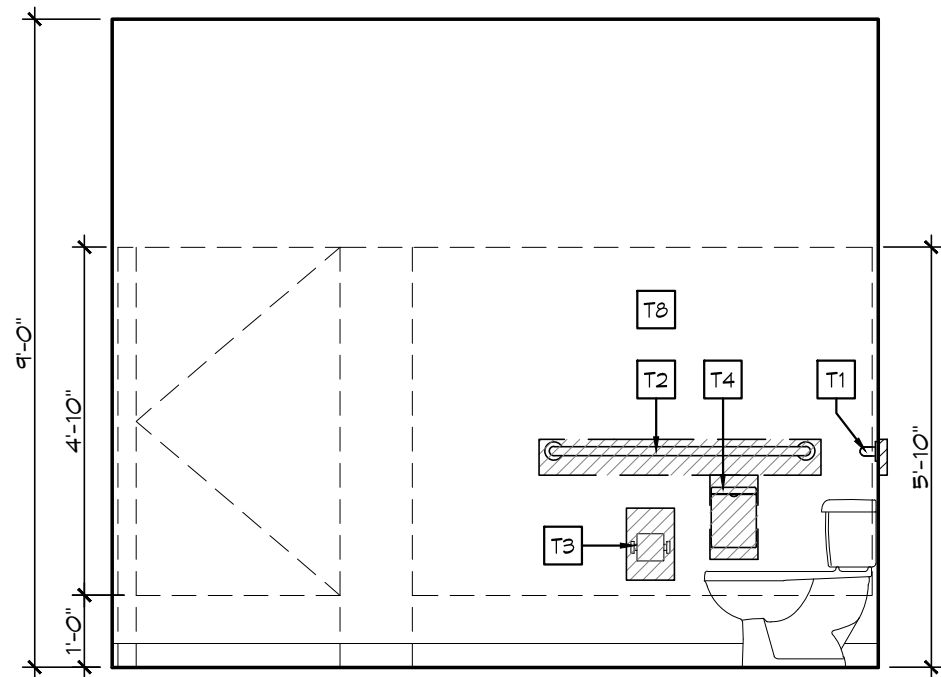
02/20/2019

SHEET NO.

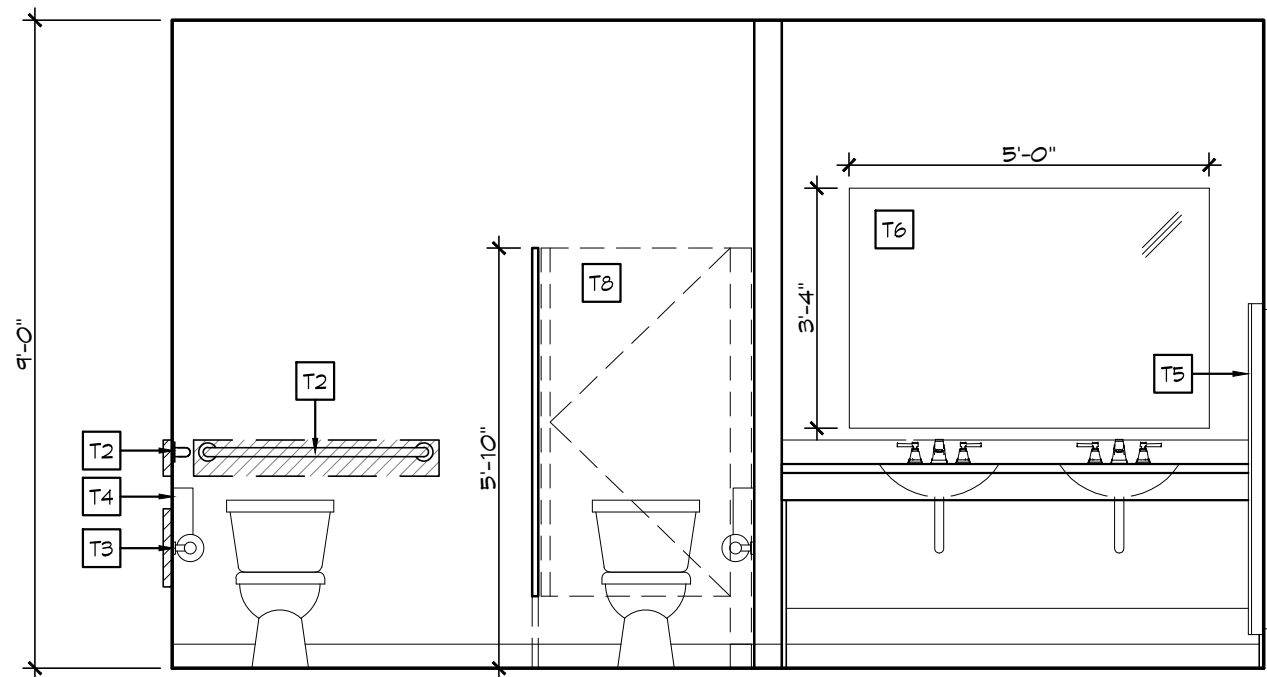
A352



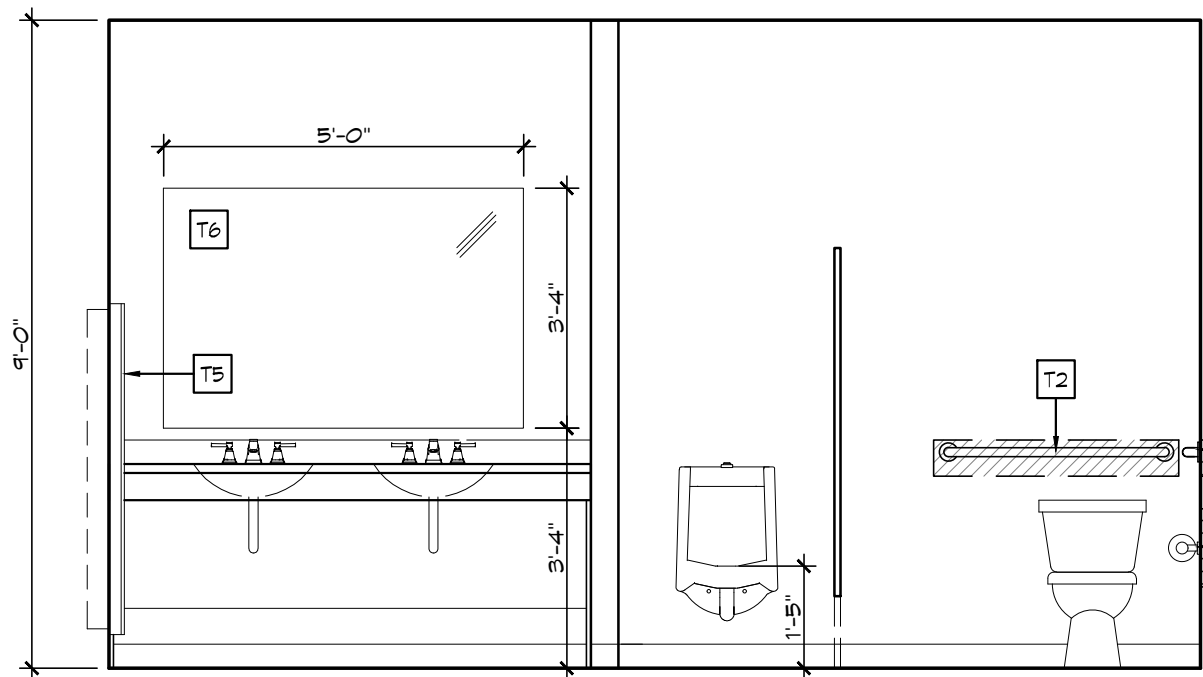
3 WOMEN'S RR ELEVATION
A401 SCALE: 3/8" = 1'-0"



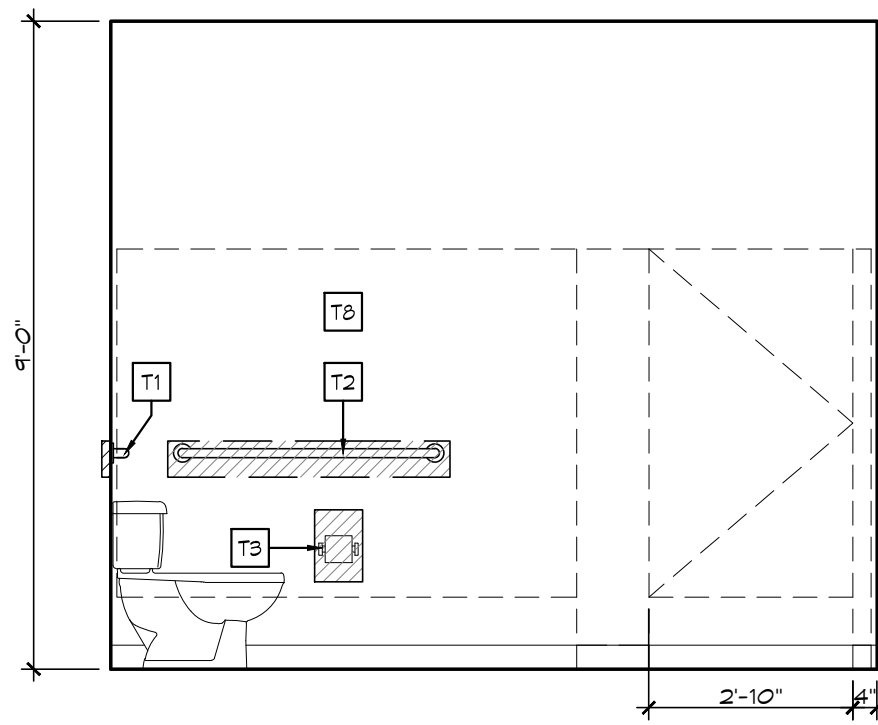
4 WOMEN'S RR ELEVATION
A401 SCALE: 3/8" = 1'-0"



