



**Community of Civano  
Neighborhood One**

# **Design Manual**

**Edition: May 2016**

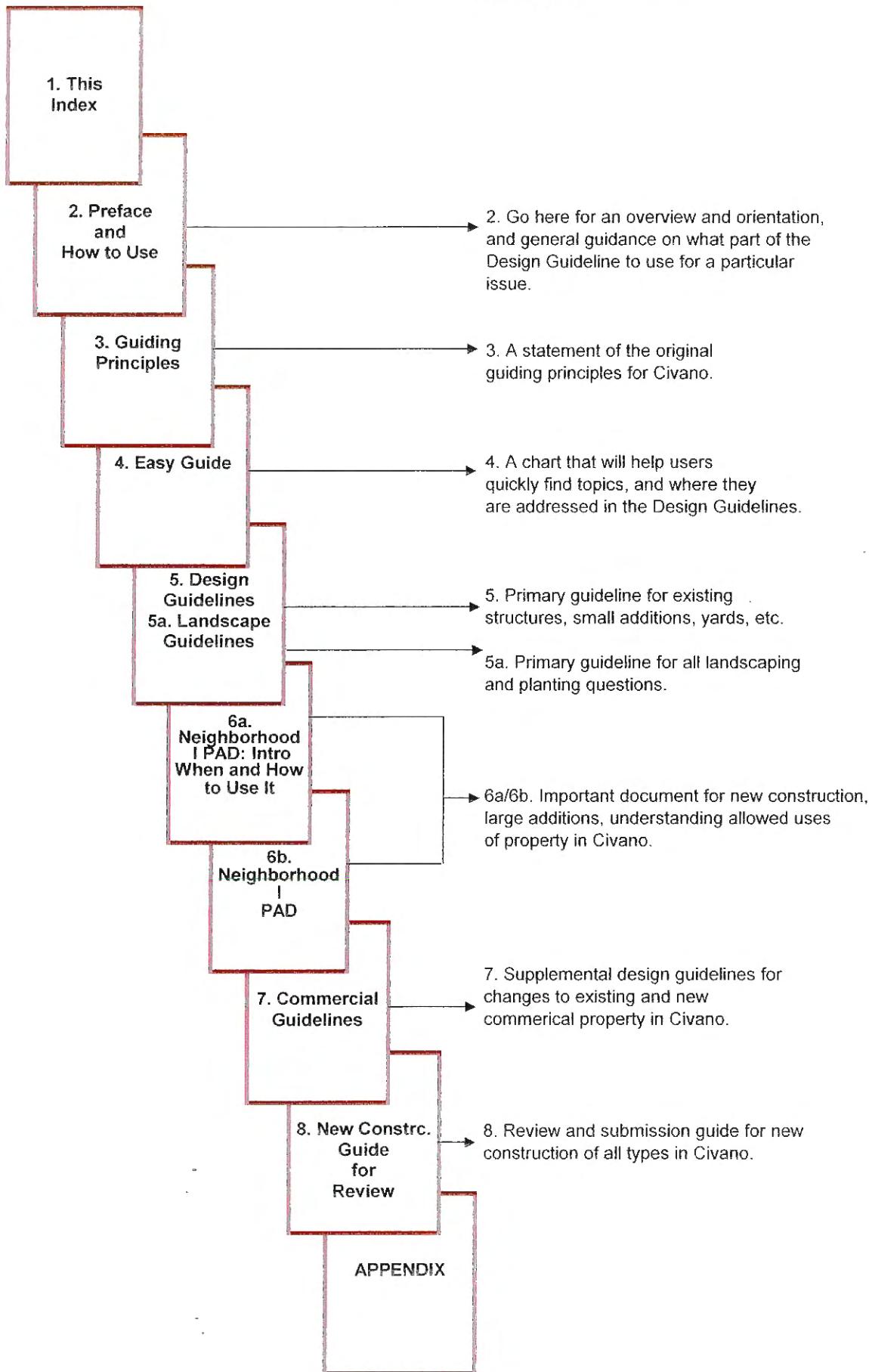
# **Section 1**

**Visual Index of this Manual**

**May 2016**

# Civano Design Guidelines Manual

## A Visual Index



# **Section 2**

**Preface and  
How to Use this Document**

**May 2016**

## **INTRODUCTION and PREAMBLE** **(June 2012)**

This addition of the Civano Neighborhood I Design Manual [See Note#1 below on the distinction between "Manual" vs. "Guideline"] builds on its predecessors. It is more complete, better organized, easier to use, and more user friendly. It is broken down into topics, and within each of its sections references are made to various other documents which impact and regulate the "look and feel" of our Community.

Creating this new comprehensive edition of the Design Manual and ensuring its accuracy was no small task. The Community of Civano owes a debt of gratitude to the Design Guidelines Task Force.

The purpose of this document is the same as its predecessors: to help this Community retain and enhance its special look and feel and characteristics, while providing room for individual creativity. This is a "living document", that is, it will be periodically reviewed and revised as required to continue to become more comprehensive and user friendly.

We should note that if you have become a lot owner in Civano, or if you are contemplating purchasing a lot in Civano Neighborhood 1; you are obligated to have changes to your property and any plans you have for building on your lot reviewed for compliance with the governing documents of this Community. See the **Visual Index** as a place to get started: it will help the user determine which part of the Manual best addresses what they are doing with their lot. The key parts of this Manual are also posted on the Civano Neighborhood 1 Website, along with instructions on how to use them and make application for changes to your property.

### **How this Design Manual is Organized**

This Guideline addresses everything from pre-approved items for existing homes to zoning rules, and a description of the process for the review of new construction. The Guideline components are as follow:

- **The Visual Index**
- **Guiding Principles**
- **Easy Guide.** (Section #4) This is a chart that helps the user quickly find where to go in the Design Guidelines and Landscape Design Guidelines to find answers on a given topic.
- **The Design Guidelines.** (Section 5a) This Section is the main part of the Manual, and will be the one most people will use, since it deals mostly with existing homes or yards that a homeowner may want to modify, add elements or small structures to, or in some other way change the appearance of the property.
- **The Landscape Design Guidelines.** (Section 5b) This Section deals with all issues relating to landscaping, including ground cover, walls, entry gates, suggested and prohibited plants.
- **The Civano I Planned Area Development or PAD.** (Section 6) This Section deals with the zoning for the Community. Zoning gives guidance, rules, and limitations for the uses allowed in a community; and for the spatial relationship between structures in the Community. Civano is a

special zoning district overlay to the basic Land Use Code of the City of Tucson. This Section has a short introduction on how to use the Civano I PAD. You will be most likely to use this section if you are contemplating doing one to the following:

- Adding a new addition to your home.
- Building an entirely new structure on your lot that already has a structure on it.
- Building anything on a vacant lot.
- Putting a non-residential use into an existing home, or new addition or structure.

**Commercial Design Guidelines.** (Section 7) This Section addresses the special needs and design requirements and rules for commercial properties in Civano, especially the Civano Center. Both owners and tenants in commercial properties need to be familiar with these guidelines.

**Design Review Process for New Construction.** (Section 8) This Section describes the submission process and requirements for the review and approval of new construction on vacant land in Civano. In addition to providing a complete set of architectural, engineering, and site plans; new construction documentation must demonstrate how the planned construction will meet the basic resource conservation goals for Civano. This section has advice on how to approach this task.

- **The Appendix.** (Section 9) This Section shows examples various documents:
  - The various application forms to be used for design reviews, and gives some advice on how to use them.
  - Copies of key documents that impact the look and feel, and construction of Civano; and gives directions to reach sources.

**Note#1:** In this document, a “Guideline” is a document that gives specific guidance on a specific topic like architectural topics or landscape design topics. The word “Manual” is used to refer to the entire collection of guidelines and documents relating the regulation of the look and feel of this Community.

# **Section 3**

## **Original Guiding Principles**

**May 2016**

## General Design Concepts and Guiding Principles

**Note: This document, from the 1998 edition of the Civano Design Guidelines, is included in the Design Manual to give a sense of what the original design intentions were for the Community. It addresses broad principles and goals. The various design guidelines included in the Manual provide the manner in which these principles, as they have evolved over time, can be implemented.**

There are four main conceptual principles integrated into the Civano Design Guidelines and recommendations. These factors are viewed as guiding principles in both conceptualizing and detailing the original community plan, and should continue to be used as first principles in any specific programming for spatial layout, design details, or zoning interpretations or decisions. The four conceptual principles are:

### **Building Community**

Civano is about building community; about connecting with each other. The Civano plan is designed to encourage face-to-face meeting and interaction. Gathering places, meeting areas, cafes, safe and livable streets where automobile traffic is encouraged to slow down; all of these create a fine-grain mix of uses, and the ability to reduce the time spent in an auto.

The plan is based upon principles of "New Urbanism" of which "Neo-Traditional Planning" is a part. The plan is laid out with important gathering places like the Neighborhood Center, the Community School, and recreational facilities located to encourage connection. There is a rich hierarchy of public, semi-public, semi-private and private spaces. Streets are laid out in short segments ending in important views or deflect in direction so that the street environment is easily defined visually, avoiding the anonymity so prevalent in most suburban areas. The streets are designed almost as if the auto is an intruder, certainly to be tamed and to be slowed down to the speed of pedestrians and cyclists. As drivers enter into the territory of the Civano streets, they become aware of the human scale and the need for care and caution. The streets are to be lived in as well as the homes. Pedestrian spaces are designed to be comfortable and to make any walking trip as pleasurable as possible, with shade and places to rest and meet with neighbors.

### **Connection with the Land**

The form of the land and the way it has weathered over time speaks to its potential for development. The drainage and erosion patterns, its visual setting, the way vegetation has grown on it; all form a pattern to impact the built forms to be placed on the land.

The Civano plan seeks to respect these forms and patterns and further develop their connections with the built fabric. The richest parts of the land, in terms of drainage patterns, water resources and resulting vegetation patterns are preserved. As the built environment is superimposed upon these patterns, it is designed to enhance the pattern of the land--by directing the flow of water runoff into areas which support vegetation and wildlife, by making connections both visual and physical between the built environment and the prime natural areas, and by expanding the extent of heavily vegetated areas into the built environment.

### **Respect for Climate**

The Civano plan seeks to acknowledge the natural patterns of the sun, the wind and the seasons in a number of ways: through attention to orientation of buildings relative to these factors; through the creation of public spaces which support human comfort through natural means; by planting shade trees nurtured by natural runoff; and by minimizing the amount of heat absorbed--in buildings and in streets, resulting in minimizing the energy needed to reduce the impact of that heat, both for energy consumption and human comfort.

### **Regeneration**

Principles of sustainability include strategies for conservation, regeneration, and stewardship of resources. Because of a general lack of responsible stewardship of our resources over the past several decades, conservation alone does not appear to be sufficient to restore the ecosystem to a natural balance. Therefore, strategies of regeneration need to be applied also. Regeneration implies that each action and resource be viewed as an opportunity to actively create energy and balance, rather than "status quo," and each "improvement" can serve more than one purpose.

Examples of regenerative principles embodied in this plan include restoration of natural riparian habitats, planting of food-producing crops which serve not only for shade but also for community income and community ritual in planting, tending and harvesting crops.

Design standards and restrictions have been developed to implement the design philosophy of Civano. Minimum standards of design provide direction to Owners and Builders in the development (planning, design, and construction) of their Residences and other structures to insure compatibility with the general philosophy of Civano. However, the purpose of the DG is not to create conformity, but to create a harmonious architectural approach compatible with these principles. The DRC will encourage creativity in design, innovative use of materials, and unique methods of construction so long as the final result is consistent with The Community of Civano overall philosophy and the DG.

**In addition to these four conceptual principles, there are two other general issues that were given much attention as being critical to creating a unique "look and feel" for Civano: color and exterior lighting.**

### **The Colors of Civano**

The Colors of Civano are designed to reflect Civano's unique attributes of a community focused on sensitivities to both the natural and human environment. Community is diversity within unity. Color can match the activity and attitude of the architecture, the location and the area use. Color is used to promote community while reflecting individual styles. Large exterior surfaces would vary in shade and intensity. Brighter more saturated colors would be used to accent architectural details and smaller utilitarian objects such as mailboxes. In other words, muted colors soften; bright colors strengthen. All colors enhance individual as well as community environments. Color should be viewed as the expression of the intended and existing attitudes and uses of a given area. And, Color should enrich the Civano experience through its vibrancy and its subtlety.

### Color Palette

A color palette has been created for Civano by the Community of Civano, LLC Design Team and the Color Consultant, Leslie Johnston of Have A Nice Design. The colors in this palette represent only those colors which would be applied by paint, stain, or pigment and include such exterior elements as walls, doors, roofs, fences, and trims. There are no restrictions on natural building materials, such as rammed earth, brick, or adobe. Landscaping should also be viewed as additional color enhancing materials.

The 3 criteria which serve as the foundation of the color palette are 1) the density layout of the community, 2) the broad range of personality preferences within the buyer base, and 3) regional and local color schematics. Generally speaking, the Neighborhood Center Density colors are most intense with the greatest contrast and difference in values to exemplify the increased activity and urban environment; while the Neighborhood Edge District colors are more subtle with an emphasis on the natural environment, exemplifying the transition into the natural desert environment.

### Additions/Deletions to the Color Palette

The Color Palette is meant to serve as an evolving palette that may include additions and deletions at any time as deemed by the Design Review Committee. Any builder, resident or commercial tenant may suggest additions to the color palette. These additions must adhere to the system established by the color palette and all changes must meet with the approval of the DRC.

### Application of Color

The Community of Civano requires that the paint used for exterior surfaces be classified as low or no volatile organic chemical (VOC) paint and contain no more than 120g/l and be applied by spray technique to minimize the impact on the environment. High VOC paints produce ground level ozone and photochemical smog, both of which are known to cause adverse health effects. The application technique of spraying reduces wastage of paint thereby decreasing costs and cleanup. All excess paint must be disposed of properly. Washing of application materials on-site is prohibited.

### Exterior Lighting

An overall exterior lighting concept for The Community of Civano was carefully developed. The intent of this lighting concept is to create a unified, natural effect that will not interfere or compete with the dramatic night-time panorama of views of the desert, and the surrounding mountains. Proposed exterior lighting schemes must be approved by the DRC.

"Site lighting" means lighting mounted on the ground, on site walls, or by other means as decorative accent lighting or for the purpose of providing safe passage around the Improvements. Site lighting must be directed downward onto vegetation, the ground, or boulders, and not upon the building.

"Building lighting" means lighting built into or mounted to buildings on walls, ceilings, eaves, or other locations for the purpose of providing decorative illumination, area illumination, general illumination, or security illumination for select and specific locations. Building lighting must be directed downward away from adjacent Building Envelopes and Common Areas.

All exterior lighting must provide for complete shielding of light sources. No bare lamps will be permitted. Care should be taken to shield the lamp from view. One should see the effect of the light, not the lamp itself.

All lamps shall have a rated lumens initial value equal to or less than a standard incandescent general service 60-watt lamp.

Up-lighting will generally be disallowed, as will an excessive number of fixtures, or excess light levels and glare.

All lighting must meet the Pima County Light Ordinance regulations as a minimum standard.

Each Owner is responsible for complying with the above outlined standards during the development and subsequent occupancy of their Residence. However, the DRC shall reserve the right to require an Owner to correct, repair, replace, or remove any exterior light or combination of lighting that is determined by the DRC to not comply with these standards.

# Section 4

**PLACEHOLDER ONLY**  
**For Easy Guide to Design Guidelines**  
**and Landscape Guidelines**

# **Section 5**

# **Design Guidelines**

**May 2016**

## TABLE OF CONTENTS

<u>SECTION</u>	<u>TOPIC</u>	<u>PAGE</u>
1	Guidelines	
2	Purpose and Intent	
3	Submittal of Application	
4	Alterations and Modifications Which Need DRC Approval and May Require a Professional Architect Review	
5	Animals	
6	Antennas and Satellite Dishes	
7	Awnings, Shutters and Shade Cloth	
8	Clothes Drying Facilities	
9	Doors and Windows	
10	Display of Flags	
11	Garbage Container Storage	
12	Gates	
13	Gutters and Downspouts	
14	Landscape (see separate Landscape Guidelines)	
15	Lighting	
16	Mechanical Equipment	
17	Other Improvements Inside Property Walls	
18	Painting	
19	Play, Exercise and Recreational Equipment	
20	Recreational Vehicles	

## TABLE OF CONTENTS (continued)

<u>SECTION</u>	<u>TOPIC</u>	<u>PAGE</u>
21	Roofing and Roof-Related Items	
22	Storage Sheds	
23	Solar Tubes	
24	Skylights	
25	Signage in Common Areas: Owners	
26	Signage in Common Areas: Resale, Broker or Builder	
27	Signage on Private Lots: Owners	
28	Signage on Private Lots: Resale, Broker or Builder	
29	Business/Commercial Signage on Mixed Use Lots	
30	Signage: Cautionary	
31	Signs, Plant (See, also Landscape Review Guidelines)	
32	Signage, Political	
33	Solar Devices	
34	Swimming Pools and Spas	
35	Water Barrels (Harvesting)	
36	Water Features: (See, also, Landscape Review Guidelines)	
37	Windows and Doors	
38	Yard Ornaments	
	Adopted and Approved Signatures	

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17

# CIVANO 1: NEIGHBORHOOD 1

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17

## DESIGN GUIDELINES

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17

## DESIGN REVIEW REQUIREMENTS AND PRE-APPROVALS

1

2 **1 GUIDELINES:**

3

4 In accordance with the Master Declaration, §4.7 and Civano 1: Neighborhood 1  
5 Covenants Conditions & Restrictions (hereinafter "C1N1 CC&R's"), §4.7, the following  
6 actions require prior written approval from the Design Review Committee (hereinafter  
7 "DRC"):

- 8
- 9       1.1 All improvements, alterations, repairs, excavation, grading, landscaping or  
10 other work which, in any way, alters the exterior appearance of the lot or  
11 parcel, and
- 12
- 13       1.2 All buildings, fences, walls, pools or driveways, or any other structure,  
14 improvement or grading which is to be commenced, erected, maintained,  
15 altered, changed or made on any lot or parcel at any time.

16

17 **2 PURPOSE AND INTENT:**

18

19 The following Guidelines and Pre-Approvals are expressly written for Civano 1  
20 Neighborhood 1 owners to assist in the clarification and identification of improvement  
21 items which will require prior DRC approval. In addition, every effort has been made to  
22 identify improvements items that do not need prior DRC approval.

23

24 **3 SUBMITTAL OF APPLICATION:**

25

- 26       3.1 All applications will be submitted on the applicable attached Civano 1:  
27 Neighborhood 1 Design Review Submittal Form.
- 28
- 29       3.2 Applicants are required to adhere to all the guidelines and procedures  
30 contained in the Civano Design Review Guidelines, Civano Landscape  
31 Design Review Guidelines and the Submittal form. If the form is not  
32 completed in accordance to with the guidelines and procedures, it will be  
33 returned and the process will be delayed.
- 34
- 35       3.3 All applications must be submitted no later than the last day of the month  
36 in order to be on the Design Review Committee's next month's meeting  
37 agenda.

38

39 **4 ALTERATIONS AND MODIFICATIONS WHICH NEED DRC APPROVAL AND**  
**MAY REQUIRE A PROFESSIONAL ARCHITECT'S REVIEW:**

40

- 41
- 42       4.1 The following alterations, modifications and additions are considered  
43 major projects by the DRC and may require a professional architect's  
44 review.
- 45

4.2 These projects will strictly adhere to the Guidelines as outlined in the Civano Planned Area Development (hereinafter "Civano PAD"), City of Tucson Land Use Codes (North Ridge and The Orchards), Master Declaration and Design Review Guidelines, Civano 1 Neighborhood ! Declaration and Design Review Guidelines and Revised Memorandum of Understanding. These documents will be repeatedly referenced herein and can be found in the Civano 1 Neighborhood 1 Homeowner's Association (hereinafter "HOA") website at:

[www.civano1.com](http://www.civano1.com), or

[www.tucsonaz.gov/planning/codes/luc/](http://www.tucsonaz.gov/planning/codes/luc/), or

[www.tucsonaz.gov/planning/plans/redevelopment/civanopadall.pdf](http://www.tucsonaz.gov/planning/plans/redevelopment/civanopadall.pdf)

**4.2.1 ADDITIONS TO EXISTING STRUCTURE:** See, restrictions in Civano PAD and City of Tucson Land Use Code regarding setbacks and height restrictions.

**4.2.2 ENCLOSURE OF PATIOS:** See, restrictions in Civano PAD and City of Tucson Land Use Code regarding height and setback restrictions.

#### 4.2.3 EXTENDING OR ADDING PORCH OR PORCH COVER:

4.2.3.1 See, restrictions in Civano PAD and City of Tucson Land Use Code regarding height and setback restrictions.

4.2.3.2 Patios and courtyards shall be designed as an integral part of the adjacent building.

**4.2.4 OUTBUILDINGS:** See, restrictions regarding type of use, height, color, energy requirements and setback restrictions in Civano PAD and City of Tucson Land Use Code.

**4.2.5 EXTENSION OF WALLS:** See, yard perimeter requirements, site view triangle and other restrictions in Civano Master PAD and City of Tucson Land Use Code.

#### 4.2.6 REMOVAL OF WALLS. This section is deleted and left void.

**4.2.7 MAINTENANCE OF WALLS:** Unless otherwise expressly agreed in writing by the HOA, in the case of walls or fences: (1) between Common Areas and Lots or Parcels; or, (b) situated on Common Areas within or adjacent to a Lot or Parcel, the Owners and Occupants of such Lots or Parcels shall be responsible, at their expense, for all maintenance, repair, painting and replacement thereof (See, C1N1 CC&R's, §5.2.15.5).

- 4.2.8 **INCREASING HEIGHT OF WALL**: See, restrictions in Civano PAD and City of Tucson Land Use Code. Pay particular attention to restrictions regarding placement near sidewalks.

4.2.9 **ADDING WROUGHT IRON OR OTHER MATERIAL TO WALL**: See, restrictions in Civano PAD and City of Tucson Land Use Code regarding height and percentage of open space required above walls located near sidewalks or walking paths and other walls of six feet (6').

4.2.10 **OUTDOOR KITCHEN** with a height over five feet (5') and which can be seen from neighborhood homes: (See, C1N1 CC&R's §1.58: "*Visible from Neighboring Property*" refers to, with respect to any given object, that such object is or would be visible to a person six feet (6') tall, standing at ground level on neighboring property.)

4.2.11 **OUTDOOR FIREPLACES, CHIMINEAS, BBQ'S** with a height over five feet (5') and which can be seen from neighboring homes. (See, C1N1 CC&R's §1.58: "*Visible from Neighboring Property*" refers to, with respect to any given object, that such object is or would be visible to a person six feet (6') tall, standing at ground level on neighboring property.)

4.2.12 **COMPLIANCE WITH SET-BACKS**: All improvements, including any alterations to the undisturbed natural desert such as, but not limited to, any excavation, site grading, driveways, parking areas, retaining conditions, walls, patios, and structures must comply with the setback requirements as set forth in the Civano Master PAD or for North Ridge and The Orchards and the City of Tucson Land Use Codes.

4.2.13 **SITE DRAINAGE**:

4.2.13.1 Site drainage must be accomplished with minimum disruption to the Lot and shall not impact adjacent Lots or common Areas, except as established by existing natural drainage patterns, nor cause a condition that could lead to soil erosion on any natural area. All drainage shall exit from any Lot in a manner identical to the original run-off.

4.2.13.2 Drainage from hard surfaced areas such as driveways, roofs, and patios must be retained on-site so that the off-site quantity and rate of flow shall not be greater than the original hydrology conditions at any exiting point. Developed drainage way, if lined, shall use native site

rock (Catalina rock). Small rock check dams, collection and detention areas, and other such treatments are encouraged to direct drainage flows as a supplement to irrigation into appropriate landscape areas.

- 4.2.13.3** The DRC shall reserve the right to require a written certification from the Owner's licensed Engineer stating that the overall characteristics of drainage run-off from the Lot have not been affected by volume, rate or flow as a result of the Improvements' design and execution.

**4.2.14** Other structures as the Association Board may from time to time designate as requiring review.

**5. ANIMALS:** (See, C1N1 CC&R's, §5.3.3 and §5.4.5)

### **5.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

- 5.1.1 A reasonable number of generally recognized house pets (and, subject to applicable zoning and other ordinances and governmental regulations) shall be maintained on or in any Lot.
  - 5.1.2 Any structure for the care, housing or confinement of any animal that is not visible from neighboring property. (See, C1N1 CC&R's, §1.58: "*Visible from Neighboring Property*" refers to, *with respect to any given object, that such object is or would be visible to a person six feet (6') tall, standing at ground level on neighboring property.*)
    - 5.1.2.1 The Board may determine, in its' sole and absolute discretion, whether a particular animal is a generally recognized house or yard pet, whether a particular animal is a nuisance, or whether the number of animals is reasonable.
  - 5.1.3 Guard dogs kept or maintained within buildings or fenced areas.

1       **6     ANTENNAS AND SATELLITE DISHES: (See, C1N1 CC&R's §5.2.7 and**  
2       **Telecommunications Act of 1996 [47 C.F.R. Sec. 1.4000 and ("HAM") radio**  
3       **See, 47 C.F.R. §97.15**

4  
5       Per FCC regulations, the Association does not have absolute say as the  
6       installation of location of antennas and satellite dishes. The Association does  
7       requests that you keep visibility at a minimum. Devices should be shielded from  
8       view whenever possible and feasible. [www.fcc.gov/mb/facts/otard.html](http://www.fcc.gov/mb/facts/otard.html)).  
9

10      **6.1   ITEMS THAT DO NOT NEED DRC REVIEW:**

11           6.1.1 Exposed cables to be painted the same color as adjacent surface

12      **6.2   ITEMS THAT DO NEED DRC REVIEW:**

13           6.2.1 Any antenna on a mast that extends more than twelve feet (12')  
14           may be required by the DRC to have a permit for safety reasons.  
15           (Refer to Submittal Form regarding application requirements.)

16           6.2.2 The DRC, in addition to adhering to the Civano governing  
17           documents, will also follow all FCC guidelines in review of all  
18           applications. (See, Telecommunications Act of 1996 (47 C.F.R.  
19           §1.4000 and ("HAM") radio, See, also 47 C.F.R. §97.15 and  
20           [www.fcc.gov/mb/facts/otard.html](http://www.fcc.gov/mb/facts/otard.html)).  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39  
40  
41  
42  
43  
44  
45

1           **7 AWNINGS, SHUTTERS AND SHADE CLOTH: (See, also C1N1 CC&R's**  
2           **§5.2.19)**

3  
4           **7.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

- 5  
6           7.1.1 Shade cloth, which is not visible from neighboring properties. (See,  
7           C1N1 CC&R's, §1.58: "*Visible from Neighboring Property*" refers to,  
8           with respect to any given object, that such object is or would be  
9           visible to a person six feet (6') tall, standing at ground level on  
10          neighboring property.)  
11  
12          7.1.2 Fabric solid color awnings with metal armatures on the first story.  
13          Awning color to match the body or trim color of the house. Metal  
14          armature to match the body color of the house. Awnings to be  
15          retracted when not in use.

16  
17          **7.2 ITEMS THAT DO NEED DRC REVIEW:**

- 18  
19          7.2.1 All awning, shutter or shade cloth projects not specifically listed  
20          above and that are visible as defined in C1N1 CC&R's , §1.58  
21          ("Visible from Neighboring Property" refers to, with respect to any  
22          given object, that such object is or would be visible to a person six  
23          feet (6') tall, standing at ground level on neighboring property.).  
24  
25          7.2.2 Refer to Submittal Form regarding application requirements.

26  
27          **8 CLOTHES DRYING FACILITIES: (See, C1N1 CC&R's §5.2.10)**

28  
29          **8.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

- 30  
31          8.1.1 Clotheslines or other facilities for drying or airing clothes may be  
32          placed on any Lot or Parcel provided that they are not visible from  
33          the public walkways and streets and provided that they are  
34          retractable.

35  
36          **8.2 ITEMS THAT DO NEED DRC REVIEW:**

- 37  
38          8.2.1 All other clothes drying facilities that are not specifically listed  
39          above.

1       **9      DOORS AND WINDOWS: (to include security doors, screen doors, entry**  
2           **and garage doors, window and door screens and wrought iron window**  
3           **security bars) (See, §37, "Windows & Doors") (See, also C1N1 CC&R's**  
4           **§5.2.19)**

5  
6       Window or door glazing that is mirrored is not allowed.  
7

8       **9.1     ITEMS THAT DO NOT NEED DRC REVIEW:**  
9

- 10       9.1.1   New or replacement of door and window screen material with  
11           black, bronze or existing screen color.  
12  
13       9.1.2   Metal security screen doors painted in a single color of black,  
14           "rusted metal" or to match adjacent house body or trim colors.  
15  
16       9.1.3   Replacement of items in this category with exact items and  
17           installation per original approved colors and construction.  
18  
19       9.1.4   Windows and door frames shall be finished with anodized metal,  
20           baked enamel, vinyl clad or wood.  
21

22       **9.2     ITEMS THAT DO NEED DRC REVIEW:**  
23

- 24       9.2.1   All items that are not specifically listed above.  
25

26       **10     DISPLAY OF FLAGS (See, §38, "Yard Ornaments")**  
27

28       Flags displaying advertising are not permitted.  
29

30       **10.1.   ITEMS THAT DO NOT NEED DRC REVIEW:**  
31

- 32       10.1.1   Official flag of the United States of America ("American"), or  
33           official flag (or replica) of the United States Army, Navy, Air Force  
34           Marine Corps, Coast Guard, if the flag is displayed in a manner  
35           consistent with the Federal Flag Code (See, A.R.S. §33.1808).  
36  
37       10.1.2   POW/MIA flag, Arizona State flag, and the Arizona Indian Nations  
38           flag (See, A.R.S. §33-1808).  
39  
40       10.1.3   Outdoor display of the American flag by a bracket and extension  
41           mounted on the house.  
42       10.1.4   Freestanding flagpoles: The following guidelines must be  
43           followed:  
44  
45       10.1.4.1   Maximum height shall be no more than twelve feet  
46           (12').

- 10.1.4.2 Flag shall be no larger than three feet by five feet (3'x5').
  - 10.1.4.3 The pole and flag shall be of materials to minimize noise. This should include a wood rather than metal pole, rope rather than metal cabling, and heavy gauge flag material.

#### 10.1.5 Holiday Flags: (See, §38, "Yard Ornaments")

10.1.6 Noise generated from cables clanging against the pole during windy days must be controlled so as not to disturb neighbors.

## **10.2 ITEMS THAT DO NEED DRC REVIEW:**

#### 10.2.1 All items that are not specifically listed above.

**11 GARBAGE CONTAINER STORAGE: (See, C1N1 CC&R's §5.3.4.1)**

#### **11.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

11.1.1 Enclosures built to shelter garbage containers that match the existing architecture and colors of the property (buildings, walls and/or gates).

11.1.2 Containers shall not be visible from neighboring property. (See, C1N1 CC&R's §1.58: "*Visible from Neighboring Property*" refers to, with respect to any given object, that such object is or would be visible to a person six feet (6') tall, standing at ground level on neighboring property.)

## **11.2 ITEMS THAT DO NEED DRC REVIEW:**

### 11.2.1 All other enclosures that are not specifically listed above.

## 12 GATES

## **12.1 ITEMS THAT DO NOT NEED DRC REVIEW**

12.1.1 Gates, if wood, that match the existing wood stain color or match The adjacent body or trim color of house. If wrought iron, gaints that are painted black. "rusted metal" or match color of house.

#### 12.1.2 A gate replaced with a decorative metal gate.

1  
2           **12.2 ITEMS THAT DO NEED DRC REVIEW**

3  
4           12.2.1 All items that are not specifically listed above.

5  
6           **13 GUTTERS AND DOWNSPOUTS:**

7           **13.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

8  
9           13.1.1 The installation of gutters and downspouts shall not require  
10           approval of the DRC IF they are painted to match the color of the  
11           house or trim adjacent to where the installation occurs, and if such  
12           installation does not result in undue drainage onto neighboring  
13           properties. A chain in lieu of a downspout is appropriate.

14           **13.2 ITEMS THAT DO NOT NEED DRC REVIEW:**

15           13.2.1 All items that are not specifically listed above.

16           **14 LANDSCAPE:** This section deleted and intentionally left blank. See Landscape  
17           Design Guidelines which follow these Design Guidelines.

18           **15 LIGHTING:**

19           An overall exterior lighting concept for the community of Civano has been  
20           carefully developed. The intent of this lighting concept is to create a unified, natural  
21           effect which will not interfere or compete with the dramatic night-time panorama of  
22           views of the desert and surrounding mountains. (See, Master Guidelines & C1N1  
23           CC&R's §5.4.4)

24           **15.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

25           15.1.1 Accent low voltage type lighting shall not require approval if less  
26           than fifteen (15) lights are installed and the bulbs are white, do not  
27           exceed eighteen watts (18W) per light bulb, do not exceed twenty  
28           four inches (24") in height from ground level and do not direct the  
29           light onto neighboring properties. (See, C1N1 CC&R's §1.58:  
30           *"Visible from Neighboring Property" refers to, with respect to any*  
31           *given object, that such object is or would be visible to a person six*  
32           *feet (6') tall, standing at ground level on neighboring property.)*

33           15.1.2 The light emitting element and reflecting device of all lighting or  
34           illumination units shall be hooded or shielded so that it is not  
35           visible from neighboring property.

- 1           15.1.3 Individual fixtures are limited to sixty watts (60W) each.  
2  
3           15.1.4 Lights or illuminating units shall not direct light, either directly or  
4           5 through a reflecting device, upon an adjacent real property.  
6  
7           15.1.5 Motion lights must turn off within five (5) minutes.  
8  
9           15.1.6 Pole lighting is prohibited.  
10  
11          15.1.7 All exterior lighting shall be compatible and harmonious  
12           throughout the covered property; and, shall be in keeping with the  
13           specific function and building type being served.  
14  
15          15.1.8 All exterior lighting must use low voltage lamps or incandescent  
16           lamps. All lamps shall have a rated lumens initial value equal to  
17           or less than a standard incandescent general service sixty watt  
18           (60W) lamp.  
19  
20          15.1.9 Holiday lighting may be installed forty-five (45) days prior to the  
21           holiday and must be removed fourteen (14) days after the holiday  
22           associated with the lighting.  
23  
24          15.1.10 All lighting must meet the Pima County Light Ordinance  
25           Regulations as a minimum standard.

27       **15.2 ITEMS THAT DO NEED DRC REVIEW:**

- 28          15.2.1 All flood lights shall require prior approval.  
29  
30          15.2.2 Up-lighting will generally be disallowed, as will an excessive  
31           32 number of fixtures, or excess light levels and glare.  
33  
34          15.2.3 The DRC shall reserve the right to request that the Board direct  
35           36 an Owner to correct, repair, replace, or remove any exterior light or  
37           combination of lighting that is determined by the DRC to not comply  
38           with these standards.  
39  
40          15.2.4 All items that are not specifically listed above.

41       **16 MECHANICAL EQUIPMENT:**

42       **16.1 ITEMS THAT DO NOT NEED DRS REVIEW:**

- 43          16.1.1 Replacement of ground mounted mechanical equipment of similar  
44           size to the original approved construction so that no changes or

1 additions to the original approved screening method are required.  
2

- 3       16.1.2 No replaced mechanical equipment shall be seen or heard from  
4            neighboring properties. (See, C1N1 CC&R's §1.58: "*Visible from*  
5            *Neighboring Property*" refers to, with respect to any given object,  
6            *that such object is or would be visible to a person six feet (6') tall,*  
7            *standing at ground level on neighboring property.*)  
8
- 9       16.1.3 Replacement equipment must adhere to the Civano Model Energy  
10          Code and the Sustainable Energy Code.  
11
- 12      16.1.4 Replacement of rooftop-mounted mechanical equipment of similar  
13          size to the original approved construction so that no changes or  
14          additions to the original approved screening method are required.  
15          No replaced mechanical equipment shall be seen or heard from  
16          neighboring properties.  
17

18     **16.2 ITEMS THAT DO NEED DRC REVIEW:**  
19

- 20       16.2.1 Replacement of ground-mounted mechanical equipment or  
21            rooftop mounted mechanical equipment which requires a change  
22            to the original approved screen method.  
23
- 24       16.2.2 All mechanical equipment projects that are not specifically listed  
25            above.  
26

27     **17 OTHER IMPROVEMENTS INSIDE PROPERTY WALLS:**  
28

29     **17.1 ITEMS THAT DO NOT NEED DRC REVIEW:**  
30

- 31       17.1.1 Other improvements inside the property walls that are not higher  
32            than the perimeter wall.  
33

34     **17.2 ITEMS THAT DO NEED DRC REVIEW:**  
35

- 36       17.2.1 All items that are inside property walls that are above perimeter  
37            wall height.  
38
- 39       17.2.2 All items that are inside property walls and can be seen by  
40            neighboring properties. (See, C1N1 CC&R's §1.58: "*Visible from*  
41            *Neighboring Property*" refers to, with respect to any given object,  
42            *that such object is or would be visible to a person six feet (6') tall,*  
43            *standing at ground level on neighboring property.*)  
44
- 45
- 46

# PROVISIONAL

## 18. PAINTING

### 18.1. Pre-Approvals (Items Requiring No DRC Review)

1. Interior house painting
2. Flat roof painting

**Note:** Window frame colors are not considered trim colors

### 18.2. PURPOSE:

1. The Community of Civano and the Civano colors are unique. This Section on painting is derived from what is viewed as Civano's guiding principles: Building Community, Connection with the Land, Respect for Climate, and Regeneration.
2. The purpose of the color design principles is not to create uniformity, but to create a harmonious approach to a subtle blending of people, residences and other buildings, and the blending of the existing desert into a harmonious and aesthetically pleasing community..
3. To assist Owners in their color selections, the Civano HOA office has a selection of paint swatches from several major paint manufactures. These swatches can be borrowed with a refundable \$25 deposit. The Civano HOA Office is located at 10501 E. Seven Generations Way, Suite 109. Phone number: 520-546-3862. Call for hours.

### 18.3. CIVANO COLOR PRINCIPLES:

1. The selected colors should complement the color spectrum of the Arizona desert.
2. The most commonly used color palette has five general base color groups which are: Red, Yellow, Brown, Green and Purple.
3. The color palette is meant to serve as an evolving palette. The paint manufactures continue to add, delete adjust colors in their individual palette. Owners should consult sec. 18.2.3 for color examples.
4. Owners are encouraged to use their creativity while respecting the concept of the desert spectrum colors, with more vibrant colors reserved for trim and accent application. (**Note:** As a general rule Owners should avoid pastel colors. The pastel colors are usually described as "near neutral", "milky", "washed out", "desaturated", lacking strong chromatic content. Muted colors soften, while bright colors

strengthen. Owners are encouraged not to duplicate their immediate neighbors' color schemes.)

5. The color palette for Civano does not include black, white, light gray, fluorescent colors or unusual visual effects, such as strips or polka dots.

#### **18.4. COLOR CRITERIA**

1. Paint colors with a LRV (Light Reflective Value) greater than 64 are not acceptable and will not be approved.
2. Owners who plan to purchase paint that does not include LRV values must submit color swatches to the DRC when submitting their application. (Note: Owners should check with the paint manufacturer for the paint's suitability for being applied to fresh cement stucco. Some paints are affected by the alkaline nature of fresh cement and will fade at an accelerated rate. Interior paint colors will fade faster when used in exterior applications.)
3. House paint must have a flat sheen while trim paint may be flat or satin sheen.