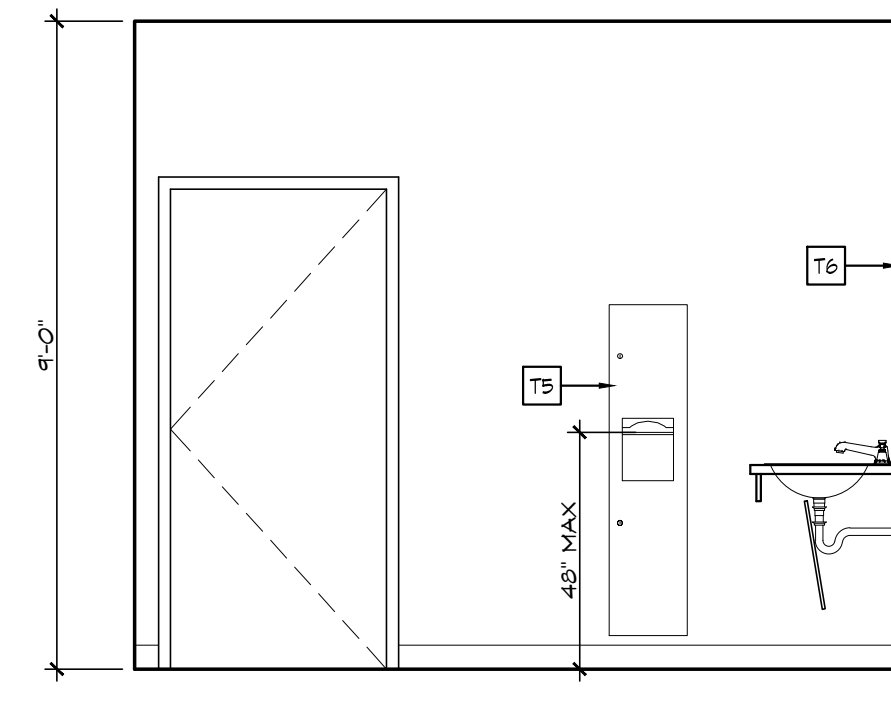
5 WOMEN'S RR ELEVATION
A401 SCALE: 3/8" = 1'-0"



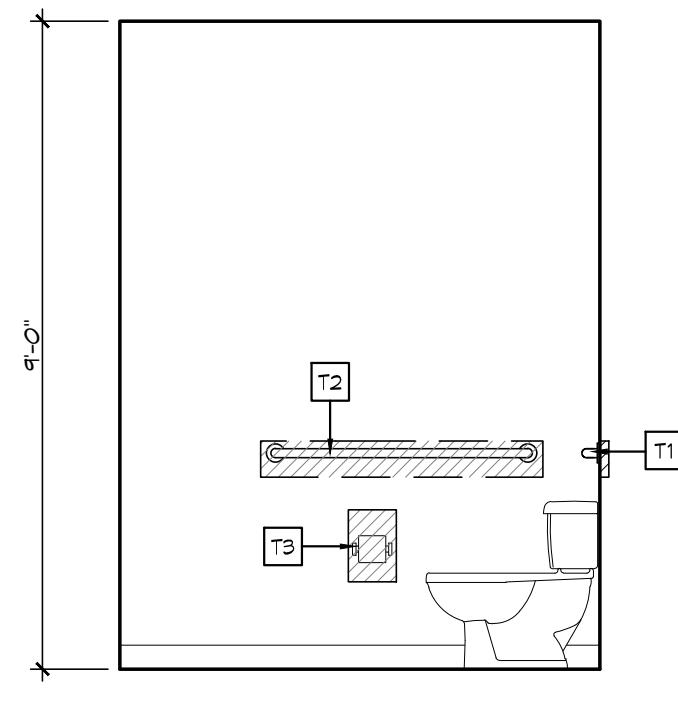
6 MEN'S RR ELEVATION
A401 SCALE: 3/8" = 1'-0"



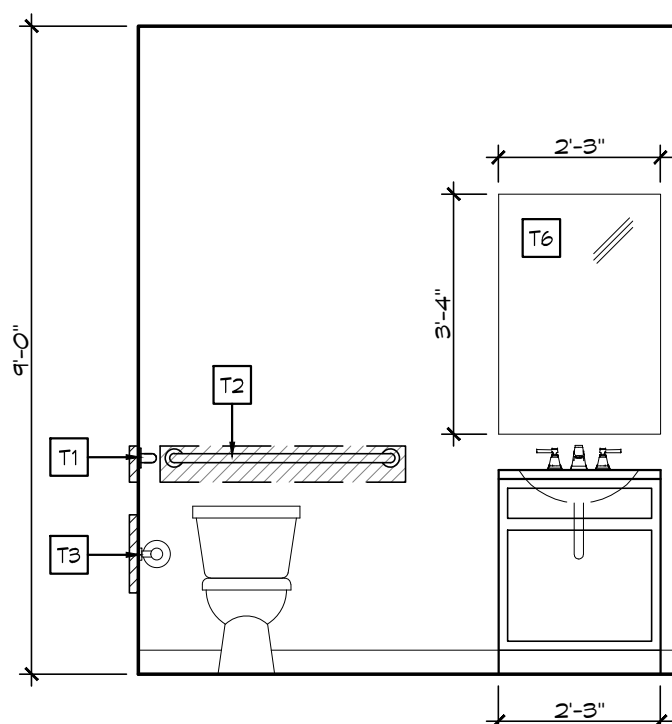
7 MEN'S RR ELEVATION
A401 SCALE: 3/8" = 1'-0"



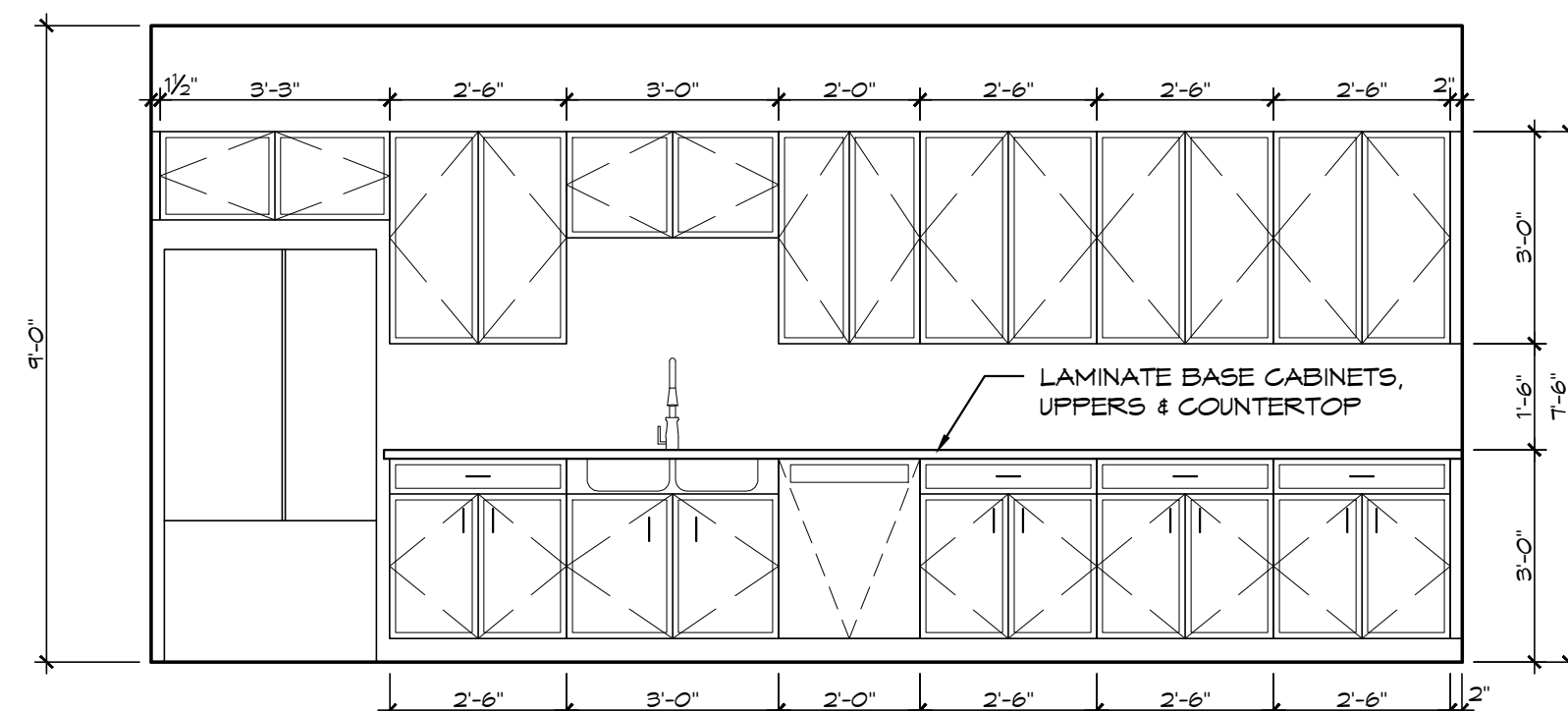
8 MEN'S RR ELEVATION
A401 SCALE: 3/8" = 1'-0"