#### **18.5 THE FOLLOWING REQUIRE DRC DOCUMENTATION AND/OR REVIEW**

1. **Body and Trim of House:** Use of the original "approved" exterior colors requires documentation submittal and verification by the HOA Manager ("Original" exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation and DRC review and approval.
2. **Front/Rear Doors:** Repaint to match existing door, body or trim colors. Use of the existing "approved" exterior colors requires documentation submittal only. ("Original" exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation and DRC review and approval.
3. **Security Door:** Painted in a single color: Black, "rusted material" or match adjacent body or trim colors. Use of the existing "approved" exterior colors requires documentation submittal only. ("Original" exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.

- 4. Garage Door Border:** Match existing body or trim colors. Use of the existing “approved” exterior colors requires documentation submittal only. (“Original” exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.
- 5. Rear Patio/Balcony:** If wood, match existing wood stain colors or match adjacent body or trim colors of house. If stucco, paint to match body colors of house. Use of the existing “approved” exterior colors requires documentation submittal only. (“Original” exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.
- 6. Gates:** If wood, match existing wood stain colors or match adjacent body or trim colors of house. If wrought iron use black, “rusted metal,” or match colors of house. Use of the existing “approved” exterior colors requires documentation submittal only. (“Original” exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.
- 7. Privacy walls:** If stucco, paint to match body colors of house or repaint to match existing finish and colors of the wall. Natural materials are to be left in natural state. Use of the existing “approved” exterior colors requires documentation submittal only. (“Original” exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.
- 8. Wrought Iron Fences:** Black, “rusted metal” or match body colors of house. (The colors of the wrought iron to be consistent throughout the Lot or Parcel.) Use of the existing “approved” exterior colors requires documentation only. (“Original” exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.
- 9. House-mounted utility boxes and cabling:** Match adjacent body colors. Use of the existing “approved” exterior colors requires documentation submittal only. (“Original” exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.

10. **Window frames** are not considered trim colors. Use of the existing "approved" exterior colors requires documentation only. ("Original" exterior colors must still meet the new color criteria in Sec. 18.4) New colors require documentation submittal and DRC review and approval.

#### **18.6 REPAINTING HOUSE WITH CURRENT "APPROVED" COLORS**

1. The Owner will obtain copies of the necessary documents approved applications forms from the Civano HOA office or from the Civano 1HOA website. If the Owner plans to repaint the house and trim with the current approved colors (i.e., no changes), the Owner does not need to paint color swatches on his/her house, but must attach color samples to the DRC Improvement Request Form. The original" exterior colors must still meet the new color criteria in Sec. 18.4
- 2 . It is not necessary to have three neighbors' signatures on the DRC Improvement Request form.
3. When completed, the documents are to be submitted to the HOA office.
4. The HOA Manager will check the Owner's file to determine if there are any previous color citations pertaining to existing colors of the house. If there are citations pertaining to the existing colors of the house, the Owner will be advised of any necessary changes that must be made to his/her color selections.
5. If necessary, the Owner will be advised to follow the procedure in Section 18.7 for repainting house with new colors.

#### **18.7 REPAINTING HOUSE WITH "NEW" COLORS**

1. The Owner will obtain copies of the necessary approved paint application forms from the on-site office or from the Civano website
2. If the Owner is planning to repaint the house and trim with different colors, Owner is required to paint at least a 1' x 1' color swatch on the structure or on a piece of cardboard that is attached to the structure.
3. It is necessary for the Owner to have three neighbors' signatures on the DRC Improvement Request forms.
4. When completed, the documents will be submitted to the HOA office and at

month's fine.

**5. A notice of the non-compliance will be placed in the Owner's file.**

<sup>1</sup> The procedures set forth in this Section 18.8 are an authorized exception to Civano HOA Amended Resolution 12-01A on "Governing Document Violation Procedure;" however, before a monetary fine is imposed under this Section, the pertinent Owner will be given notice and an opportunity to be heard by the Board of Directors.

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39  
40  
41  
42  
43  
44  
45  
46

## **19 PLAY, EXERCISE AND RECREATIONAL EQUIPMENT**

### **19.1 ALL ITEMS NEED DRC APPROVAL (NO PRE-APPROVALS):**

19.1.1 The DRC shall consider play, exercise and recreational equipment if it adheres to the following guidelines:

19.1.1.1 Placement of climbing platforms and slides must allow for mitigation to protect the privacy of neighboring property owners. (See, C1N1 CC&R's §1.58: "*Visible from Neighboring Property*" refers to, with respect to any given object, that such object is or would be visible to a person six feet (6') tall, standing at ground level on neighboring property.)

19.1.1.2 Play or exercise equipment should not exceed the height of eight feet (8') from ground level to the cross-bar or the highest point and should be placed a minimum of ten feet (15') from all neighboring boundaries. All such equipment must comply with the foregoing requirements, except that screening and painting the play equipment will not be required. Temporary and/or portable recreational equipment (excluding basketball poles) which is stored away each day when the equipment is not in use.

1           19.1.1.3 All portable and permanent basketball backboards.  
2

3           19.1.1.3a Written opinion of adjacent lot owners will be  
4           taken into consideration as part of Submittal  
5           Form.

6           19.1.1.3b DRC approval shall be for a period of one (1)  
7           year.

8           19.1.1.3c After one (1) year, the homeowner must remove  
9           the hoop or re-apply for approval.

10          19.1.1.3d Permanent basketball bracketry must be painted  
11          black of body of color of house.

12  
13          19.2.2 Play or exercise equipment exceeding the height of (8) feet from  
14          grade to the cross-bar or highest point and/or not placed in a  
15          minimum of fifteen feet (15') from all rear yard privacy walls.

16  
17          19.2.2.1 Homeowners shall propose a method to provide  
18          adequate screening from the adjoining properties by  
19          shrubs or trees, which will equal the height of the play  
20          equipment. (See: "4 Alterations", "14 Landscape 14.6  
21          Overhead Encroachments", "Sec. 7 Awnings, Shutters &  
22          Shade Cloth", "17 Other Improvements Inside Property  
23          Walls", "21 Roofing" and in the Landscape Review  
24          Guidelines, "6.5 Trellises")

25  
26          19.2.2.2 The DRC may require that the equipment be painted a  
27          color compatible with the house on the subject lot.

28  
29          19.2.3 Play or exercise equipment with brightly colored canopies, roofs, or other  
30          visual distractions will be discouraged and the DRC will take into consideration  
31          the opinions of neighboring property owners.

32          19.2.4 Trampolines.

33  
34          19.2.4.1 The DRC will take written approval of adjacent lot  
35          owners into consideration as part of this submittal.

36  
37          19.2.4.2 Approval of trampolines shall be for a period of one (1)  
38          year.

39  
40          19.2.4.3 After one year, the homeowner must remove the

1 Trampoline or re-apply to the DRC for approval.  
2

3 19.2.5 The DRC approval will also take into consideration any excessive  
4 noise generated by the proposed installation.

5 19.2.6 Equipment is to be removed when no longer used.

6 19.2.7 Applicant is to Provide with their Submittal Form:

7 19.2.7.1 A layout of the area where recreational equipment is to  
8 be installed.

9 19.2.7.2 Description of equipment.

10 19.2.7.3 Proposed color.

11 19.2.7.4 Design and dimensions of equipment.

12 19.2.7.5 Sample brochures, pictorial drawings or photographs of  
13 Similar equipment are helpful.

14 19.2.8 All recreational and play equipment that is not specifically listed  
15 above.

## 20 RECREATIONAL VEHICLES: (See, C1N1 CC&R's, §5.3.5.2 and §5.3.5.5)

### 20.1 ITEMS THAT DO NOT NEED DRC REVIEW:

20.1.1 A recreational vehicle may be parked on the driveway or the  
street in front or behind the Lot for a period not to exceed twenty-  
four (24) hours in any seven (7) day period, for the purpose of  
loading or unloading the vehicle, or for the purpose of providing  
temporary parking for a transient guest of an owner who may be  
traveling in, or towing the recreational vehicle.

20.1.2 An Owner's guest may use the motor home or recreational  
vehicle as sleeping quarters only on a temporary basis, as  
described above while visiting the Owner, or as may be limited by  
the Board.

### 20.2 ITEMS THAT DO NEED DRC REVIEW:

20.2.1 Any other parking of a recreational vehicle that is not specifically  
listed above needs DRC review and/or as determined by the  
Board of Directions (See, C1N1 CC&R's, §5.3.5.2

1      **21 ROOFING AND ROOFING-RELATED ITEMS:**

2      **21.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

- 3      21.1.1 Re-roofing with exact materials and installation per roof's original  
4      approved colors and construction.
- 5      21.1.2 Replacement of metal flashings painted to match the house body  
6      color or be of unpainted galvanized metal or copper.
- 7      21.1.3 Replacement of gutters, scuppers and downspouts painted to  
8      match the house body color or be of unpainted galvanized metal  
9      or copper.
- 10     21.1.4 Replacement of miscellaneous roof penetrations (i.e., plumbing  
11    vents) to match the roof color of the roof they penetrate.
- 12     21.1.5 Replacement of tubular skylights per the original approved  
13    construction.
- 14     21.1.6 Replacement of skylights with flashing or frames colored to blend  
15    or match with the roof or the structure below.
- 16     21.1.7 Replacement of water harvesting barrels/culverts at the rear of  
17    the property or hidden within patio walls per the original approved  
18    construction.

19     **21.2 ITEMS THAT DO NEED DRC REVIEW:**

- 20     21.2.1 Roofing and roof-related items that are not specifically listed  
21    above. (See, restrictions in Civano PAD and City of Tucson Land  
22    Use Code.)
- 23     21.1.2 At time of Submittal Application, provide samples of materials and  
24    Products, including color. Any proposed white or reflective roof  
25    coating shall not be visible from neighboring properties.

26     **22 STORAGE SHEDS:**

27     All sheds shall require written approval by the DRC.

28     **23 SOLAR TUBES:**

29     Solar tubes shall not require approval.

30     **24 SKYLIGHTS: (See, Master Design Guidelines)**

1           24.1 **ITEMS THAT DO NOT NEED DRC APPROVAL:**

2           3       24.1.1 Skylights must be developed as an integral part of the roof.

4           5       24.1.2 Flashing or frames must be colored to match or blend with the  
6            roof.

7           8       **25 SIGNAGE IN COMMON AREAS - OWNERS:**

9           10      **25.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

11           12      25.1.1 "Open House" and "Garage/Yard Sale" signs in Common Areas, if  
13            in accordance with the following provisions:

14           15      25.1.1.1 "Open House" and "Garage/Yard Sale" signs which  
16            have been purchased or by made by Owner, however,  
17            the DRC shall reserve the right to request reasonable  
18            modifications of such signs if deemed inappropriate by  
19            the DRC.

20           21      25.1.1.2 Signs in Common Areas must not block any sidewalk or  
22            motor traffic or impair visibility of such traffic.

23           24      25.1.1.3 Signs in Common Areas must be placed no sooner  
25            than sunrise and removed no later than sunset of the  
26            same day.

27           28      **25.2 ITEMS THAT DO NEED DRC REVIEW:**

29           30      25.1.1 All other signs that are not specifically listed above.

31           32      **26 SIGNAGE IN COMMON AREAS - RESALE, BROKER OR BUILDER**

33           34      **26.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

35           36      26.1.1 "Open House" directional signs in Common Areas are permitted  
37            by a realtor and shall not require approval if in accordance with  
38            the following provisions:

39           40      26.1.1.1 One (1) "Open House" metal standing A-frame may be  
41            displayed in the front entrance/walkway or visible area  
42            to the entrance of the home for sale.

43           44      26.1.1.2 One (1) directional "Open House" metal standing A-  
45            frame sign may be placed in other Civano Common  
46            Areas directing visitors to an open house. The "Open

"House" and directional signs are only to be displayed when the agent is on site at the home for sale.

26.1.1.3 Signs in Common Areas must not block any sidewalk or motor traffic or impair visibility of such traffic.

26.1.1.4 Signs in Common Areas must be placed no sooner than sunrise and removed no later than sunset of the same day as the open house.

## **26.2 ITEMS THAT DO NEED DRC REVIEW:**

#### 26.2.1 All other signs that are not specifically listed above.

**27 SIGNAGE ON PRIVATE LOTS – OWNERS (See, A.R.S. §33-1808)**

## **27.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

27.1.1 One (1) "For Sale", "For Rent", "Open House" or "Garage/Yard Sale" sign which has been purchased or made by Owner.

27.1.2 "For Sale" signs must be in conformance with industry standards in relation to size restrictions specifying that the sign cannot exceed eighteen inches by twenty-four (18"x24") inches and a sign-rider cannot exceed six inches by twenty-four inches (6"x24") (See, A.R.S. §33-1808).

27.1.3 One (1) reclaimed water sign installed by the City of Tucson, if appropriate.

27.1.4 Up to two (2) signs (front and back) identifying the home is protected by a security system.

27.1.5 Signs must not block any sidewalk or motor traffic and may not impair visibility

## 27.2 ITEMS THAT DO NEED DRC REVIEW

#### 27.2.1 All other signs that are not specifically listed above.

## **28 SIGNAGE ON PRIVATE LOTS – RESALE, BROKER OR BUILDER**

#### **28.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

28.1.1 One (1) free-standing placard-style "For Sale" sign, placed by a resale, broker or builder, may be displayed in the front yard of a

1 home for sale.  
2

3 28.1.1.1 Such sign may be the color of the logo of the company  
4 selling the home.

5 28.1.1.2 "For Sale" signs must be in conformance with industry  
6 standards in relation to size restrictions specifying that  
7 the sign cannot exceed eighteen by twenty-four inches  
8 (18"x24") and a sign rider cannot exceed six inches by  
9 twenty-four inches (6"x24").

10 28.1.1.3 The sign can stand no higher than six feet (6') from the  
11 ground and the total length of the arm can be no more  
12 than three feet (3') from the base of the base pole.

13 28.2 **ITEMS THAT DO NEED DRC REVIEW:**

14 28.2.1 All other signs that are not specifically listed above.

15 29 **BUSINESS/COMMERCIAL SIGNAGE ON MIXED-USE LOTS:**

16 29.1 All mixed-use signage requires DRC approval.:

17 29.2 Business/commercial signs: stone or metal signs are preferred.  
18 Weatherproofed wood or tile signs will be considered individually. The  
19 sign shall be mounted on a flat surface such as the building or on the wall  
20 in front of the building. In addition, mixed-use signage shall contain all  
21 required permits. Verify with the City of Tucson for sign permit  
22 requirements.

23 30 **SIGNAGE: CAUTIONARY: (See, A.R.S. §33-1808)**

24 30.1 **ITEMS THAT DO NOT NEED DRC REVIEW:**

25 30.1.1 Cautionary signs regarding children.

26 30.1.1.1 Signs must be removed within one (1) hour of children  
27 ceasing to play.

28 30.1.1.2 Signs can only be displayed when children are within  
29 fifty feet (50') of the cautionary sign.

30 30.1.2 Signs must be used and displayed in residential areas only.

31 30.1.3 Signs cannot be taller than three feet (3') in height.

1           30.1.4 Signs must be professionally manufactured or produced.  
2

3       **30.2 ITEMS THAT DO REQUIRE DRC REVIEW:**

4  
5           30.2.1 All other signs that are not specifically listed above.  
6

7       **31 SIGNS, PLANT: (to include all signs on residential lots indicating type of**  
8       **Plants. See, [www.tucsonbotanical.org](http://www.tucsonbotanical.org) for ideas)**

9  
10       **31.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

11           31.1.1 Plant signs that are no more than six inches (6") off of the ground  
12           and constructed from metal.

13  
14           31.1.2 The sign itself shall be more than three inches by five inches  
15           (3"x5").

16  
17           31.1.3 Plant signs should be made to enhance the experience of the  
18           garden and/or plant and not distract from the beauty and  
19           tranquility of the environment.

20  
21           31.1.4 Plant signs are to be maintained and immediately removed when  
22           showing evidence of wear and tear.

23  
24       **31.2 ITEMS THAT DO NEED DRC REVIEW:**

25  
26           31.2.1 All plant signs not specifically listed above.

27       **32 SIGNS, POLITICAL: (See, A.R.S. §33-1808)**

28  
29       **32.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

30  
31           32.1.1 Political signs may be displayed up to forty-five (45) days before  
32           the election and no later than seven (7) days after the election.

33  
34           32.1.2 The size of said signs shall be no larger than twenty-four inches  
35           by twenty-four inches (24"x24").

36  
37           32.1.3 Each household shall only have one (1) political sign displayed.

38  
39       **32.2 ITEMS THAT DO NEED DRC REVIEW:**

40  
41           32.2.1 All political signs not specifically listed above.

42  
43  
44  
45  
46

1           **33 SOLAR DEVICES:**

- 2
- 3       33.1 Solar devices must be consistent with A.R.S. §44-1761.
- 4
- 5       33.2 Review and approval must be obtained from DRC for the location of the
- 6           solar device only to ensure that its installation will not impede the
- 7           effective installation of solar devices on adjacent properties.
- 8

9           **34 SWIMMING POOLS AND SPAS:**

- 10
- 11       34. 1 All swimming pools and spas shall require DRC approval.
- 12
- 13       34.1.1 Plans for pools should include water saving features.
- 14
- 15       34.1.2 All pools must be equipped with some manner of cover to prevent
- 16           excessive heat loss and gain.
- 17
- 18       34.2.3 Only Solar heating shall be approved. (See, 2005 Civano
- 19           Revised Impact system, Table A, Pg. 7)
- 20
- 21       34.2.4 Provide design layout specifications noting the type of pool
- 22           filtering system, wall up/down access to pool area during
- 23           construction, lighting enhancement around pool area, location
- 24           and height of pool and spa equipment (filters, heaters, diving
- 25           boards, slides) and drainage plans..
- 26
- 27       34.2.5 Provide verification of the distance from the pool to the lot
- 28           property lines.
- 29
- 30       34.2.6 Homeowners are encouraged to consult with the City of Tucson
- 31           Development Services as required to determine the specific
- 32           requirements of their project.
- 33
- 34       34.2.7 All other water-filled recreation items that are not specifically
- 35           listed above.
- 36
- 37       34.2.8 Applicant must sign that he/she has read and acknowledges the
- 38           State of Arizona pool safety requirements.
- 39

40           **35 WATER HARVESTING CONTAINERS (barrels):**

41       **35.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

- 42
- 43       35.1.1 Water barrels for water harvesting inside patio walls or at the
- 44           back of the property.
- 45       35.1.2 In all cases, water barrels shall match the color of the house, or
- 46

1                   be of a natural material or formed  
2                   from galvanized material.  
3

4                  **35.2 ITEMS THAT DO NEED DRC REVIEW:**

5                  35.2.1 Water barrels at the front of the property.  
6

7                  35.2.2 All water harvesting methods that are not specifically listed above  
8                   and which can be seen from neighboring properties.  
9

10                 **36 WATER FEATURES:**

11                 **36.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

12                 36.1.1 Water features that are in the front area must be fully enclosed by  
13                   a courtyard wall and no higher than four feet (4') in height.  
14

15                 36.1.2 Water features that are in the back or side yards must not  
16                   protrude above the wall height and must be within the perimeter  
17                   walls.  
18

19                 **36.2 ITEMS THAT DO NEED DRC REVIEW:**

20                 36.2 All other water features not specifically listed above, including, but  
21                   not limited to, those that protrude above wall height.  
22

23                 **37 WINDOWS AND DOORS: (to include security doors, screen doors, entry**  
24                   **and garage doors, window and door screens, and wrought iron window**  
25                   **security bars) (See, §9 "Doors and Windows", and See, also C1N1 CC&R's**  
26                   **§5.2.19)**

27                 Window or door glazing that is mirrored is not allowed. (See, master Design  
28                   Guidelines.)  
29

30                 **37.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

31                 37.1.1 New or replacement of door and window screen material with  
32                   black, bronze or existing screen color.  
33

34                 37.1.2 Metal security screen doors painted in single color of black,  
35                   "rusted metal" or to match adjacent house body or trim colors.  
36

37                 37.1.3 Replacement of items in this category with exact items and  
38

installation per original approved colors and construction.

- 37.1.4 Windows and door frames shall be finished with anodized metal, baked enamel, vinyl clad or wood. (See, Master Design Guidelines)

### **37.2 ITEMS THAT DO NEED DRC REVIEW:**

- ### 37.2.1 All items that are not specifically listed above.

**38 YARD ORNAMENTS:** (to include, but are not limited to, yard furniture, exterior wall ornamentation, yard ornaments, holiday decorations, roof ornamentation, statues, hanging ornamentation [wind socks, banners, holiday flags, wind chimes, etc.])

Statues, depictions, artifacts or decorative ornaments shall be reflective of the Sonoran desert flora and fauna and be limited to three (3) in number.

Permanent roof-mounted ornaments are not permitted (See 38.2)

Displaying advertising is not permitted. (See 38.2)

External wall murals are not allowed. (See 38.2)

### **38.1 ITEMS THAT DO NOT NEED DRC REVIEW:**

- 38.1.1 Plant trellises that are wrought iron, natural wood or a material painted to match one of the house colors. (See, §6.5 Trellises, Landscape Design Guidelines, 8/2010)
  - 38.1.2 Lawn furniture or lawn ornaments in a walled yard, which do not exceed the height of the wall.
  - 38.1.3 Lawn ornaments of natural materials (metal, stone, wood or clay – no plastic) which do not exceed thirty inches (30") above natural grade in a non-walled front yard compatible with the overall architectural theme of Civano (connection with the Sonoran desert , respect for climate, regeneration, conservation and development of natural resources) and limited to a maximum of three (3).
  - 38.1.4 Exterior wall fixtures on front walls of home shall be of natural material (metal, stone, wood or clay – no plastic) and shall be compatible with the overall architectural theme of Civano.
  - 38.1.5 Holiday decorations that are consistent with the theme and time

of the applicable holiday. (See, a/so §15 Lighting §15.1.9)

38.1.6 Holiday decorations can be installed thirty (30) days prior to the holiday and must be removed no later than fifteen (15) days after the holiday associated with the decorations.

38.1.7 Singular event decorations can be installed one (1) day before and must be removed one (1) day after the event (i.e., graduations, birthdays, anniversaries, and the like).

## **38.2 ITEMS THAT DO NEED DRC REVIEW:**

38.2.1 All other yard ornaments that are not specifically listed above require DRC review.

APPROVED this 17<sup>th</sup> day of MAY, 2016,

By: Adrienne D. Keller

Its: PRESIDENT

ATTEST:

By: *P. Smalley*

Its: ~~SECRETARY~~

# **Section 5a**

## **Landscape Guidelines**

**May 2016**

# TABLE OF CONTENTS

## **CIVANO 1: NEIGHBORHOOD 1 LANDSCAPE DESIGN GUIDELINES**

<i>Section</i>	<i>Heading</i>	<i>Page</i>
1	Civano Landscape Design Philosophy	1
2	Purpose	2
3	Scope of Restrictions	3
4	Additional Important Information	3-5
5	Submittal of Application	5
6	Guidelines:	6-9
	6.1 Back-Flow Covers	6
	6.2 Hardscape	6-7
	6.3 Plants	7
	6.4 Plant Signs	7-8
	6.5 Trellises	8
	6.6 Water Features	8-9

1  
2  
3  
4           **CIVANO 1:**  
5           **NEIGHBORHOOD 1**  
6  
7  
8  
9

10           **LANDSCAPE**  
11           **DESIGN**  
12           **GUIDELINES**  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31

1      **3      SCOPE OF RESTRICTIONS:**

- 2
- 3      3.1     These restrictions apply to all common, public areas, and individual lots.  
4                These restrictions do not apply to already designed and installed  
5                landscapes.
- 6
- 7      3.2     Public areas and common areas shall be landscaped using native and  
8                near-native plants (as defined in the Recommended Native Plant List and  
9                Recommended Near-Native Plant List). Community gardens may use  
10               appropriate non-native plants. Parks and recreation areas shall use native  
11               and near-native trees and shrubs from the above-mentioned lists as well  
12               as appropriate turf grasses for playing fields.

13      **4      ADDITIONAL IMPORTANT INFORMATION:**

- 14
- 15      4.1     All plants incorporated into any landscape project must comply with the  
16               Civano Approved Plant List or as otherwise approved by the Design  
17               Review Committee (hereinafter 'DRC'). Plants on the Prohibited Plant List  
18               shall not be permitted. (See, attached Civano Approved Plant List.)
- 19
- 20      4.2     Civano Homeowners are encouraged to use native or compatible drought-  
21               tolerant species for all yard landscaping. (See, attached Civano Approved  
22               Plant List.)
- 23
- 24      4.3     High-water consuming plants, when used, should only be used in small  
25               areas close to residences or in rear yards.
- 26
- 27      4.4     In accordance with the Civano 1: Neighborhood 1 Covenants, Codes &  
28               Restrictions, paragraph 4.2.2, all portions of the lot or parcel, excluding  
29               driveways and parking areas, and in the case of a lot, excluding that  
30               portion of the Lot which is enclosed by a perimeter wall, shall be  
31               landscaped with a combination of inert and living materials approved by the  
32               DRC unless otherwise pre-approved in these Landscape Design  
33               Guidelines. Inert materials shall include crushed native rock, boulders and  
34               river rock, unless otherwise approved by the DRC.
- 35
- 36      4.5     This section deleted and intentionally left blank.
- 37
- 38
- 39      4.6     Vegetation is encouraged to help shield utility boxes, etc.
- 40
- 41      4.7     Turf is not an approved ground cover in areas outside of parcel perimeter  
42               walls. Turf may be allowed in common areas.
- 43
- 44      4.8     Common Bermuda grass, Fountain grass and all other grass prohibited in  
45               the Prohibited Plant list of this document, together with all Pima county
- 46

1 restricted grasses, shall be prohibited on any area of any lot. Installation  
2 of grasses shall not interfere with lot drainage or cause seepage problems  
3 through property walls, etc.

- 4
- 5     4.9 When installing landscaping and/or irrigation, care should be given to  
6         maintaining proper grading on the lot to eliminate any undue drainage  
7         onto neighboring lots.
- 8
- 9     4.10 Landscape design shall include passive water harvesting which shall  
10         include, but not be limited to, ground swales and berms.
- 11
- 12     4.11 The DRC shall reserve the right to require a written certification from the  
13         Owner's licensed Engineer stating that the overall characteristics of  
14         drainage run-off from the Lot have not been affected by volume, rate, or  
15         flow as a result of the improvement's design and execution.
- 16
- 17     4.12 Rear yards shall be maintained to avoid excessive dust.
- 18
- 19     4.13 All landscape projects must be maintained within property lines.
- 20
- 21     4.14 Temporary fencing, staking, and plant protection shade cloths must be  
22         properly maintained when visible from neighboring property. (CINI  
23         CC&R's, paragraph 1.58: "Visible from Neighboring Property" refers to,  
24         with respect to any given object, that such object is or would be visible to a  
25         person six (6) feet tall, standing at ground level on neighboring property.)
- 26
- 27     4.15 No tree, shrub or planting of any kind shall be allowed to overhang or  
28         encroach upon any public right-of-way, bicycle path or any other  
29         pedestrian way from ground level to a height of seven (7) feet without prior  
30         written approval of the DRC, unless such landscaping was intended to  
31         have that effect as part of the overall landscaping plan for the Covered  
32         Property, as approved by the DRC. (See, CINI CC&R's, paragraph  
33         5.2.16.)
- 34
- 35     4.16 No landscape or other improvement (other than decomposed granite) will  
36         be permitted between sidewalks and street curbs without specific written  
37         approval from the DRC or City of Tucson (as applicable).
- 38
- 39     4.17 Unless the Board of Directors determines, in its' sole discretion, that the  
40         Association shall provide and maintain the landscaping on the Lot or  
41         Parcel, each Owner is responsible for the proper maintenance of  
42         landscaping in the following locations. (See, CINI CC&R's, paragraph  
43         5.2.4):
- 44
- 45         4.17.1 on the Owner's Lot or Parcel (including set-back areas);
- 46

- 1           4.17.2 on those portions of the Common Areas adjacent to an owner's  
2           Lot or Parcel and which are on the Lot's or parcel's side of any  
3           wall erected on such Common Area; and  
4
- 5           4.17.3 public right-of-way areas between sidewalks (or bicycle paths)  
6           and the street curb on the Owner's Lot or Parcel, or other public or  
7           easement areas adjacent to the Owner's Lot or Parcel.

8

9       **5     SUBMITTAL OF APPLICATION:**

- 10
- 11       5.1   All applications will be submitted on the applicable attached Civano 1:  
12           Neighborhood 1 Design Review Submittal Form.
- 13
- 14       5.2   Documentation that is to be submitted with Design Review Submittal  
15           Form:
- 16
- 17           5.2.1   Provide layout of proposed landscape projects:
- 18
- 19            5.2.1.1   A conceptual landscape layout plan identifies location of  
20            vegetation, botanical and common name of vegetation,  
21            materials of ground cover, irrigation installation, any gravel  
22            and/or pictorial samples.
- 23
- 24
- 25       5.2.2   Provide material specifications, irrigation methods, samples and  
26            brochures as required to explain concept.
- 27
- 28       5.3   Applicants are required to adhere to all the guidelines and procedures  
29            contained in the Civano Design Guidelines, Civano Landscape Design  
30            Guidelines and the Submittal Form. If form is not completed in  
31            accordance to the guidelines and procedures, it will be returned and the  
32            process will be delayed.
- 33
- 34       5.4   All applications must be submitted no later than the last day of the month  
35            in order to be on the DRC's next month's agenda.

36       **6     GUIDELINES:**

37

38       **6.1    BACK-FLOW COVERS:**

39

40           Towels, blankets, tape, and other miscellaneous items used to cover  
41           back-flow pipes are prohibited.

42

43           **6.1.1   ITEMS THAT DO NOT NEED DRC REVIEW:**

44

45           6.1.1.1   Back-flow covers by "Polar Parka", or equal.

1           6.1.2 ITEMS THAT DO NEED DRC REVIEW:

2  
3           6.1.2.1 All other covers that do not meet the specifications of the  
4           “Polar Parka” cover will require DRC approval.

5  
6           6.2 **HARDSCAPE (INCLUDING, BUT NOT LIMITED TO, PAVING, BOULDERS AND**  
7           **ROCKS, RIPRAP, INERT GOUNDCOVER):**

8           6.2.1 ITEMS THAT DO NOT NEED DRC REVIEW:

9  
10          6.2.1.1 FRONT YARDS & SIDE YARDS VISIBLE TO ALL  
11          PUBLIC STREETS.

12  
13          6.2.1.1.1 Inert ground cover shall be one-half inch (1/2")  
14          decomposed granite or one-half inch (1/2")  
15          screened decorative rock; Color shall be  
16          Desert Gold by Kalamazoo or approval equal.  
17          In areas of predetermined erosion, three-  
18          quarter inch (3/4") screened decorative rock of  
19          the approved color may be used. (8/5/10)

20  
21          6.2.1.2 Native rock, river rock, and riprap may be used in drainage  
22          swales and areas of erosion.

23  
24          6.2.1.3 Stone and boulders may be used on the site.

25  
26          6.2.1.4 Boulders shall be buried into the grade a minimum of one-  
27          fifth the height of the boulder to enhance a more  
28          natural appearance.

29  
30          6.2.2 ITEMS THAT DO NEED DRC REVIEW:

31  
32          Any other hardscape that is not specifically listed above  
33          requires DRC approval.

34  
35          6.3 **PLANTS:**

36  
37          6.3.1 ITEMS THAT DO NOT NEED DRC REVIEW:

38  
39          6.3.1.1 New and replacement of approved plants, irrigation and  
40          other landscape items in compliance with the Civano  
41          Landscape Design Guidelines and the attached Civano  
42          Approved Plant List.

43  
44          6.3.2 ITEMS THAT DO NEED DRC REVIEW:

45  
46          6.3.2.1 Unless specifically listed above (§6.3.1.1) all landscape

1 projects require prior review and approval by the DRC.  
2  
3

4       **6.4 PLANT SIGNS:** To include all signs on residential lots indicating the type  
5       of plants (See, [www.tucsonbotanical.org](http://www.tucsonbotanical.org), [www.plantsigns.com/Plantsigns](http://www.plantsigns.com/Plantsigns)  
6       for ideas).

7           **6.4.1 ITEMS THAT DO *NOT* NEED DRC REVIEW:**

8           6.4.1.1 Plant signs that are no more than nine inches (9")  
9           high and constructed from metal, copper, stone or  
10          handmade markings on small boulders/stones.

11          6.4.1.2 Sign itself shall be no more than 3"x5".

12          6.4.1.3 Plant signs should be made to enhance the experience of  
13          the garden and/or plant and not distract from the beauty  
14          and tranquility of the environment.

15          6.4.1.4 Signs are to be maintained and immediately removed  
16          when showing evidence of wear and tear.

17           **6.4.2 ITEMS THAT *DO* NEED DRC REVIEW:**

18          6.4.2.1 Unless specifically listed above (§6.4.1.1 – 6.4.1.4) all  
19          other plant signs require review by the DRC.

20       **6.5 TRELLISES:**

21           **6.5.1 ITEMS THAT DO *NOT* NEED DRC REVIEW:**

22           6.5.1.1 Plant trellises, pergolas, arbors and mesh no higher than  
23          eight feet (8') that are wrought iron, natural wood or a  
24          material painted to match one of the house colors.

25           **6.5.2 ITEMS THAT *DO* NEED DRC REVIEW:**

26           6.5.2.1 All other trellises, pergolas, arbors and mesh no higher  
27          than eight feet (8') not specifically listed above shall  
28          require prior approval by the DRC, including those that  
29          protrude above wall height.

30       **6.6 WATER FEATURES:** (also, See, "§36. Water Features" in Civano  
31          Design Review Guidelines)

1  
2       **6.6.1 ITEMS THAT DO NOT NEED DRC REVIEW:**  
3  
4

5       6.6.1.1 Water features that are in the front area must be fully  
6                    enclosed by a courtyard wall and no higher than four feet  
7                    (4') in height.  
8

9       **6.6.2 ITEMS THAT DO NEED DRC REVIEW:**  
10  
11

12       6.6.2.1 All other water features not specifically listed above shall  
13                    require prior approval by the DRC, including those that  
14                    protrude above wall height.

A

APPROVED this 1<sup>st</sup> day of MAY, 2016

By: Adrienne Delgado

Its: PRESIDENT

ATTEST:

By: B. Mueller

Its: Secretary VP

# **Section 5b**

## **Landscape Guidelines**

### **Plant List**

**May 2016**



## LANDSCAPE DESIGN GUIDELINES OF CIVANO 1:NEIGHBORHOOD 1 ASSOCIATION, INC.

### SYNOPSIS

A Sonoran desert plant palette should dominate Civano's landscapes. Our landscape designs should draw on the wealth of Sonoran desert plants, as well as near-native and adapted plants, to create a place with desert character; a sense of place.

## Civano Landscape Design Guidelines Design Philosophy

### Civano Landscape Design Philosophy—Creating a Sense of Place

With Civano's warm climate and enough water, it is possible to grow many plants that one could also grow in Los Angeles, Southern France, or Sydney, Australia. Although these exotics may grow in Civano, we feel strongly that a Sonoran desert plant palette should dominate Civano's landscapes. These landscape designs should draw on the wealth of Sonoran desert plants, as well as near-native and adapted plants to create a place with desert character, rather than imposing a "tropical paradise" theme on the land. Our hope is this: if you were magically whisked around the world and set down in Civano, you could tell what part of the world you were in just by looking at the vegetation. You could say, "Of course, I'm in the Sonoran desert." In short, Civano's landscapes should help create a "sense of place" unique to their desert setting. Of course, these Sonoran style landscapes will also conserve water—naturally.

## Design Restrictions

### Purpose

The purpose of these restrictions is to ensure visual harmony along Civano's streetscapes, protect vistas and solar access, encourage water conservation,

## Turf

Turf is prohibited in front lot areas. The front lot area is defined as that portion of the lot which is not enclosed by a perimeter wall of at least 3 feet in height. In addition, no turf may be placed within the public right of way area. Only non-seeding grasses are permitted. Turf is permitted in enclosed lot areas provided that no turf or spray irrigation shall abut walls or fences.

## Civano Prohibited Plant List

The following prohibited plant list is designed to protect Civano's vistas and individual homeowner's solar access, eliminate highly invasive and allergenic plants, and preserve the desert character of the site.

### Key to Symbols

A	Accent Plant
C	Cactus
F	Flower
Gc	Groundcover
S	Shrub
Sc	Succulent (other than cacti)
T	Tree
V	Vine

### Reasons for Prohibition

**Skyline Tree:** These are trees that grow to excessive heights. These trees will grow large enough to cast shadows that may block homeowner's solar access. They will also impede sunset views and change the natural desert skyline.

**Allergenic:** These are plants that are widely recognized as being highly allergenic.

**Invasive:** These plants are known to aggressively invade native habitats. They may also invade adjacent private property and create fuel for wildfires.

**Placeholder:**  
**Recommended Plants??**

## Civano Recommended Plant Lists

In the spirit of Civano's mission to educate, the following recommended plant lists are intended to enlighten and strongly encourage, rather than mandate, landscaping that respects Civano's Sonoran desert character and setting.

### Recommended Native Plant List

These plants are native to the Sonoran desert and when planted according to their habitat type are recommended for all areas of the site except where noted.