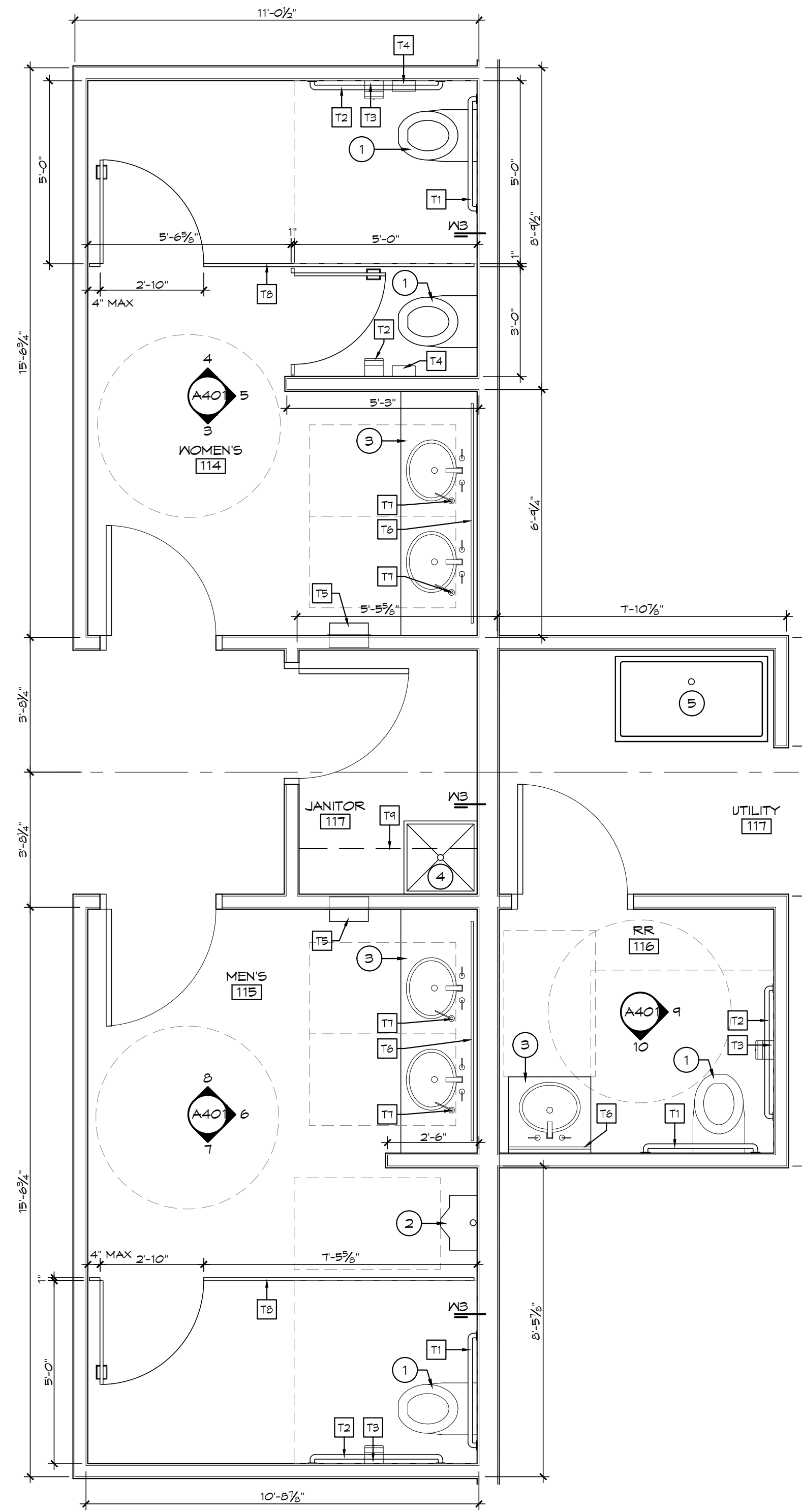
9 RESTROOM ELEVATION
A401 SCALE: 3/8" = 1'-0"



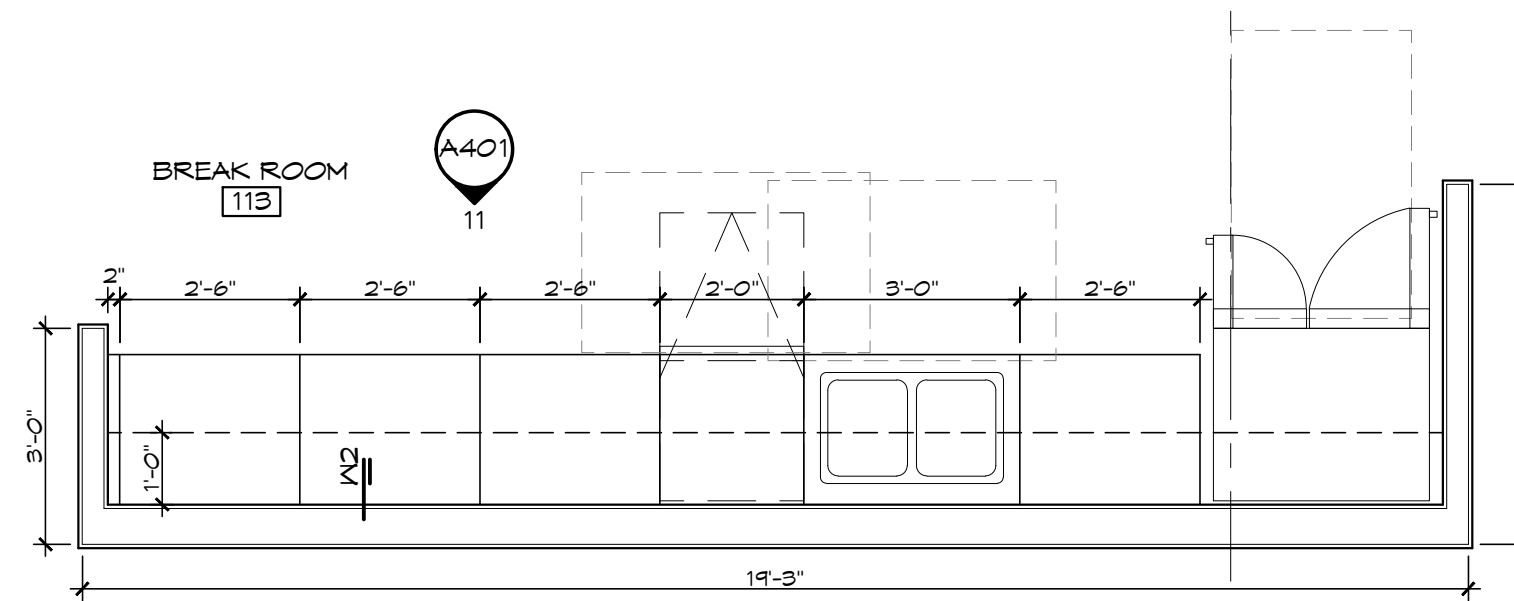
10 RESTROOM ELEVATION
A401 SCALE: 3/8" = 1'-0"



11 BREAK ROOM ELEVATION
A401 SCALE: 3/8" = 1'-0"



1 ENLARGED RESTROOM PLAN
A401 SCALE: 3/8" = 1'-0"



2 ENLARGED KITCHEN PLAN
A401 SCALE: 3/8" = 1'-0"

TOILET ACCESSORY SCHEDULE

NOTES:
1. PROVIDE ALL NECESSARY BLOCKING FOR APPROPRIATE SUPPORT OF ALL TOILET ACCESSORIES
2. REFERENCE A003 FOR ADDITIONAL LOCATION & MOUNTING HEIGHT REQUIREMENTS.

T1	1 1/2" O.D. x 36" STEEL GRAB BAR.
T2	1 1/2" O.D. x 42" STEEL GRAB BAR.
T3	SURFACE MOUNTED SINGLE-ROLL TOILET TISSUE DISPENSER. MOUNT WITH TOP AT 28" A.F.F.
T4	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL. MOUNT WITH TOP AT 30" A.F.F. AND ADJACENT TO TOILET TISSUE DISPENSER.
T5	SEMI-RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE. MOUNT WITH CENTER OF PAPER TOWEL DISPENSER OPENING AT 48" A.F.F. MAX.
T6	FRAMELESS MIRROR. CENTER WITH PLUMBING FIXTURE. REFERENCE ELEVATIONS FOR SIZE.
T7	MANUAL SOAP DISPENSER.
T8	FLOOR ANCHORED TOILET PARTITION.
T9	WOOD SHELF & BRACKETS. T/O SHELF AT 54" A.F.F.

PLUMBING FIXTURE KEYNOTES

NOTE: PROVIDE ALL NECESSARY BLOCKING FOR APPROPRIATE SUPPORT OF ALL PLUMBING FIXTURES.

1	FLOOR MOUNTED ADA COMPLIANT TOILET (INC. TOILET SEAT)
2	WALL MOUNTED ADA COMPLIANT URINAL
3	LAVATORY - ADA COMPLIANT. INCLUDE PIPE GUARDS
4	FLOOR MOUNTED MOP SINK, INCL. SPLASH GUARDS
5	FLOOR MOUNTED UTILITY SINK - SIZE PER OWNER

CONSULTANT

ARCHITECT

SCALE



SHEET TITLE

ENLARGED PLANS & DETAILS

REVISIONS

1 DESCRIPTION DATE

PROJECT NUMBER

171193

ISSUE STATUS

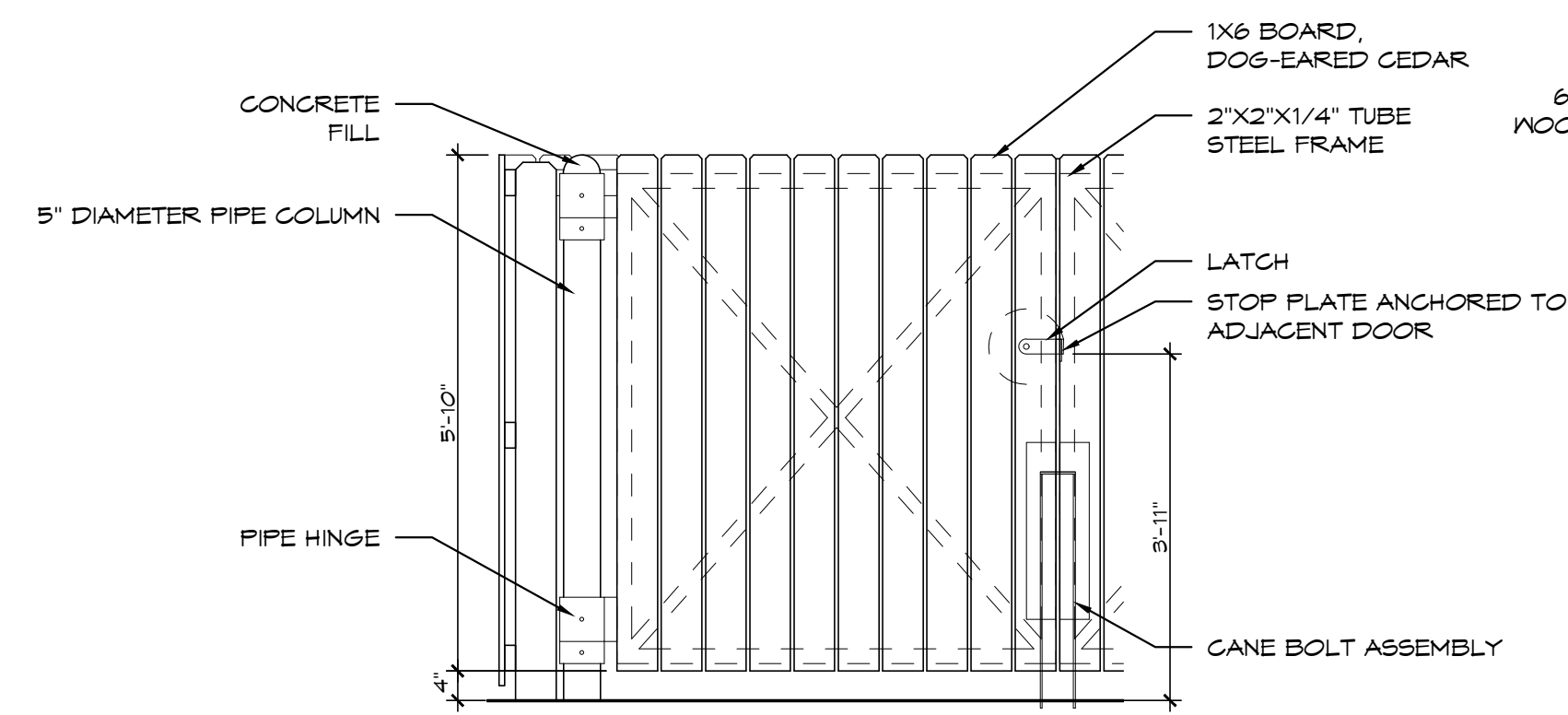
PERMIT SET

ISSUE DATE

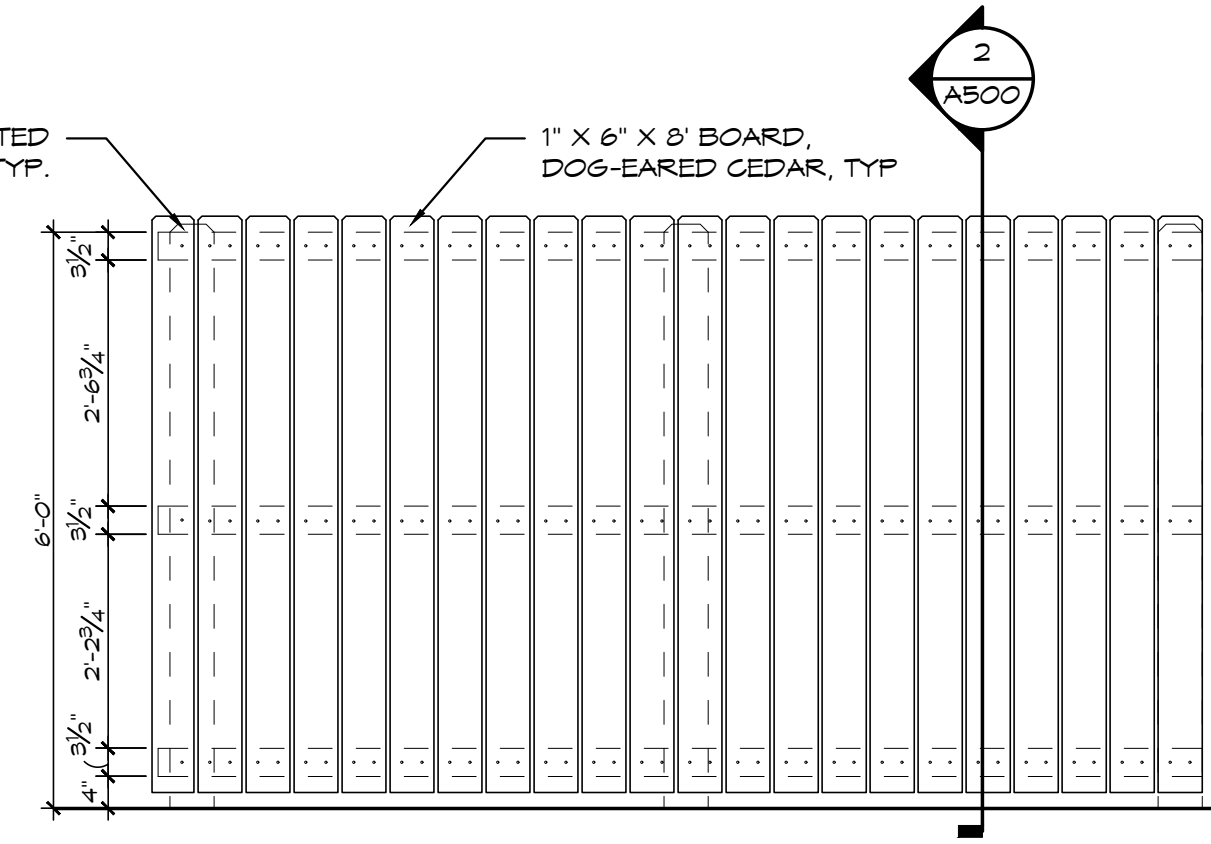
02/20/2019

SHEET NO.