#### Habitat Type

1	Upland Habitat/Dry Wash - Use throughout the site including residential landscapes.
2	Dry Riparian Wash - Use throughout the site including residential landscapes.
3	Wet Riparian Wash - Use only in retention/detention areas or where there is a surplus of reclaimed water.
4	Desert Aquatic - Use only in water saturated soils or shallow open water

### Recommended Native Accent Plants

Botanical Name	Common Name	Habitat Type
<i>Agave americana</i>	Century Plant	
<i>Agave huachuchensis</i>	Huachuca Agave	1
<i>Agave murpheyi</i>	Hohokam Agave	
<i>Agave palmeri</i>	Palmer's Agave	1
<i>Agave parryi</i>	Parry's Agave	1
<i>Agave schottii</i>	Amole	1
<i>Fouquieria splendens</i>	Ocotillo	1

### Recommended Native Cacti

Botanical Name	Common Name	Habitat Type
<i>Carnegiea gigantea</i>	Saguaro	1

<i>Mimulus guttatus</i>	Yellow Monkey Flower	4
<i>Oenothera caespitosa</i>	Tufted Evening Primrose	1,2
<i>Penstemon pseudospectabilis</i>	Beard Tongue	1
<i>Penstemon subulatus</i>	Beard Tongue	1
<i>Phacelia campanularia</i>	Desert Bluebells	1,2
<i>Psilostrophe cooperi</i>	Paperdaisy	2,3
<i>Solanum hirsutum</i>	Sonoran Nightshade	2,3
<i>Sphaeralcea ambigua</i>	Globe-Mallow	1,2
<i>Zinnia acerosa</i>	Desert Zinnia	1
<i>Zinnia grandiflora</i>	Little Golden Zinnia	1

### Recommended Native Groundcovers

Botanical Name	Common Name	Habitat Type
<i>Aplopappus laridifolius</i>	Turpentine Bush	1
<i>Aplopappus tenuisectus</i>	Burro Weed	1
<i>Aristida purpurea</i>	Purple Three-Awn	1,2,3
<i>Carex spp.</i> (Natives)	Sedge	4
<i>Clematis ligusticifolia</i>	Clematis, Virgin=’s Bower	2,3
<i>Dyssodia acerosa</i>	Shrubby Dogweed	1,2
<i>Eriogonum fasciculatum</i> var. <i>pollofotum</i>	California Buckwheat	
<i>Hilaria mutica</i>	Tobosa grass	1
<i>Melampodium leucanthum</i>	Blackfoot Dafsy	1
<i>Scirpus spp.</i> (Native)	Bulrush	4
<i>Typha spp.</i>	Cat Tail	4
<i>Verbena gooddingii</i>	Gooding=’s Verbena	1
<i>Vitis arizonica</i>	Arizona Grape	3

### Recommended Native Vines

Botanical Name	Common Name	Habitat Type
<i>Cardiospermum corindum</i>	Lantern Vine	1,2
<i>Cissus incisa</i> ( <i>C. trifoliata</i> )	Desert Grape Ivy	1

<i>Mimosa biuncifera</i>	Catclaw, Wait-a-minute Bush	2
<i>Mimosa dysocarpa</i>	Velvet Pod Mimosa	2
<i>Salazaria mexicana</i>	Papier-Bag Bush	1,2
<i>Senecio douglasii</i>	Threadleaf Groundsel	1
<i>Simmondsia chinensis</i>	Jojoba, Goat Nut	1
<i>Trixis californica</i>	Trixis	2
<i>Vauquelinia californica</i>	Arizona Rosewood	2
<i>Viguiera deltoidea</i>	Golden-eye	1
<i>Yucca elata</i>	Soaptree Yucca	1,2
<i>Zizyphus obtusifolia</i>	Graythorn	1,2,3

### Recommended Native Trees

Botanical Name	Common Name	Habitat Type
<i>Acacia constricta</i>	Whitethorn Acacia	1,2
<i>Acacia greggii</i>	Southwestern Sweet Acacia; Catclaw Acacia	1,2
<i>Canotia halocantha</i>	Crucifixion Thorn	1,2
<i>Celtis reticulata</i> ( <i>C. douglasii</i> , <i>C. tatl</i> )	Netleaf or Western Hackberry	2,3
<i>Cercidium floridum</i>	Blue Palo Verde	1,2
<i>Cercidium microphyllum</i>	Foothill or Littleleaf Palo Verde	1
<i>Chilopistis linearis</i>	Desert Willow	2,3
<i>Fraxinus velutina</i> var. <i>glabra</i>	Arizona Ash	2,3 For planting in Public Areas only
<i>Juglans major</i>	Arizona Walnut	2,3 For planting in Public Areas only
<i>Lysiloma thornberi</i>	Feather Tree, Feather Bush	2
<i>Olneya tesota</i>	Ironwood, Tesota	1
<i>Platanus racemosa</i> var. <i>wrightii</i>	Arizona Sycamore	2,3 For planting in public areas only
<i>Populus fremontii</i>	Freemont Cottonwood	2,3 For planting in public areas only
<i>Prosopis juliflora</i> var. <i>velutina</i>	Velvet mesquite	1,2,3
<i>Prosopis pubescens</i>	Screwbean mesquite	1,2,3
<i>Salix gooddingii</i>	Gooding's Willow	3
<i>Salix taxifolia</i>	Yew Leaf Willow	3
<i>Sambucus mexicana</i>	Mexican Elderberry	1

## Recommended Near-Native Cacti

Botanical Name	Common Name
<i>Echinocactus grusonii</i>	Golden Barrel Cactus
<i>Lemairereocereus thurberi</i>	Organpipe Cactus
<i>Lophocereus schottii forma</i>	Totem Pole Cactus
<i>Lophocereus schottii</i>	Senita
<i>Opuntia basilaris</i>	Beaver Tail Prickly Pear
<i>Opuntia</i> sp.	All species
<i>Pedilanthus macrocarpus</i>	Slipper Plant

## Recommended Near-Native Flowers

Botanical Name	Common Name
<i>Agastache aurantiaca</i>	Orange Hummingbird Mint
<i>Agastache cana</i>	Texas Hummingbird Mint
<i>Agastache rupestris</i>	Licorice Mint, Sunset Hyssop
<i>Allionia incarnata</i>	Trailing Four O'Clock
<i>Aster bigelovii</i>	Purple Aster
<i>Aster tanacetifolius</i>	Purple-Aster
<i>Berlandiera lyrata</i>	Chocolate flower
<i>Bebbia juncea</i>	Chuckwalla's Delight
<i>Collinsia heterophylla</i>	Chinese Houses
<i>Coreopsis bigelovii</i>	Desert Coreopsis
<i>Cuphea llavea</i>	Bat-faced Cuphea
<i>Eschscholtzia mexicana</i>	Mexican Golden Poppy
<i>Gaillardia arizonica</i>	Arizona blanketflower
<i>Gaillardia pulchella</i>	Indian blanketflower
<i>Gaura lindheimeri</i>	Whirling Butterflies
<i>Helianthus maximiliani</i>	Maximilian's sunflower
<i>Hymenoxys acaulis</i>	Angelita daisy
<i>Ipomopsis longiflora</i>	Pale Blue Trumpets
<i>Kallstroemia grandiflora</i>	Arizona Poppy
<i>Machaeranthera tortifolia</i>	Mohave Aster
<i>Oenothera drummondii</i>	Baja Evening Primrose
<i>Oenothera macrocarpa v. incana</i>	Silver Blade Evening Primrose
<i>Oenothera missouriensis</i>	Missouri Evening Primrose
<i>Oenothera stucchii</i>	Chihuahuan Primrose
<i>Orthocarpus purpurascens</i>	Owl's Clover
<i>Penstemon</i>	All species
<i>Penstemon barbatus</i>	Scarlet bugler

<i>Mascagnia macroptera</i>	Yellow Orchid Vine
<i>Merremia aurea</i>	Merrimia, Yellow Morning Glory, Walt-a-Minute Vine
<i>Passiflora foetida</i>	Native Passion Flower
<i>Podranea ricasoliana</i>	Pink Trumpet Vine
<i>Rhynchosia pyramidalis</i>	Rosary Bean
<i>Vigna caracalla</i>	Snail Vine

## Recommended Near-Native Shrubs

Botanical Name	Common Name
<i>Aloysia wrightii</i>	Wright's Bee Bush
<i>Anisacanthus quadrifidus</i>	Mexican Flame
<i>Asclepias linearis</i>	Pineleaf Milkweed
<i>Atriplex canescens</i>	Four-wing Salt Bush
<i>Atriplex lentiformis</i>	Quail Bush
<i>Atriplex torreyi</i>	Nevada Saltbush
<i>Baccharis glutinosa</i>	Seep Willow
<i>Bauhinia congesta</i>	Anacacho Orchid Tree
<i>Buddleya marrubifolia</i>	Wooly Butterfly Bush
<i>Caesalpinia gillesii</i>	Yellow Bird of Paradise
<i>Caesalpina mexicana</i>	Mexican Bird of Paradise
<i>Caesalpina pulcherrima</i>	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Cassia goldmanii</i>	Goldman's Cassia
<i>Chrysactinia mexicana</i>	Damianita
<i>Convolvulus cneorum</i>	Ground Morning Glory
<i>Cordia boissieri</i>	Texas Olive
<i>Cordia parvifolia</i>	Little-leaf Cordia
<i>Dalea capitata</i>	"Sierra Gold"
<i>Dalea frutescens</i>	Black Dalea "Sierra Negra"
<i>Dalea lutea</i>	Sierra Moonrise
<i>Dalea pulchra</i>	Indigo Bush
<i>Dalea versicolor</i>	"Mountain Delight"
<i>Eriogonum wrightii</i>	Desert buckwheat
<i>Guaiacum coulteri</i>	Guayacan
<i>Justicia californica</i>	Chuperosa
<i>Justicia candicans</i>	Red Justicia
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Leucophyllum candidum</i>	Texas Ranger "Silver Cloud"
<i>Leucophyllum candidum</i>	Texas Ranger "Thunder Cloud"
<i>Leucophyllum frutescens</i>	"Green Cloud"

<i>Prosopis chilensis</i>	Chilean Mesquite
<i>Prosopis glandulosa</i>	Honey Mesquite
<i>Quercus arizonicus</i>	Arizona Oak
<i>Robinia neomexicana</i>	Desert Locust
<i>Sophora secundiflora</i>	Texas Mountain Laurel

## Native Edible Plant List

The following native edible plants are appropriate for most areas of the site including front lots areas and common space. This list is in no way meant to be comprehensive.

### Native Edible Plants

Category	Botanical Name	Common Name
Cactus	<i>Opuntia Engelmannii</i>	Prickly Pear
Shrub	<i>Capsicum annuum</i>	Chiltepine Hot Pepper
Shrub	<i>Lycium fremontii</i>	Wolfberry
Tree	<i>Prosopis velutina</i>	Mesquite (beans are edible)

## Non-Native Edible Plant List

The following plants are appropriate non-native edible plants for Civano. They could be used in community gardens or orchards, rear lots and other appropriate areas of the site. They should not be used in common areas where native desert character is desired. Again, this list is in no way meant to be comprehensive.

Category	Botanical Name	Common Name
Shrub	<i>Feijoa sellowiana</i>	Pineapple Guava
Tree	<i>Citrus paradisi</i>	Grapefruit (Ruby Red, Duncan, Marsh, Insure varieties)
Tree	<i>Citrus sp.</i>	Citrus, all species
Tree	<i>Eriobotrya japonica</i>	Loquat

Groundcover	<i>Rosemarinus officinalis</i>	Rosemary	Mediterranean
Groundcover	<i>Teucrium chamaedrys</i>	Germander	Mediterranean
Shrub	<i>Anisodontea hypomandarum</i>	Cape Mallow	So. Africa
Shrub	<i>Dodonaea microzyga</i>	Small Leafed Hop	Australia
Tree	<i>Acacia abyssinica</i>	Ethiopian Acacia	Africa
Tree	<i>Acacia aneura</i>	Mulga	Australia
Tree	<i>Acacia brachystachya</i>	Umbrella Mulga	Australia
Tree	<i>Acacia cavens</i>	Espino Cavens	Australia
Tree	<i>Acacia craspedocarpa</i>	Leather Leaf Acacia	Australia
Tree	<i>Acacia gerrardii</i>	Grey-hair Acacia	Australia
Tree	<i>Acacia karroo</i>	Karroo Thorn	Australia
Tree	<i>Acacia microaneura</i>	Narrow-leaf Mulga	Australia
Tree	<i>Acacia notabilis</i>	Notable Wattle	Australia
Tree	<i>Acacia pendula</i>	Weeping Myall	Australia
Tree	<i>Acacia rigidula</i>	Blackbrush Acacia	Australia
Tree	<i>Acacia Salligna</i>	Willow Acacia	Australia
Tree	<i>Acacia stenophylla</i>	Shoestring Acacia	Australia
Tree	<i>Acacia trachycarpa</i>	Minnieritchie	Australia
Tree	<i>Acacia victoriae</i>	Bramble Wattle	Australia
Tree	<i>Diospyros lycioides</i>	African Persimmon	So. Africa
Tree	<i>Erythronium crista-galli</i>	Cockspur Coral Tree	Brazil
Tree	<i>Eucalyptus campaspe</i>	Silver-Topped Gimlet	Australia
Tree	<i>Eucalyptus diptera</i>		Australia
Tree	<i>Eucalyptus eremophilia</i>	Tall Sand Mallee	Australia
Tree	<i>Eucalyptus forrestiana</i>		Australia
Tree	<i>Eucalyptus spathulata</i>	Swamp Mallee	Australia
Tree	<i>Quercus virginiana</i>	Southern Live Oak	Southern U.S.
Tree	<i>Schinus molle</i>	California Pepper Tree	Mediterranean
Vine	<i>Bougainvillea glabra, B.</i>	Bougainvillea	Brazil

# **Section 6:**

**Zoning in Civano: the Civano  
Neighborhood I PAD**

**May 2016**

## **Neighborhood I PAD** **What it is and How to Use It**

The Civano Neighborhood I PAD (short for Planned Area Development) is the basic zoning document for the Community. It contains the general ideas behind the planning of Civano, and it contains information about assumed traffic loads, the interface with climatic factors, and other information. The Civano Neighborhood I PAD is contained in the larger Master Civano PAD (4/7/2005 Version), and is found on pages 127 through 173. Old versions of the Civano Neighborhood 1 PAD were called the Civano Specific Plan 6a. You can get a copy of the Civano Neighborhood 1 PAD through the HOA Office. A copy is also included at the end of this section.

Probably the information in the PAD that will be most frequently used has to do with the three zoning districts in Civano: The Neighborhood General, Neighborhood Center, Neighborhood Edge, and the Villas. See pages 154 through 161. For each of these districts, the PAD gives regulations and guidance as to:

- a. Building massing, height and lot coverage and its relationship to adjacent lots.
- b. The requirements for walls on the edges of lots.
- c. The uses allowed on a specific lot.
- d. Parking requirements.

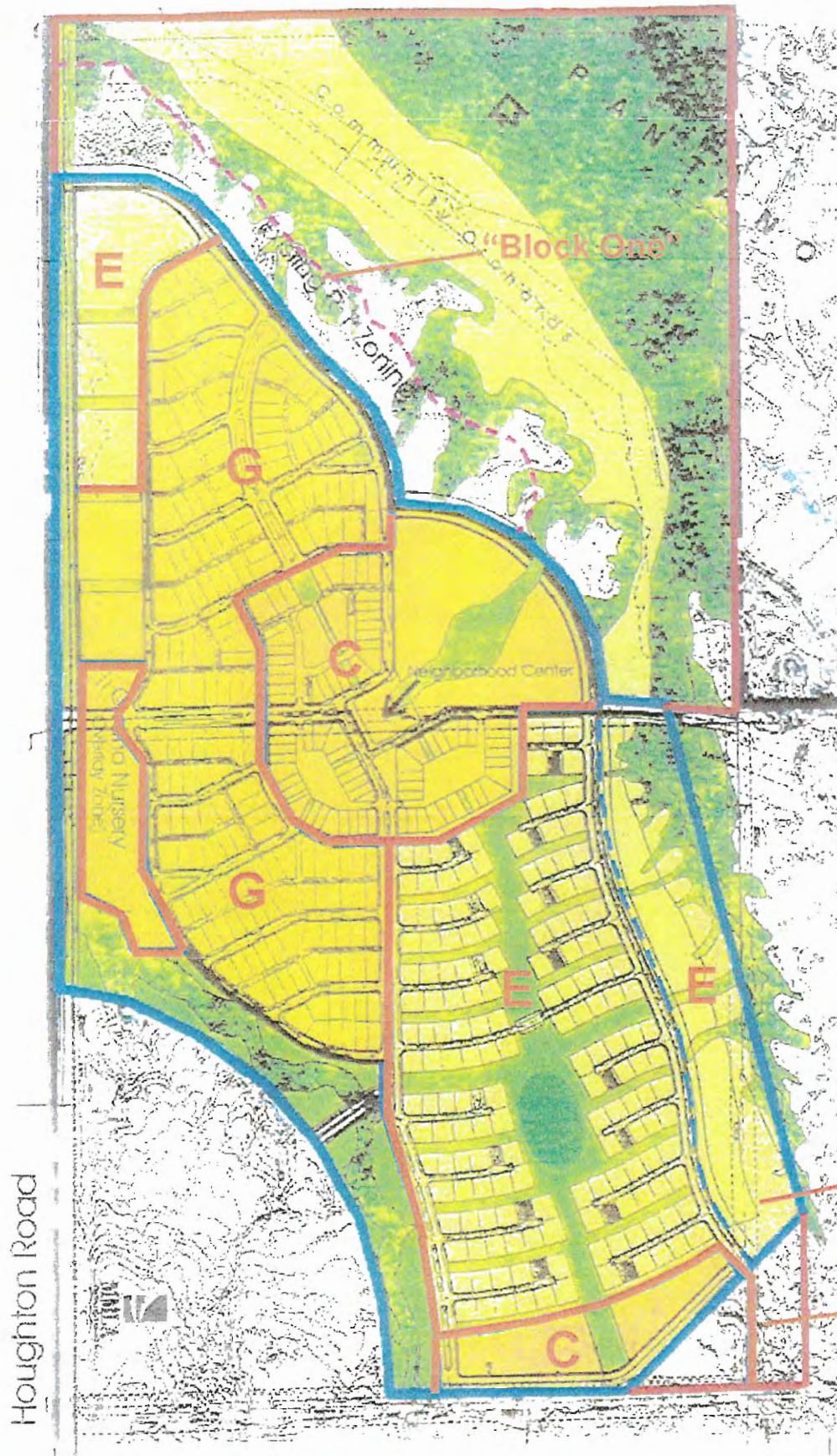
A copy of a map of Neighborhood 1 showing the Districts is found at the end of this section. It is also found as Exhibit 40 on Page 163 of the Neighborhood 1 PAD.

The Civano Neighborhood 1 PAD does not stand alone. In terms of allowed uses, it ties back to Tucson's Land Use Code. Figuring out the interconnection between the PAD and the LUC can be complex. You probably want to let your design professional look into this, or you can go to the City of Tucson Planning Department and ask for clarification.

In terms of the Civano Neighborhood 1 design review process, people falling into one of the following categories area most likely to use the Civano Neighborhood 1 PAD:

- Anyone doing new construction on vacant lots.
- Anyone doing large additions to existing properties, because you need to pay special attention to:
  - Lot coverage
  - Building Height
  - Screening of solar devices
- Anyone planning to install a business in your home, or in a separate structure on your lot. You will need to check:
  - Allowed business uses
  - Parking requirements
- In some cases, if you are selling or purchasing a house in Civano; consulting the PAD may be important to determine whether representations being made about the uses allowed on a lot, the ability to add on to an existing structure, or other representations which change the current status of a property are accurate.

CIVANO NEIGHBORHOOD I PAD  
(Being a portion of the Master Civano PAD)



Neighborhood  
Center District<sup>c</sup>



Neighborhood  
General District



Neighborhood  
Edge District<sup>c</sup>

The BLUE line shows the area originally covered by the Neighborhood One PAD (or Specific Plan as it was originally called). Block Three was incorporated into the Neighborhood One PAD as part of the master Civano PAD, as approved in April 2005.

3/2011 Provisional Release:  
Block Two may or may not be included in the Neighborhood 1 PAD: the Civano PAD exhibits are contradictory.  
This will be reviewed and determined.



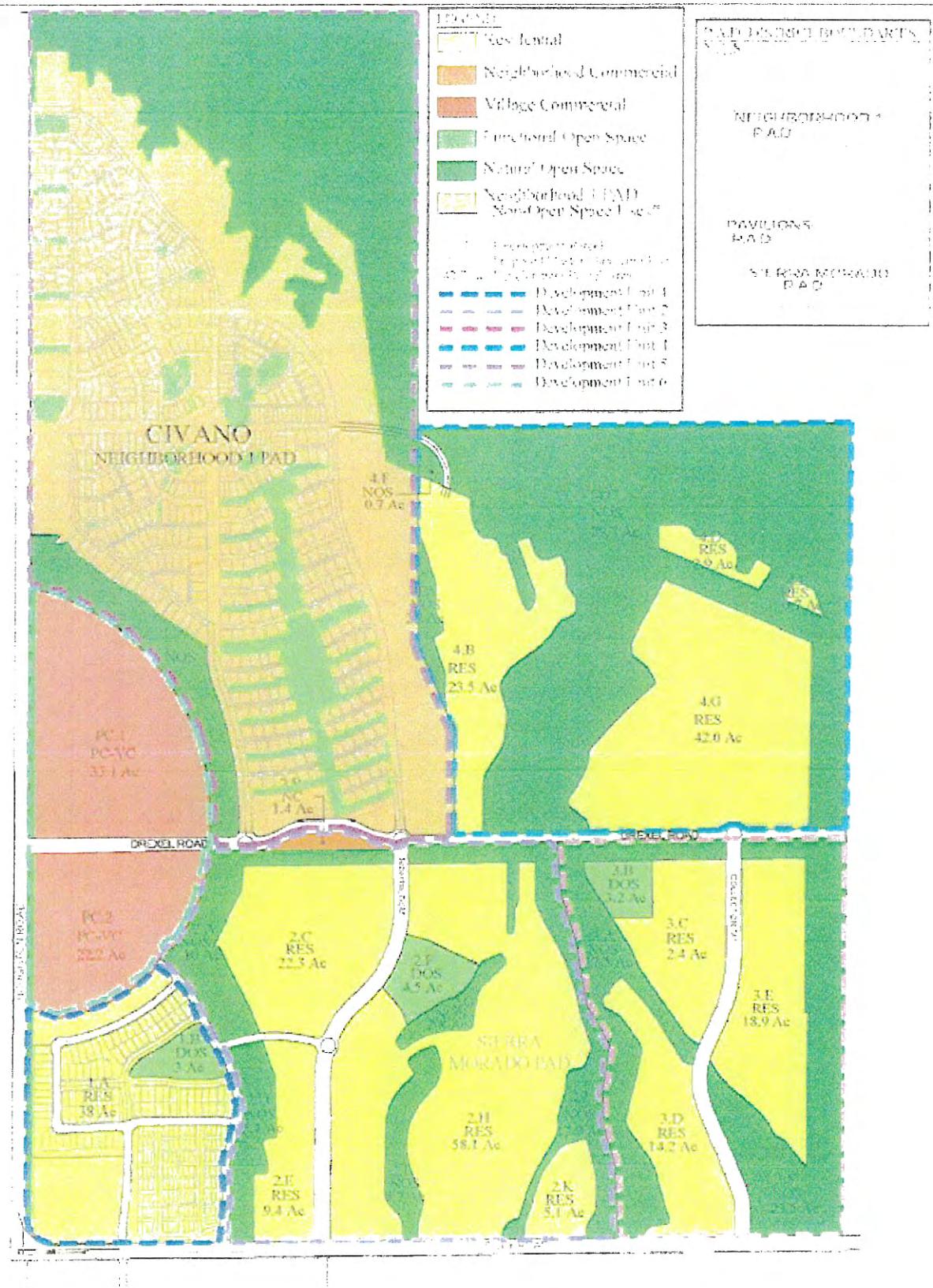
Specific Plan  
District Boundary

"Block Two"

Block Three

Neighborhood One: Districts See Exhibit 40; Neighborhood 1 PAD (Page 163)

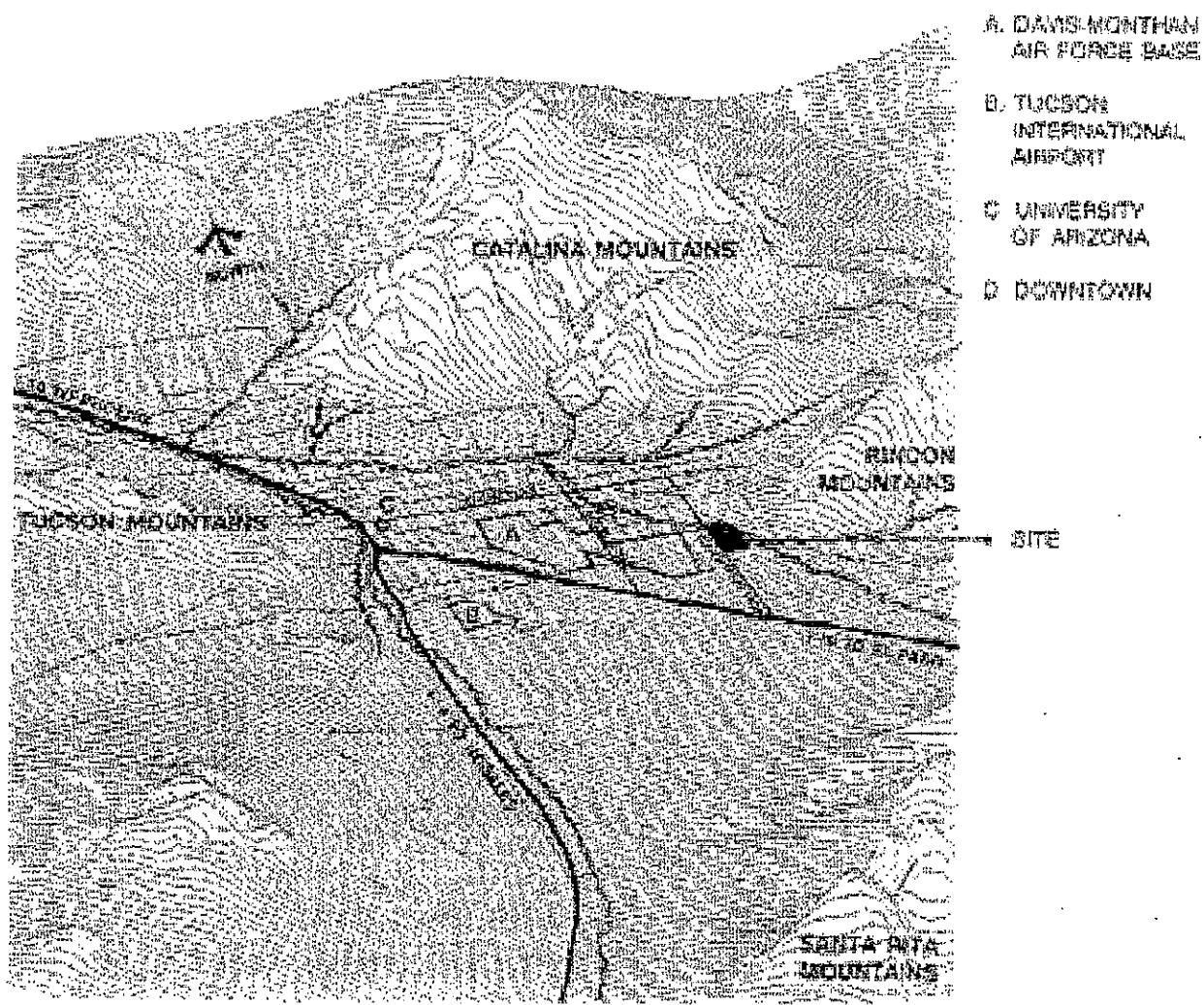
FIGURE 14: LAND USE PLAN



CIVANO MASTER PAD

NEIGHBORHOOD I PAD  
Being a portion of the CIVANO PAD

## F. NEIGHBORHOOD 1 PAD DISTRICT



## Regional Setting

Exhibit 30

## **F-1.0 INTRODUCTION**

---

### ***1.1 Purpose, Scope, Main Concepts and Goals***

The purpose of this Planned Area Development is to direct the development of Civano's first neighborhood and portions of the Town Center and to assure its consistency with the currently-adopted Civano Master Development Plan and other related city plans and policies.

The original Planned Area Development boundary is amended to include the southern portion of Block, 2, and lot 527 of Civano 1 Bk. 52, Pg. 34 of Maps and Plats as shown in Exhibit 1a. The southern portion of Block 2 and Lot 527 which was zoned SR shall now fall within the Neighborhood Center District as defined in Exhibit 11 and 12. The amended Planned Area Development covers approximately 237.54 acres of land within the 815.42 acre. This Civano project and includes a mixed-use neighborhood center, a variety of residential living environments, recreation and cultural facilities, and substantial open space preservation.

#### **Main Concepts**

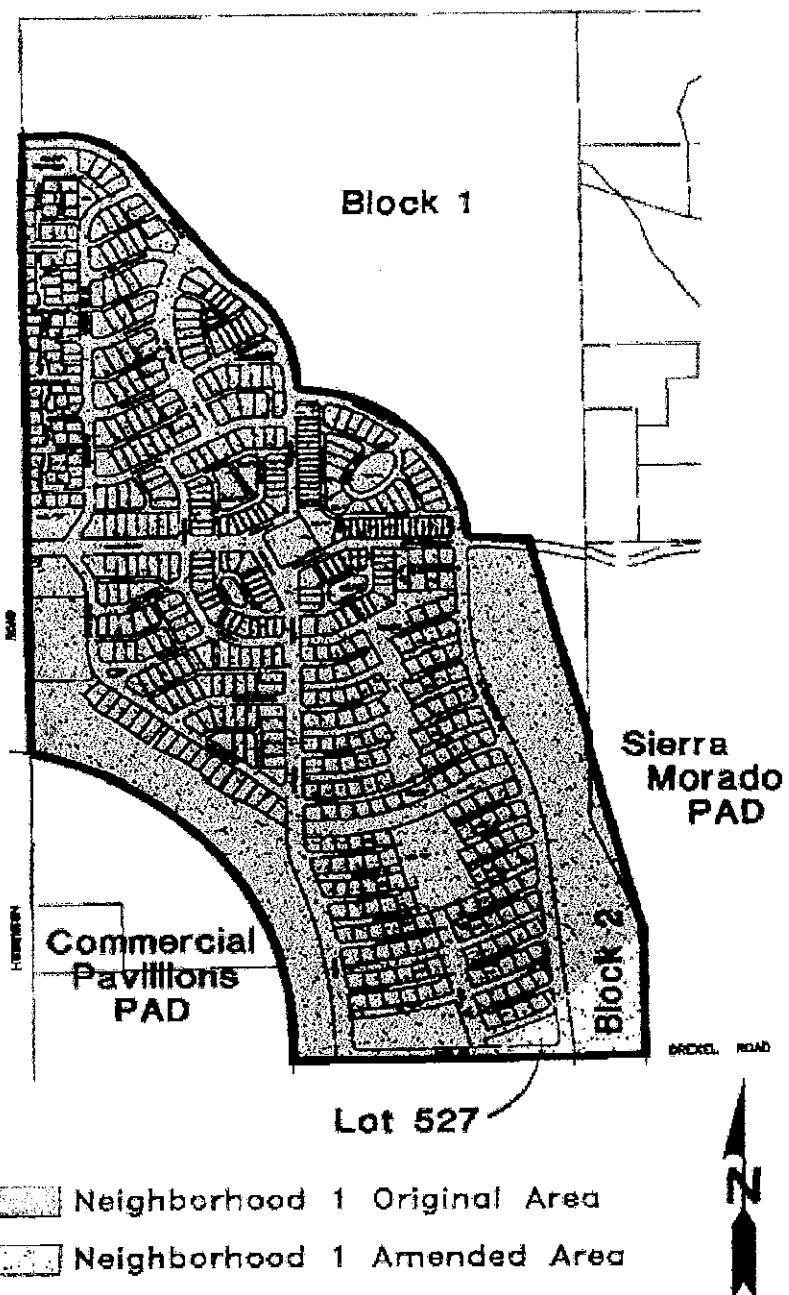
There are four main conceptual elements which are integrated into the proposed Phase 1 Planned Area Development: Building Community, Connection with the Land, Respect for Climate, and Regeneration. These factors are viewed as guiding principles in both conceptualizing and detailing the plan and should be used as first principles in any specific programming for spatial layout, design details, or zoning interpretations or decisions. These are briefly discussed below:

#### ***Building Community***

*That settlement is good which enhances the continuity of a culture and the survival of its people, increases the sense of connection in time and space, and permits or spurs individual growth: development, within continuity, via openness and connection.*  
—Kevin Lynch

Civano is about building community; about connecting with each other. The Civano plan is designed to encourage face-to-face meeting and interaction--gathering places, meeting areas, cafes, safe and livable streets where automobile traffic is encouraged to slow down, a fine-grain mix of uses, and the ability to reduce the time spent in an auto.

The plan is based upon principles of "New Urbanism" of which "Neo-Traditional Planning" is a part (see Development Agreement, Exhibit numbers 6 and 8). The plan is laid out to encourage connection with important gathering places: the neighborhood center, the Town Center, the Community School and similar spaces. A variety of social and cultural spaces for recreational activities are provided as public, semi-public, semi-private and private spaces. Streets are laid out in short segments which end in important views or deflect in direction so that the street environment is easily defined visually, avoiding the anonymity so prevalent in most suburban areas. The streets are designed almost as if the auto is an intruder, certainly to be tamed and to be slowed down to the speed of pedestrians and cyclists. As drivers enter into the territory of the Civano streets, they become aware of the human scale and the need for care and caution. The streets are to be lived in as well as the homes.



## Civano Neighborhood 1

### Amended Boundary

Exhibit 30a

The Planned Area Development is designed to encourage a human connection between the house, the street and the pedestrian spaces.

Pedestrian spaces are designed to be comfortable and to make the trip as pleasurable as possible, with shade and places to rest and meet with neighbors.

### ***Connection with the Land***

*How do we return to the sacred? How do we acknowledge it? For me, it's being out in the land. You are simply in that presence--in the calmness of that moment of walking on redrock, of hand on stone, of hearing the sound of the raven, of feeling the wind across your face. It's not something that one has to search for. One is simply standing in the center of it.*

--*Terry Tempest Williams*

The form of the land and the way it has weathered over time speaks to its potential for development. The drainage and erosion patterns, its visual setting, the way vegetation has grown upon it to support the animal kingdom--all form a pattern to either support or reject the built forms to be placed upon it.

The Civano plan seeks to respect these forms and patterns and further develop their connections with the built fabric. The richest parts of the land, in terms of drainage patterns, water resources and resulting vegetation patterns are preserved. As the built environment is superimposed upon these patterns, it is designed to enhance the pattern of the land--by directing the flow of water runoff into areas which support vegetation and wildlife, by making connections both visual and physical between the built environment and the prime natural areas, and by expanding the extent of heavily vegetated areas into the built environment.

### ***Respect for Climate***

*...there is an inherent logic in the structure and nature of organisms that have grown on this planet. Any architecture, any urban design, and any social order that violates that structure and nature is destructive of itself and of us. Any architecture, urban design or social order that is based upon organic principles is valid and will prove its own validity.*

--*Peter Blake*

The Civano plan seeks to acknowledge the natural patterns of the sun and the wind and the seasons: through attention to orientation of buildings relative to these factors; through the creation of public spaces which support human comfort through natural means--shade trees nurtured by natural runoff; and by minimizing the amount of heat absorbed--in buildings and in streets, resulting in minimizing the energy needed to reduce the impact of that heat, both for energy consumption and human comfort.

### ***Regeneration***

*"A regenerative system provides for continuous replacement, through its own functional processes, of the energy and materials used in its operation. Regeneration has to with rebirth of life itself, thus with hope for the future."*

--*John T. Lyle*

Principles of sustainability include strategies for conservation, regeneration, and stewardship of resources. Because of a general lack of responsible stewardship of our resources over the past several decades, conservation alone does not appear to be sufficient to restore the ecosystem to a natural balance. Therefore, strategies of regeneration need to be applied also.

Regeneration implies that each action and resource be viewed as an opportunity to actively create energy and balance, rather than "status quo," and each "improvement" can serve more than one purpose.

Examples of regenerative principles embodied in this plan include restoration of natural riparian habitats, planting of food-producing crops which serve not only for shade but also for community income and community ritual in planting, tending and harvesting crops.

## *1.2 Conformance with Existing Land Use Plans*

In December of 1984, The City of Tucson adopted the *South Pantano Area Plan*, establishing planning and development policies for a several square mile area including and surrounding the Civano site. These policies were developed after substantial analysis of the general area (*South Pantano Inventory*, October, 1983), but prior to more recently adopted regional policy initiatives (transportation, parks, trails access). The City of Tucson's general planning<sup>\*</sup> policies for this area are included within this adopted plan, most recently amended during the Civano planning process on May 6, 1991, by Ordinance No. 15655. This area plan incorporates the "village" concept in accordance with the concepts embodied in the Civano Master Development Plan.

Following is the general policy, as amended, for the specific subarea which includes the Civano site (Subarea Eight):

### "SUBAREA EIGHT PROFILE"

This is approximately a four square mile area between Irvington and Valencia Roads and between the Harrison Road alignment east to Pantano Wash. Approximately 85% of the land is State Trust land, 10% is owned by the City and about 5% is privately owned. Houghton Road is the main arterial through this subarea also and furnishes direct access to Interstate 10 to the south and the total metropolitan area to the north. Mcpomene, Drexel, and Valencia Roads are major streets within the interior of this subarea."

### "PROPOSED USE"

Suburban to midurban densities integrated with job site Park Industrial development are appropriate in this area. Higher densities should be located along arterial and collector streets, while Park Industrial type development is best suited near Valencia and along Houghton Road. Main access to job site development should be limited to major streets.

It is recommended that development transition to suburban densities toward the interior of this subarea and adjacent to Pantano Wash. Special care must be taken to ensure residential development is sensitive to the existing natural environment. During design stages of non-residential development special consideration must be given which emphasizes minimal impacts on properties either developed residentially or having potential to be developed residentially. Cut and fill, and grading of proposed development should be kept to a minimum.

Davis-Monthan Air Force Base may expand its activities in the future. Since the land parcel west of Houghton Road is contiguous to the Air Base, it may be appropriate to use it for expansion of military operations.

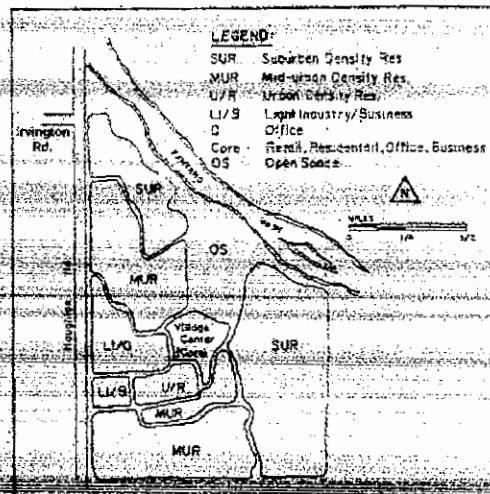
If this land parcel is not to be used for base operations, then it should be developed with land uses compatible to base activities with special consideration for building setbacks and open space/recreational uses between Davis-Monthan Air Force Base and proposed developments.

---

\* The General Plan was originally adopted as the "Comprehensive Plan" pursuant to the Tucson Zoning Code and, subsequently, the Tucson Land Use Code. The term "Comprehensive Plan (CP)" was changed to the "General Plan" by Ordinance 9517, which was adopted by Mayor and Council on February 12, 2001. This change in title does not affect the content of the Plan.

Drexel and Valencia Roads extend east through this area from Houghton Road and currently serve as access to sand and gravel operations located adjacent to Pantano Wash. Houghton, Melponene, Drexel and Valencia are major streets in the adopted *Pima County Major Streets and Routes Plan*. Their classification and any additional major streets will be reviewed and necessary rights-of-way determined at the time the area is annexed."

Over 800 acres of State Trust Land has been reserved to develop Civano, an energy efficient community. The "village" concept supports a core containing a mix of supportive uses. Generally, land uses between the core and Houghton Road should include employment uses. Radiating away from the core are decreasing residential densities toward the periphery. The area reaching north of the core and along the east and south sides of Civano should be developed as suburban to mid-urban density residential. The area between suburban residential development and the core is provided as a transition zone. In this zone it is appropriate to gradually increase the intensity of development through a mix of mid-urban and urban densities. Washes and other undevelopable areas will provide open space for the public. The illustrative insert...displays a conceptual range of land uses and their transition from the core to the perimeters.



#### EXISTING LAND USE PLANNING POLICIES

The area immediately to the south of this planning area is covered by the *Esmond Station Area Plan*, adopted by the City in March, 1986. It is anticipated by the City that this area will receive substantial new development over the next couple of decades. This plan covers the area south of the Foorman Gurnery Range of Davis-Monthan Air Force Base and north of Interstate 10 between Kolb Road and Pantano Wash. It includes Rita Ranch, the Air Force Base Airport Approach Zone, the Southern Pacific Railway line, and several square miles of primarily vacant State Trust lands east of Houghton Road. The Rita Ranch planned development consists of a combination of medium density residential, light industrial, and commercial business. School sites have been designated and substantial infrastructure has been installed. To date, development has been slow, partially due to the general economic conditions in Arizona.