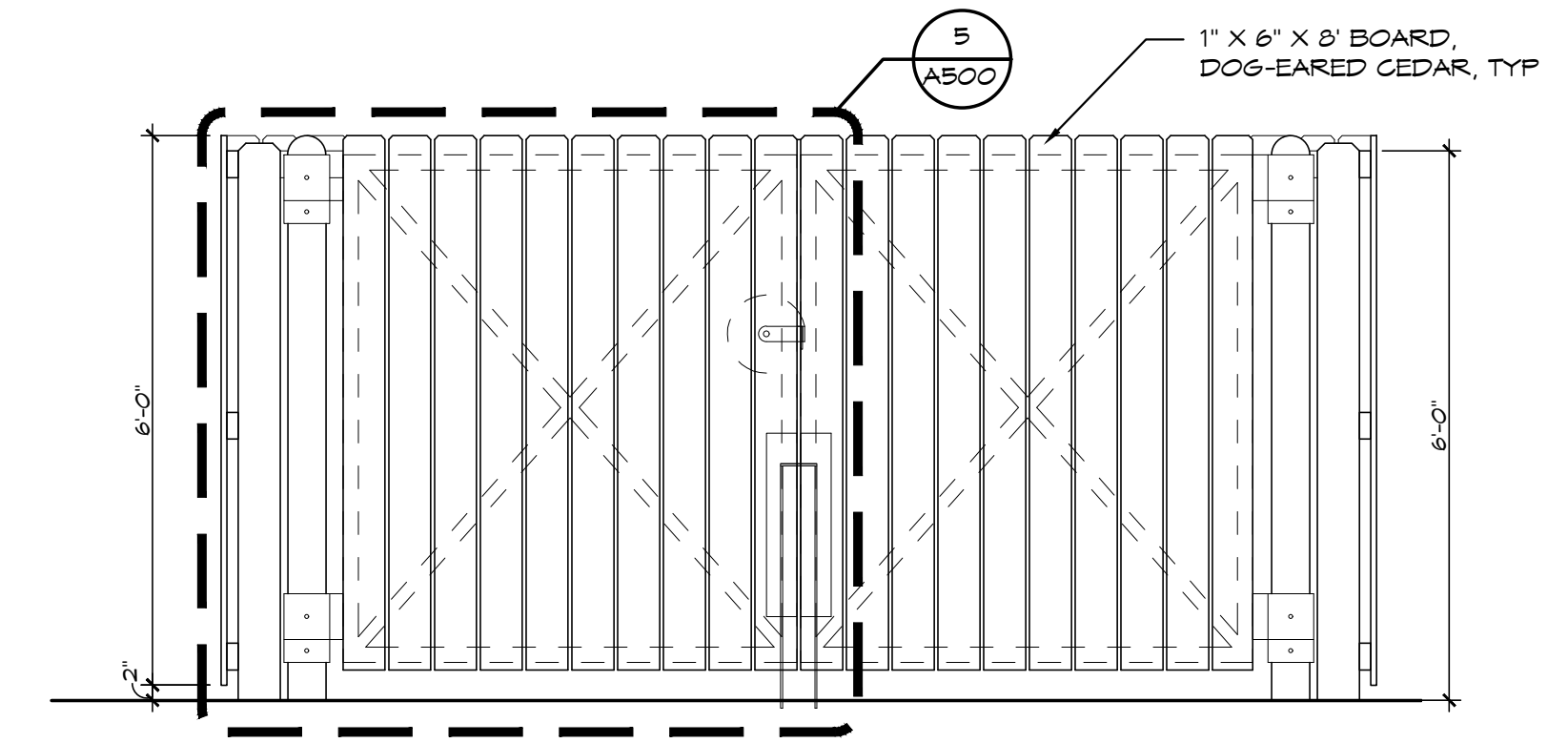
A401



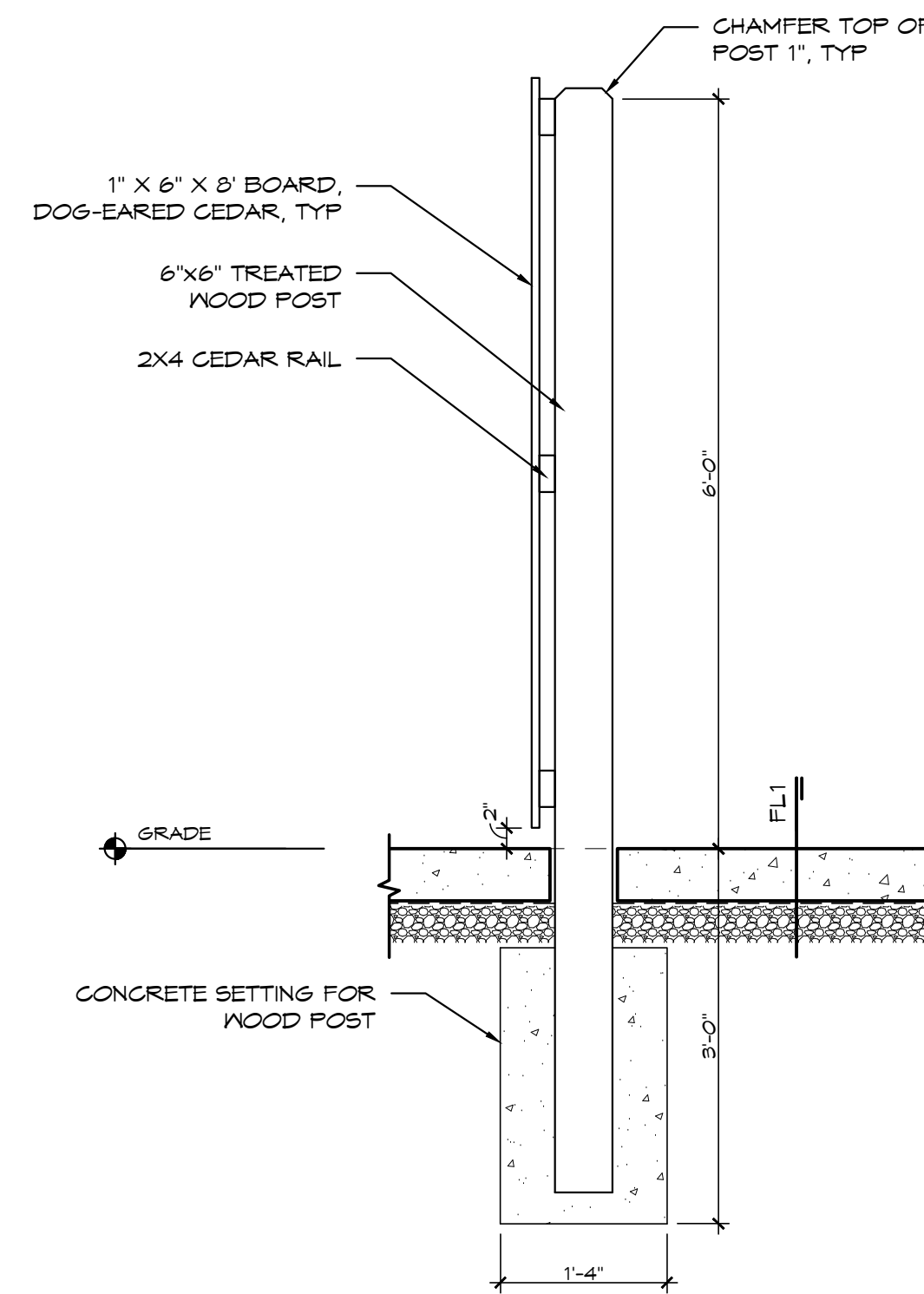
TRASH ENCLOSER DETAIL
 5
 A500 SCALE: 1/2" = 1'-0"