Recently adopted regional open space, trails and circulation plans proposed increased access by all modes of transportation to this area. Pantano Wash is proposed to become part of the regional linear park system with pedestrian, bicycle, and horse trails linking other parts of the region. Two additional trail access points to Saguaro National Monument are proposed from the Pantano Wash at the north edge of the Solar Village site. Houghton Road is adopted as a "Gateway Route", defined as a major urban transportation gateway from Interstate 10 to the urbanizing Tucson basin, designed as two-way divided 200-foot rights-of-way with native-

landscaped medians and side areas and limited automobile access. In addition, Houghton Road is proposed to contain a regional bikeway route adjacent to the site.

### ***1.3 Rationale and Benefits for Using Planned Area Development District***

There are several reasons for using the Planned Area Development District for this project, rather than other existing zoning districts. One of the primary reasons is to mix uses in the Neighborhood Center to create a place of social interaction. The Planned Area Development District also creates an equivalent to overlay zones which set forth design characteristics for a variety of urban and rural environments and to allow more specificity and control over the general design of the built environment.

### ***1.4 Suitability of Planned Area Development District***

This proposed district is generally consistent with the existing zoning on the property. It is sufficiently large to adequately guide planned area development for the next 2-3 years. It is designed to allow and encourage a relatively-balanced mix of uses to be developed concurrently. These include a variety of residential densities and environments, some commercial services, and both office and manufacturing jobs.

### ***1.5 Compatibility with Adjoining Land Uses***

Immediately adjoining land uses are primarily single-family residential, although most of the land is vacant. There are some remaining sand and gravel extraction operations along the Pantano Wash directly east of the property, although these are slowly being phased out in preparation for construction of the regional park and trails system along the major washes. There are two operating horse stables immediately to the north of the property, on both sides of Houghton Road at the Pantano Wash. There should be no interference to these uses as a result of community development on the Civano property, although added residents may wish to use the stabling and riding services available.

### ***1.6 Physical and Economic Suitability and Feasibility with Existing Infrastructure and Services***

When the Civano site was originally selected through a community-oriented State Land selection process, it was determined that one of the primary advantages of this site was that infrastructure already existed and could be extended with relatively little added expense and with minimal impact upon the existing infrastructure system.

As noted elsewhere, all significant infrastructure necessary to support this development is in very close proximity and can be effectively extended into the property for the proposed development. In concert with community understanding and Mayor-Council decisions in supporting this project, impacts on infrastructure and public services are being planned and designed to be as minimal as feasible, using best-known and available technologies, and to be a demonstration of these impacts can be minimized for future projects.

## **F-2.0 PLAN OBJECTIVES**

---

### ***2.1 Conservation and Development of Natural Resources***

#### **2.1.1 Solar Energy Resources**

All building in Civano is intended to meet the "Civano Standards" relative to energy conservation and the use of solar energy resources as delineated in the Development Agreement between the City of Tucson and Community of Civano, LLC, and specifically delineated in the Mayor and Council Memorandum re Civano Performance Targets dated October 2, 1995.

#### ***Celebration of Solar Orientation***

Seasonal events such as the summer and winter solstices and the vernal and autumnal equinoxes are opportunities for community and individual celebration which enhance the awareness of our connection with, and reliance upon, the sun as a primary source of energy. In public gathering places, opportunities to acknowledge significant seasonal solar patterns should be observed. This can be done by aligning buildings with solar positioning, by creating public art which interacts with significant solar positions, and by maintaining views of sunrise and sunset at these times of year.

Because of the direction of the natural site topography, the plan layout acknowledges the summer solstice sunrise and winter solstice sunset in many of the street angles (63 degrees west of north; 63 degrees east of south) and in the orientation of the buildings within the neighborhood center plaza. View corridors are maintained between the neighborhood center plaza in both directions so that visual and shadow alignments can be made on those days.

#### **2.1.2 Wind Resources**

While normal wind velocities are not sufficient to maintain efficient energy generation from wind power, wind and natural site breezes can be an effective tool for cooling, both for interior and exterior comfort. The wind patterns generally run in a southeast-northwest direction, parallel with the direction of the Pantano Wash. In the mornings, cooling breezes from the Santa Rita Mountains flow in a northwesterly direction and can be used for refreshing the air and pre-cooling interior spaces in preparation for the daily warming pattern. In the evening, the flow is the opposite, but the breezes are also warmer and also carry airborne pollutants from more densely populated areas of the region. These afternoon breezes can be used, with proper building design and management, to create a negative pressure within buildings which can be used to "pull" warm air from the buildings. Those buildings and public spaces along the rises adjacent to the Pantano Wash are particularly suitable for taking advantage of these wind patterns. This can be accomplished by locating public walkways along this area and by designing those homes to be oriented so that wind can be a more effective cooling technique in their design. In addition, wind catchers should be designed into the homes to catch the morning breezes and bring them into the interior and exterior spaces. These devices should be exceptions to building height limitations.

The plan carefully positions single-family homes on the bluffs and palisades adjacent to the Pantano Wash to take advantage of these wind patterns. Community orchards are also located

in this area, with a public pathway winding through it, for the same reason. Because of the additional moisture inherent in the cultivating of trees in this area, it can act as an additional evaporative cooling technique.

### 2.1.3 Water Resources

#### *Potable Water Usage*

The Development Agreement between the City and the developer includes a water use goal to "reduce potable water consumption significantly below metropolitan Tucson baseline levels; and use non-potable water, such as reclaimed water, graywater, or rainwater harvesting for landscape irrigation."

In accordance with the Civano IMPACT system, individual houses will be designed to provide an interior use of 53 gallons per person per day (a 54% reduction from 1991 residential baseline) and 28 gallons per person per day for exterior uses. Commercial uses are planned for 15 gallons per employee per day, subject to a case-by-case review of businesses, such as restaurants, with above-average water requirements.

Community swimming pools will be built with the first development phase to discourage the need for private swimming pools. If private pools are installed, it will reduce the allowable water allotment for landscape irrigation.

Each building will be designed with a dual water supply system, one for potable water and one for reclaimed water which will be used for all outdoor irrigation. There remains some question relative to the use of reclaimed water for all outdoor uses, including the cultivation of edible crops and the need to control bodily contact. In any case, all landscape irrigation will be accomplished with non-potable water, graywater, and/or rainwater harvesting. The City's reclaimed water service, rainwater harvesting or graywater equipment will be provided at all Civano properties.

#### *Xeriscape Principles*

The basic concept of xeriscape design is establishing hydrozones in the landscape. The three hydrozones are the mini-oasis, transition, and arid zones. The mini-oasis is located in areas of high use and where higher water-use plants are planted. The transition area radiates outward from the oasis area and includes plants that require irrigation but are not water-greedy. The arid zone usually is the perimeter areas in which selected plant materials are drought tolerant or low water use.

Established xeriscape principles shall be used for all outdoor landscape design. There are seven horticultural principles of xeriscape landscaping: (1) good landscape planning and design, (2) appropriate turf areas, (3) efficient irrigation, (4) use of soil amendments, (5) use of mulches, (6) incorporation of low water use plants into the landscape and (7) appropriate maintenance of plants and irrigation systems.

### ***Natural and Surface Drainage Systems***

All on-site drainage shall be conducted as surface drainage, except as necessary to pass across and under roads and pathways. The surface drainage system shall be designed to maximize on-site water detention in sufficient volume to irrigate landscaping within it, supplemented as required by reclaimed water. This landscaping shall be designed so as to create substantial shading along streets and public pathways.

The sections dealing with General Landscape Program and Drainage Plan, following, discuss this in more detail.

### ***Use of water for public enjoyment***

Water features such as fountains and small ponds can be used effectively for both general enjoyment as well as cooling features when properly designed. These should be used carefully in public spaces.

Cool towers (devices which use evaporative cooling techniques without the use of fans) can also be effective tools for cooling in both public and private spaces. Misting devices which use large amounts of potable water for evaporative cooling should be discouraged.

#### **2.1.4 Soils Resources**

The soils on the developable portions of the site are not especially good for plant growth. In order to encourage more lush landscaping, soils resources should be improved. On-site water retention will help over time to improve the soils. On-site composting of yard wastes through the Civano Community Association will provide a source for soil supplements.

Community orchards are planned on a community-wide basis. In addition, areas are planned to be set aside, both on private property and adjacent to natural washes for small individual gardening plots.

Studies will be ongoing throughout the development process which focus on the following objectives:

- Develop a regenerative agricultural model that focuses on the nutritional needs of Civano residents. This model may be manifested as community gardens, organic home gardens using native plant species, access to locally grown organic food, or other such examples.
- Develop a comprehensive waste treatment facility that addresses recycling and organic waste treatment through composting or vermiculture (use of worms in composting).
- Responsible use of reclaimed water for food production systems.
- Establishment of a permaculture-type model for residential development that integrates food systems into the overall land use plan.
- Develop regional food resources (stores/food cooperatives) for the community that serves to support local farmers and to integrate food systems into the overall Civano development model.
- Develop organic (synthetic-free) landscape management.
- Reclaim lands damaged by overgrazing and roadway filling in natural drainage ways.
- Provide local employment opportunities in regenerative agriculture.

### **2.1.5 Native Vegetation and Wildlife Habitats**

Primary natural vegetation and wildlife habitats are to be preserved as delineated in the site analysis (see Exhibit 2, Native Plant Preservation Map and Section 2.7.2, General Landscape Program). Enhancement of these areas through water detention and retention should be a priority. However, City flood control policies which prohibit "in-line detention" currently prevent this strategy. Supplemental native landscape enhancement will be made in those areas which have been disturbed. In addition, a public landscaped open space corridor will be developed to link two significant natural washes on the east and west sides of the area.

### ***2.2 Preservation of Scenic Natural Features***

There are few scenic natural features on the site itself. Those considered scenic, however, are the steep bluffs along the Pantano Wash boundary, the natural washes, and the gentle slopes dividing the upper and lower terraces. The bluffs and major washes are preserved in their natural states through the delineation of land uses. At the base of the bluffs along the Pantano Wash, community orchards are planned to meet the base of the bluffs and provide a landscaped foreground to better delineate the landform from the public viewpoint. This orchard is planned to extend into the developed area along the natural slopes which separate the upper and lower terraces. This will further accentuate this landform.

Offsite are significant views of the Catalina and Rincon Mountains. These views are most prominent from the bluff areas and at the top of the slope which separates the upper and lower terraces. Public areas and house siting design is planned to maximize these views. A constraint to these views exists in the form of overhead electrical utility towers and lines. Studies are underway to relocate these to be less obtrusive. However, should these not be feasible to move, siting for specific buildings can be such that these will be a minimal intrusion.

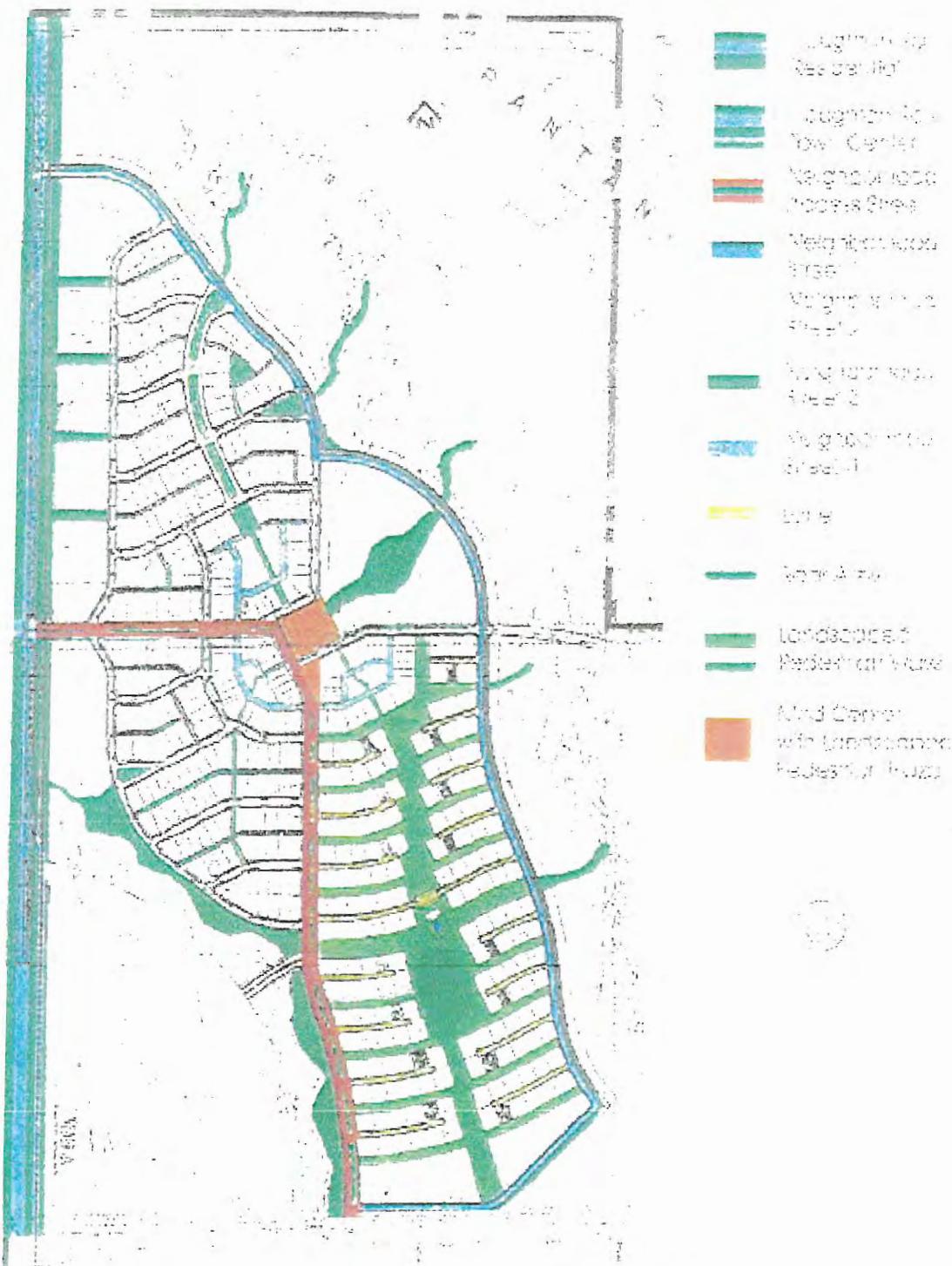
At the first neighborhood center, the "borrow pit" provides an unnatural change in elevation which allows a more open view of the Catalinas, Rincons, and Reddington Pass. The siting and orientation of buildings in the neighborhood center is designed to keep this view open and frame it to be more significant.

### ***2.3 Drainage Plan***

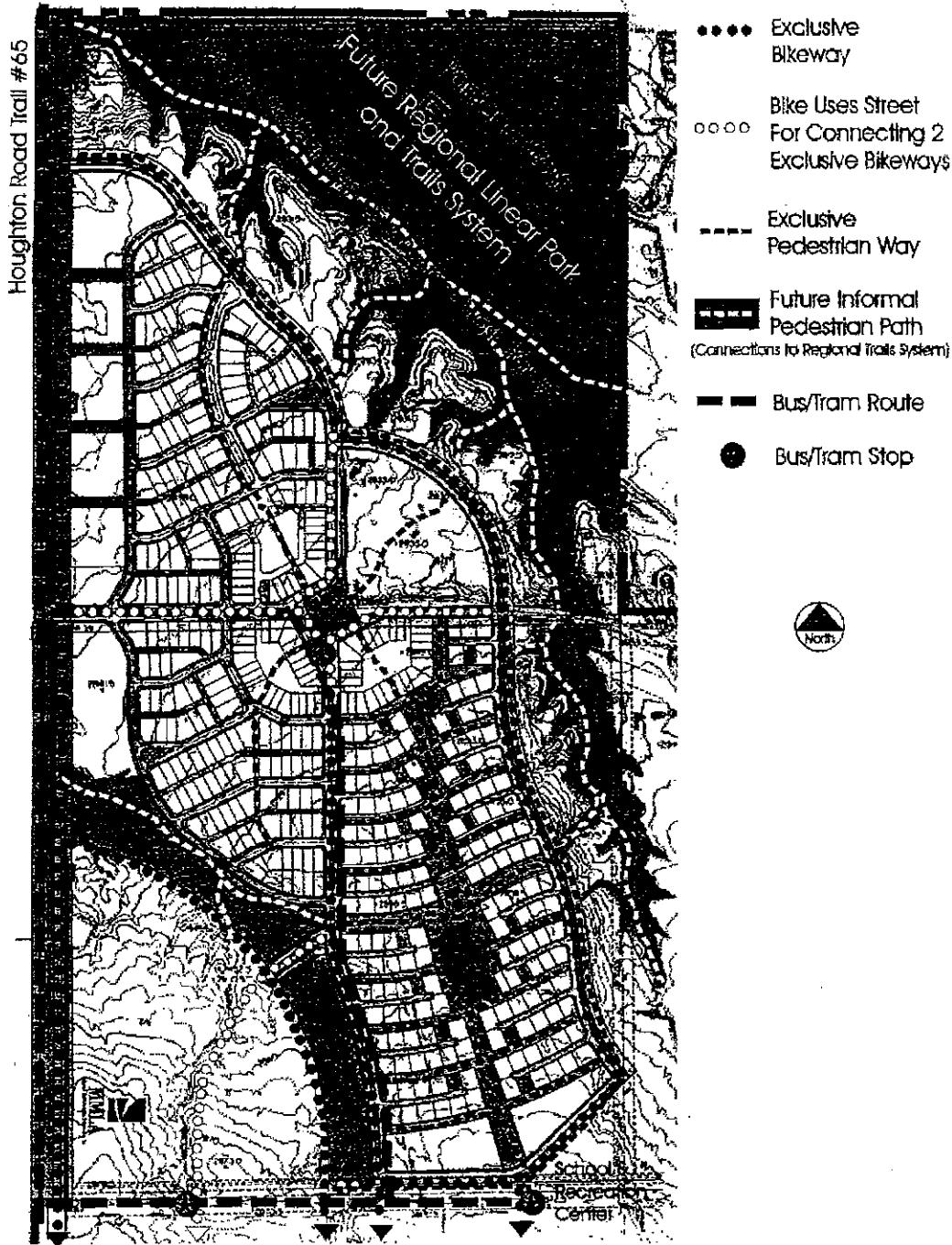
As noted in other sections of this Planned Area Development, it is the intent to utilize natural drainage for the benefit of the landscape within the project and to keep as much of the rainwater runoff on the site. Any excess runoff during unusually heavy storm events will be directed into the natural arroyos which drain directly into the Pantano Wash.

Existing and newly-created sheetflow problems will be relieved by directing the flow into newly-created swales and channels, landscaped to become natural-looking arroyos. Civano Boulevard is designed to be used as water harvesting area with a swaled median. Additional runoff is designed to flow through the unpaved sections of alleyways in order to foster plant growth and to end up in existing natural drainageways which lead to the Pantano Wash.

One existing wash (between the residential area and the Town Center) is currently overtaxed. The plan is designed to remove existing drainage from this area and allow it to flow into a newly-created pedestrian path and recreational system traversing the area of the plan to follow.

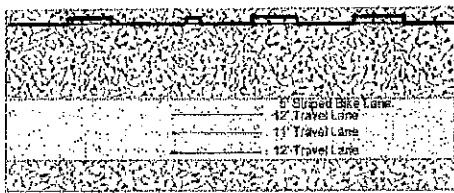


## Street Classifications

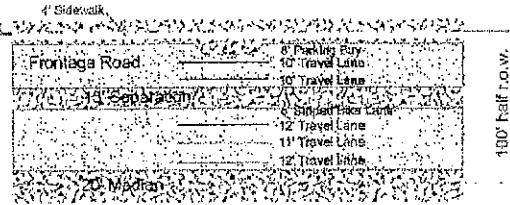


Pedestrian, Bikeways & Bus Routes

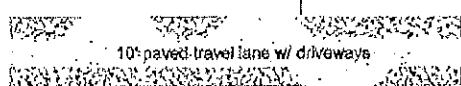
Exhibit 36



**Future Houghton Road  
Urban Gateway  
at Residential Areas**



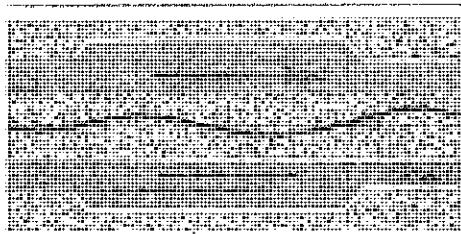
**Future Houghton Road  
Urban Gateway  
at Town Center**



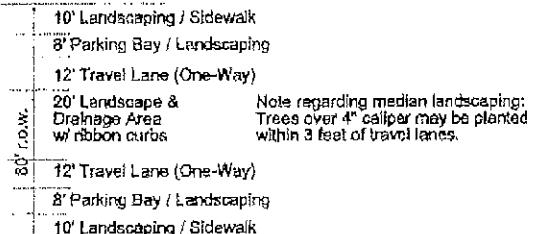
**Rear Alley**

Building setbacks: 10 ft. excluding fences, walls, overhangs for roofs and porches and shade structure overhangs and supports; which can extend up to the Houghton Road property line.

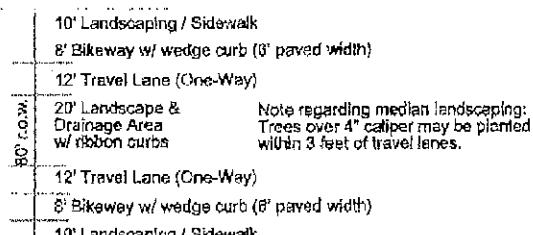
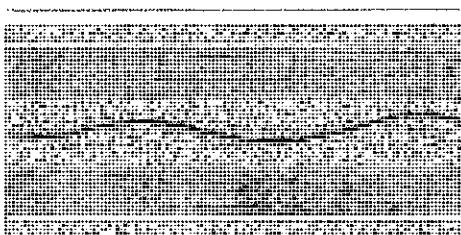
Note that 27 feet of width is provided for landscaping, sidewalks and bikeways between Houghton Road travel lanes and building fronts.



**Neighborhood Access Street  
(Houghton to N'hd Center) w/ Parking**



Note: Median narrows w/ 2 lanes each way between Houghton Rd. & first street east.



**Neighborhood Access Street  
(North-South Direction) w/ Bikeway**

## Thoroughfare Standards

Exhibit 37

### **3.3 Planned Area Development Districts**

The following districts are proposed for the residential area: Neighborhood Center, Neighborhood General, and Neighborhood Edge. Exhibits 9 through 12, following, describe these districts in more detail. Applicability of the land use regulations shall be in accordance with the Development Agreement adopted on July 1, 1996, by Resolution #17345 and as subsequently amended.

#### **3.3.1 Neighborhood Center District**

**Purpose:** To provide an area for attached and detached dwellings at densities up to 44 units per gross acre; to provide places for public assembly, recreational and educational purposes; and to provide basic neighborhood professional and commercial services.

**Permitted Uses:** The following permitted Land Use Classes are clustered, compact and at a neighborhood scale and are to be in accordance with the Tucson Land Use Code with exceptions noted. Regional activities and uses, such as large hotels or outdoor performances, are to be accommodated at the Town Center.

##### **Civic Use Group**

- Civic Assembly
- Cultural Use
- Educational Use (as per 6.3.4.6. A and C)
- Membership Organization (Limited to a total of 1200 s.f. for the entire district)
- Postal Service
- Religious Use

##### **a. Commercial Services Use Group**

- Administrative and Professional Office
- Alcoholic Beverage Service subject to 3.5.4.19.A.
- Communications subject to 3.5.4.20.C,D,E,&G
- Day Care
- Entertainment, subject to 3.5.4.4.A. and C.
- Financial Service
- Food Service, subject to 3.5.4.6.D.
- Medical Service - Extended Health Care
  - Outpatient
- Parking
- Personal Service
- Technical Service
- Trade Service and Repair, Minor
- Travelers' Accommodations, Lodging

##### **Industrial Use Group**

- Craftwork

##### **Recreation Use Group**

- Neighborhood Recreation
- Recreation

##### **Residential Use Group**

Family Dwelling, minimum lot size, 1800 sq. ft.; no maximum number of units on each lot, except as required to meet density caps.

##### **Group Dwelling**

Home Occupation: General Application, as a secondary use, according to Sec. 3.5.7.2, and allowing up to two (2) nonresidents to be employed on the premises.

Home Occupation: Day Care, as a secondary use, according to Sec. 3.5.7.3

Home Occupation: Group Dwelling, as a secondary use, according to Sec. 3.5.7.9, A., C., and D.

Home Occupation: Travelers' Accommodations, Lodging, as a secondary use, subject to Sec. 3.5.7.4.A and F through L.

##### **Residential Care Services**

##### **Retail Trade Use Group**

- Food and Beverage Sales
- General Merchandise Sales subject to 3.5.9.2.A.
- Swap Meets and Auctions

**Max Residential Density:** 44 du per acre. As per the Development Agreement, low rise apartments (1 and 2-story) shall not exceed 22 units per acre and mid-rise apartments (3 and 4-story) shall not exceed 44 units per acre. Should there be a conflict between the stated density in this district and Exhibit 12, the density in this district shall apply.

**Building Heights:** 40 feet, excluding cool towers, wind catchers, chimneys and other vertical extensions with similar purposes under 250 sq. feet in section and limited to 60 feet in height.

##### **Perimeter Yard Requirements:**

**Front:** 0'. Continuous walls and/or building facades are required on frontages facing Neighborhood Square within 4' of front property line (see diagram, Exhibit 9).

**Rear:** 0'

**Side:** 0'

**Building Coverage:** Maximum lot coverage as per L.U.C. Section 3.2.9 shall not exceed 75%.

### 3.3.2 Neighborhood General District

*Purpose: to provide an area for attached and detached dwellings at densities up to 25 units per gross acre and to provide places for limited in-home professional offices, in-home workshops and craft areas, limited neighborhood commercial uses, public assembly, recreational and educational purposes.*

**Permitted Uses:**

*The following Land Use Classes are permitted land uses within this district in accordance with the Tucson Land Use Code with exceptions noted:*

**Civic Use Group**

Membership Organization (limited to a total of 1200 s.f. for the entire district)  
Religious Use  
Educational Use as per 6.3.4.6.A

**Commercial Services Use Group**, as an accessory land use.

Administrative and Professional Office  
Day Care  
Food Service  
Personal Service  
Technical Service  
Trade Service and Repair, Minor  
Travelers' Accommodations, Lodging

**Industrial Use Group**, as an accessory land use.

Craftwork

**Recreation Use Group**

Neighborhood Recreation

**Residential Use Group**

Family Dwelling, minimum lot size, 3,000 sq. ft., except as noted on Exhibit 9. Two or more dwellings are permitted on one lot subject to 1740 sq. ft. of lot area per unit. The lot area is measured to the centerline of abutting public rights-of-way.

Group Dwelling

Home Occupation: General Application, as a secondary use, according to Sec. 3.5.7.2, and allowing up to two (2) nonresidents to be employed on the premises.

Home Occupation: Day Care, as a secondary use, according to Sec. 3.5.7.3

Home Occupation: Group Dwelling, as a secondary use, according to Sec. 3.5.7.9, A., C., and D.

Home Occupation: Travelers' Accommodations, Lodging, as a secondary use, subject to Sec. 3.5.7.4.A and F through L.

Residential Care Services

**Max. Residential Density:** 25 du per acre. As per the Development Agreement, low rise apartments shall not exceed 22 units per acre. Should there be a conflict between the stated density in this district and Exhibit 12, the density in this district shall apply.

**Building Height:** 35' max., excluding cool towers, wind catchers, chimneys and other vertical extensions with similar purposes under 250 sq. ft. in section and limited to 50 feet in height.

**Perimeter Yard Requirements:**

**Front:** 12' min. to porch; 16' to main structure and second floor.

**Rear:** 3' min. at ground floor, 7' min. to garage doors. 12' min. for second floor.

**Side:** Total of side yards, 20% of average lot width with 4' minimum if not on lot line. Minimum 8' between houses if not attached. Side yards fronting on a street must be 6' minimum. Garages are not subject to side yard requirements.

See Exhibit 9 for "Villas" lot yard requirements.

**Building Coverage:** Maximum lot coverage as per L.U.C. Section 3.2.9. shall not exceed 70%.

**Perimeter Walls:** Not required but if constructed, max. 42" height when facing pedestrian way. This Planned Area Development supercedes the LUC landscape and screening requirements of the Land Use Code. Walls will not exceed 30" within traffic sight visibility requirements.

**Civano Nursery**

*Purpose: to provide an area for on-site plant salvage and reclamation, propagation of native and other drought-tolerant plant species, demonstration and exhibition of water-efficient gardens, plant and related landscape material sales, and education oriented toward water- and energy-efficient landscape patterns.*  
*This is intended as an overlay zone for a specific area within the NG district.*

**Agricultural Use Group**

Crop Production

**Civic Use Group, as a secondary use:**

Cultural Use  
Educational Use

**Commercial Services Use Group, as a secondary use:**

Alcoholic Beverage Service  
Construction Service  
Food Service

**Industrial Use Group, as a secondary use:**

Craftwork

**Retail Use Group, as a secondary use:**

Construction Material Sales (landscape materials)  
Food and Beverage Sales  
General Merchandise Sales (landscaping and yard maintenance materials and supplies)

**Wholesaling Use Group, as a secondary use:**

Business Supply and Equipment Wholesaling (plants, landscape materials & supply)

### 3.3.3 Neighborhood Edge District

*Purpose:* to provide an area for attached and detached dwellings at densities up to 15 units per gross acre; to provide places for neighborhood recreation; and to provide areas for community gardening and food production.

*Permitted Uses:*

*The following Land Use Classes are permitted land uses within this district in accordance with the City of Tucson Land Use Code with exceptions noted:*

<p><b>Section 1.02</b></p> <p>Crop Production</p> <p><b>Section 1.03</b></p> <p>Membership Organization (limited to a total of 1200 s.f. for the entire district)</p> <p>Religious Use</p> <p>Educational Use as per 6.3.4.6.A</p>	<p>Agricultural Use Group</p> <p>Civic Use Group</p> <p>Recreation Use Group</p> <p>Neighborhood Recreation</p> <p><b>Residential Use Group</b></p> <p>Family Dwelling, maximum lot size, 3,600 sq. ft., except as noted on Exhibit 9. Two or more dwellings are permitted on one lot subject to 2,900 sq. ft. of lot area per unit. The lot area is measured to the centerline of abutting public rights-of-way.</p> <p>Group Dwelling</p> <p>Home Occupation: General Application, as a secondary use, according to Sec. 3.5.7.2, and allowing up to two (2) nonresidents to be employed on the premises.</p> <p>Home Occupation: Day Care, as a secondary use, according to Sec. 3.5.7.3</p> <p>Home Occupation: Group Dwelling, as a secondary use, according to Sec. 3.5.7.9.A, .C, and .D</p> <p>Home Occupation: Travelers' Accommodations, Lodging, as a secondary use, subject to Sec. 3.5.7.4.A and .F through L</p> <p>Residential Care Services: Section 3.5.7.8."G", subject to Sec. 3.5.7.8.C.1 and .D</p>
--	--

## Article II.

### Article III.

## Retail Use Group

Food and Beverage Sales when accessory to Neighborhood Recreation use

**Maximum Residential Density:** 15 du per acre. As per the Development Agreement, low-rise apartments shall not exceed 22 units per acre.

Should there be a conflict between the stated density in this district and Exhibit 12, the density in this district shall apply. Revised 4

Revised 4-7-05

**Building Height:** 30 foot maximum (20 foot max. if within the "Community Orchard area"), excluding cool towers, wind catchers, chimneys, and other vertical extensions with similar purposes under 250 square feet in section and 40 feet in height

#### **Perimeter Yard Requirements:**

**Front (Pedestrian Way):** At least 50 percent of the building frontage must be set back a minimum of 12 feet. 12 feet minimum setback for second floor.

**Rear (Street):** Minimum setback to main structure may be "0" feet but at least 50 percent of the building along this rear property line must be set back a minimum of 12 feet. Minimum setback of 18 feet to garage door except "0" feet if garage door is perpendicular to the street or unit is on the last lot at the end of the street. 12 foot minimum to second floor.

**Side.** If a side yard(s) is not 0 feet, it requires a minimum 4 feet. Side yards fronting on a street can be "0" feet but at least 50 percent of building wall must be set back a minimum of 6 feet. In any side yard, "0" foot setback for trellis patio covers that are at least seven feet above the ground. Structural support (walls, columns) for trellis patio covers may also have a "0" foot setback. Trellises under seven feet above the ground will be set back at least six feet.

See Exhibit 9 for "Villas" lot yard requirements.

**Building Coverage:** Maximum lot coverage as per L.U.C. Section 3.2.9 shall not exceed 60 percent, except as noted on Exhibit 9 for "Compound" lots.

**Perimeter Walls:** Not required but if constructed, maximum 42 inch height for solid walls when facing pedestrian way. Any part of a wall within six feet of the property line facing pedestrian ways, above 42 inches must be 50 percent open for visibility. Total wall height not to exceed six feet in any yard unless wall is required as a firewall. Walls may exceed 30 inches in height within traffic sight visibility requirements on streets that do not exceed 140 ADT.

This *Planned Area Development* supercedes the landscape and screening requirements in the Land Use Code.

### 3.3.3.1 Villas Lot Layout

**Front Yard:** Minimum setback varies (same as provisions for Rear Yard Auto Access Street) in Neighborhood Edge District.

**Perimeter Walls:** Maximum height 42 inches for solid walls within six feet of pedestrian way property line. Any part of a wall above 42 inches must be 50 percent open for visibility. Total wall height not to exceed six feet in any yard unless wall is required as a firewall.

***Interior Yard and Access Provision:***

"0" foot setbacks on Private Parking/Access Court.

Private Parking/Access Court does not require separate sidewalks but shall be designed as A.D.A. accessible. Pedestrian refuge areas to be provided at each house pedestrian entry. 28 foot minimum cross-section, including landscaping, for Court access per Exhibit 9b.

***Walls in Front 12 foot Setback Area:***

Maximum height is 42 inches for solid walls within six feet of a Pedestrianway property line.

Any part of a wall above 42 inches must be 50 percent open for visibility. Total wall height may not exceed six feet unless wall is required as a firewall.

***Minimum Setback to Garage Door from Public Street Property Line:***

18 feet. May be "0" feet if garage door is perpendicular to the street.

***Private Parking/Access Court Provisions:***

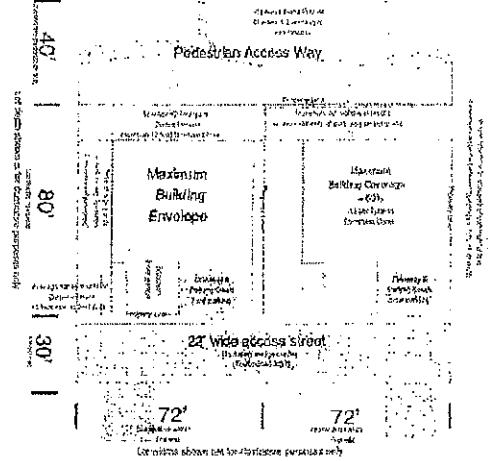
A continuous access court with a smooth stabilized earth with no separate curbs and sidewalks, as supported by the advocates for persons with disabilities.

20-foot minimum two-way travel lanes required. Maximum number of garage access points is 17. Parking may be contiguous with travel lanes, perpendicular, angular, or parallel. Private garages may open directly onto court and access way.

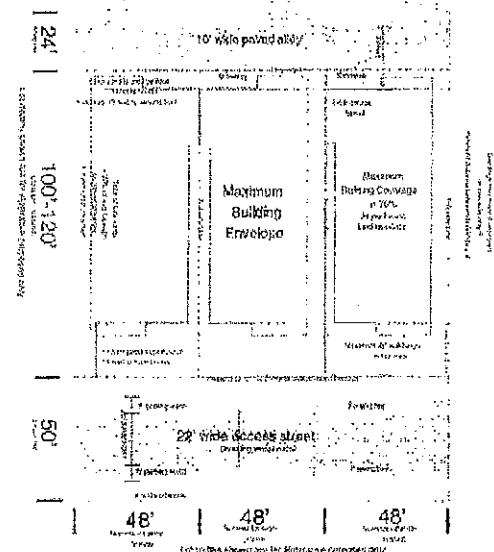
***Rear Yards:*** Perimeter walls and trellis roofs may extend into rear yard.

### **3.3.4 Guidelines for Apartment Development**

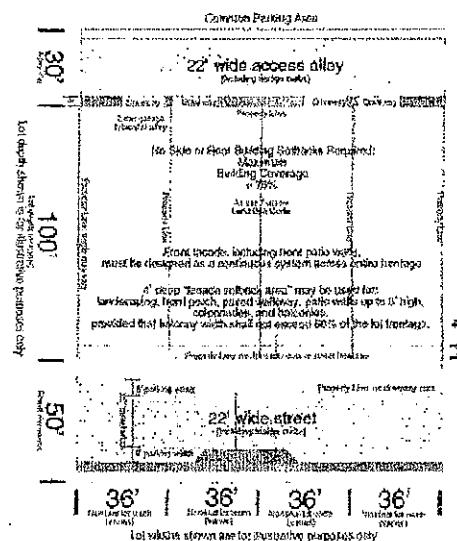
Within the Planned Area Development Area, the number of apartment units shall be consistent with the Development Agreement (currently not more than 20 percent of the residential units shall be apartments). Development review guidelines should allow relatively few apartments within the Neighborhood General and Neighborhood Edge Districts, and a much higher percentage should be within the Neighborhood Center District. This is designed to encourage a higher density of people to live within a short walk to and from the neighborhood center.



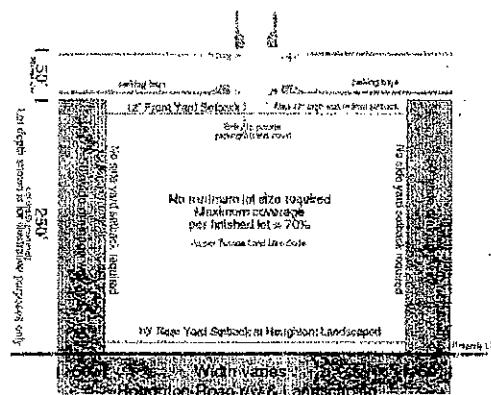
**"Desert Home" Lot Layout**  
(Neighborhood Edge District)



**"University" Lot Layout**  
(Neighborhood General District)



**"Courtyard" Lot Layout**  
(Neighborhood Center Zone)



**"Villas" Lot Layout**  
(Neighborhood General or Edge Zone)

Minimum Wall Maximum height 42 inches by solid walls with 0 feet 6 inches from property line. Any part of a wall above 42 inches must be 80% open for visibility. Total wall height (WCW) must not exceed 6 feet in any yard unless wall is required as a fire-wall.

Minor Wall and Screen Provisions:  
• 6 foot setbacks on Private Parking/Access Court.  
• 6 foot setbacks on 12' wide access court, does not require additional setbacks but shall be designed no less than 4' A. perimeter.

Perimeter garage areas to be provided at each house per exterior door.

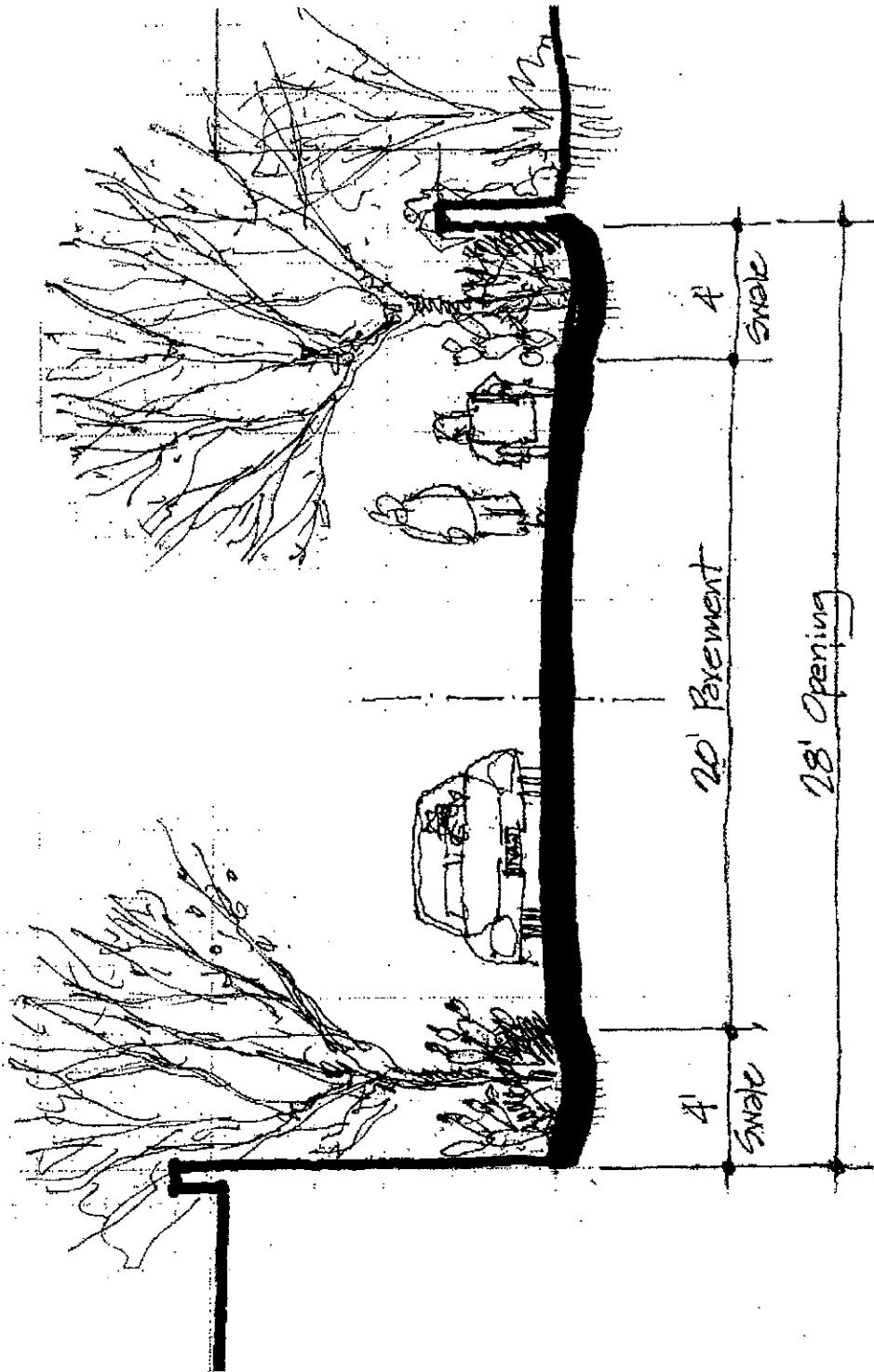
Width in Front 12' rear 50' lots Area: Maximum height is 42 inches for solid walls within 6 feet of a perimeter garage property line. Any part of a wall above 42 inches must be 80% open for visibility. Total wall height may not exceed 6 feet unless wall is required as a fire-wall.

Garage Surface to Garage Door from Public Street Property Line is 18' feet. May be 10' feet if garage door is perpendicular to the street.

Private Parking/Access Court Provisions:  
A continuous access court will be a smooth paved surface with no asphalted curbs and sidewalks, as required for all pavements for persons with disabilities.  
30 foot minimum two-way travel lanes required.  
Maximum number of garage access points is 1/3.  
Parking may be constructed with travel lanes, perpendicular, angular, or parallel.  
Private garages may open directly onto court and access ally.

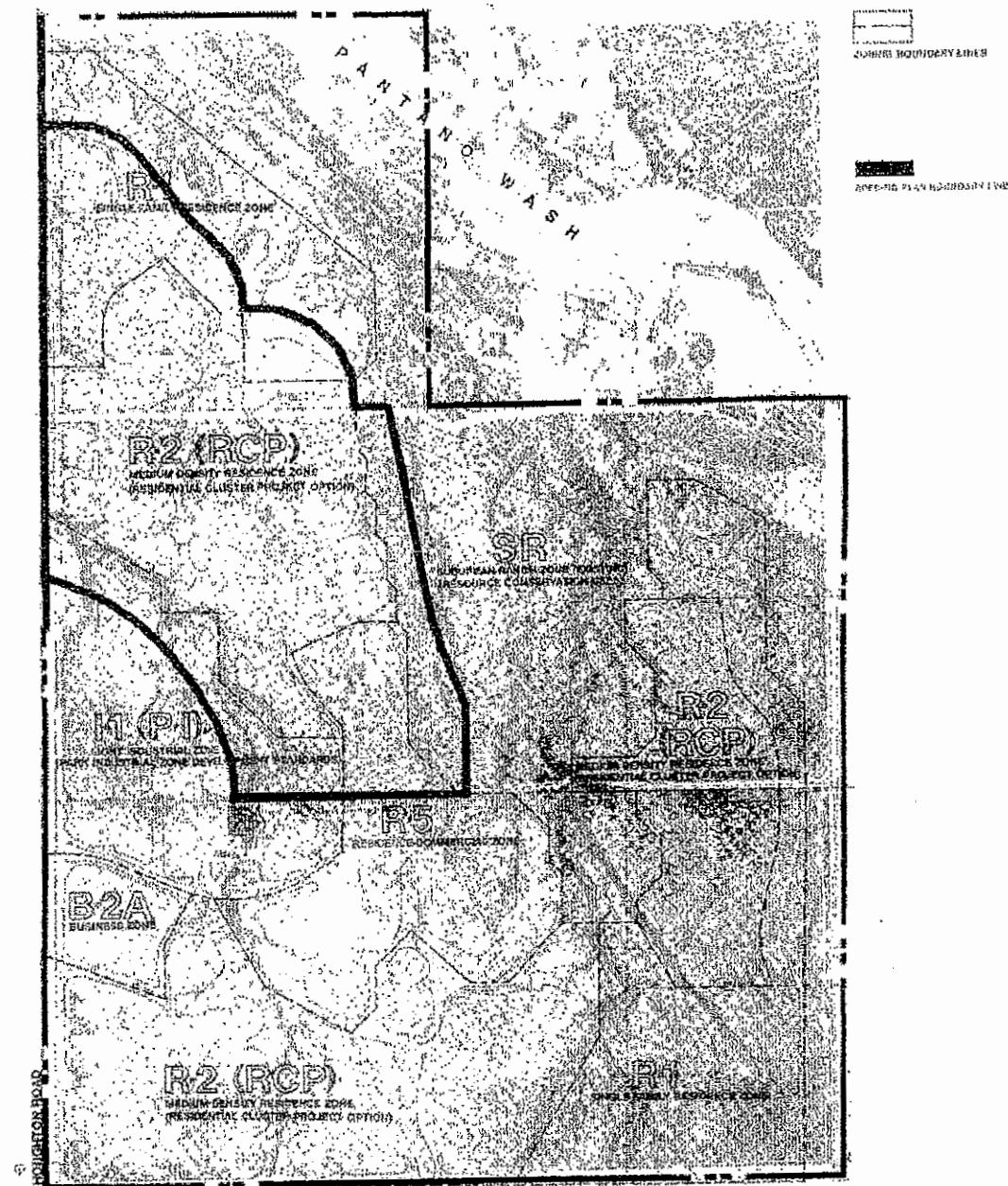
## Typical Lot Layouts

Exhibit 38



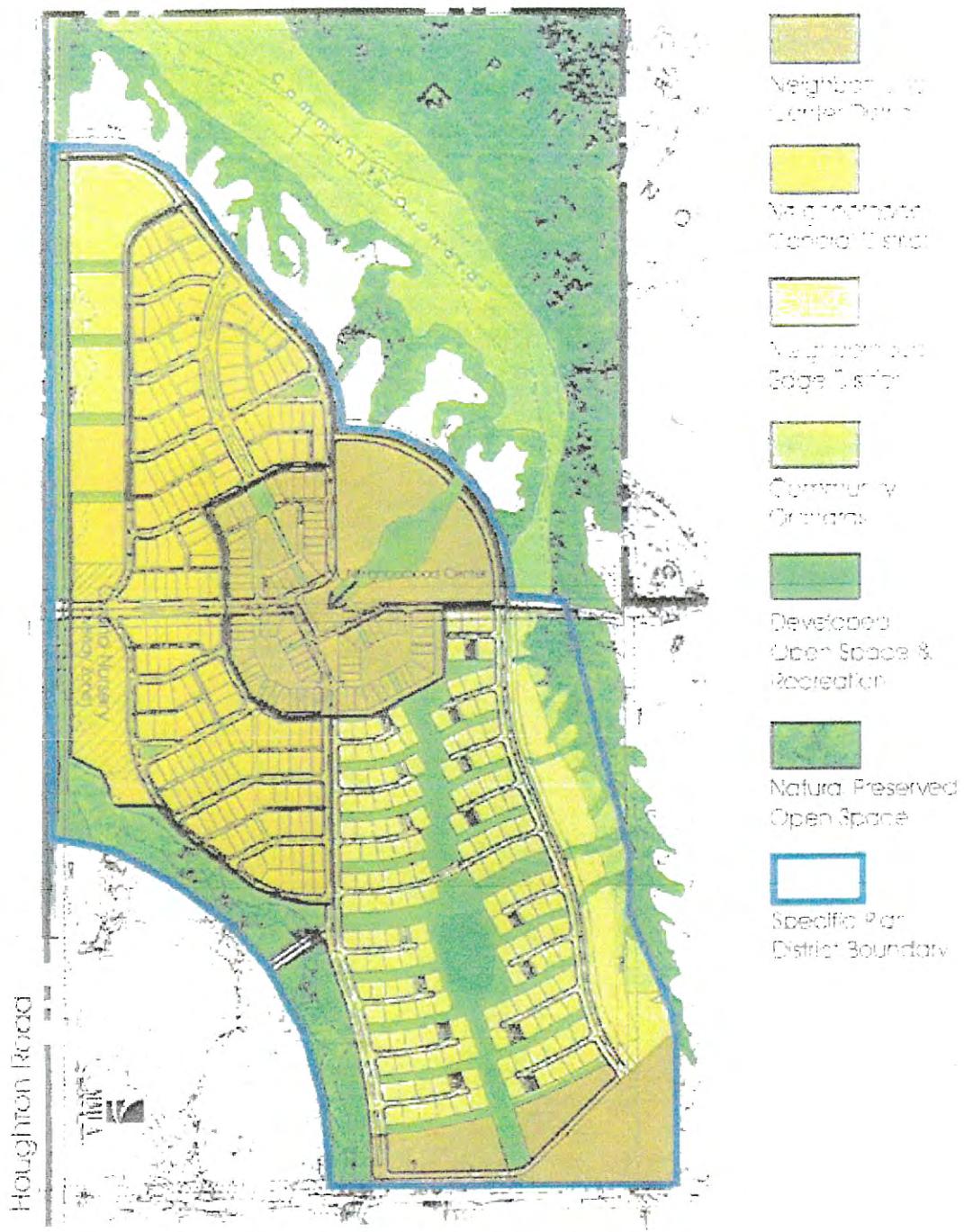
Villas Lot Courtyard Access Cross Section

Exhibit 38a



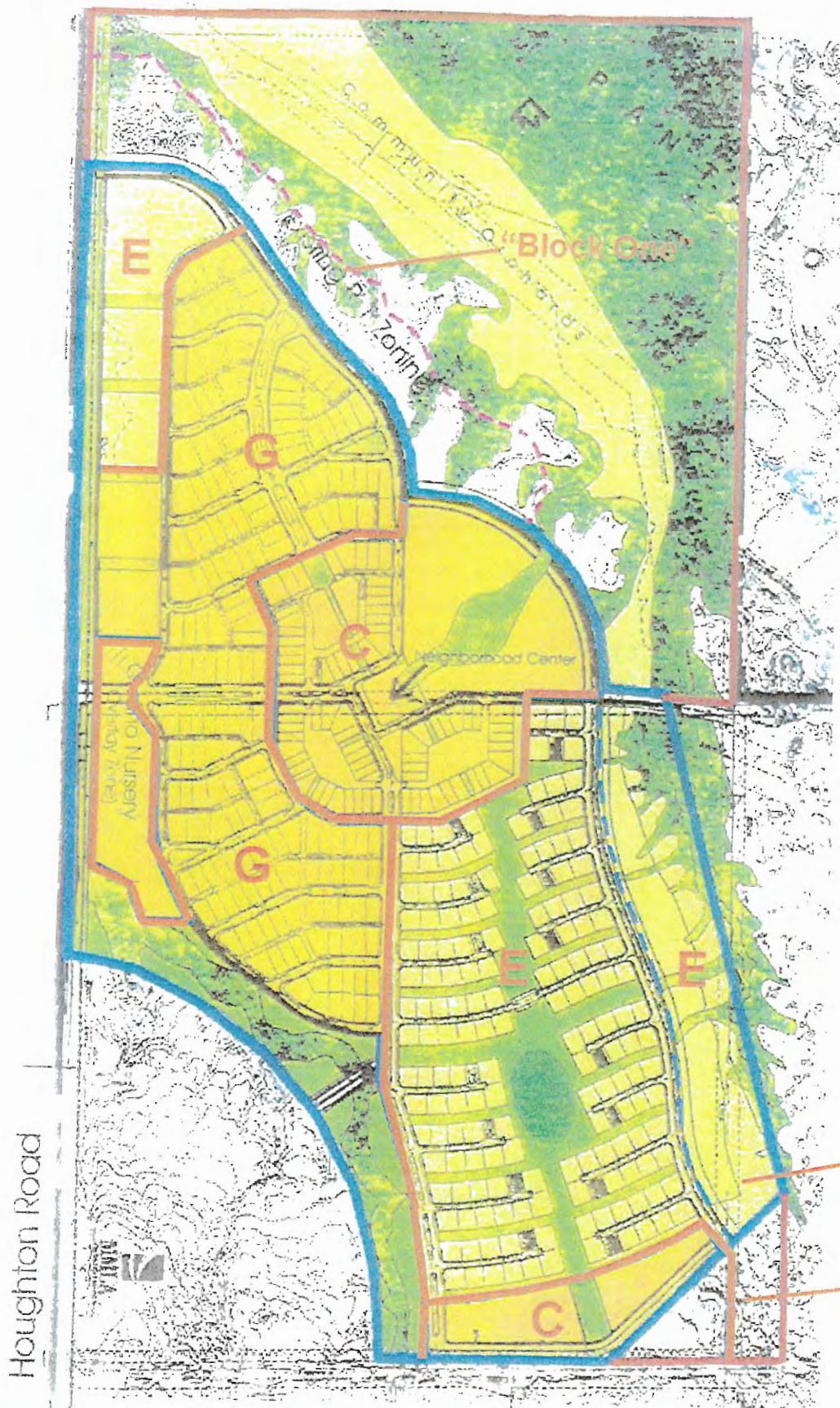
## Planned Area Development Area Overlaying Existing Zoning

Exhibit 39



## Planned Area Development Land Use Districts

Exhibit 10



Neighborhood  
Center District



Neighborhood  
General District



Neighborhood  
Edge District

The BLUE line shows the area originally covered by the Neighborhood One PAD (or Specific Plan as it was originally called). Block One and Block Three were incorporated into the Neighborhood One PAD as part of the master Civano PAD, as approved in April 2005. All of these areas, then are subject to the Civano Neighborhood One DRC.

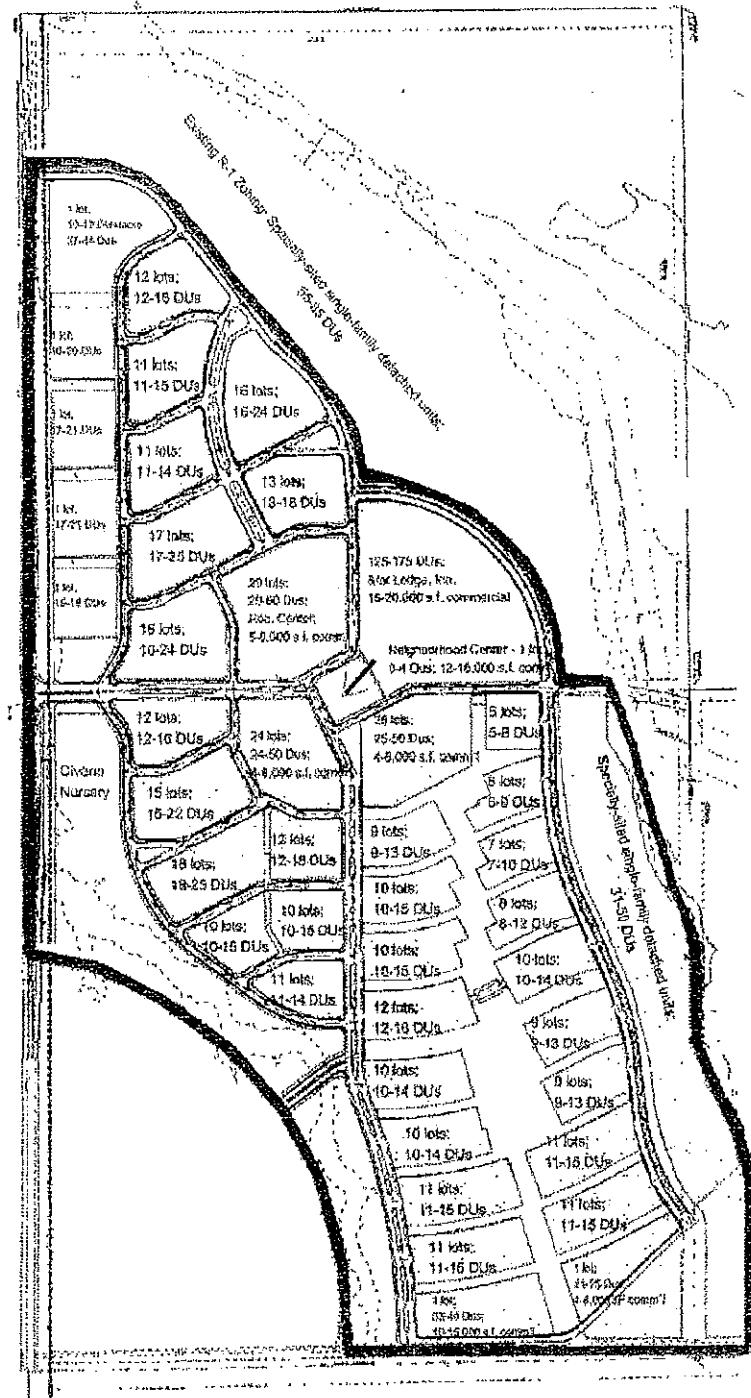


Specific Plan  
District Boundary

"Block Two"

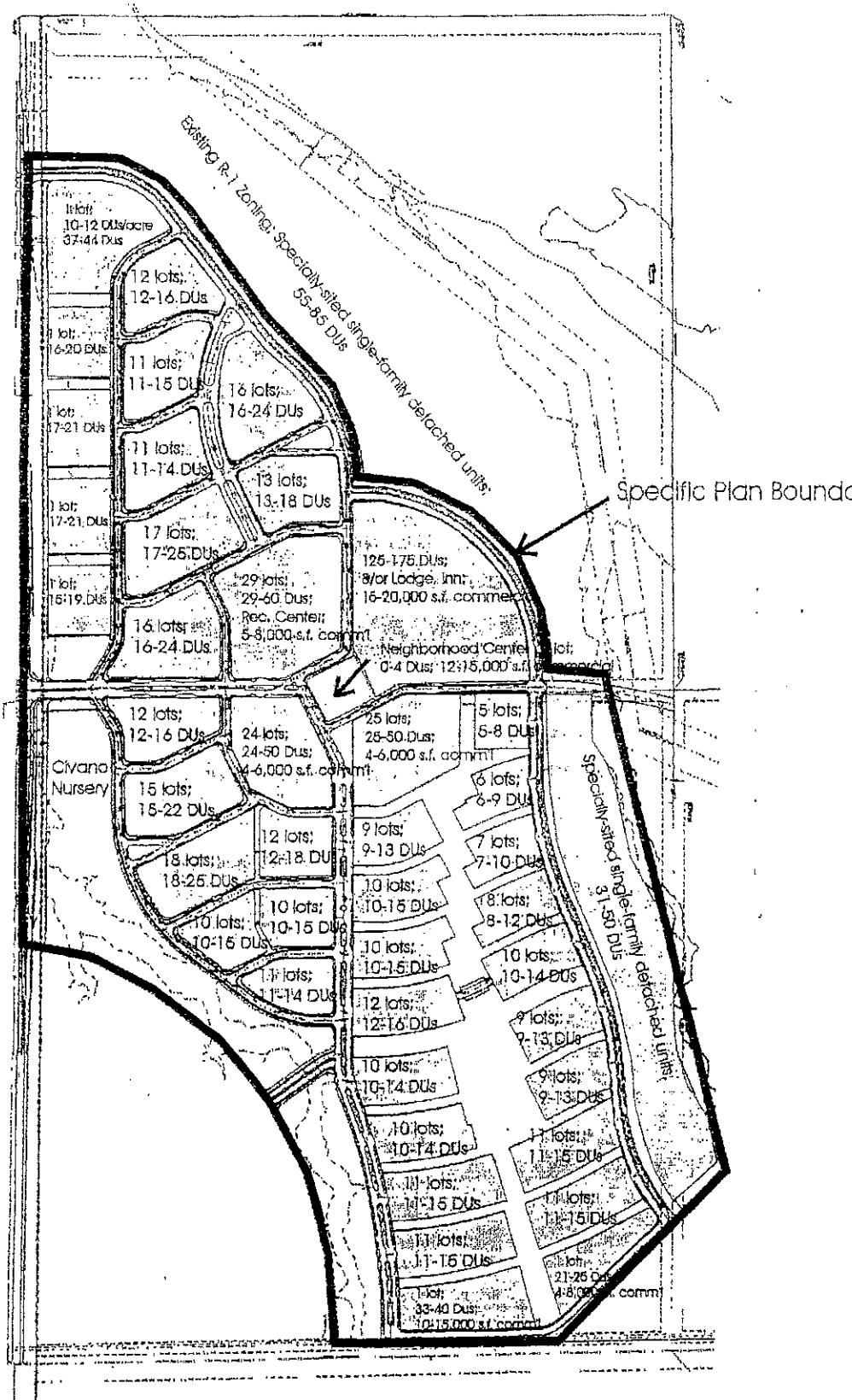
Block Three

Neighborhood One: Districts See Exhibit 40; Neighborhood 1 PAD (Page 163)



## Projected Land Use Intensities

Exhibit 41



## Projected Land Use Intensities

Numbers of lots, unit counts and commercial areas are estimates only, based upon current plans and expectations.



### ***3.4 Motor Vehicle and Bicycle Parking Requirements***

Due to the integrated land use mix and pedestrian orientation of the Civano Community, such that neighborhood retail services, recreation, civic, employment centers and transit services are provided within walking distance of residential uses, motor vehicle parking requirements are deemed to be below the parking space requirements of the Land Use Code. The reduction of these requirements, though, will be offset by an increase in the bicycle parking and landscaping regulations. Spatial dimensions of a parking space and accessibility will be in conformance with the Land Use Code, Development Standards, and ADA requirements.

In order to demonstrate that parking is available each development plan submitted will include a Parking Inventory and Monitoring Program. This Parking Inventory and Monitoring Program will define the parking requirements for the particular use and identify the on-site and off-site parking spaces it is utilizing to meet the requirement. The Inventory will identify and monitor the available existing spaces that have been utilized to meet previous development approvals so that existing spaces that are already credited towards meeting a previous approval are not utilized.

#### **Neighborhood Center District**

Motor Vehicle parking requirements for each Land Use Group/Class permitted within this District may be reduced by 50% of the parking spaces as required by the Land Use Code. Each parking space and parking area will still comply with performance criteria related to size, surfacing, striping, etc. The following provisions may also apply in meeting the parking calculation:

- a. Parking spaces required for Non-residential Land Uses may be located off-site and/or on-street provided it is within this District's boundaries.
- b. Parking spaces required for Residential Land Uses can be located up to 100' from the residence it serves.
- c. Residential visitor parking requirements can be satisfied on-street and by utilizing required non-residential parking spaces located within 600' of the residence it serves, provided the minimum number of non-residential parking spaces are still met.
- d. A street or alley may be used for maneuvering directly into or from any parking space located wholly or partially outside the public right-of-way. This is not applicable on MS&R designated streets as provided in the City of Tucson Land Use Code Sec. 3.2.14.3.

Bicycle Parking requirements for each Land Use Group will be increased over the normal requirements of the Land Use Code. The bicycle parking spaces will be determined by calculating the standard number of bicycle spaces (based on normally-required Land Use Code vehicle parking spaces) and adding 40% to determine the number of bicycle spaces required. Bicycle parking will consist only of Class II bicycle parking spaces.

- whether it serves to make a strong connection with the land, particularly in relation to accentuating natural land forms, respecting natural drainage patterns, providing for dramatic views, or fostering native plant growth;
- whether it respects the climate, particularly in terms of utilizing the energy of the sun, natural breezes and natural rainfall to foster human comfort; and
- whether it serves to regenerate the natural (including human) environment and to integrate natural systems with human productive endeavors.

Secondarily, interpretations of these planned area development district regulations pertaining to land use and performance criteria shall be made in accordance with the Development Agreement in existence between the City of Tucson and the developer.

#### **3.8.4 Procedures for Interpretation of PAD Regulations**

This Planned Area Development implements the Development Agreement adopted by Mayor and Council on July 1, 1996, by Resolution #17345 and as subsequently amended. Interpretations of these planned area development district regulations shall be made in accordance with City Planning administrative procedures as contained in the Tucson Land Use Code.

## **G IMPLEMENTATION AND ADMINISTRATION**

### **G-1 PURPOSE AND INTENT**

This section is intended to provide the regulatory procedures designed to guide the implementation for the PAD Districts through the implementation and administration of the project. The provisions below shall apply to all property intended for development under the Civano Master PAD.

### **G-2 EXTENT OF THE PAD DISTRICT TO SUPPLEMENT OR SUPERSEDE ADOPTED CITY ZONING REGULATIONS**

The Civano PAD Districts supplement and supersede existing zoning on the property as defined within this document. Where there is a conflict between the Civano Master PAD and the LUC, the Development Compliance Code, the Development Standards or individual Civano PAD Districts, the Civano Master PAD shall govern. The Civano Master PAD shall not govern in any conflict with the Revised IMPACT System Standards, the Revised Memorandum of Understanding or the Article III of the Development Compliance Code, applicable building codes or other applicable regulations.

*The regulatory development standards defined within each individual PAD District* define all regulatory standards that will supersede existing regulations within the LUC. If an issue, condition or situation arises that is not specifically covered within the PAD District, the LUC, Development Standards, or other City regulations shall apply, with the exception of Section 2-10.5 of the Tucson Development Standards, which with the adoption of this PAD, shall be retroactively eliminated and no longer utilized for any area included within the PAD District.

### **G-3 FINANCIAL ASSURANCES**

Financial assurances for the development of the Master PAD will be in compliance with the procedures set forth in Section 1-04, Subdivision Assurance Procedures of the Development Standards.

### **G-4 AMENDMENT PROCEDURES**

The following provisions are intended to provide criteria for the determination of non-substantial changes and substantial changes to the PAD Districts. In addition, this section is intended to define amendment procedures applicable to non-substantial and substantial changes proposed to the PAD Districts.

#### **G-4.a. PAD Amendments**

Amendments to the PAD Districts as represented within this document may become necessary from time to time for various reasons to respond to changing market or financial conditions, to update the PAD's to reflect new development conditions, and/or to respond to the requirements of potential users or builders on the property. Amendments to the approved PAD

Districts may be requested by the Master Developer, other developers, a property owner, or property owner's agent. Unless otherwise requested within the application, any proposed change will not affect development units or parcels not included in the proposed amendment. Only the contents of the specific amendment request may be considered and acted upon by the City's Civano Project Manager, Development Services Director, Zoning Examiner or Mayor and Council.

When changes or modifications to the PAD Districts are necessary or appropriate, proposed amendments or modifications shall conform to the following requirements:

#### Insubstantial Change

The Civano Project Manager may allow insubstantial changes to the PAD Districts administratively, provided that such changes are not in conflict with the overall intent as expressed in the Master PAD or individual PAD District documents. The following items shall be considered as insubstantial changes:

- Changes in configuration of individual development units or development parcels to include modifications to boundaries, division of larger parcels, or combinations of parcels by a maximum of 20%, as long as there is not net loss of open space and no net increase in the total number of units allowable within the Development Unit;
- Changes to the community infrastructure, such as drainage, water and sewer systems which do not have the effect of increasing or decreasing development capacity in the Master PAD, nor change the overall intent of the Master PAD;
- Any analogous interpretations of the list of permitted, exception, secondary and accessory uses of the property set forth in the PAD, as determined by the Development Services Director;
- Changes in residential densities not to exceed and increase of 10% of the maximum allowable in each Development Unit, provided the increase does not cause an increase in the total allowable unit count within the PAD;
- Minor modifications or adjustments to intrusions, encroachments, easements, roadway alignments or open space areas, so long as the modifications fall within the general range of target densities for the PAD and there is not net reduction in open space areas;
- Minor modifications to the location and size of trails and pedestrian paths, so long as the modifications meet the general intent of the Plan;
- Minor adjustments and/or substitutions to the development standards within the PAD that do not impact the general health, safety and welfare of the residents of the City;
- Combination of sub-districts within the Pavilions PAD for purposes of parking calculations.
- Any other items not expressly defined as Substantial Changes in LUC Section 2.6.3.11.B.3.

Substantial Changes

Substantial changes are changes to the PAD's as defined in LUC Section 2.6.3.11.B.3.

Amendment Procedures

The PAD's may be amended through the process set forth in LUC Section 2.6.3.11.B.4 for substantial changes or LUC Section 3.6.3.11.B.5 for insubstantial changes, as determined by the standards set forth above.

G.4.b. Interpretations

On occasion, it may be necessary to request formal and informal interpretations from the Zoning Administrator related to the implementation and/or interpretation of the PAD Districts. These circumstances may relate to interpretation of project intent, uses, development standards related to provisions of the LUC or to interpretations of intent of narrative contained in the PAD Districts. It is anticipated that interpretations to these provisions may be made in oral or written form to the Civano Project Manager upon request of the Master Developer or property owner.

## **H APPENDICES**

Appendix 1: Revised Memorandum of Understanding

Appendix 2: Revised IMPACT System Standards

Appendix 3: Environmental Resource Report Exhibit

# Section 7

## Design Guidelines for Commercial Property And Civano Center

May 2016

## **1) PURPOSE:**

- A. These Design Guidelines (the Guidelines) have been developed pursuant to the Amended Declaration of Covenants, Conditions and Restrictions (CC&R's) for the Community of Civano. (The Declaration), first recorded on November 3, 1998, as Docket number 10915, Page 639, official records of Pima County, Arizona, and as amended or supplemented from time to time.
- B. These Guidelines adhere to the Civano Master Plan, The Declaration of Covenants, Conditions and Restrictions for the Civano 1 Neighborhood Center Condominiums, as Docket number 12562, Page #6279, official records of Pima County, Arizona, and as amended or supplemented from time to time and the Amended Declaration of Covenants, Conditions and Restrictions of The Civano 1: Neighborhood 1, recorded on January 4, 2000, as Docket number 11206, page 2132, official records of Pima Count, Arizona, and as amended or supplemented from time to time.
- C. These Guidelines are written pursuant to the Second Amendment to the Amended and Restated Declaration of Covenants, Conditions and Restrictions and Easements for Civano: The Tucson Solar Village, recorded on May 6, 2005, as Docket number 12547, Page 2820, official records of Pima County, Arizona.
- D. The Guidelines are binding on all owners and tenants of the Civano Center (the Center), and other commercial properties as designated by the CC&R's and the Neighborhood 1 PAD, a portion of the master Civano PAD (April 2005).
- E. The Guidelines shall be administered and enforced by the Civano 1, Neighborhood 1 HOA Design Review Committee (DRC), or by a subsidiary Center Design Review Committee (the CDRC) which the DRC, with Board review and approval, may designate. In the latter instance, at least one member of the DRC shall sit on and be a voting member of the CDRC.
- F. The Guidelines may be amended from time to time in an effort to enhance The Center and other commercial properties. It is the responsibility of the Owner and tenants to obtain and review a copy of the most recently revised GUIDELINES documents.
- G. The Purpose for the Guidelines is not to create conformity, but to create a harmonious architectural approach. The DRC will encourage creativity in design, innovative use of materials, and unique methods of construction so long as the result is consistent with The Community of Civano overall philosophy.

## **2) GUIDING PRINCIPLES:**

- A. These Guidelines are written in keeping with the original planning goals of Civano plan which promote building community and connecting with each other. The Civano plan is designed to encourage face-to-face meeting and interaction by creating gathering places, meeting areas, cafes, and a mix of uses.**
- B. The Center's mission is to contribute to the sense of community and provide a gathering and meeting place for the Civano neighbors by building a welcoming environment with offices, health facilities, retail businesses and more. The beautifully landscaped and terraced Center will become a gathering place for causal meetings, concerts and other special events.**
- C. These Design Guidelines seek to harmonize all man-made structures with the natural habitat of its site and to take full advantage of the benign desert environment.**
- D. The Center maintains a sustainable design that includes a cool tower, alternative energy efficient building materials, energy efficient windows, and water harvesting. All reasonable efforts shall be made to maintain and enhance these elements as the Center evolves.**

## **3) GENERAL DESIGN CONCEPTS**

### **A. Entries and Doorways**

- (1) It is important that the main entrance to a building is clearly identifiable. It is the primary point of arrival and should be treated as such.**
- (2) One or more of the following methods should be incorporated in the entrance design:**
  - (a) A change in wall or window plane or wall articulations around the door projecting beyond the door.**
  - (b) Placement of art or decorative detailing at the entry.**
  - (c) A projecting element above the entrance.**
  - (d) A change in material or detailing.**
  - (e) Implementation of architectural elements such as flanked columns or decorative fixtures.**

- (f) Recessed doors, archways, or cased openings.
- (g) A portico or formal porch projecting from or set into the surface. Changes in the roofline, a tower, or a break in the surface to the subject wall.
- (h) The design of upper floor entries along the street frontage should compliment and be in scale with the main building frontage.

## B. Windows and Doors

- (1) At the street level, windows should have a scale and level of detail that is harmonious with pedestrian activity and the general adjacent streetscape. The framing provides opportunity for color variation and detail.
- (2) Clear glass is recommended on street level to create interesting interior shop views for pedestrians. Heat gain can be limited by implementing awnings, recessed storefronts, polarized glass, or professionally applied UV film. Reflective and mirrored is prohibited. Tinted glass above 70% is strongly discouraged, and must be submitted for review and approval.
- (3) The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.
- (4) Windows and doors should be in scale with the building elevation on which they appear. Recessed openings, windows and doors provide depth and can help break up the apparent mass of a large wall.
- (5) Windows may be combined with wall planters at their base or a base material that has color and texture such as ceramic tiles, brick, river rock, or raised wood panels.
- (6) Operable windows are encouraged to provide natural air circulation and allow interchange between indoor and outdoor spaces.
- (7) Well-designed storefronts, including windows, doors, wall composition, colors, and materials are important to create a sense of entry and pedestrian scale.  
All proposed exterior window and door treatments shall be reviewed and approved by the DRC, or it's designee, if one should be created

### **C. Awnings and Umbrellas**

- (1) Awnings add color, variety of scale, and pedestrian protection from the elements. They may also create a space for identification signage.
- (2) Awnings, as well as signage, help to clearly demarcate building entries and help orient pedestrians.
- (3) Awnings with imprinted signage are encouraged. Lettering style and size should be in scale with the awning and adjacent awnings subject to applicable sign codes.
- (4) Awnings should be high enough so as not to inhibit pedestrians, but in no case should the lowest part of an awning be lower than 6'-8" from grade.
- (5) Awnings should not dominate the facade, but should be in scale with the rest of the building.
- (6) Awnings, if lighted, should be lit with architecturally interesting and appropriate fixtures such as goosenecks. Up-lighting is prohibited. All light elements shall be screened from view.
- (7) Awnings should be placed within vertical elements when the facade of a building is divided into distinct structural bays.
- (8) All proposed awning treatments shall be reviewed and approved by the DRC, or it's designee, if one should be created

## **D. Arches, Porches and Covered Walkways**

- (1) Buildings that contain multiple tenants are encouraged to utilize pedestrian connection elements such as arcades and internal courtyards.
- (2) Covered walkways provide a visual and protective linkage between uses.
- (3) These walkways may occur at building street frontages, between buildings, from buildings to parking lots, and within parking lots.
- (4) Covered walkways associated with buildings should utilize materials that relate to that building in material, scale and color.
- (5) Freestanding walkway covers associated with the Center and other commercial properties should have a similar design made with similar materials so as to be easily recognized throughout the Community as being part of the Center. Suggested materials include finished metal framing combined with decorative screens as the "canopy," or wood framing with living materials.
- (6) Walkways that are "enclosed" by buildings provide an opportunity for pedestrian scale wall treatments such as murals, alcoves, or vines.
- (7) All proposed exterior Arches, Porches and Covered Walkway treatments shall be reviewed and approved by the DRC, or it's designee, if one should be created

## **E. Colors**

**Variety and artfulness are encouraged in the selection of exterior colors for commercial buildings in the Center area, so there is no preemptive restriction on color choice. The following guidelines are intended to promote well-a coordinated color palette that integrate with the other exterior features of buildings.**

- (1) **Buildings should keep a balanced color palette between base colors and "brighter" or "darker" accent colors on each building.**
- (2) **Colors should be used that reduce sun glare on wall planes by using flatter, muted colors (e.g., avoiding bright whites).**
- (3) **Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and visual texture to storefronts or building bases.**
- (4) **Trim Color of should be coordinated with the wall colors.**
- (5) **Colors should be coordinated with existing adjacent buildings.**
- (6) **Colors should coordinate with any natural or unpainted materials used on the facades such as river rock, pressure treated wood, terra cotta, tile, brick and stone.**
- (7) **All proposed exterior color treatments shall be reviewed and approved by the DRC, or it's designee, if one should be created.**

**F. Sides and Backs of Buildings not facing public rights of way:**

- (1) Murals, trellises or vines and espaliers are encouraged for large expanses of walls at the rear or sides of buildings to soften the building and create visual interest.
- (2) Marquee display cases may be provided between buildings in pedestrian linkage areas to include things like theater movie posters, upcoming civic events, retail events (such as sidewalk sales or book signing), art displays or shows.
- (3) Wall mounted lighting should be provided between buildings to ensure security. All such lighting shall be down-lighting and have their lighting elements shielded.