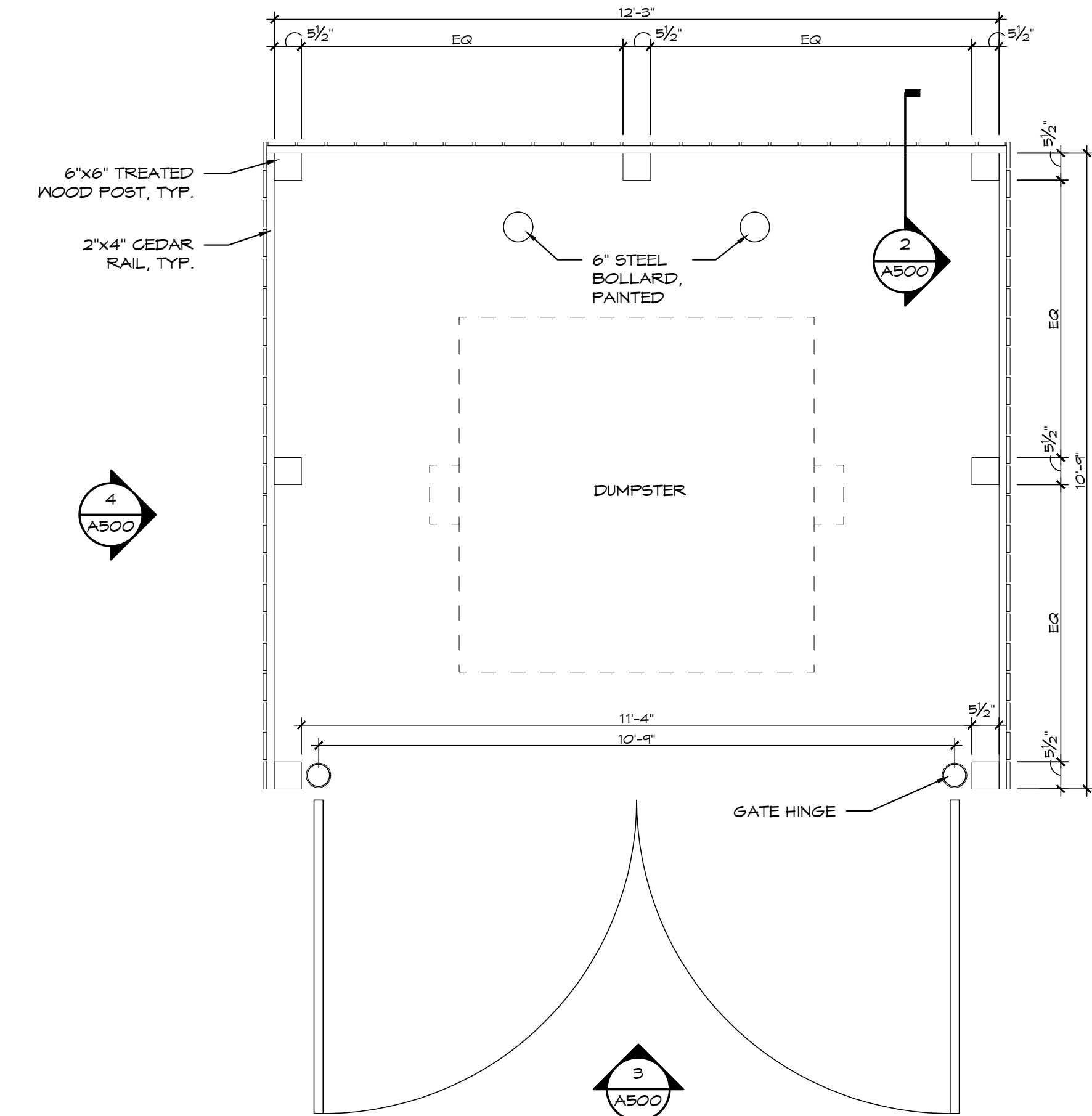
SIDE ELEVATION
 4
 A500 SCALE: 1/2" = 1'-0"



FRONT ELEVATION
 3
 A500 SCALE: 1/2" = 1'-0"



TRASH ENCLOSURE SECTION
 2
 A500 SCALE: 1/2" = 1'-0"



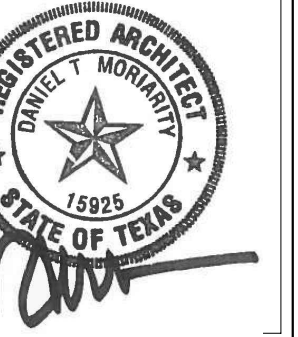
TRASH ENCLOSURE PLAN
 1
 A500 SCALE: 1/2" = 1'-0"

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SEAL



SHEET TITLE

ARCHITECTURAL
 DETAILS

REVISIONS

NO.	DESCRIPTION	DATE
1		

PROJECT NUMBER

171133

ISSUE STATUS

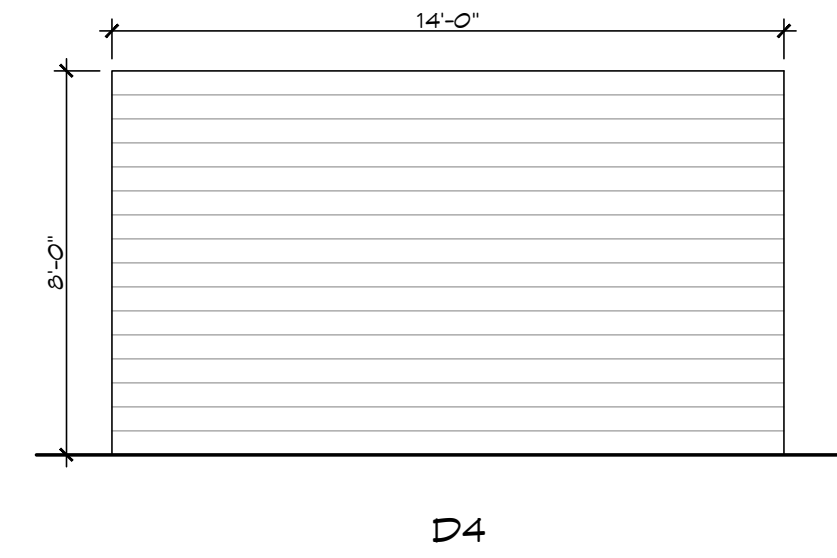
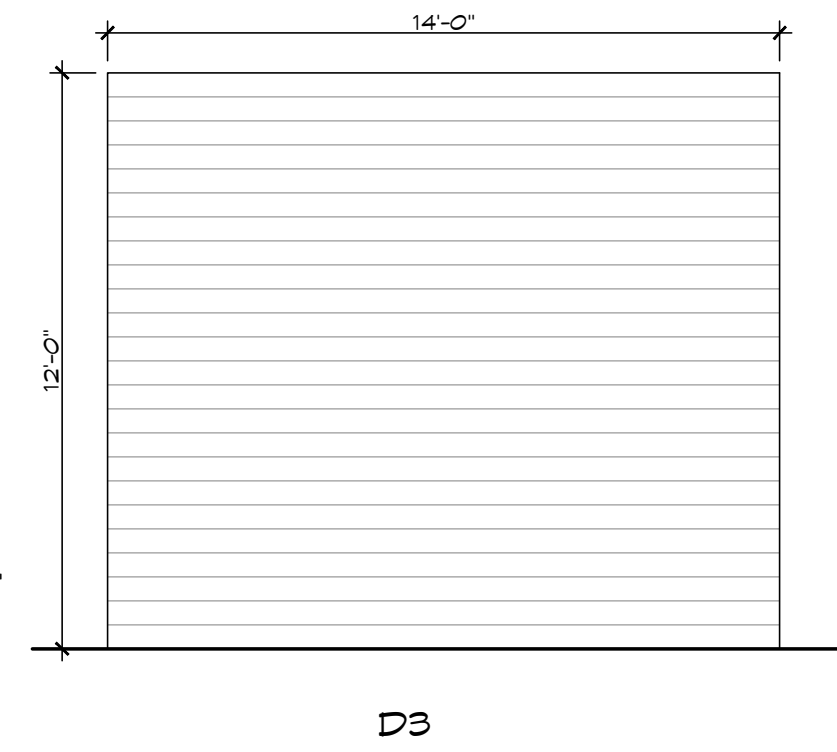
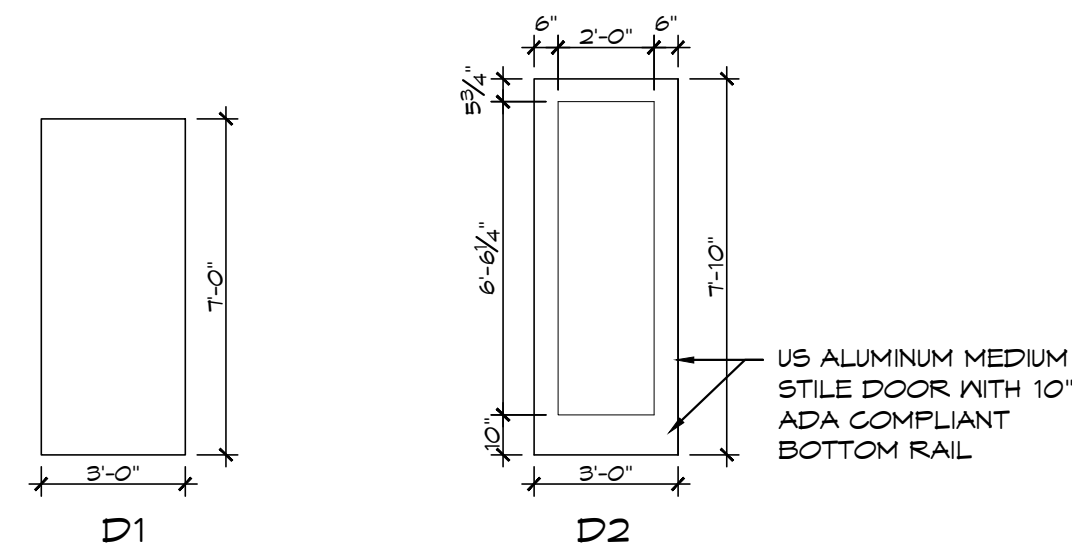
PERMIT SET

ISSUE DATE

02/20/2019

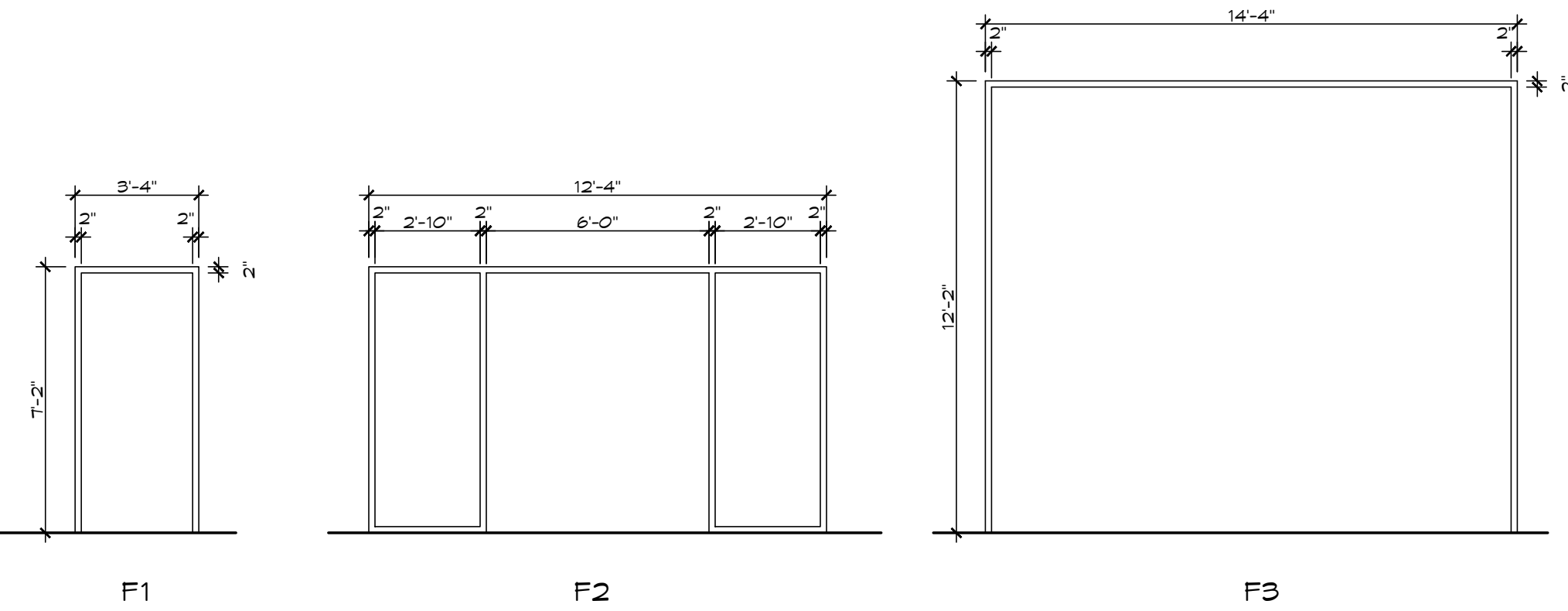
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A501



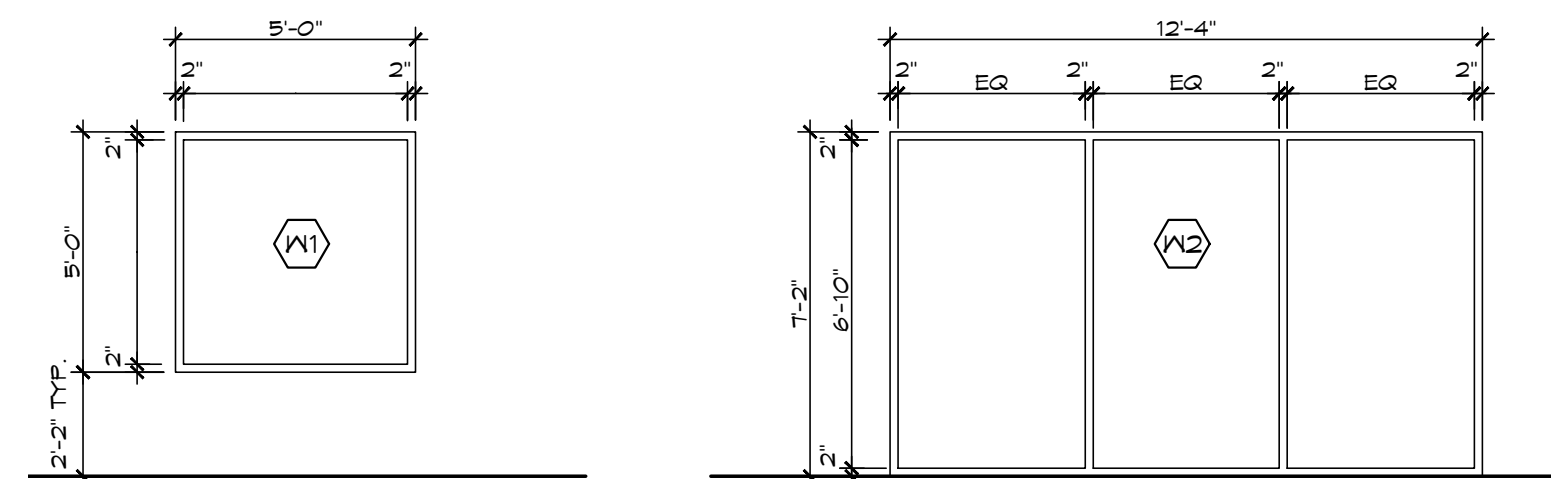
DOOR ELEVATIONS

SCALE: 1/4" = 1'-0"



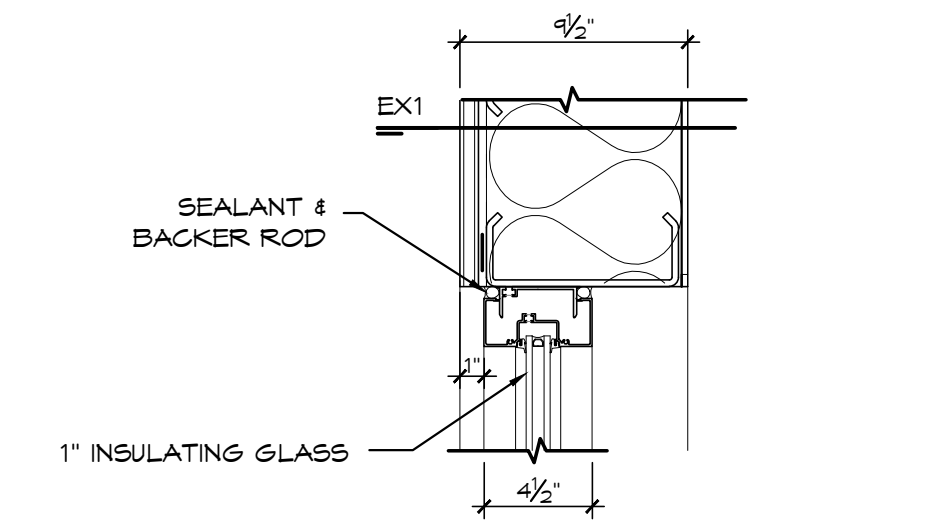
FRAME ELEVATIONS

SCALE: 1/4" = 1'-0"



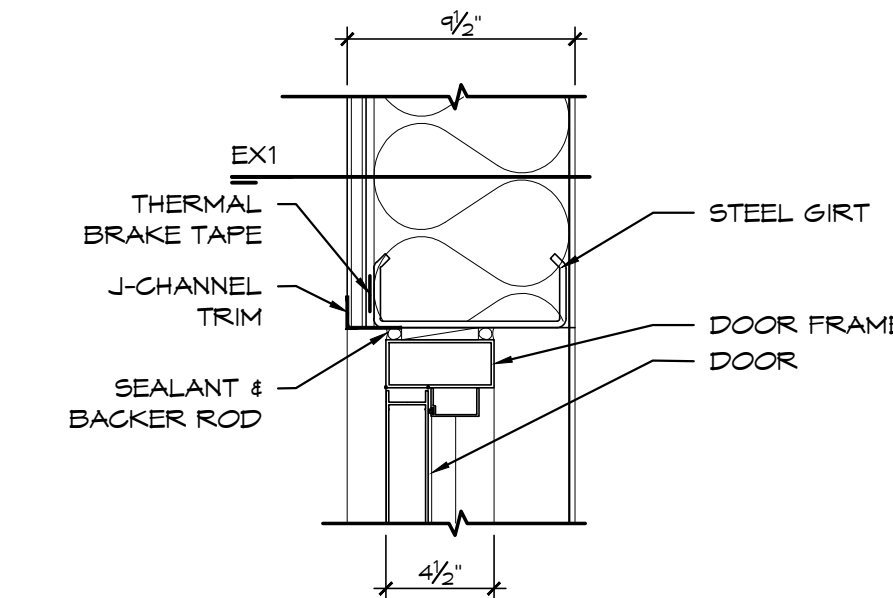
WINDOW ELEVATIONS

SCALE: 1/4" = 1'-0"