**G. UTILITARIAN AND SERVICE ASPECTS OF BUILDINGS**

Utility and service areas should be part of the early building design process rather than an afterthought at the construction document phase.

- (1) **Screening of Utilitarian, Mechanical, Communication and other Equipment.**
  - a. Service, utility, and loading areas should be carefully designed, located, and integrated into the site plan. These critical functional elements should be designed in an effort to minimize their impact on public viewsheds. Screening should be used to mitigate their visual impact, and noise pollution from service, utility and loading areas.

**H. Trash Enclosures**

- (1) Every building or group of buildings should provide a trash enclosure that is capable of handling the refuse generated by that site, and visually screen trash collection from public rights of way, and gathering areas.
- (2) Recycling bins should be integrated into the enclosure.

**I. Disabled-Accessible Ramps and Railing**

- (1) The Center and other commercial properties shall comply with access requirements as defined by the City of Tucson and other applicable code authorities.

- (2) Guardrails shall complement the architectural style of the building.
- (3) Ramps shall be integrated into the overall site design to help create functional or unique spaces.

#### **J. Exterior Utility Panels**

- (1) Where feasible, utility service areas, such as electrical panels, should be placed within enclosures that are architecturally integrated into the building design. In all cases they shall be painted the same color as adjacent walls.

#### **K. Fire Apparatus**

- (1) Access for fire apparatus should be part of the planning process so as not to disrupt the visual integrity of a project.

#### **L. Roof Drainage**

- (1) Gutters and downspouts on the exterior of the building should be decorative or designed to integrate with the building facade. Owners are encouraged to incorporate cisterns to harvest and store water for irrigation.

#### **M. Mailboxes**

- (1) Common mailboxes, when used, should be located close to the project entry, and to the degree allowed by the USPS, the design of the box enclosure should be similar or complementary in form, materials, and color to the surrounding buildings.
- (2) Mailboxes should be located in alcoves away from heavily traveled pedestrian ways.

#### **N. LIGHTING**

- (1) Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to on-site lighting for parking areas and to outdoor lights associated with the Center. Light types may include pole lights, spot lighting, wall-mounted sconces, and parking and landscape lighting.

However, in all cases the lighting element of a fixture must be shielded from sight.

- (2) An illumination plan and photometric analysis must be submitted with architectural and site plans for review and approval. This plan shall provide data for each light source. The purpose of the plan is to ensure that adequate lighting is provided without excessive general illumination or overlapped illumination in areas.
- (3) Sensitivity to the mix of residential and commercial uses should be considered in choosing light sources, lighting direction, intensity and footcandle power. Lighting should be designed to provide ambiance, safety, and security without unnecessary spillover or glare onto adjacent properties. This is particularly important for the residential users who may be located on a second or third floors above a commercial use.
- (4) The quality of light, intensity of light, and the type of bulb or source should be carefully addressed, and shall address the guidelines of the Pima County "Dark Sky" Ordinance.
- (5) Spotlighting or glare from any site lighting should be shielded from adjacent properties and directed at a specific object or target area. Exposed bulbs are prohibited. Lighting that is timed to automatically cut on and off at appropriate times is preferred.
- (6) Light fixtures should be designed or selected to be architecturally compatible with the main structures of.
- (7) Low-voltage lighting conserves energy and shall be used in the landscape whenever practical.
- (8) Colored lights (other than yellow lights as found in some Tucson streetlights) are prohibited except in temporary holiday displays.
- (9) The height of light poles should be appropriate in scale for the building or complex and the surrounding area.
- (10) Landscape lighting can be used to accent walkways and entries and/or seating areas and specimen plants/trees.
- (11) Indirect window display lighting is encouraged to create an interesting and friendly atmosphere. [FURTHER CLARIFICATION REQUIRED]

- (12) (12) Neon lighting and signage: [FURTHER CLARIFICATION REQUIRED.]
- (13) All proposed exterior lighting treatments shall be reviewed and approved by the DRC, or it's designee, if one should be created

## O. LANDSCAPE / HARDSCAPE

In general, xeriscape landscaping, with a variety of shade trees and colorful understory, should be used in all landscape plans for The Center.

### (1) Plant Materials and Layout

- (a) Use of native and low water use plants in conjunction with efficient water systems for the establishment and maintenance of a drought-tolerant landscape is strongly recommended.
- (b) Appropriate artwork and sculpture are encouraged to be incorporated into landscape designs.
- (c) Use of window boxes for upper stories is encouraged to provide color-spots at higher elevations, but plants must be accessible for maintenance and all window boxes shall be attached safely and securely.
- (d) Plant material is useful for softening structural edges, but should not be used as a mask to justify poor building design.
- (e) Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- (f) Planters should be planted primarily with plants that are low maintenance.
- (g) Accent planting should be used around entries and key activity hubs.
- (h) Formal planting designs and color-spots are encouraged in courtyards and plazas and in tree wells along the street frontages.
- (i) Trees should be used to create an intimate scale, enclose spaces, provide shading and frame views.

However, their placement must respect long-range view corridors.

- (j) Planting is encouraged to soften the impact of the screening of less desirable areas (e.g., trash enclosures, parking areas, storage areas, loading areas, and public utilities) from public view.
- (k) Seasonal shading from trees and shrubs should be considered when developing planting schemes for courtyards and streetscapes.
- (l) The irrigation systems should be designed to apply water slowly to achieve deep watering and to reduce runoff. Drip systems are required in all areas except for irrigation of turf (which is discouraged as a landscape element) and small ornamental planting.
- (m) Deciduous trees are encouraged because they provide solar buffers during summer while providing fall color, seasonal flower and other desired effects.
- (n) Plants to be avoided include (i) short lived plants and those particularly susceptible to disease and (ii) large expanses of single plant varieties due to their unchanging appearance and loss of landscaping once struck with disease. [Comply with Civano 1 Neighborhood 1 Recommended and Prohibited Plant lists.]
- (o) Water harvesting for irrigation is strongly encouraged.

## P. SIGNAGE

- (1) A sign program shall be required for each tenant in the Center, as well as an overall signage program for the Center as a whole. Sign programs shall, at a minimum, include:
  - (a) Sign dimensioning.
  - (b) Maximum and minimum area limitations.
  - (c) Guidance regarding materials, and colors.

- (d) Guidance as to Font types, styles, and colors.
- (2) Signs reflecting the type of business through design, shape, or graphic form are encouraged.
  - (3) The method of sign attachment to the building should be integrated into the overall sign design chosen.
  - (4) Signs should coordinate with the building design, materials, color, size, and placement.
  - (5) Signs should not cover windows or important architectural features.
  - (6) Sign variety, within the overall Sign Program for the Center, is encouraged among different users.
  - (7) Flush mounted signs should be positioned within architectural features, such as a panel above the storefront; on the transom; or flanking doorways.
  - (8) Flush mounted signs should align in mounting height with others on the block so as to maintain the existing pattern.
  - (9) Internally-illuminated sign cabinets are strongly discouraged.
  - (10) Hanging signs attached to buildings that project perpendicular to the building should be a minimum of 8' from ground level to the bottom of the sign.
  - (11) Signs that project from buildings shall comply with the overall Center signage program, and Tucson signage ordinances. Signage that reflects purpose of a business by incorporating symbols or logos of the business, are encouraged.
  - (12) **DELETED**
  - (13) Signs incorporated on awnings should only be located on the valance.
  - (14) **DELETED**
  - (15) Lighting of all exterior signs should be directional to illuminate the sign without producing glare on pedestrians, autos, or adjacent residential units.

- (16) All proposed exterior signage treatments shall be reviewed and approved by the DRC, or its designee, if one should be created

**Q. SUSTAINABILITY.**

Designers should look to the standards of the US Green Building Council's Leadership in Energy Efficiency (LEED) Green Building Rating System certification system for guidance on design practices that can contribute to sustainability. In addition, designers should address the performance standards for meeting the performance objectives of the Civano PAD. However, because the performance standards were developed with residential rather than commercial projects in mind, it is acknowledged that not all of the performance standards will be applicable, and those that are applicable may be adapted in light of the commercial nature and particular uses of the project.

# **Section 8**

## **New Construction Review Requirements**

## New Construction in Civano Neighborhood 1

If you are contemplating doing any of the following, then this section of the Design Manual is important to you:

- You are planning new construction of any type on vacant land.
- You are planning new construction of any type of parcels where existing structures have been demolished and removed.
- You are planning new construction additions attached to existing structures, or standing alone on lots with structures already on them; provided that the new construction addition is greater than [REDACTED] sf. *[NOTE: the size of what will be considered “new construction” will be defined by the Board after review and consultation with the Master Association and Master Developer.]*

The following documents are required for a new construction review:

- a. A full set of architectural drawings showing floor plans, elevations, sections and details as required to adequately describe the structure.
- b. A full permit set of structural drawings, stamped by a registered structural engineer.
- c. A full permit set of slab drawings with details, stamped by a registered structural engineer.
- d. A full permit set of mechanical/electrical/plumbing drawings.
- e. All utility easements required, if any.
- f. A fully detailed site plan showing landscaping, materials, etc.
- g. A completed and stamped Energy Analysis showing that the proposed structure meets the requirements of the Civano IMPACT Standards, and complies with the Tucson Sustainable Energy Code or its successors.
- h. Demonstration that the construction has a solar hot water, or another approved “solar device”.
- i. Letter listing ways in which the design addresses the IMPACT Goals. See the additional information below.

All new construction must comply with the requirements of the Civano PAD, and the Neighborhood 1 PAD contained therein. These are the basic zoning document for Civano. See Section 6 for more information on the Neighborhood I PAD.

All new construction must also demonstrate its compliance with the Civano IMPACT standards. The IMPACT Standards are a set of six goals with performance criteria agreed upon by the City of Tucson and the developers of Civano as a way of implementing and measuring the attainment of the environmental and other goals associated with Civano. A copy of the full IMPACT standards is found in the Appendix of this Design Manual. Your designer should become familiar with the details of how to achieve the specific goals of the IMPACT energy reduction goals. A quick overview summary of the IMPACT goals is noted below. This summary

should not be considered as definitive, but rather is meant to provide you with a broad overview of the practical implementation of the IMPACT goals; which are:

1. Reduce building energy demand significantly beneath metropolitan Tucson baseline levels.... A simplified summary would be to have your building certified to pass the Civano Model Energy Code (1995 Revision); pay special attention to incorporation of solar energy-both passive and active; and consider how your landscaping can help mitigate solar heat gain. Paying attention to how your new construction is designed to take advantage of winter sun, while being protected from the summer glare is a big part of achieving this goal. Incorporation of solar devices for hot water generation-a signature element of Civano-is another.
2. Use on-site photovoltaic and/or solar thermal power generation....This goal will be most likely met on individual structures by ensuring that your design allows for the incorporation of solar devices and PV installations on roof tops, and ensuring that such devices will not be block from the sun.
3. Reduce potable water consumption significantly below Tucson baseline levels, and use non-potable water....for landscape irrigation. The availability and use of the reclaimed water system in Civano helps achieve this goal, as does a careful consideration of using xeriscape and water harvesting techniques in landscaping. Information on how to find out more about water saving techniques is found in the Appendix to this Design Manual. The use of water saving devices in the home also helps achieve this goal.
4. Reduce landfill-destined solid waste....This goal encourages the use of recycled materials in your new construction design, and ensuring that recycling of waste is easily done. A mindful attempt to minimize and properly dispose of construction waste is also a focus of this goal.
5. Improve air quality by reducing auto dependence....Civano is a pedestrian friendly community, and its many amenities are easily (and best!) accessed by walking or bicycling. New construction designs can demonstrate how they support this goal by demonstrating their connection to walking paths and sidewalks; and how they support the existing non-vehicular systems of Civano.
6. Create one job within Civano for every two dwelling units. This is the most complex of the IMPACT goals, and one that an individual lot owner cannot really affect. However, home-based businesses are a big part of achieving this goal, and Civano's zoning allows for home-based businesses, as well as mixed-use construction. Refer to the section on the Neighborhood 1 PAD.

Don't be intimidated by the IMPACT goals! Think about the reasons you want to build in Civano, and what you like about this Community. Then describe what you are doing to support and even enhance that.

Another document that you will need to understand and refer to is the Memorandum of Understanding between the City of Tucson and the developers of Civano. The MOU is an attempt to provide concrete ways to achieve the IMPACT goals noted above. Section 5.3 of the MOU is the key one in terms of the review and approval of

new construction in Neighborhood 1 of Civano. It is found on Page 14 of the MOU. Your application for new construction will go more smoothly to the degree that you reference design features in your proposed new construction to show how they address the criteria listed in Section 5.3.

The full text of the MOU is found in the Appendix of this Design Manual.

Please refer to the New Construction Application Form which follows this section. It will help guide you in how to explain how your new construction submission addresses the issues of the IMPACT standards and the MOU Section 5.3.

**Who reviews this documentation?** The City of Tucson's Development Services staff will review all of your documentation as part of the building permit process. You should note that a building permit will not be issued unless you have obtained an approved review from the Civano Design Review Committee.

The Board has certified a group of design professionals who have demonstrated a thorough understanding of the requirements and goals for buildings in Civano. You will be required to submit your documentation for new construction to one of these certified professionals for review. They will pass on their recommendations to the Design Review Committee and to the Board. More information about this process and the certified review professionals can be obtained through the HOA office.

**Is there a fee for the new construction review process?** Yes, there is and you should consult the Civano HOA office for information on this.

Please contact the Civano 1 Neighborhood 1 HOA office at 520-546-3862 to obtain the application form for New Construction. The HOA office may also be reached via email at: [hoa@civano1.com](mailto:hoa@civano1.com).

**New Construction Application Forthcoming**

**Temporary placeholder**

## **APPENDIX**

- A. APPLICATION FORMS:**
  - a. General Lot or Home Improvement Application
  - b. New Construction Application (NOTE: Will be developed)
- B. IMPACT SYSTEM STANDARDS**
- C. MEMORANDUM OF UNDERSTANDING: City of Tucson/Civano Development**
- D. MASTER CIVANO PAD: HOW TO GET A COPY**
- E. Civano 1 Neighborhood 1 CC&R'S: HOW TO GET A COPY**
- F. HELPFUL CONTACT INFORMATION**
  - a. City Of Tucson Department of Planning and Development Services
  - b. City Of Tucson Development Services Personnel Knowledgeable about Civano

## **A. Application Forms**

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT #: \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

1. Design Review Committee (DRC) approval is required whenever a **CHANGE, MODIFICATION OR IMPROVEMENT** is made to the exterior of a home or lot in Civano. In order to assist the Committee in the approval process you are required to provide specific information so there are no delays.<sup>1</sup>
2. The Committee has provided the following IMPROVEMENT or MODIFICATION SUBMITTAL CHECKLIST to assist you in your Application Request to ensure that your review and approval is a smooth and quick process.

**Please initial each box acknowledging that you have  
read the information and provided the required  
documentation, materials and information with your  
submittal.**

- NAME, LOT, DATE and PAGE # are on ALL pages of applications.
- I have noted how I would like to be contacted:
  - Email: \_\_\_\_\_
  - Phone: \_\_\_\_\_
  - Mail: \_\_\_\_\_
- The following is a detailed description of the Improvement or modification I would like the DRC to review and approve: (attach additional descriptive sheets as necessary.)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>1</sup> In accordance with the AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CIVANO I: NEIGHBORHOOD I dtd 1/04/2000, ¶4.7 Obligation to Obtain Approval and 2012 Civano 1 Design Review Manual dtd 11/07/2012, ¶1. Guidelines.

**Civano I Neighborhood 1  
MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION  
SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- Planned Completion Date. \_\_\_\_\_
- I have included all Plans and specifications for all construction modifications showing materials, height, width and paint color(s), photos, material/fabric samples.
- I have included the Site plan for the lot, showing the modification in its proposed locations along with all other improvements on the lot (house, driveway, pool, etc); (all pertinent info for antenna.).
- I have noted the Building orientation (relative to desired solar, wind and shade patterns).
- I have included information on all building materials (relative to insulation, thermal mass, absorptive and reflective qualities).
- I ACKNOWLEDGE THAT** if painting is to be conducted I will include a Civano 1 Neighborhood 1 Paint Submittal checklist with all required documentation.
- I have noted the Location and type of plant materials (relative to shading and solar access and wind patterns and compatibility with indigenous, drought-tolerant species). If plants are a part of the Modification, see the Landscaping Guidelines.
- I have included any Active and passive solar design strategies;
- I have shown all landscape passive water harvesting design to include swales, berms, etc.

**Civano 1 Neighborhood I  
MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION  
SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- I have included documentation of energy usage projections which are in accordance with the Association standards for all building and site-related energy and water consumption and conservation. (See Revised Civano Impact System, Building Energy Demand and Energy and Water Use Documents on [www.civano1.com](http://www.civano1.com)).
- I ACKNOWLEDGE THAT** if an improvement affects drainage patterns I must submit plans that will show proper drainage after installation of improvement.
- I ACKNOWLEDGE THAT** I have conducted the required governing document review and have included a copy of my Planned Area Land Use District. All Applicants, BEFORE submitting applications, must review the following documentation to ensure that all improvements, modifications, and modifications meet the Civano requirements as outlined in the Civano governing documents. All Applicants must include a copy of their Planned Area Land Use District which can be found in the Design Review Manual on the HOA website. Documents noted in the following paragraphs will help you determine which Civano district you reside in and what requirements are particular to your individual Civano District. Please Note that Civano North Ridge should refer to the City of Tucson Land Use Codes. All required documents (with the exception of the City of Tucson Land Use Code) can be found on the HOA website at [www.civano1.com](http://www.civano1.com). See "Documents" on left hand side.
- Civano Planned Area Development (PAD), Revised April 7, 2005;
- Civano 1 Neighborhood 1 CC&Rs and Design Guidelines and all subsequent Amendments;
- Civano Revised Memorandum of Understanding, December 8, 2003.
- Civano Revised Impact System, December 8, 2003;
- Civano Revised Development Plan, December 8, 2003.
- Planned Area Land Use Districts, Exhibit 40, pg 163, 2016 Community of Civano Neighborhood One Design Review Manual.

**Civano I Neighborhood I  
MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION  
SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT #: \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- Center District, Article 3.3, pg 154, 2016 Community of Civano Neighborhood One Design Review Manual.
- General District, Article 3.3.2, pg 155, 2016 Community of Civano Neighborhood One Design Review Manual.
- Neighborhood Edge District, Article 3.3.3 pg 157, 2016 Community of Civano Neighborhood One Design Review Manual.
- Villas Lot Layout, Article 3.3.3.1, pg 159, 2016 Community of Civano Neighborhood One Design Review Manual.
- City of Tucson Land Use Codes (North Ridge)
- I HAVE INCLUDED 3 NEIGHBORS' SIGNATURES:** The Design Review Committee, during the review process, will consider the impact of owner-installed architectural modifications on neighboring views and open space corridors. (Signature form at last page of submittal.)
- If your architectural modification is to build a new structure or other feature projecting from the original footprint of your existing home or building, you are required to secure, on the Application, the signatures of the owners of the immediately adjoining and opposite properties. Signatures are mandatory in this situation and application will not be accepted if they are missing.
  - In accordance with CINI CC&Rs, paragraph 4.8, such signatures will serve to notify your neighbors of an impending architectural change and will certify that the bordering homeowners are aware of the projected architectural change and have the right to attend the Design Review Committee meeting and to offer comments.
  - Neighbors' Signatures DO NOT signify approval or disapproval of your project. Approval or disapproval will come from the Design Review Committee.
  - As a definition, the "original footprint" includes the foundation of your home or structure and any attached garage. A non-connected garage, although not in the "original footprint," will be taken into consideration by the DRC, if appropriate. Any attached concrete pad, such as an open patio, is not considered within the "original footprint" unless you may be proposing to cover or enclosure such

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

pad that would then visibly project into a neighboring view or open space corridor. "Projections" are not limited to add-on structures, but may include awnings and other possible temporary or permanent appendages.

**HELP AND ASSISTANCE:**

- I ACKNOWLEDGE THAT** On occasion it may be necessary to request formal and informal interpretations from the Zoning Administrator related to the Civano PAD Districts (see Civano PAD, pgs 154-159 and Exhibit 40, pg 163) or the City of Tucson Land Use Codes. These circumstances may relate to interpretations of the provisions of the City of Tucson Land Use Code or to interpretations or intent of the narrative of the Civano PAD. These questions may be oral or in writing and shall be to the Civano Project Manager, by the DRC or the property owner. The Civano Project Manager is John Beall and can be contacted by calling 520-837-6966 or [John.Beall@tucsonaz.gov](mailto:John.Beall@tucsonaz.gov).
- I ACKNOWLEDGE THAT** all documents and references noted in this Application may be found on the Civano Homeowners' Association website at: [www.civano1.com](http://www.civano1.com). Further assistance may be obtained by contacting the Civano Homeowner Association Manager at 520-546-3862.
- I ACKNOWLEDGE THAT** I have reviewed the following information in the 2012 Community of Civano Neighborhood 1 Design Review Manual in order to determine what Civano district is applicable to my Lot or Parcel and what restrictions apply to my project, such as Land Use Regulations; Perimeter Yard Requirements; Building coverage; Building heights; perimeter wall information and wall height information.
- Planned Area Land Use Districts, Exhibit 40, pg 163
  - Center District, Article 3.3, pg 154
  - General District, Article 3.3.2, pg 155
  - Neighborhood Edge District, Article 3.3.3 pg 157.
  - Villas Lot Layout, Article 3.3.3.1, pg 159

**RESOURCE WEBSITES:**

- Civano Homeowners Association Website: [www.civano1.com](http://www.civano1.com)

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- Civano I Neighborhood I 2016 Design Review Manual:  
[www.civano1.com](http://www.civano1.com) (Documents – left hand side of home page)
- Civano PAD: [www.civano1.com](http://www.civano1.com)  
(Documents – left hand side of home page)
- Pima County Land Use Codes:  
<https://www.tucsonaz.gov/pdsd/land-use-code>
- Pima County Zoning Code Quick Summary Guide:  
<http://www.webcms.pima.gov/cms/One.aspx?portalId=169&pageId=68853>

**APPLICATION REVIEW:**

- I ACKNOWLEDGE THAT** I am required to attend the Design Review Committee application review unless the Association Manager has been notified that I will not be attending due to scheduling conflicts or for personal reasons. I will be notified of the date and time by phone call, email or mail by the Association Manager.
- I ACKNOWLEDGE THAT** if I am submitting an application for **NEW CONSTRUCTION** I may be required to pay a fee for the review process.
- I ACKNOWLEDGE THAT** if I am submitting an application for **NEW CONSTRUCTION** the DRC will determine if I am required to submit my documentation to one of the design professionals who have been certified by the Board to have a thorough understanding of the requirements and goals of building in Civano.<sup>2</sup> (Call the HOA Office at 520-546-3862 for more information.)
- I ACKNOWLEDGE THAT** I will receive a formal notification of the decision by the Design Review Committee.

---

<sup>2</sup> 2016 Community of Civano Neighborhood One Design Review Manual Section 8 New Construction Review Requirements.

Civano I Neighborhood I  
MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION  
SUBMITTAL CHECKLIST

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- I UNDERSTAND AND ACKNOWLEDGE THAT** when it is determined by the DRC that plans meet the intent, spirit, goals and concepts of the Revised Master Development Plan and the Civano Planned Area Development or subsequent amendments thereto and all governing documents, it shall approve said plans in writing. With the DRC's written approval, these plans may then be submitted for final review and approval by the appropriate governmental agency. Nothing herein shall be deemed to inhibit discussion or preliminary review and approval processing with appropriate governmental jurisdiction prior to obtaining the DRC's approval
- I ACKNOWLEDGE THAT** I am solely responsible for obtaining all required permits and approvals from applicable public agencies such as county or city. All improvements are subject to all appropriate permits and inspections.
- I ACKNOWLEDGE THAT** it shall be my sole responsibility to comply with all applicable government regulations, ordinances and procedures and to adequately coordinate such required governmental reviews with these Guidelines.

**LIABILITY:**

- I ACKNOWLEDGE THAT** neither the Association, the Board nor the Review Committee (nor any member thereof) shall be liable to the Association, any owner or any other party for any damage, loss or prejudice suffered or claimed on account of the approval or disapproval of any plans, drawings or specifications, whether or not defective; the construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications; the development of any Lot or Parcel; or the execution and filing of any estoppel certificate or statement, whether or not the facts are correct. (See Master Declaration paragraph 4.9, and Master Declaration First Amendment Rerecorded, paragraph 5, CINI CC&Rs, paragraph 4.11 and Civano I Guidelines.)

**APPEALS:**

- I ACKNOWLEDGE THAT** Any homeowner aggrieved by a decision of the DRC may appeal the decision to the Board in accordance with the following procedure (see Master Declaration, paragraph 4.10 and CINI CC&Rs, paragraph 4.12):

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- Homeowner must submit a letter by registered mail to the Board detailing the reason for the appeal within 10 working days of receipt of the DRC decision.
- The Board of Directors shall review the decision at the next scheduled homeowner's association meeting and either approve it, reject it or modify it.
- Homeowner to receive Board's decision through US Postal service within 5 days of the Board's decision.
- The decision of the Board is final and binding and shall modify the decision of the Review Committee to the extent specified by the Board.

**AGREEMENT TO COMPLETE IMPROVEMENTS:**

- I ACKNOWLEDGE THAT**, by my signature and date, that I have read, understand and agree to all requirements as outlined in this application, I agree to complete all improvements as outlined in this application within the time specified. I further acknowledge and understand that failure to complete the improvement within the specified time may constitute a violation of the Civano 1 governing documents and I could be subject to violation notice and fine.
- I UNDERSTAND AND ACKNOWLEDGE THAT** If the improvement project on my Lot or Parcel is not in compliance with all Civano governing documents and the City of Tucson permitting requirements, the DRC may recommend that the Association levy a Reimbursement Assessment on the homeowner and lot in accordance with CINI CC&Rs 8.6.
- I AGREE** to allow a member of the Design Review Committee and/or the Association manager upon the exterior of the Applicant's lot for inspection of improvement on a mutually agreed upon time. (See CINI CC&Rs, paragraph 4.14)

**ACKNOWLEDGEMENT AND ACCEPTANCE:**

- I ACKNOWLEDGE, UNDERSTAND AND AGREE**, by my signature, to all requirements of the DRC Design Review submittal and governing documents as outlined above.

Civano I Neighborhood I  
MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION  
SUBMITTAL CHECKLIST

OWNER NAME: \_\_\_\_\_ LOT #: \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- I ATTEST** that this improvement project is in compliance with the requirements as outlined in the Civano Master PAD and the applicable Civano Area Planned Land Use District. In the case of a North Ridge applicant, the improvement project shall be in compliance with the Civano Master PAD and the City of Tucson Land Use Codes.
- I ACKNOWLEDGE** that applications must be submitted by the last business day of the month to be included on the following month's agenda. The design review committee (DRC) meets the second Thursday of each month. No exceptions will be made to this requirement.

Submit application to:

**Civano Manager**  
10501 E Seven Generations Way, #109  
Tucson, AZ 85747  
520-546-3862/520-546-6795 (fax)  
Email:  
[hoa@civano1.com](mailto:hoa@civano1.com)

**DRC FOLLOW UP ON APPROVED APPLICATIONS**

- I ACKNOWLEDGE** that as a final step in the review process, the HOA Manager will ensure that the actual modifications or improvements have been completed in strict compliance with the approved final application as recorded in the official minutes of the design review committee and mailed to each applicant.
- I ATTEST**, by my signature, that I am the owner of the subject property.

Homeowner(s) Signature & Date: \_\_\_\_\_

DATE OF COMPLETION OF PROJECT: \_\_\_\_\_

### Neighbor Signature Form

Signatures of adjoining and opposite property owners are required when a proposed alteration/improvement is submitted. This signature does not constitute approval or disapproval. This signature is confirmation that the neighbor is aware of the project. This

HOA MEMBER/NEIGHBOR:

"I have read this Improvement Application" and "I wish/do not wish (cross-out one) to attend the Design Review Committee (DRC) meeting when this Application is reviewed."

If unable to attend the meeting a written comment (for or against) may be forwarded either by mail or email to Cadden Community Management before the last business day of the month to be attached to this application for review at the DRC meeting.

My name: \_\_\_\_\_

My address: \_\_\_\_\_ My Lot #: \_\_\_\_\_

HOA MEMBER/NEIGHBOR:

"I have read this Improvement Application" and "I wish/do not wish (cross-out one) to attend the Design Review Committee (DRC) meeting when this Application is reviewed." If unable to attend the meeting a written comment (for or against) may be forwarded either by mail or email to Cadden Community Management before the last business day of the month to be attached to this application for review at the DRC meeting.

My name: \_\_\_\_\_

My address: \_\_\_\_\_ My Lot #: \_\_\_\_\_

HOA MEMBER/NEIGHBOR:

"I have read this Improvement Application" and "I wish/do not wish (cross-out one) to attend the Design Review Committee (DRC) meeting when this Application is reviewed." If unable to attend the meeting a written comment (for or against) may be forwarded either by mail or email to Cadden Community Management before the last business day of the month to be attached to this application for review at the DRC meeting.

My name: \_\_\_\_\_

My address: \_\_\_\_\_ My Lot #: \_\_\_\_\_

LAST PAGE

THANK YOU!

Civano I Neighborhood I PROVISIONAL MAY 2016 PAINT  
SUBMITTAL CHECKLIST

OWNER NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

Lot number: \_\_\_\_\_ (to be filled in by Owner)

Date of submittal: \_\_\_\_\_ (to be filled in by Owner)



1. Design Review Committee (DRC) approval is required whenever a **CHANGE** is made to an exterior home color in Civano.<sup>1</sup> In order to assist the Committee in the approval process you are required to provide specific information so there are no delays.
2. When a home is repainted the **SAME EXISTING COLOR**, the HOA requires that homeowners provide a color chip, the brand of paint and the LRV (no higher than 64).
3. The Committee has provided the following Paint Submittal Checklist to assist you in your Paint Application Request in order to ensure that your review and approval is a smooth and quick process.

---

**ACKNOWLEDGMENT** (Initial each box)

I ACKNOWLEDGE THAT DOCUMENTATION TO INCLUDE PAINT CHIPS AND LRV FOR ALL REPAINTING OF HOMES, WHETHER EXISTING COLOR OR PREAPPROVED COLORS FROM 2016 PAINT PALETTE, MUST BE SUBMITTED TO THE HOA MANAGER.

I ACKNOWLEDGE THAT APPLICATIONS MUST BE SUBMITTED BY THE LAST BUSINESS DAY OF THE MONTH TO BE INCLUDED ON THE FOLLOWING MONTH'S AGENDA. THE DESIGN REVIEW COMMITTEE (DRC) MEETS THE SECOND THURSDAY OF EACH MONTH. THERE WILL NO EXCEPTIONS TO THIS REQUIREMENT.  
SUBMIT APPLICATION TO:

Civano Manager  
10501 E Seven Generations Way, #109  
Tucson, AZ 85747  
520-546-3862/520-546-6795 (fax)  
Email: [hoa@civano1.com](mailto:hoa@civano1.com)

I ACKNOWLEDGE THAT AS A FINAL STEP IN THE REVIEW PROCESS, THE HOA MANAGER WILL ENSURE ACTUAL COLOR CHANGES HAVE BEEN COMPLETED IN STRICT COMPLIANCE WITH THE APPROVED FINAL APPLICATION AS RECORDED IN THE OFFICIAL MINUTES OF THE DESIGN REVIEW COMMITTEE AND MAILED TO EACH APPLICANT.

---

<sup>1</sup> In accordance with the AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CIVANO I: NEIGHBORHOOD I dtd 1/04/2000. ¶4.7 Obligation to Obtain Approval and 2012 Civano I Design Review Manual dtd 11/07/2012. ¶1. Guidelines.

Civano I Neighborhood I PROVISIONAL MAY 2016 PAINT  
SUBMITTAL CHECKLIST

OWNER NAME: \_\_\_\_\_

ADDRESS:

Lot number: \_\_\_\_\_ (to be filled in by Owner)

Date of submittal: \_\_\_\_\_ (to be filled in by Owner)



GARAGE: \_\_\_\_\_

BRAND: \_\_\_\_\_

LRV: \_\_\_\_\_ (no higher than 64)

DOOR: \_\_\_\_\_

BRAND: \_\_\_\_\_

LRV: \_\_\_\_\_ (no higher than 64)

PICTURES

PICTURES OF HOME AND SURROUNDING HOMES INCLUDED.

NEIGHBORS' SIGNATURES

I HAVE NOTIFIED THE FOLLOWING NEIGHBORS OF MY PAINT SUBMITTAL AND OF THEIR  
RIGHT TO ATTEND THE MEETING AND/OR SUBMIT COMMENTS TO THE HOA MANAGER.  
(Neighbors to be notified of the submittal/meeting live across from home and on either side.  
Neighbors' signatures do not signify approval/disapproval of project. DRC meets 2<sup>nd</sup>  
Thursday of the month. Please call HOA Manager to verify date of meeting.)

\_\_\_\_\_  
SIGNATURE/LOT #/DATE

\_\_\_\_\_  
SIGNATURE/LOT #/DATE

\_\_\_\_\_  
SIGNATURE/LOT #/DATE

=====

HOMEOWNER(S) SIGNATURE & DATE: \_\_\_\_\_

DATE OF COMPLETION OF PROJECT: \_\_\_\_\_

**B. IMPACT System Standards**

## **CITY OF TUCSON GUIDELINES FOR DEVELOPERS AND BUILDERS**

**THE REVISED IMPACT System**

**(Integrated Method of Performance and Cost Tracking)**

December 8, 2003  
**Re-Approved May 2016**

**CITY OF TUCSON GUIDELINES FOR DEVELOPERS AND BUILDERS**  
**THE REVISED IMPACT SYSTEM**

(Integrated Method of Performance and Cost Tracking)

The IMPACT System (as revised herein and subsequently referred to as the "Revised IMPACT System") establishes a process and standards for organizing resource efficiency goals and stakeholder cooperation for sustainable community development and for measuring progress toward those goals over time. The original IMPACT System was adopted by the Mayor and Council of the City of Tucson (the "City") on October 2, 1995. It was intended to create a cyclical process that:

- \* Is grounded on metropolitan Tucson baseline conditions that are normally documented and periodically updated by community organizations.
- \* Is responsive to community policy priorities that will change over time.
- \* Uses performance targets and specific requirements that exceed baseline conditions without detrimental cost penalties.
- \* Uses collaboration among stakeholders to reach common goals.
- \* Measures development performance and costs to evaluate target achievement.
- \* Enables revisions as baseline conditions improve, and as new targets become technically and economically feasible.

Since the adoption of the original IMPACT System Standards, the development of Civano began with construction of dwellings and the Neighborhood Center in Neighborhood 1 and certain commercial properties. Development of Civano has been under the overall guidance of the Master Developer which has included several entities. While all Developers under the Development Agreement and all developers of Civano remain subject to the Revised IMPACT System Standards and the Revised Memorandum of Understanding, it is necessary to have a single entity that is responsible for coordinating compliance with requirements and the periodic monitoring and reporting functions. The Master Developer fulfills this roll.

Responsibility for administering the Revised IMPACT System, particularly those that may be implemented as construction requirements, will lie principally with the Developers of Civano during the construction and build out of the project. Achievement of the long range goals however will rest primarily with the residents as implemented by the Civano Community Association ("CCA"). The CCA is the non-profit corporation created pursuant to the Amended Covenants, Conditions and Restrictions for Civano: The Tucson Solar Village, recorded November 21, 1998, at Docket 10915, Page 639 of the Pima County Records (the "Civano CC&Rs"), for the purpose of administering the CC&Rs, as described in the Civano Master Plan, adopted by ASLD on March 5, 1992, as amended by City Ordinance No. 8971, dated October

1  
2  
2  
3  
3  
2  
3  
2  
5  
7  
3

20, 1997 (the "Master Plan"). The CCA membership will include all owners of property within Civano.

A key component of the original IMPACT System was a Memorandum of Understanding ("MOU") addressing implementation and monitoring that was executed on June 26, 1998, pursuant to the Civano Development Agreement adopted on July 1, 1996. A Revised Civano Development Agreement and Revised MOU (the "Revised MOU") were subsequently prepared, the primary signatories of which will be The Community of Civano, LLC, an Arizona limited liability company, Case Enterprises Inc., a Connecticut corporation, and Pulte Home Corporation, a Michigan corporation (the "Developers") and the City. The definitions in the Revised Civano Development Agreement shall apply herein. Entities or organizations that may assist in the implementation of the Revised IMPACT System include:

- \* Arizona Department of Commerce Energy Office
- \* Pima County Wastewater Management Department
- \* Tucson Electric Power Company ("TEP")
- \* Southwest Gas Corporation ("SWG")
- \* Pima Association of Governments ("PAG") Transportation Planning Division.

The Revised MOU provides for annual or biannual review of goals and accomplishment, to ensure that both the standards and the review process remain current and feasible. The stated policy of the City is that Civano maintain high standards for resource efficiency, and serve as a model for other developments in the United States and worldwide.

The Revised IMPACT System and the Revised MOU clarify and implement the "1991 Rezoning Conditions" established by City Zoning Ordinance 7697, adopted October 7, 1991, (as subsequently amended) and will guide the City's review of subdivision and development plans and initial building permit applications. These guidelines have been developed through participation of the organizations listed above, along with many other interested parties.

The City is committed to achieving the original performance targets over time and does not intend to accept lower performance levels in the initial Memoranda of Understanding. Subsequent amendments to the original MOU and IMPACT System (including this Revised IMPACT System) will reflect the performance targets and goals that are shown by experience to be technically and economically feasible.

One of the results of the initial development of Neighborhood 1 in Civano is the City's adoption of the Sustainable Energy Standard. This standard has been developed from the Civano Model Energy Code (as defined herein) which has been implemented to achieve compliance with the IMPACT System Standards in Neighborhood 1. The Sustainable Energy Standard provides a higher standard for energy conservation for all development in Tucson and is applied to all City projects. The Civano Model Energy Code and Sustainable Energy Standard, as adopted and as amended in the future, will continue to be implemented as a baseline for development in Civano. Where there is a conflict between these two standards, the standard that provides the greater energy conservation shall apply.

1  
2  
2  
3  
3  
2  
5  
7  
4

The monitoring of performance and updating of baseline data and performance requirements is important to the future build out of the remaining portions of Civano. The Master Developer shall be responsible for collecting, preparing and disseminating monitoring reports and updating data during the construction phase of Civano. All developers of Civano are required to cooperate with the Master Developer by providing the information and documentation necessary to complete timely monitoring reports. Periodic monitoring reports shall be prepared through the completion of 75% of the residential properties, and a final report shall be prepared upon the completion of 95% of the residential property. Subsequent monitoring shall be conducted by the CCA in its discretion.

In conclusion, the Revised IMPACT System balances the risks of advanced building methods with the rewards of market support for cooperating designers and builders. The City will provide broad and continuing assistance to the Developer and builders who make Civano a successful model of sustainable development. The following sections summarize performance standards for each resource area. The City will continue to develop information and resource materials to describe these standards in greater detail. The City will implement these standards on a performance basis, so that any reasonable means of achieving the minimum threshold will generally be acceptable. This will foster innovation, variety, and competition among those involved in this dynamic undertaking.

Goal

Reduce building energy demand significantly beneath metropolitan Tucson baseline levels with passive and active solar thermal use, and efficient design and construction techniques and equipment. The original Civano target called for 75% savings of all types of energy use.

The Civano Advisory Committee has determined that is not feasible for City agencies, developers, and builders to affect individual consumption of energy through equipment like lamps, computers, and other household appliances. Therefore, the goals described below have been reformulated to address energy use through the building shell, and heating and cooling systems only. These create the largest energy demands in a building, and are the least susceptible to correction after construction; they can also be evaluated in advance through the building permit process. The initial standards will thus reduce residential energy demand by 65% and commercial energy demand by 55%, through improvements to the shell, heating and cooling systems. Individual energy conservation will be promoted throughout Civano, but is not included in these calculations.

Metropolitan Baseline

Analysis of 1990 baseline conditions (when the Civano performance targets were established) reveals that single-family residential use was approximately 64,000 BTUs per square foot per year. A Civano Model Energy Code (the "Model Energy Code") was prepared in 1990 and revised in 1995 to provide developers and builders with energy demand standards in shell, heating and cooling systems that will reduce residential consumption to 20,000 BTUs per square foot per year. Figures for commercial use vary widely, and are thus not listed here. However, commercial energy demand will be reduced by 55% through the 1990 Model Energy Code.

Performance Targets and Specific Requirements

Based on computer modeling of potential efficiency measures, the following maximum total "energy budgets" are proposed for the indicated Civano building types. The Model Energy Code describes methods of reducing energy demand by the following percentages:

	Reduction	
	1990	1995
Single-family residential	65%	50%
Multi-family residential	65%	50%
Commercial	55%	--

These performance targets have been expressed as "energy budgets" to give builders maximum flexibility in using different approaches to reach the targets. The attached Table A shows how one method, Prescriptive Standards, will achieve that goal. Builders can also use computer models or analysis of building components to effect the same level of savings.

1  
2  
2  
2  
0  
3  
3  
2  
5  
2  
6

Additionally, there are several specific requirements for all Civano development:

All structures shall be designed and constructed to comply with the Civano Model Energy Code/Sustainable Energy Standard as adopted and as it may be amended.

All structures shall be designed and constructed so that there is minimal obstruction of solar light for adjacent properties at the level of a roof of a single story building constructed at the established set back.

All structures must incorporate some beneficial solar application. While solar devices are encouraged, passive solar design which is demonstrated to reduce energy demand will also meet this requirement.

Landscape and hardscape coloration and/or vegetation is to be used to reduce microclimate temperatures adjacent to buildings. The average reflectivity of all major exterior surfaces must be 0.5 or greater on the albedo scale.

### Implementation Responsibilities

The Implementation MOU will provide for the following roles:

*Developers/builders.* Layout of streets and lots, and design and construction of exterior spaces and buildings, to achieve the performance targets and specific requirements. Energy analyses will have to be prepared with development and building plans to document predicted target compliance. These analyses can be hand calculated or prepared with computer models, such as those used in the Arizona Home Energy Rating System, or comparable software.

*Civano Community Association Design Review Committee ("DRC").* Review and approval of building plans and energy analyses. The CCA DRC will want to specify the form in which it receives energy analyses, and the specific calculation procedures and computer models it considers appropriate for use. The CCA DRC will also promote energy conservation in the use of household appliances and other consumer equipment, to create an ethic of resource conservation in personal behavior.

*City Development Services Department.* Review and approval of development and building plans (per the 1991 Rezoning Conditions and the Civano Model Energy Code/Sustainable Energy Standard).

*TEP and SWG.* Provision of technical guidance to developers/builders. Both utilities are considering the type and extent of guidance that may be offered in the future.

### Monitoring

The Monitoring MOU will provide for the following:

*Baseline Updating.* Updating responsibility legally lies with the City Development Services Department through future amendments to the building code and the Civano

1  
2  
2  
3  
3  
2  
5  
7  
7

Model Energy Code/Sustainable Energy Standard. Conversion of code and standard construction practice to an updated baseline in the future will be done in coordination with the CCA DRC and the University of Arizona.

*Civano Performance.* TEP and SWG analyses of building energy use and costs; University of Arizona detailed monitoring of specific buildings; and database maintenance by the Master Developer.

TABLE A

### Comparison of Selected Prescriptive Code Specifications

Data for MEC'92, AzHERS, and Good Cents supplied by Tucson Electric Power Company

COMPONENT	MEC'92	AzHERS	TEP Good Cents	CIVANO
Ceiling insulation	R-25	R-30	R-30	R-38
Sidewall insulation	R-11	R-19	R-19	R-19
Slab perimeter insulation	None	R-5, 2' deep	None	R-5, to bottom of footing, or 1' below grade.
Glazing area limit; U-value		15%, U-0.58	15%, U-0.64	Sliding scale: no limit on area, but larger areas require lower U-values. For example, if glazing = 15% of floor area U=0.52
Exterior doors				U-0.6 (but varies by type)
Heating system efficiency	80%	U-0.5 78% AFUE	U-0.385 80% AFUE	Building must be oriented for optimum solar contribution; remainder supplied at 80% efficiency. Woodstoves and fireplaces must meet EPA pollution standards.
Cooling systems – split + single package	9.4 EER 9.5 EER	10.0 SEER 9.7 SEER	12.0 SEER 12.0 SEER	12.0 SEER 12.0 SEER Refrigerative systems only in combination with evaporative. Sizing limits specified. Alternative technologies must achieve efficiency equal to conventional technology based on energy use per square foot of conditioned space.
Exterior duct insulation	R-6.2	R-5	R-5, ducts must be sealed	R-6.5, ducts must be sealed
Water heating – gas fired - electric - heat pump		0.55 EF 0.89 EF 2.88 EF	0.56 EF 0.90 EF 2.88 EF	Mandatory solar water heating component for primary source of heat. Conventional technology backup permitted. R-10 minimum insulation for tank. Swimming pools solar heated only.

1423860 20120808

Goal

Use on-site solar photovoltaic (PV) and/or solar thermal power generation, and comparable natural gas innovations to provide needed electric and thermal supplies.

Metropolitan Baseline

At the time of the original IMPACT System, there were no grid-connected solar power installations currently operating in the Tucson area or advanced natural gas technology installations such as fuel cells. There were, however, about 50 non-grid connected solar PV units (approximately 100-500 watts each) installed on individual homes and infrastructure throughout Tucson.

As of 2001, Tucson Electric Power ("TEP") estimates that there may be between 10 and 30 grid-connected solar power installations in the Tucson area. TEP has no statistics for the current number of non-grid connected units.

Performance Targets

Because of the high costs projected by TEP for solar PV to the year 2000, initial PV use in Civano will likely be limited to a small demonstration installation. A timetable for phasing-in wider use of PVs as economics improve over time will be established between TEP and CCA within the terms of the Revised MOU and consistent with TEP's state-approved "Integrated Resource Plan." Solar thermal power facilities will be treated in the same manner.

In addition to solar electricity, consideration will be given to demonstrating advanced natural gas technologies such as fuel cells, which can produce both electricity and thermal energy. Consideration will also be given to district heating and cooling ("DHC") of the Village's high-density core areas. DHC can be produced with solar energy, natural gas and/or electricity, and can be significantly more efficient than individual single-building heating/cooling systems.

Implementation Responsibilities

The Implementation MOU will provide for the following roles:

*Developers/builders.* Land set aside, design and construction of buildings that are compatible with supply technologies being offered in Civano. In particular, roofs must be constructed to accommodate solar equipment.

*CCA DRC.* Review and approval of development and building plans to ensure compatibility with energy supply technologies.

*City.* Cooperation with technology demonstration projects, e.g., solar PV powering of on-site municipal streetlights or pumps.

*TEP and SWG.* Construction and operation of technology demonstrations, and specifically for TEP, a long-range goal to install grid-connected PV and/or comparable renewable technologies when determined to be cost-effective under its "Integrated

1  
2  
2  
2  
3  
2  
7  
9

Resource Plan" (an exception would be grant funding that could reduce PV costs in advance of market economics). TEP, SWG and/or another party should also consider operation of a DHC system in Civano's core area.

**Monitoring**

The Monitoring MOU will provide for the following:

*Baseline Updating.* Responsibility for updating the baseline will lie with the City's Development Services Department in consultation with the Master Developer, TEP and SWG.

*Civano Performance.* TEP and SWG documentation of supply technology performance and costs, possibly with University of Arizona monitoring assistance. The Master Developer will be responsible for database maintenance.

12203800  
© 2001

Goal

Reduce potable water consumption significantly below metropolitan Tucson baseline levels; and use non-potable water, such as reclaimed water, graywater, or rainwater harvesting for landscape irrigation.

Metropolitan Baseline

In 1991, the average annual residential potable water use in metropolitan Tucson was approximately 114 gallons per person per day. Of that amount, the average interior potable water use was approximately 80 gallons per person per day, and the balance was consumed by exterior uses such as landscape irrigation and evaporative cooling. During summer months, the exterior landscape water usage generally equals or exceeds interior use. Nonresidential use was approximately 40 gallons per person per day.

In 2000 (based on a population of 623,017 for metropolitan Tucson), the average annual residential potable water use was approximately 113 gallons per person per day. Of that amount, the average interior potable water use was 68 gallons per person per day. Nonresidential use was estimated at 36 gallons per person per day.

Performance Targets and Specific Requirements

The following performance targets will apply to Civano development:

Residential potable water interior use of 53 gallons per person per day, and a nonresidential potable water interior use of 15 gallons per employee per day (subject to case-by-case review of businesses with above average water requirements, e.g., restaurants). See attached Table B for water use by fixture, including coolers. This results in a 54% reduction of residential interior potable water use, and a substantial reduction for commercial use of potable water. (Exact commercial reductions cannot be estimated due to lack of current data on commercial usage by employees.)

Water budgets will be established for each household, according to Arizona Department of Water Resources guidelines for a maximum of 28 gallons of water per person per day for exterior uses. Private swimming pools will be discouraged, but if installed shall be required to have pool covers installed and may be heated only by solar devices.

The following specific requirements will also apply to Civano development:

Site clearance for residential lots will be limited in order to preserve desert vegetation and maximize natural drainage. A significant portion of each building site must remain as existing natural desert vegetation, with any significant plant species specifically protected. The exact requirement will be negotiated after drainage and other engineering studies have been completed.

City xeriscape landscape standards set forth in LUC Section 3.7.2 shall apply to all new development, including all single-family residences and duplexes, and to all yards and landscapable areas.

1  
2  
3  
0  
3  
2  
5  
0  
1

All landscape irrigation will be accomplished with non-potable water, including reclaimed water, graywater systems, water harvesting systems or other alternative irrigation systems not dependent on potable water. The City's reclaimed water service or rainwater harvesting/graywater equipment or other alternative irrigation strategies not dependent on potable water will be provided at all Civano properties.

All nonresidential space conditioning system cooling towers rated at one hundred tons or more of cooling capacity will comply with State water conservation standards.

### Implementation Responsibilities

The Implementation MOU will provide for the following roles:

*Developers.* Construction of community pools early in each phase of development, to discourage construction of private pools. Compliance with site clearance standards described under Specific Requirements.

Reclaimed water will be utilized in common areas and for nonresidential uses. Residential uses will utilize reclaimed water, rainwater harvesting systems or graywater systems or other alternative irrigation system not dependent on potable water, as permitted by applicable state and City regulations. Plans shall identify the non-potable water source for irrigation.

*Builders.* Design and construction of buildings in compliance with the performance targets and specific requirements.

*DRC.* Review and approval of developer/builder plans.

*City Development Services Department.* Review and approval of building plans (per Ordinance 7697 special conditions). Landscape and grading plan reviews will also be coordinated at this stage.

*City Water Department.* Continued implementation of water conservation programs, and use of Civano to demonstrate advanced conservation techniques.

### Monitoring

The Monitoring MOU will provide for the following:

*Baseline Updating.* Responsibility for updating the baseline will lie with the City Water Department.

*Civano Performance.* City Water Department analysis of Civano water consumption; University of Arizona detailed monitoring of specific buildings; and CCA database maintenance.

1  
2  
3  
4  
5  
6  
7  
8  
9  
0

Goal

Improve air quality by reducing auto dependence through: 1) internal Civano circulation via walking, biking, electric cart and other alternative energy-saving transportation methods; and 2) by reducing external vehicle miles traveled (VMT) below metropolitan Tucson baseline levels.

Metropolitan Baseline

Metropolitan Tucson 1993 baseline transportation demands are summarized in the following Table C.

Specific Requirements

Significant reductions in auto dependence will be problematic at the outset of Civano development because of the project's distance from major employment and activity centers; and the likelihood that proximate commercial services will be very limited at start-up. Moreover, SunTran's transit plan through 2003 does not contain a bus route serving Civano. Therefore, instead of establishing auto mode shift or VMT reduction targets it is recommended that the following specific requirements be set:

Inclusion of commercial services within walking/bicycling distance of Neighborhood One homes.

Extension of one or more bus routes to Civano as soon as practical.

Ensure that a pedestrian and bicycle-friendly built environment will be essential at the outset of development. Therefore, each development phase will provide for a majority of through streets (versus cul-de-sacs); and construction of a system of sidewalks or bike or multi-purpose paths; and nonresidential uses will have orientation and access emphasis on pedestrian /bicycle linkages rather than auto linkages.

Implementation Responsibilities

The Implementation MOU will provide for the following roles:

*Developers.* Develop land-use mix and density, and internal circulation system, to minimize internal auto travel. The Neighborhood One developer(s) will have to include a nonresidential component; and all developers, regardless of phase, will have to construct a pedestrian/bicycle circulation system.

*Builders.* Design and construct buildings and sites with emphasis on pedestrian, bicycle, and transit access; also provide electric cart charging facilities.

*CCA DRC.* Review and approve developer/builder plans.

*SunTran.* One or more bus routes (preferably express lines) should be extended to the Village as soon as practical. Also, consideration should be given to siting the proposed

1  
2  
2  
3  
2  
5  
6

Goal

Create one job within Civano for every two dwelling units.

Metropolitan Baseline

The City Planning Department indicates that very few development projects in metropolitan Tucson have had a mix of housing and employment located on the same site. Rita Ranch is an example of the very limited type of mixed-use development to date in the community.

Specific Requirement

A minimum ratio of 300 sq. ft. of nonresidential floor area (equivalent to work space for a typical office employee) will be constructed for every two dwelling units built. This ratio may be achieved through the total planned development of Civano in the Civano Master Plan and as it may be amended. Credits will be allowed for homes constructed with built-in dedicated office space. This requirement is also consistent with the transportation objective of planning for commercial and other employment uses at the outset of Civano development.

Implementation Responsibilities

The Implementation MOU will provide for the following roles:

*Developers/builders.* Planning, development and/or construction of residential and nonresidential uses in ratios that achieve the specific requirement. Design of telecommunications capacity to enable expansion of fiber optics or similar infrastructure to all commercial and home office locations. Initially, this may consist of placing conduit to allow expansion of telecommunications capabilities as the population at Civano grows and demands such services.

*CCA DRC.* Review and approval of developer/builder plans.

*City Office of Economic Development and Greater Tucson Economic Council.* Commitment to actively recruit employers for location in Civano.

*City Planning and State Land Departments.* Consideration of land-use designations that increase employment opportunities and services in the vicinity of Civano. Goal achievement will be strengthened to the extent that the general vicinity becomes recognized as an employment center. As noted earlier, this trend is already underway at Rita Ranch and the University of Arizona Science and Technology Park.

Monitoring

The Monitoring MOU will provide for:

*Baseline Updating.* Responsibility for baseline updating will lie with the City Planning Department.

122832  
2583

*Civano Performance. CCA surveying of Civano employment versus dwellings built.*

**Goal**

The average wage of Civano jobs should enable employees to afford the average cost of Civano housing.

**Metropolitan Baseline**

According to the Tucson Chamber of Commerce, in 1993 the average price of a new home in metropolitan Tucson was \$109,000, and the average rent for a new apartment was approximately \$550 per month.

According to statistics compiled by the City's Comprehensive Planning Task Force, the average sales price for a single family home (both new and resale) as of May 2003 was \$193,561. The estimated monthly rental for a two-bedroom apartment for 2004 is \$707.

**Performance Target**

The Civano Master Plan cites a range of single-family dwelling prices of \$99,000-134,000; and apartment rental rates of \$400-670 (these are 1989 estimates escalated to 1994 dollars). When compared to the baselines, the Civano price range implies apartment affordability, but suggests difficulty in home affordability for lower wage groups, e.g., retail/service employees.

A widely-used market share goal for low and moderate-income housing is 20% of the dwellings in new projects. Therefore, the CCA DRC will ensure that at least 20% of the eventual total number of all dwellings are priced for low and moderate-income households (defined by HUD as 80% or less of the local median household income); and that the affordable housing include all dwelling types built in Civano. This goal will be reviewed periodically, but the exact percentage is anticipated to vary year-by-year. It is reasonable to expect approximate conformance with the goal at the stages when 25%, 50%, and 75% of all residential units have been built and occupied, to ensure that the goal is achieved at 100% completion. However, developers and builders will be afforded some flexibility within those intervals.

**Implementation Responsibilities**

The Implementation MOU will provide for the following roles:

*Developers/builders.* Design, construction and marketing of residences in accordance with the affordability target to the extent that assistance is available from public agencies, foundations, and other sources to finance and construct affordable housing.

*CCA DRC.* Review and approval of developer/builder plans.

*City Community Services Department.* Assistance to developers/builders that may participate in low and moderate-income housing programs. Other non-municipal organizations can also assist developers/builders with these programs, such as Chicanos Por La Causa, Habitat for Humanity, and the Tucson Urban League.

1  
2  
2  
3  
3  
2  
5  
1

**Monitoring**

The Monitoring MOU will provide for:

*Baseline Updating.* Responsibility for baseline updating lies with the City's Community Services Department.

*Civano Performance.* CCA surveying of Civano employees who reside on site.

# **CIVANO IMPACT SYSTEM**

## **REVISED MEMORANDUM OF UNDERSTANDING ON IMPLEMENTATION AND MONITORING PROCESS**

First Approved December 8, 2003

Re-Approved May, 2016

**C. MEMORANDUM OF UNDERSTANDING**

**CIVANO IMPACT SYSTEM  
REVISED MEMORANDUM OF UNDERSTANDING  
ON IMPLEMENTATION AND MONITORING PROCESS**

December 8, 2003

The parties to this Revised Memorandum of Understanding (the "Revised MOU") are the City of Tucson (the "City") and The Community of Civano, LLC (the "Developer"), Case Enterprises Development Corporation, a Connecticut Corporation (Case), and Pulte Homes, Inc., a Michigan corporation (Pulte Homes) (collectively the "Developer" or "Developers"). The Community of Civano, LLC was the master developer for the initial development of Civano. The City and the Developers entered into the Revised Civano Development Agreement on December 8, 2003, which established Pulte Homes as the Master Developer. The terms and definitions in the Revised Civano Development Agreement apply to this Revised Memorandum of Understanding (the "Revised MOU").

#### **1.0 GOAL**

The goal of the Civano project is to create a mixed-use community that attains the highest feasible standards of sustainability, resource conservation and development of Arizona's most abundant energy resource - solar - so that it becomes an international model for sustainable growth. The State of Arizona through the Department of Commerce, Energy Office provided significant financial support for the early planning and design of Civano. This funding was provided at Civano's inception explicitly in support of the demonstration of the use of solar energy as a guiding, organizing principle of community development.

Another major goal of Civano is to foster creativity and innovation in the construction of Civano. Establishing clear performance achievement levels and then allowing the Developer, designers and builders flexibility in the method of achieving the standards best advances this goal.

The sustainable growth objectives of Civano have been amplified and expanded in the Civano Neighborhood 1 Planned Area Development, adopted by City Ordinance No. 8970 dated October 20, 1997, as revised on October 12, 1998, and subsequently renewed (the "Neighborhood 1 PAD"), to include the goals of Building Community, Connection with the Land, Respect for Climate and Regeneration.

The goal of this Revised MOU is to confirm the strategies for sustainable development, energy conservation, and economic feasibility of the design and technologies used to implement and monitor the resource conservation and other project goals set forth in the Civano IMPACT System adopted on October 2, 1995 (the "IMPACT System"), as refined in the Revised and Restated Civano IMPACT System adopted on December 8, 2003 (the "Revised IMPACT System"), all of which contribute to the basis of the Civano Project. The IMPACT System and Revised

1  
2  
2  
6  
3  
  
2  
5  
9

IMPACT System establish baseline standards, "Performance Targets" and "Specific Requirements" to achieve the resource conservation and other project goals.

## 2.0 BACKGROUND

The City, in cooperation with the Arizona State Land Department ("ASLD"), the Metropolitan Energy Commission, and with significant input from the public, established the general development guidelines for Civano in 1991. These were implemented through a planning process, the adoption of conditions upon the sale of the state trust land (the "State Land Patent Conditions"), and conditions adopted as part of the rezoning of the property by the City under Ordinance No. 7697, dated October 7, 1991, amended by Ordinance No. 8971 dated October 20, 1997 (the "Rezoning Conditions"), and as further amended by the adopted of the Neighborhood 1 PAD. These conditions included resource and energy conservation targets as well as community planning targets such as preservation of open space, and encouraging a greater mix of uses.

The City adopted the IMPACT System to define and administer the resource conservation goals and to maintain Civano's position on the leading edge of sustainable development. The IMPACT System and Revised IMPACT System as adopted (and as may be subsequently amended) clarify the City's policies and requirements for the Civano Project:

### CITY OF TUCSON GUIDELINES FOR DEVELOPERS AND BUILDERS: THE IMPACT SYSTEM (Integrated Method of Performance and Cost Tracking)

The IMPACT System is a means of organizing resource efficiency goals and stakeholder cooperation for sustainable community development and for measuring progress toward those goals over time. It is intended to be a cyclical process that:

- Is grounded on metropolitan Tucson baseline conditions that are normally documented and periodically updated by community organizations.
- Is responsive to community policy priorities that will change over time.
- Uses performance targets and specific requirements that exceed baseline conditions without detrimental cost penalties.

1  
2  
2  
0  
3  
-  
2  
5  
9  
6

- Uses collaboration among stakeholders to reach common goals.
- Measures development performance and costs to evaluate target achievement.
- Enables revisions as baseline conditions improve, and as new targets become technically and economically feasible.

\* \* \* \* \*

While the initial responsibility for meeting the Revised IMPACT System Standards will lie with the Developer and the builders, responsibility for administering the Revised IMPACT System over time will lie principally with CCA. The CCA is the non-profit corporation created pursuant to the Amended Covenants, Conditions, and Restrictions for Civano: The Tucson Solar Village, recorded November 21, 1998, at Docket 10915, Page 639 of the Pima County Records (the "Civano CC&Rs") for the purpose of administering the CC&Rs, as described in the Civano Master Plan, adopted by ASLD on March 5, 1992, as amended by City Ordinance No. 8971, dated October 20, 1997 (the "Master Plan"). The CCA membership will include all owners of property within Civano.

\* \* \* \* \*

The IMPACT System clarifies the Rezoning Conditions and will guide the City's review of subdivision and development plans and initial building permit applications.

\* \* \* \* \*

The City of Tucson is committed to achieving the original performance targets for Civano over time and does not intend to accept lower performance levels in the initial Memoranda of Understanding.

\* \* \* \* \*

The IMPACT System established baseline standards and "Performance Targets" and "Specific Requirements" to achieve the conservation and sustainability goals. These Performance Targets and Specific Requirements are collectively referred to as the "IMPACT System Standards."

The City subsequently entered into the Civano Development Agreement (the "Development Agreement") in July 1996 to reaffirm the goals and principles of Civano to provide the framework for cooperation between the City and the Developer in the development of Civano. The Development Agreement required the parties to negotiate a Memorandum of Understanding to address the implementation and

1  
2  
2  
6  
3  
  
2  
5  
9  
7

monitoring aspects of the IMPACT System Standards that underpin the Development Agreement.

The City and the Developer have subsequently entered into the Revised Development Agreement to reflect the initial goals, proposals and agreements for Civano, the progress made over time, and the modifications, clarifications and revisions to the initial goals, proposals and agreements as the parties have deemed necessary and appropriate. The implementation and monitoring responsibilities described in this Revised MOU update, clarify and supplement those in the original MOU and IMPACT System and parallel the changes in the Revised Development Agreement.

The Neighborhood 1 PAD was adopted by the Mayor and Council to further guide the initial development. The Neighborhood 1 PAD, along with the original and Revised Development Agreement, the Rezoning Conditions and State Land Patent Conditions, provide the framework for developing Civano as a leading sustainable development.

The parties recognize that implementation of the IMPACT System Standards and achievement of the Civano Performance Targets will require a multifaceted approach. While some of the Performance Targets are appropriately addressed by compliance with Specific Requirements for planning, development and construction phases. Other Performance Targets are necessarily dependent upon the actions and conduct of future residents of Civano and must be assessed over time. Initially implementation of the Specific Requirements will involve the review and certification of compliance by the City and by the Developer.

As Civano develops it is anticipated that the parties will have additional information from advances in technology, and the monitoring of the implementation of the Revised IMPACT System may affect future implementation strategies, requirements and methodologies. It is also anticipated that as Civano develops, the residents will begin to actively participate in the shaping and implementation of the Performance Targets and Revised IMPACT System through their actions and through the CCA.

### 3.0 OUTLINE OF PROCESS

#### 3.1. Sustainable Development as a Process

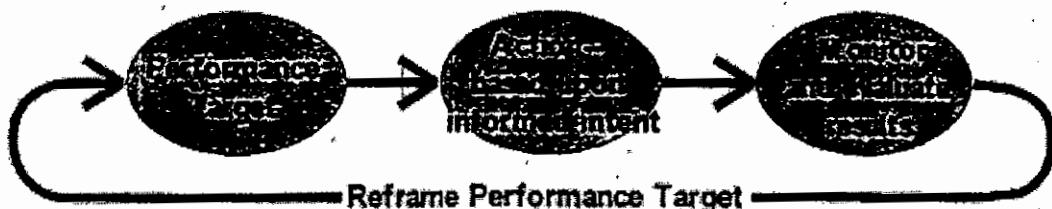
The term "sustainable development" has been defined as "a process of change in which the use of resources, the direction of investment, the orientation of technological development, and institutional change all enhance potential to meet human needs both today and tomorrow."<sup>1</sup>

Conceptually, the IMPACT System Standards are the measuring sticks on which all actions are based and by which performance will be measured. In addition to meeting Specific Requirements and moving toward achievement of all the established

<sup>1</sup> Sustainable Development: A Guide to Our Common Future, United Nations World Commission on Environment and Development, 1987.

1  
2  
2  
6  
3  
2  
5  
9  
8

Performance Targets, performance must include success in the marketplace. It is understood that the success of Civano will require the good faith commitment and diligent actions by all parties concerned. This approach requires an integrated, flexible response to meet the mandated targets and requirements. This process will be supported and documented by continued monitoring and evaluation of its effectiveness.



### 3.2. Relationship of Plan Review to Monitoring and Evaluation

The underlying principle, as outlined above, is that compliance with the performance targets as described herein will be demonstrated by the construction and subsequent use of site improvements and the development of related programs. Buildings, site improvements, and related programs will be designed to meet or exceed the IMPACT Systems Standards. The Developers and individual builders cannot be sanctioned, however, if actual performance does not meet standards where the personal behavior of occupants affects how buildings function. Plan review will insure that, in accordance with Section 7, initial development and construction meets Specific Requirements applicable at that stage. Subsequent monitoring of performance in accordance with this Revised MOU will provide the basis for determining the success in meeting the Revised IMPACT System Standards as well as the basis for improving future conservation and sustainability strategies and standards.

### 3.3. Impact System Evaluation Committee Established

An IMPACT System Evaluation Committee (the "Civano IMPACT Committee") is hereby established to include a minimum of one representative of the Master Developer, one representative designated by the City Manager who will serve as the Project Manager and one CCA representative selected by the CCA. Commencing January 1, 1999, the Civano IMPACT Committee will meet at least every six months to review the Revised IMPACT System Monitoring Reports to track progress and compliance with the Revised IMPACT System Standards, identify issues of concern, and seek solutions to problems encountered, all in a manner consistent with the success of the Civano Project.

The parties shall further seek the cooperation of the University of Arizona, the State of Arizona Department of Commerce, Energy Office, Tucson Electric Power, other utility companies, energy providers, environmental experts, environmental engineers and similar independent agencies for the monitoring, evaluation and proposed

revisions of the baselines and Revised IMPACT System Standards, status of Civano compliance to date and strategies for improved implementation of the Revised IMPACT System.

### 3.4. The IMPACT System Monitoring Report

The IMPACT System Monitoring Report ("Monitoring Report") shall be a public status report prepared by the Master Developer to document the success of Civano in achieving the Revised IMPACT System Standards, supplemented with related information from the City and publicly available information concerning the resource conservation baselines and Performance Targets. The Monitoring Reports shall be submitted as described in the Revised Development Agreement.

Following is a format for the Monitoring Report which includes not only progress toward meeting the Performance Targets, but also is designed to provide information for public policy changes which would support greater resource conservation and sustainable development. The Monitoring Report will also provide general public information relative to the Civano community development process and progress. It shall include the following information with supporting data submitted by the Developer:

- 3.4.1. Overall goals, objectives and strategies, including builder and buyer education for resource conservation practices consistent with the IMPACT System Standards.
- 3.4.2. Site layout, showing the built development to date, in relation to the overall plans for development.
- 3.4.3. Description of anticipated near-term projects.
- 3.4.4. Projected timetables and milestones for completion of anticipated projects.
- 3.4.5. Status of building and occupancy relative to parking (Parking Inventory and Monitoring Program), pedestrian ways, and landscaping (conceptual planning framework).
- 3.4.6. Progress to date, and recommended strategies, toward meeting baseline IMPACT System Standards in the following areas:
  - reducing fossil-fuel energy use from gas, electricity and gasoline;
  - developing solar energy resources;
  - reducing potable water usage;
  - reducing building wastes;

1  
2  
2  
0  
3  
2  
6  
0  
0

- reducing solid wastes;
- reducing auto travel and resultant air pollution;
- creating a balance of jobs and housing;
- creating affordable housing, meeting needs of on-site working population; and
- demonstrating the economic feasibility of resource conservation and sustainable development as a model for growth in Civano.

#### 3.4.7. Resulting linkages to central and inner city redevelopment.

The City will provide supplemental information to be attached to the Monitoring Report which includes a status report on progress toward meeting the City's strategies and responsibilities enumerated in this Revised MOU.

The form of the Monitoring Report will be written, with appropriate graphics, for wide distribution.

#### 3.5. Periodic Review

Commencing two (2) months after the initial Monitoring Report and continuing thereafter as described in the Revised Development Agreement, the City and the Civano IMPACT Committee shall consider whether any amendments to this Revised MOU are necessary to achieve the maximum practical compliance with the Revised IMPACT System Standards. This shall include review of the baselines established in the Revised IMPACT System, the methods of monitoring and establishing compliance, the strategies and Specific Requirements which are appropriate to achieve compliance, the integration of new technology and other matters which are appropriate to maintaining the role of Civano as a leading demonstration of resource conservation and sustainability. Where it is determined that an amendment to this Revised MOU is appropriate, the parties shall proceed in accordance with Section 8 herein.

### 4.0 JOINT CITY AND COMMUNITY OF CIVANO STRATEGIES AND RESPONSIBILITIES

#### 4.1. Description of Joint Strategies and Responsibilities

In recognition of the need for cooperation in achieving the goals described in the Revised IMPACT System, as may be revised from time to time, and this Revised MOU, the City and the Developer understand that the following strategies and responsibilities are important to the success of Civano as a sustainable community:

- 4.1.1. Building plans, development plans, specific plans and similar requests will be prepared, submitted and reviewed in a timely and complete manner.
- 4.1.2. The Civano Model Energy Code/Tucson Sustainable Energy Standard will be reviewed and considered by the City and the Developer for periodic updating as new or improved technologies become available.
- 4.1.3. The parties will explore with the Arizona Department of Commerce, Energy Office and other appropriate agencies, the initiation of programs to further encourage, develop, use, and monitor the beneficial applications of solar energy.
- 4.1.4. Grant funding should be pursued to undertake studies and analysis of the role of landscaping and coloration in building and paving cooling strategies.
- 4.1.5. Street standards will be reviewed to determine the appropriate methods to significantly reduce the "urban heat island" effect, including the effect of reducing paved surfaces, integrating landscaping for shading of pedestrian, bicycle and automobile parking areas, and allowing alternative, less heat-absorbing paved surfaces in a manner consistent with public safety and handicapped accessibility requirements.
- 4.1.6. The parties will cooperate on demonstration projects involving the private and public uses of developing technology; e.g., solar photovoltaic powering of residential homes and of on-site municipal streetlights or pumps, including pursuing grants and other funding for renewable technology demonstration projects.
- 4.1.7. The parties will explore the installation of filtration systems for reclaimed water to meet ADEQ standards for full body contact and to permit use of reclaimed water for vegetables to be consumed raw. The parties shall further explore obtaining the adoption of any necessary revisions to existing standards to permit these uses.
- 4.1.8. The parties will cooperate to designate and provide garbage and recycling pick-up to all uses, including multifamily and commercial, in conformance with City plans and designs incorporated in the Neighborhood 1 PAD and development plans.
- 4.1.9. The City will consider the designation of the proposed Civano recycling center as a "neighborhood recycling center" within the City's overall program.

1  
2  
2  
0  
3  
2  
6  
0  
2

- 4.1.10. The parties will explore the use of Civano as a pilot site for demonstrating new programs and advanced recycling and composting techniques.
- 4.1.11. The parties will cooperate to formulate an overall solid waste plan for Civano particularly as it relates to waste reduction and diversion goals.
- 4.1.12. The parties will cooperate to develop a transit plan for Civano and the surrounding area, including exploring with the State of Arizona Department of Transportation, the City's Department of Transportation and other affected property owners, a transportation corridor plan for Houghton Road.
- 4.1.13. The parties will cooperate with the Greater Tucson Economic Council and other agencies to actively recruit employers for location in Civano.
- 4.1.14. The City will consider land-use designations in the vicinity of Civano that incorporate mixed uses, complement Civano, and encourage sustainable development.
- 4.1.15. The parties will explore programs to provide assistance to developers/builders who participate in low and moderate-income housing programs.
- 4.1.16. The parties will explore the application of the landscape and xeriscape requirements set forth in the City's Land Use Code, Section 3.7.2 to all uses in Civano and to all lot areas consistent with the goals of the Master Plan and will further explore the integration of personal and community gardens, orchards and food producing landscaping into these requirements.
- 4.1.17. The parties will cooperate to develop a plan for the Pantano Riverpark which integrates adjacent planned open space and recreation areas in Civano.
- 4.1.18. The parties will cooperate to develop standards which more effectively utilize natural drainage areas and private open space areas for water harvesting and retention, in order to encourage native plant growth, recharge aquifers and reduce the magnitude of flood flows and erosion hazards.
- 4.1.19. The parties will cooperate in a manner consistent with the Revised IMPACT System and the Revised Development Agreement to achieve the goals of this Revised MOU.

## 5.0 SPECIFIC PROCEDURES FOR IMPLEMENTATION

1  
2  
2  
3  
3  
2  
6  
6  
3

**5.1. Master Developer Requirements Prior to Issuance of Residential Building Permits**

The Master Developer shall:

- 5.1.1.** Maintain Development Design Guidelines (the "Design Guidelines") (as they may be amended) to assure that provisions are made to meet the Revised IMPACT System Standards. The CCA may, in coordination with the Master Developer, amend the Design Guidelines in accordance with the CCA governing documents.
- 5.1.2.** Maintain the Certification Committee as a part of the Design Review Committee ("DRC") (as provided in the Civano CC&Rs). The Certification Committee shall include a DRC representative, a licensed architect, or a licensed engineer, and a CCA representative.
- 5.1.3.** Establish exterior water budgets, monitor water consumption, and develop a contingency program to achieve compliance with the budgets if water conservation targets are not met. Utilize City-provided reclaimed water in landscaping for common areas and non-residential uses, and provide rainwater harvesting, graywater systems, or other alternative irrigation systems not dependent on potable water in residential uses.
- 5.1.4.** Establish provisions for utilizing non-potable water for all outdoor irrigation systems and for utilizing efficient and effective, non-pooling drip irrigation systems for all landscaping. This provision shall not require the use of reclaimed water in gardens for the production of raw vegetables for human consumption unless such use is approved by the State of Arizona.
- 5.1.5.** Establish interior water budgets, monitor water consumption and develop a contingency program to advance compliance with the budgets if water consumption targets are not met for each building, and design the plumbing systems accordingly that will reduce the interior use of water in residential structures to 53 gallons per person per day and to 15 gallons per person per day in non-residential structures. The guidelines shall specify the manner in which water use has been calculated and the principal measures to be taken to meet these budgets.

**5.2. Area Planning, Subdivision and Planned Area Development Review**

Certain requirements apply to development in a broader context than the specifications for a single structure or lot or a specific point in time. These must be reviewed with consideration for the progress in existing development as well as the

1  
2  
2  
0  
3  
  
2  
6  
0  
4

prospective development as set forth in the Master Plan. City development decisions on the Civano project, which will be viewed in this broader context, are rezonings, planned area developments ("PADs"), specific plans, subdivision plats, development plans and amendments thereto, not including plans applicable to a single family lot. Interpretation of compliance with these requirements shall be analyzed in the same manner in which the Tucson General Plan, existing area plans and neighborhood plans are applied to prospective development. Any dispute regarding these interpretations may be resolved pursuant to Section 5.4.

General planning areas, not including plans applicable to a single family residential lot, such as development plans, subdivision plats, rezonings and PADs shall be designed to meet the following Revised IMPACT System Standards, as applicable for the scale of the project, in addition to all other applicable code requirements. The City shall review all such plans in accordance with Section 7. Compliance shall be consistent with the Master Plan and may take into account future development as provided for in the Master Plan.

Monitoring Reports that document compliance with the Revised IMPACT System shall be *prima facie* evidence of prior compliance. Any dispute regarding these interpretations may be resolved pursuant to Section 5.4.

- 5.2.1. Land may be designated and set aside by the Developer for the design and construction of demonstration projects, as more fully described in Section 6.0, which are compatible with the technologies being offered by Civano.
- 5.2.2. Site design and grading plans shall limit site clearance on residential lots to preserve existing desert vegetation and maximize natural drainage in a manner consistent with the grading plans approved with the Master Plan and any approved PAD or specific plan. The exact requirement for preservation of existing desert vegetation shall be determined after completion of drainage and engineering studies.
- 5.2.3. Location of a community pool to be constructed early in the development of each phase or neighborhood (as those terms are used in the Master Plan) by the Developer and/or individual builders in an attempt to discourage construction of private pools.
- 5.2.4. Inclusion of commercial services and other mixed uses with residential developments, consistent with the adopted Master Plan and subsequently-adopted PADs or specific plans, to provide access from residences to commercial or employment areas by walking, bicycling or similar alternatives to automobile use.
- 5.2.5. Provision of a central location for access to city bus routes or alternative transit shuttle services, consistent with the adopted Master

1  
2  
2  
3  
  
2  
6  
8  
5

Plan and subsequently adopted PADs or specific plans. Consideration by the City and SunTran of the extension of bus routes to Civano during the development of each Phase or Neighborhood or, as one of several possible alternatives, a shuttle service to the nearest Sun Tran express route and/or park and ride lot.