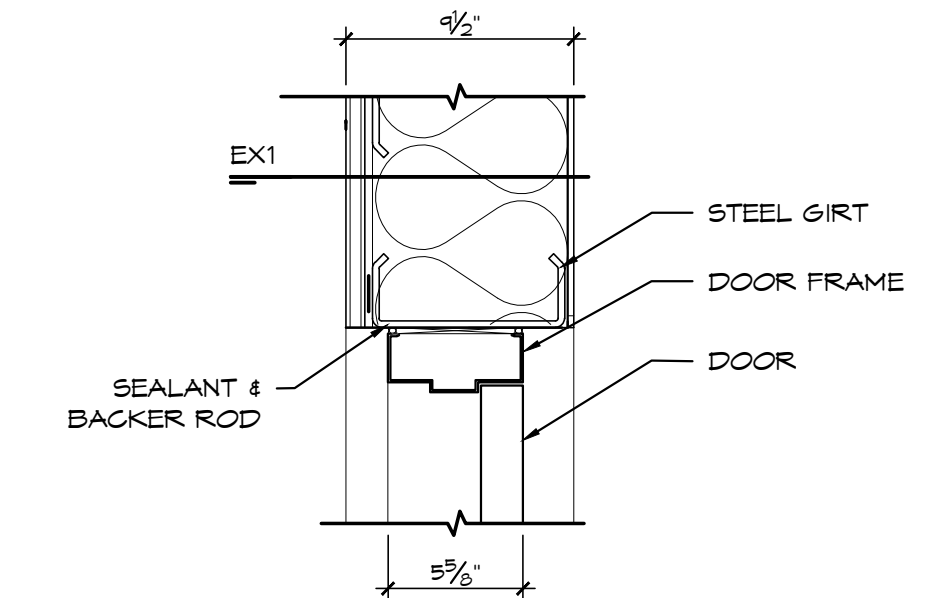
H1 WINDOW HEAD DETAIL

SCALE: 1 1/2" = 1'-0"



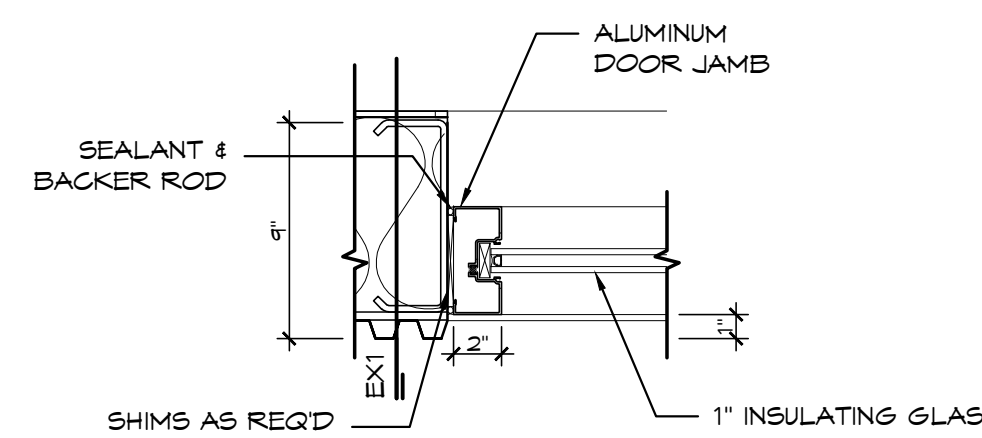
H2 DOOR HEAD DETAIL

SCALE: 1 1/2" = 1'-0"



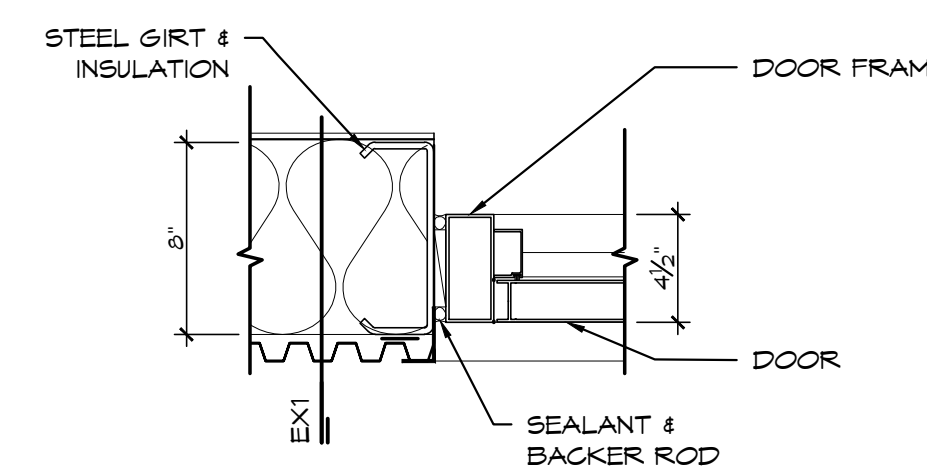
H3 DOOR HEAD DETAIL

SCALE: 1 1/2" = 1'-0"



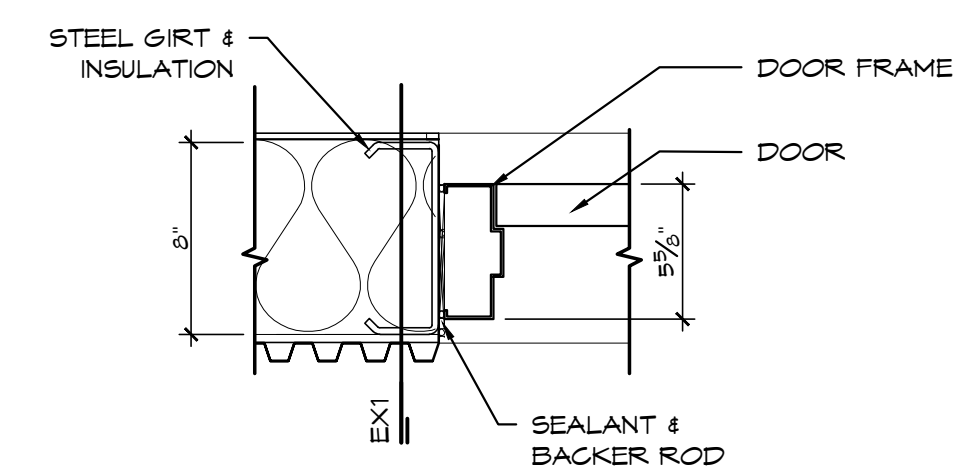
J1 WINDOW JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



J2 DOOR JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



J3 DOOR JAMB DETAIL

SCALE: 1 1/2" = 1'-0"

DOOR TYPE	DOOR			FRAME						LABEL	HRDWR	REMARKS		
	SIZE	MATERIAL	ELEVATION	MATERIAL	ELEVATION	GLAZING	HEAD	JAMB	SILL					
A	3'-0"	7'-0"	1 3/4"	AL, CA	D2	1/4"	AL, CA	F2	1/4"	H2	J2	-	1	DOUBLE DOOR
B	3'-0"	7'-0"	1 3/4"	HM	D1	-	HM	F1	-	H3	J3	-	2	R-2.75 MIN INSULATION
C	14'-0"	12'-0"	1 3/4"	STL	D3	-	STL	F3	-	-	-	-	3	R-4.75 MIN INSULATION
D	14'-0"	8'-0"	1 3/4"	STL	D4	-	STL	F4	-	-	-	-	3	R-4.75 MIN INSULATION

* SAFETY GLAZING WILL BE PROVIDED IN ACCORDANCE WITH SECTION 2406 INTERNATIONAL BUILDING CODE (IBC).

ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
BUILDING 1					
101 RECEPTION					
102 COPY/MAIL					
103 OFFICE					
104 OFFICE					
105 OFFICE					
106 OFFICE					
107 OFFICE					
108 OFFICE					
109 OFFICE					
110 OFFICE					
111 OFFICE					
112 TRAINING					
113 BREAK ROOM					
114 WOMEN'S RESTROOM					
115 MEN'S RESTROOM					
116 RESTROOM					
117 UTILITY					
118 JANITOR					
119 STORAGE SPACE					
120 WATER					
121 STORAGE SPACE					
BUILDING 2					
101 STORAGE SPACE					

ATEX ROOFING AND REMODELING
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DANIEL T. MURPHY
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SHEET TITLE

DOOR & WINDOW
DETAILS

REVISIONS

NO.	DESCRIPTION	DATE
1		

PROJECT NUMBER

17193

ISSUE STATUS

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ISSUE DATE

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SHEET NO.

A601