- 5.2.6. Provision of a pedestrian and bicycle-built environment, which is consistent with the requirements to provide access to disabled persons. Each development phase will provide for a majority of through streets (versus cul-de-sacs), construction of a system of sidewalks or bike or multi-purpose paths and nonresidential uses which have orientation access and emphasis on pedestrian /bicycle linkages rather than auto linkages.
- 5.2.7. Provision for recyclable materials pick-up areas consistent with requirements of the City Solid Waste Department.
- 5.2.8. Provision of a minimum ratio of 300 square feet of non-residential floor area for every two dwelling units constructed. This requirement may be determined based upon the full development of Civano in accordance with the Revised Development Agreement and Revised IMPACT System standards.
- 5.2.9. Design of telecommunications capacity to enable the expansion of fiber optics or similar infrastructure to all commercial and home office locations. This may be met by providing conduit capability during construction.
- 5.2.10. Identification of the provision for 20% of the dwellings to meet the goal for affordable housing as defined in the IMPACT System Standards to the extent that assistance is available from public agencies, foundations, and other sources to finance and construct affordable housing. The construction of affordable housing shall be reasonably uniform throughout the development of Civano. The Civano development as a whole shall approximately conform with the 20% requirement at the time 500 residential dwelling units have been constructed, at the time 1,000 dwelling units have been constructed, at the time 1,250 dwelling units have been constructed, and at full buildout of Civano.
- 5.2.11. Extension of reclaimed water lines to all common areas and nonresidential uses. Builders of residential units will provide reclaimed water, or rainwater harvesting, or graywater, or other alternative irrigation system to unit buyers. Exposed hose bibs for reclaimed water shall be discouraged and if used shall be clearly identified prior to sale of the property.

1  
2  
2  
0  
3  
  
2  
6  
0  
6

5.2.12. Functioning systems using reclaimed water, graywater or rainwater harvesting or other alternative irrigation system not dependent on potable water shall be provided for all landscape irrigation except that:

5.2.13.1 the limited use of potable water for personal and community gardens producing vegetables to be consumed raw will be allowed within the overall landscape design until it is determined that such use of non-potable water is safe.

5.2.13.2 potable water may be used for temporary and periodic flushing of the reclaimed system if necessary to assure efficient operation of irrigation systems, upon notification to and consent by the City, which consent shall not be unreasonably withheld.

5.2.13. All landscaping which is required for public streets adjacent to residential properties shall be limited to drought tolerant plants as established by City Development Services.

### 5.3. Building Plan Requirements and Review

All plan submittals for building permits shall be determined in accordance with Section 7 to meet the following requirements in addition to all other applicable codes.

5.3.1. All building permit applications shall be certified in accordance with Section 7.0 as complying with the following:

5.3.1.1 Residential building plans shall provide a certification that the plans as submitted provide for a total energy use through the building shell, heating and cooling systems ("building energy use") of at least a 65% reduction for each dwelling from the 1990 Model Energy Code annual energy use baseline, equivalent to a 50% reduction from the 1995 Model Energy Code annual energy use baseline, commencing at the time of initial residential occupancy. The certification shall be in the form attached hereto as Exhibit 2.

5.3.1.2 Non-residential building permits shall provide a certification that the plans as submitted provide for a total energy use through the building shell, heating and cooling systems ("building energy use") of at least a 55% reduction for each structure from the annual energy use by a comparable non-residential structure in 1990 as established by the Model Energy Code. The certification shall identify the 1990 level used, the method of determining that level and the source material documenting that level. The energy conservation

1  
2  
2  
0  
3  
  
2  
6  
0  
2

shall commence at the time of initial occupancy. The certification shall be in the form attached hereto as Exhibit 2.

- 5.3.1.3 Building plans shall identify the manner in which the proposed structures will be designed for the use of solar energy through the orientation for passive heating and cooling purposes, consistent with Civano's goals.
  - 5.3.1.4 Plans shall incorporate some beneficial use of solar energy to reduce the energy demands from heating, cooling and interior water heating. Solar devices such as currently found in A.R.S. § 44-1761 shall qualify as beneficial uses of solar energy will satisfy this requirement.
  - 5.3.1.5 Landscape and hardscape coloration and/or vegetation shall be used to reduce the microclimate temperature adjacent to the structures. The average reflectivity of all major landscape and hardscape surfaces must be 0.5 or greater on the albedo scale or result in equivalent energy savings.
  - 5.3.1.6 Describe a program that identifies procedures for preserving construction materials for recycling during construction and for the use of recycled construction materials in construction.
- 5.3.2. Structural calculations demonstrating that the roof will support solar photovoltaic, solar thermal power generation and solar water heating systems of sufficient size for the potential uses of the building.
  - 5.3.3. Location and installation of plumbing stubouts for solar hot water heaters shall be required and shown on all residential and commercial buildings.
  - 5.3.4. All structures shall be constructed so that there is minimal obstruction of solar light for adjacent properties at the level of a roof of a single story building (fifteen (15) feet) constructed at the legally permitted set back from the property line.
  - 5.3.5. Where reclaimed water, graywater, or other alternative irrigation systems are to be installed, two water supply systems shall be shown: one for potable water and one for reclaimed or other non-potable water for landscaping or similar external uses. Provisions may be made for rainwater harvesting and/or graywater use for landscaping in conformance with existing codes.

1  
2  
3  
4  
5  
6  
7  
8

- 5.3.6. Non-residential space conditioning system cooling towers rated at one hundred tons or more of cooling capacity shall comply with ADWR water conservation requirements.
- 5.3.7. Solar thermal water heaters or other devices or technologies which achieve equivalent energy savings in the heating of hot water shall be included on all model homes for demonstration purposes and as options on all other homes.
- 5.3.8. Plans shall provide for built-in recyclable separation features and storage of hazardous materials.
- 5.3.9. plans for each structure shall identify some recycled material used in the construction of the structure.
- 5.3.10 All structures shall minimally comply with the Civano Model Energy Code/Sustainable Energy Standard as adopted and as it may be amended.

#### 5.4. Expedited Review of Interpretations

The City will establish a review committee for the resolution of all interpretive or technical disputes in accordance with Section 6.2.1 of the Revised Development Agreement (the "Interpretive Review Committee"). The Developer or the City may submit any matter to this Interpretive Review Committee for a determination as to whether the matter is one of interpretation or whether there exists an established requirement which is subject to an established administrative appeal procedure. Where the matter is one of interpretation, the Interpretive Review Committee shall determine the interpretation to be applied. The Interpretive Review Committee shall consist of a designee of the City Manager, a designee of the City Attorney's office and a designee of the director of the department or departments which is/are responsible for the review and/or enforcement of the matter being submitted. The Interpretive Review Committee shall reach a decision on the matter or shall state the reason why a decision cannot be made within five working days of the submission. The Developer may appeal (a) any such decision or (b) the Interpretive Review Committee's failure to reach a decision within five working days to the City Manager pursuant to Section 6.2 of the Revised Development Agreement. The Developer agrees to comply with any decision that is not appealed to the City Manager within five working days of the decision.

#### 6.0 DEMONSTRATION PROJECTS

The parties recognize that development of innovative designs and technologies for resource conservation and use of solar energy are important goals of Civano. In order to encourage such innovation, the Developer may set aside a limited number of residential or commercial lots for construction of demonstration buildings. Such

buildings shall not be subject to the requirements of Sections 5.2 and 5.3 at the time of initial planning or permit review but shall provide descriptions of the manner in which these requirements will be met. Such designated structures shall be reviewed after one year for compliance with the resource conservation requirements of the Revised IMPACT System. The buildings shall not be sold or otherwise conveyed to private parties other than the Developer, unless such buildings are certified as set forth in Section 7 to comply with the resource conservation requirements of the Revised IMPACT System Standards and the requirements of Section 5.3. Such demonstration buildings may be leased or otherwise occupied without certification of compliance. If in compliance with the requirements of Section 5.3, the demonstration projects may be marketed to private parties. The Developer shall provide a notice that a building was constructed pursuant to this section to any prospective user or purchaser prior to the use, lease or sale of the structure to the public.

## 7.0 CERTIFICATION OF COMPLIANCE

The parties recognize that the Revised IMPACT System includes both Performance Targets to be reached over time, as provided in Sections 3 and 4, and specific resource conservation requirements, as provided in Section 5, which establish minimum thresholds for performance and which are to be met commencing with the initial development of Civano in order to establish progress toward achieving the Performance Targets. The Developer agrees to establish this compliance through the Monitoring Report and compliance with Specific Requirements as set forth below.

7.1. During the initial development of Neighborhood 1 of Civano, and thereafter during the development of Civano until changed by mutual agreement of the parties, the Developer shall provide to the City a certification based upon information provided to it by a professional chosen by the Developer that the plans subject to the certification are in compliance with the conservation requirements set forth in Section 5.3.1. The form of the certification is attached as Exhibit 2.

- 7.1.1. The City may audit any such certification and may request in writing supporting documentation from the Developer. The Developer shall provide such documentation within fifteen (15) days of receipt of the notice. If it is determined by the City based upon such an audit that the conservation requirements of Section 5.3.1 have not been met for one or more buildings, the City shall notify the Developer and the applicant submitting the building plan(s) in writing of the specific matters which are not in compliance (the "Noncompliance Notice").
- 7.1.2. The Developer shall have thirty (30) days from the date of the Non-Compliance Notice, unless the time is extended in writing by the City, to either cure the non-compliance or to submit a plan to correct the noncompliance (the "Cure Statement"), which is acceptable to the City. The City shall have fifteen (15) days from receipt of the Cure

1  
2  
2  
0  
3  
  
2  
5  
1  
3

Statement to either accept or reject the Cure Statement as submitted or to request further information or actions. The parties may thereafter continue to seek a mutual resolution of the problem.

- 7.1.3. If the City rejects the cure as proposed by the Developer pursuant to Section 7.1.2, the Developer may submit to the City a supplemental plan for curing the non-compliance (the "Supplemental Compliance Plan"). If a Supplemental Compliance Plan is submitted, no further action shall be taken regarding the non-compliance for at least forty-five (45) days. By submitting the Supplemental Compliance Plan, the Developer agrees that all requests for permits which contain a substantially similar non-compliance problem will be put on hold pending final resolution of the issue.
- 7.1.4. If the City and the Developer are unable to resolve differences regarding the Noncompliance Notice and the Cure Statement within sixty (60) days of the date of the Noncompliance Notice, or differences regarding the Supplemental Compliance Plan within forty-five (45) days of the submittal of the Plan, the matter may be submitted by the City or by the Developer to the City Manager for final resolution as provided in Section 6 of the Revised Development Agreement.
- 7.1.5. A City audit of a plan shall not delay the processing or approval of the plan.
- 7.1.6. Upon issuance of the Noncompliance Notice, the City may delay issuance of permits for the plan subject to the notice and all other plans which contain the same potential noncompliance problem until the question of compliance with the requirements of Section 5.3.1 is resolved. The City shall include notice that issuance of permits will be delayed in the Noncompliance Notice.
- 7.1.7. If the parties agree that a plan is not in compliance pursuant to Sections 7.1.1 and 7.1.2 or the City Manager determines that the plan is not in compliance pursuant to Section 7.1.3, the City may deny the issuance of permits to the proposed structure and any other structures which would not be in compliance for the same reason. In determining whether to deny the issuance of permits the City shall consider the materiality of the noncompliance, the Developer's ability to correct the problem with respect to future buildings, the number of building which would not be in compliance if permits were issued, the cost of curing the noncompliance in the proposed plan and the financial cost to the builder or developer which would result from any denial of permits.

1  
2  
2  
3  
3  
2  
6  
1

- 7.1.8. If the City determines that the certification pursuant to Section 7.1 has resulted in a material noncompliance with the requirements of Section 5.3.1, the City may require that future review and approval of compliance with one or more of the requirements in Section 5.3.1 shall be determined by the City Development Services Department rather than by the Developer.
- 7.2. During the initial development of a Phase or Neighborhood of Civano, and thereafter during the development of Civano until changed by mutual agreement of the parties, the City Development Services Department shall, pursuant to its standard procedures including the availability of independent third party review as provided in the 1994 Uniform Administrative Code, Section 103, where appropriate, determine compliance with all Specific Requirements set forth in Sections 5.2 and 5.3 other than the requirements of Section 5.3.1, subject to review by the Interpretive Review Committee and appeal to the City Manager as provided in Section 5.4 of this Revised MOU and Section 6 of the Revised Development Agreement.
- 7.3. The parties recognize that the goal of Civano is to integrate energy and resource conservation principles, standards and technologies into the standard practices and procedures of the City. Thus the parties anticipate that as experience is gained over time with the implementation of the Revised IMPACT System, the parties will be able to develop less burdensome compliance review procedures without any reduction in the progress toward achieving the Performance Targets.

## 8.0 AMENDMENT

The parties may periodically review this Revised MOU to ensure that it continues to promote the energy and resource conservation and sustainable development goals of Civano and may amend this Revised MOU by mutual agreement or as set forth herein to achieve the Performance Targets and Specific Requirements of the Revised IMPACT System Standards and to meet changing circumstances as Civano development proceeds.

If, on the basis of the Monitoring Reports, the analysis and recommendations of the Civano IMPACT Committee, or independent information which has been reviewed by the Civano IMPACT Committee, either party determines that development is not progressing toward full compliance with the Revised IMPACT System Standards in a satisfactory manner, it may notify the other party in writing of its intent to amend this Revised MOU and/or the Revised IMPACT System. The City shall provide a copy of the notice to the Arizona State Department of Commerce, Energy Office. The parties shall then negotiate in good faith to establish appropriate amendments to ensure compliance with the goals and requirements of the Revised IMPACT System. Any amendment shall consider the economic impact of the proposed requirement upon the development of Civano and the investment of public funds and grants in this development. If the parties are unable to mutually agree upon amendments within

1  
2  
2  
0  
3  
2  
6  
1  
2

December 8, 2003

sixty (60) days, they shall discuss any issues with the City Manager, and the City Manager may, as provided in Section 6 of the Revised Development Agreement, resolve such issues and impose amendments which he deems reasonably necessary to achieve the goals of the Revised IMPACT System.

Any amendment to this Revised MOU shall not apply to any application for development approval, including PADs and rezonings, subdivision plats, development plans and building permits, that has already been submitted for review to the City prior to the notice of the intent to amend this Revised MOU, unless such development approval expires pursuant to existing code provisions. The parties shall provide notice of any amendment to the Arizona Department of Commerce, Energy Office. Any such amendment shall be in writing. Amendments to the Revised IMPACT System Standards shall be approved by the Mayor and Council.

Any application by Civano for a change of the Master Plan, the Rezoning Conditions or the conditions of any PAD which are adopted by the Mayor and Council subsequent to the signing of this Revised MOU shall supercede any requirement herein.

#### 9.0 REMEDIES

The Monitoring Report, Periodic Evaluation and Specific Procedures for Implementation set forth in Sections 3.2, 3.3 and 5 above shall be the only portion of the Revised MOU which shall be subject to the remedies provided in Section 8.8 of the Revised Development Agreement. In addition to these remedies, the City shall not be required to issue any building permit which does not conform to City codes, existing and future specific plans and zoning and the requirements which are included in Section 5, Specific Procedures for Implementation, as set forth herein or as amended or revised pursuant to Section 8.0.

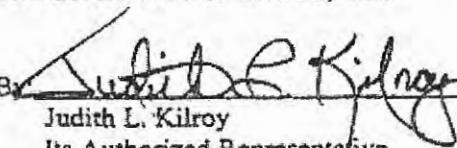
#### 10.0 NON-WAIVER OF COMPLIANCE

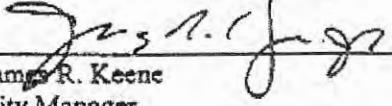
Except as may be expressly agreed in writing, any decision by the City approving further development without complete compliance with all requirements and targets shall not constitute a waiver of any future application of requirements or Performance Targets as set forth in this Revised MOU or in the Revised IMPACT System Standards.

Signed this 8<sup>th</sup> day of December, 2003.

THE COMMUNITY OF CIVANO, LLC

CITY OF TUCSON

By:   
Judith L. Kilroy  
Its Authorized Representative

By:   
James R. Keene  
City Manager

1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39  
40  
41  
42  
43  
44  
45  
46  
47  
48  
49  
50  
51  
52  
53  
54  
55  
56  
57  
58  
59  
60  
61  
62  
63  
64  
65  
66  
67  
68  
69  
70  
71  
72  
73  
74  
75  
76  
77  
78  
79  
80  
81  
82  
83  
84  
85  
86  
87  
88  
89  
90  
91  
92  
93  
94  
95  
96  
97  
98  
99  
100  
101  
102  
103  
104  
105  
106  
107  
108  
109  
110  
111  
112  
113  
114  
115  
116  
117  
118  
119  
120  
121  
122  
123  
124  
125  
126  
127  
128  
129  
130  
131  
132  
133  
134  
135  
136  
137  
138  
139  
140  
141  
142  
143  
144  
145  
146  
147  
148  
149  
150  
151  
152  
153  
154  
155  
156  
157  
158  
159  
160  
161  
162  
163  
164  
165  
166  
167  
168  
169  
170  
171  
172  
173  
174  
175  
176  
177  
178  
179  
180  
181  
182  
183  
184  
185  
186  
187  
188  
189  
190  
191  
192  
193  
194  
195  
196  
197  
198  
199  
200  
201  
202  
203  
204  
205  
206  
207  
208  
209  
210  
211  
212  
213  
214  
215  
216  
217  
218  
219  
220  
221  
222  
223  
224  
225  
226  
227  
228  
229  
230  
231  
232  
233  
234  
235  
236  
237  
238  
239  
240  
241  
242  
243  
244  
245  
246  
247  
248  
249  
250  
251  
252  
253  
254  
255  
256  
257  
258  
259  
260  
261  
262  
263  
264  
265  
266  
267  
268  
269  
270  
271  
272  
273  
274  
275  
276  
277  
278  
279  
280  
281  
282  
283  
284  
285  
286  
287  
288  
289  
290  
291  
292  
293  
294  
295  
296  
297  
298  
299  
300  
301  
302  
303  
304  
305  
306  
307  
308  
309  
310  
311  
312  
313  
314  
315  
316  
317  
318  
319  
320  
321  
322  
323  
324  
325  
326  
327  
328  
329  
330  
331  
332  
333  
334  
335  
336  
337  
338  
339  
340  
341  
342  
343  
344  
345  
346  
347  
348  
349  
350  
351  
352  
353  
354  
355  
356  
357  
358  
359  
360  
361  
362  
363  
364  
365  
366  
367  
368  
369  
370  
371  
372  
373  
374  
375  
376  
377  
378  
379  
380  
381  
382  
383  
384  
385  
386  
387  
388  
389  
390  
391  
392  
393  
394  
395  
396  
397  
398  
399  
400  
401  
402  
403  
404  
405  
406  
407  
408  
409  
410  
411  
412  
413  
414  
415  
416  
417  
418  
419  
420  
421  
422  
423  
424  
425  
426  
427  
428  
429  
430  
431  
432  
433  
434  
435  
436  
437  
438  
439  
440  
441  
442  
443  
444  
445  
446  
447  
448  
449  
450  
451  
452  
453  
454  
455  
456  
457  
458  
459  
460  
461  
462  
463  
464  
465  
466  
467  
468  
469  
470  
471  
472  
473  
474  
475  
476  
477  
478  
479  
480  
481  
482  
483  
484  
485  
486  
487  
488  
489  
490  
491  
492  
493  
494  
495  
496  
497  
498  
499  
500  
501  
502  
503  
504  
505  
506  
507  
508  
509  
510  
511  
512  
513  
514  
515  
516  
517  
518  
519  
520  
521  
522  
523  
524  
525  
526  
527  
528  
529  
530  
531  
532  
533  
534  
535  
536  
537  
538  
539  
540  
541  
542  
543  
544  
545  
546  
547  
548  
549  
550  
551  
552  
553  
554  
555  
556  
557  
558  
559  
560  
561  
562  
563  
564  
565  
566  
567  
568  
569  
570  
571  
572  
573  
574  
575  
576  
577  
578  
579  
580  
581  
582  
583  
584  
585  
586  
587  
588  
589  
590  
591  
592  
593  
594  
595  
596  
597  
598  
599  
600  
601  
602  
603  
604  
605  
606  
607  
608  
609  
610  
611  
612  
613  
614  
615  
616  
617  
618  
619  
620  
621  
622  
623  
624  
625  
626  
627  
628  
629  
630  
631  
632  
633  
634  
635  
636  
637  
638  
639  
640  
641  
642  
643  
644  
645  
646  
647  
648  
649  
650  
651  
652  
653  
654  
655  
656  
657  
658  
659  
660  
661  
662  
663  
664  
665  
666  
667  
668  
669  
670  
671  
672  
673  
674  
675  
676  
677  
678  
679  
680  
681  
682  
683  
684  
685  
686  
687  
688  
689  
690  
691  
692  
693  
694  
695  
696  
697  
698  
699  
700  
701  
702  
703  
704  
705  
706  
707  
708  
709  
710  
711  
712  
713  
714  
715  
716  
717  
718  
719  
720  
721  
722  
723  
724  
725  
726  
727  
728  
729  
730  
731  
732  
733  
734  
735  
736  
737  
738  
739  
740  
741  
742  
743  
744  
745  
746  
747  
748  
749  
750  
751  
752  
753  
754  
755  
756  
757  
758  
759  
760  
761  
762  
763  
764  
765  
766  
767  
768  
769  
770  
771  
772  
773  
774  
775  
776  
777  
778  
779  
780  
781  
782  
783  
784  
785  
786  
787  
788  
789  
790  
791  
792  
793  
794  
795  
796  
797  
798  
799  
800  
801  
802  
803  
804  
805  
806  
807  
808  
809  
810  
811  
812  
813  
814  
815  
816  
817  
818  
819  
820  
821  
822  
823  
824  
825  
826  
827  
828  
829  
830  
831  
832  
833  
834  
835  
836  
837  
838  
839  
840  
841  
842  
843  
844  
845  
846  
847  
848  
849  
850  
851  
852  
853  
854  
855  
856  
857  
858  
859  
860  
861  
862  
863  
864  
865  
866  
867  
868  
869  
870  
871  
872  
873  
874  
875  
876  
877  
878  
879  
880  
881  
882  
883  
884  
885  
886  
887  
888  
889  
890  
891  
892  
893  
894  
895  
896  
897  
898  
899  
900  
901  
902  
903  
904  
905  
906  
907  
908  
909  
910  
911  
912  
913  
914  
915  
916  
917  
918  
919  
920  
921  
922  
923  
924  
925  
926  
927  
928  
929  
930  
931  
932  
933  
934  
935  
936  
937  
938  
939  
940  
941  
942  
943  
944  
945  
946  
947  
948  
949  
950  
951  
952  
953  
954  
955  
956  
957  
958  
959  
960  
961  
962  
963  
964  
965  
966  
967  
968  
969  
970  
971  
972  
973  
974  
975  
976  
977  
978  
979  
980  
981  
982  
983  
984  
985  
986  
987  
988  
989  
990  
991  
992  
993  
994  
995  
996  
997  
998  
999  
1000

December 8, 2003

PULTE HOME CORPORATION, a  
Michigan corporation,

By: BW  
Its: Attorney - in - fact  
Date: December 8, 2003

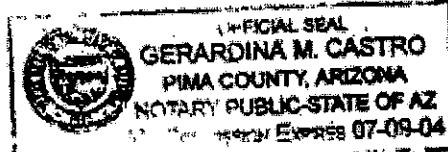
STATE OF ARIZONA      )  
                            )  
County of Pima      ) ss.

The foregoing instrument was acknowledged before me this 8th day of  
December, 2003, by Becca Stokes, the  
authorized representative of Pulte Home Corporation, a Michigan corporation.

Gerardina M. Castro  
Notary Public

My Commission Expires:

7-9-04



12283 2614

#### **D. Master Civano PAD: How to Get a Copy**

A copy may be downloaded in PDF form by going to the [www.civano1.com](http://www.civano1.com) and looking under the “Document Section” and then under the “Civano Community Concepts” section. The Master Civano PAD can be found there. The Civano 1 Neighborhood 1 specific section of the PAD is found on Pages 127-173.

**E. Civano 1 Neighborhood 1 CC&R'S: HOW TO GET A COPY**

A copy of the CC&R's can be downloaded from the Civano Neighborhood 1 web site.

## **F. Helpful Contact Information**

- c. City Of Tucson Department of Planning and Development Services:  
201 North Stone Avenue  
Tucson, AZ 85701  
520-791-5550
- d. Development Services Personnel Knowledgeable about Civano:
  - i. Michael St. John:
    - 1. Email
    - 2. Phone Number

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

1. Design Review Committee (DRC) approval is required whenever a **CHANGE, MODIFICATION OR IMPROVEMENT** is made to the exterior of a home or lot in Civano. In order to assist the Committee in the approval process you are required to provide specific information so there are no delays.<sup>1</sup>
2. The Committee has provided the following IMPROVEMENT or MODIFICATION SUBMITTAL CHECKLIST to assist you in your Application Request to ensure that your review and approval is a smooth and quick process.

=====

**Please initial each box acknowledging that you have  
read the information and provided the required  
documentation, materials and information with your  
submittal.**

**NAME, LOT, DATE and PAGE #** are on ALL pages of applications.

I have noted how I would like to be contacted:

- Email: \_\_\_\_\_
- Phone: \_\_\_\_\_
- Mail: \_\_\_\_\_

The following is a detailed description of the Improvement or modification I would like the DRC to review and approve: (attach additional descriptive sheets as necessary.)

---

---

---

<sup>1</sup> In accordance with the AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CIVANO I: NEIGHBORHOOD I dtd 1/04/2000. ¶4.7 Obligation to Obtain Approval and 2012 Civano 1 Design Review Manual dtd 11/07/2012. ¶1. Guidelines.

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

---

---

---

- Planned Completion Date.\_\_\_\_\_
- I have included all Plans and specifications for all construction modifications showing materials, height, width and paint color(s), photos, material/fabric samples.
- I have included the Site plan for the lot, showing the modification in its proposed locations along with all other improvements on the lot (house, driveway, pool, etc); (all pertinent info for antenna.).
- I have noted the Building orientation (relative to desired solar, wind and shade patterns).
- I have included information on all building materials (relative to insulation, thermal mass, absorptive and reflective qualities).
- I ACKNOWLEDGE THAT** if painting is to be conducted I will include a Civano 1 Neighborhood 1 Paint Submittal checklist with all required documentation.
- I have noted the Location and type of plant materials (relative to shading and solar access and wind patterns and compatibility with indigenous, drought-tolerant species). If plants are a part of the Modification, see the Landscaping Guidelines.
- I have included any Active and passive solar design strategies;
- I have shown all landscape passive water harvesting design to include swales, berms, etc.

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT #: \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- I have included documentation of energy usage projections which are in accordance with the Association standards for all building and site-related energy and water consumption and conservation. (See Revised Civano Impact System, Building Energy Demand and Energy and Water Use Documents on [www.civano1.com](http://www.civano1.com)).
- I ACKNOWLEDGE THAT** if an improvement affects drainage patterns I must submit plans that will show proper drainage after installation of improvement.
- I ACKNOWLEDGE THAT** I have conducted the required governing document review and have included a copy of my Planned Area Land Use District. All Applicants, **BEFORE** submitting applications, must review the following documentation to ensure that all improvements, modifications, and modifications meet the Civano requirements as outlined in the Civano governing documents. All Applicants must include a copy of their Planned Area Land Use District which can be found in the Design Review Manual on the HOA website. Documents noted in the following paragraphs will help you determine which Civano district you reside in and what requirements are particular to your individual Civano District. Please Note that Civano North Ridge should refer to the City of Tucson Land Use Codes. All required documents (with the exception of the City of Tucson Land Use Code) can be found on the HOA website at [www.civano1.com](http://www.civano1.com). See "Documents" on left hand side.
- Civano Planned Area Development (PAD), Revised April 7, 2005;
- Civano 1 Neighborhood 1 CC&Rs and Design Guidelines and all subsequent Amendments;
- Civano Revised Memorandum of Understanding, December 8, 2003.
- Civano Revised Impact System, December 8, 2003;
- Civano Revised Development Plan, December 8, 2003.
- Planned Area Land Use Districts, Exhibit 40, pg 163, 2016 Community of Civano Neighborhood One Design Review Manual.

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT #: \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- Center District, Article 3.3, pg 154, 2016 Community of Civano Neighborhood One Design Review Manual.
- General District, Article 3.3.2, pg 155, 2016 Community of Civano Neighborhood One Design Review Manual.
- Neighborhood Edge District, Article 3.3.3 pg 157, 2016 Community of Civano Neighborhood One Design Review Manual.
- Villas Lot Layout, Article 3.3.3.1, pg 159, 2016 Community of Civano Neighborhood One Design Review Manual.
- City of Tucson Land Use Codes (North Ridge)
- I HAVE INCLUDED 3 NEIGHBORS' SIGNATURES:** The Design Review Committee, during the review process, will consider the impact of owner-installed architectural modifications on neighboring views and open space corridors. (Signature form at last page of submittal.)
- If your architectural modification is to build a new structure or other feature projecting from the original footprint of your existing home or building, you are required to secure, on the Application, the signatures of the owners of the immediately adjoining and opposite properties. Signatures are mandatory in this situation and application will not be accepted if they are missing.
  - In accordance with CINI CC&Rs, paragraph 4.8, such signatures will serve to notify your neighbors of an impending architectural change and will certify that the bordering homeowners are aware of the projected architectural change and have the right to attend the Design Review Committee meeting and to offer comments.
  - Neighbors' Signatures **DO NOT** signify approval or disapproval of your project. Approval or disapproval will come from the Design Review Committee.
  - As a definition, the "original footprint" includes the foundation of your home or structure and any attached garage. A non-connected garage, although not in the "original footprint," will be taken into consideration by the DRC, if appropriate. Any attached concrete pad, such as an open patio, is not considered within the "original footprint" unless you may be proposing to cover or enclosure such

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

pad that would then visibly project into a neighboring view or open space corridor. "Projections" are not limited to add-on structures, but may include awnings and other possible temporary or permanent appendages.

**HELP AND ASSISTANCE:**

- I ACKNOWLEDGE THAT** On occasion it may be necessary to request formal and informal interpretations from the Zoning Administrator related to the Civano PAD Districts (see Civano PAD, pgs 154-159 and Exhibit 40, pg 163) or the City of Tucson Land Use Codes. These circumstances may relate to interpretations of the provisions of the City of Tucson Land Use Code or to interpretations or intent of the narrative of the Civano PAD. These questions may be oral or in writing and shall be to the Civano Project Manager, by the DRC or the property owner. The Civano Project Manager is John Beall and can be contacted by calling 520-837-6966 or [John.Beall@tucsonaz.gov](mailto:John.Beall@tucsonaz.gov).
- I ACKNOWLEDGE THAT** all documents and references noted in this Application may be found on the Civano Homeowners' Association website at: [www.civano1.com](http://www.civano1.com). Further assistance may be obtained by contacting the Civano Homeowner Association Manager at 520-546-3862.
- I ACKNOWLEDGE THAT** I have reviewed the following information in the 2012 Community of Civano Neighborhood 1 Design Review Manual in order to determine what Civano district is applicable to my Lot or Parcel and what restrictions apply to my project, such as Land Use Regulations; Perimeter Yard Requirements; Building coverage; Building heights; perimeter wall information and wall height information.
- Planned Area Land Use Districts, Exhibit 40, pg 163
  - Center District, Article 3.3, pg 154
  - General District, Article 3.3.2, pg 155
  - Neighborhood Edge District, Article 3.3.3 pg 157.
  - Villas Lot Layout, Article 3.3.3.1, pg 159

**RESOURCE WEBSITES:**

- Civano Homeowners Association Website: [www.civano1.com](http://www.civano1.com)

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- Civano 1 Neighborhood 1 2016 Design Review Manual:  
[www.civano1.com](http://www.civano1.com) (Documents – left hand side of home page)
- Civano PAD: [www.civano1.com](http://www.civano1.com)  
(Documents – left hand side of home page)
- Pima County Land Use Codes:  
<https://www.tucsonaz.gov/pdsd/land-use-code>
- Pima County Zoning Code Quick Summary Guide:  
<http://www.webcms.pima.gov/cms/One.aspx?portalId=169&pageId=68853>

**APPLICATION REVIEW:**

- I ACKNOWLEDGE THAT** I am required to attend the Design Review Committee application review unless the Association Manager has been notified that I will not be attending due to scheduling conflicts or for personal reasons. I will be notified of the date and time by phone call, email or mail by the Association Manager.
- I ACKNOWLEDGE THAT** if I am submitting an application for **NEW CONSTRUCTION** I may be required to pay a fee for the review process.
- I ACKNOWLEDGE THAT** if I am submitting an application for **NEW CONSTRUCTION** the DRC will determine if I am required to submit my documentation to one of the design professionals who have been certified by the Board to have a thorough understanding of the requirements and goals of building in Civano.<sup>2</sup> (Call the HOA Office at 520-546-3862 for more information.)
- I ACKNOWLEDGE THAT** I will receive a formal notification of the decision by the Design Review Committee.

---

<sup>2</sup> 2016 Community of Civano Neighborhood One Design Review Manual Section 8 New Construction Review Requirements.

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- I UNDERSTAND AND ACKNOWLEDGE THAT** when it is determined by the DRC that plans meet the intent, spirit, goals and concepts of the Revised Master Development Plan and the Civano Planned Area Development or subsequent amendments thereto and all governing documents, it shall approve said plans in writing. With the DRC's written approval, these plans may then be submitted for final review and approval by the appropriate governmental agency. Nothing herein shall be deemed to inhibit discussion or preliminary review and approval processing with appropriate governmental jurisdiction prior to obtaining the DRC's approval
- I ACKNOWLEDGE THAT** I am solely responsible for obtaining all required permits and approvals from applicable public agencies such as county or city. All improvements are subject to all appropriate permits and inspections.
- I ACKNOWLEDGE THAT** it shall be my sole responsibility to comply with all applicable government regulations, ordinances and procedures and to adequately coordinate such required governmental reviews with these Guidelines.

**LIABILITY:**

- I ACKNOWLEDGE THAT** neither the Association, the Board nor the Review Committee (nor any member thereof) shall be liable to the Association, any owner or any other party for any damage, loss or prejudice suffered or claimed on account of the approval or disapproval of any plans, drawings or specifications, whether or not defective; the construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications; the development of any Lot or Parcel; or the execution and filing of any estoppel certificate or statement, whether or not the facts are correct. (See Master Declaration paragraph 4.9, and Master Declaration First Amendment Rerecorded, paragraph 5, CINI CC&Rs, paragraph 4.11 and Civano 1 Guidelines.)

**APPEALS:**

- I ACKNOWLEDGE THAT** Any homeowner aggrieved by a decision of the DRC may appeal the decision to the Board in accordance with the following procedure (see Master Declaration, paragraph 4.10 and CINI CC&Rs, paragraph 4.12):

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT # \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- Homeowner must submit a letter by registered mail to the Board detailing the reason for the appeal within 10 working days of receipt of the DRC decision.
- The Board of Directors shall review the decision at the next scheduled homeowner's association meeting and either approve it, reject it or modify it.
- Homeowner to receive Board's decision through US Postal service within 5 days of the Board's decision.
- The decision of the Board is final and binding and shall modify the decision of the Review Committee to the extent specified by the Board.

**AGREEMENT TO COMPLETE IMPROVEMENTS:**

- I ACKNOWLEDGE THAT**, by my signature and date, that I have read, understand and agree to all requirements as outlined in this application, I agree to complete all improvements as outlined in this application within the time specified. I further acknowledge and understand that failure to complete the improvement within the specified time may constitute a violation of the Civano 1 governing documents and I could be subject to violation notice and fine.
- I UNDERSTAND AND ACKNOWLEDGE THAT** if the improvement project on my Lot or Parcel is not in compliance with all Civano governing documents and the City of Tucson permitting requirements, the DRC may recommend that the Association levy a Reimbursement Assessment on the homeowner and lot in accordance with CINI CC&Rs 8.6.
- I AGREE** to allow a member of the Design Review Committee and/or the Association manager upon the exterior of the Applicant's lot for inspection of improvement on a mutually agreed upon time. (See CINI CC&Rs, paragraph 4.14)

**ACKNOWLEDGEMENT AND ACCEPTANCE:**

- I ACKNOWLEDGE, UNDERSTAND AND AGREE**, by my signature, to all requirements of the DRC Design Review submittal and governing documents as outlined above.

**Civano I Neighborhood I**  
**MAY 2016 PROVISIONAL IMPROVEMENT or MODIFICATION**  
**SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_ LOT #: \_\_\_\_\_  
DATE OF SUBMITTAL: \_\_\_\_\_

- I ATTEST** that this improvement project is in compliance with the requirements as outlined in the Civano Master PAD and the applicable Civano Area Planned Land Use District. In the case of a North Ridge applicant, the improvement project shall be in compliance with the Civano Master PAD and the City of Tucson Land Use Codes.
- I ACKNOWLEDGE** that applications must be submitted by the last business day of the month to be included on the following month's agenda. The design review committee (DRC) meets the second Thursday of each month. No exceptions will be made to this requirement.

Submit application to:

**Civano Manager**  
10501 E Seven Generations Way, #109  
Tucson, AZ 85747  
520-546-3862/520-546-6795 (fax)  
Email:  
[hoa@civano1.com](mailto:hoa@civano1.com)

**DRC FOLLOW UP ON APPROVED APPLICATIONS**

- I ACKNOWLEDGE** that as a final step in the review process, the HOA Manager will ensure that the actual modifications or improvements have been completed in strict compliance with the approved final application as recorded in the official minutes of the design review committee and mailed to each applicant.
- I ATTEST**, by my signature, that I am the owner of the subject property.

Homeowner(s) Signature & Date: \_\_\_\_\_

DATE OF COMPLETION OF PROJECT: \_\_\_\_\_

## Neighbor Signature Form

Signatures of adjoining and opposite property owners are required when a proposed alteration/improvement is submitted. This signature does not constitute approval or disapproval. This signature is confirmation that the neighbor is aware of the project. This

### HOA MEMBER/NEIGHBOR:

"I have read this Improvement Application" and "I wish/do not wish (cross-out one) to attend the Design Review Committee (DRC) meeting when this Application is reviewed."

If unable to attend the meeting a written comment (for or against) may be forwarded either by mail or email to Cadden Community Management before the last business day of the month to be attached to this application for review at the DRC meeting.

My name: \_\_\_\_\_

My address: \_\_\_\_\_ My Lot #: \_\_\_\_\_

### HOA MEMBER/NEIGHBOR:

"I have read this Improvement Application" and "I wish/do not wish (cross-out one) to attend the Design Review Committee (DRC) meeting when this Application is reviewed." If unable to attend the meeting a written comment (for or against) may be forwarded either by mail or email to Cadden Community Management before the last business day of the month to be attached to this application for review at the DRC meeting.

My name: \_\_\_\_\_

My address: \_\_\_\_\_ My Lot #: \_\_\_\_\_

### HOA MEMBER/NEIGHBOR:

I have read this Improvement Application" and "I wish/do not wish (cross-out one) to attend the Design Review Committee (DRC) meeting when this Application is reviewed." If unable to attend the meeting a written comment (for or against) may be forwarded either by mail or email to Cadden Community Management before the last business day of the month to be attached to this application for review at the DRC meeting.

My name: \_\_\_\_\_

My address: \_\_\_\_\_ My Lot #: \_\_\_\_\_

**Civano I Neighborhood I PROVISIONAL MAY 2016 PAINT  
SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

Lot number: \_\_\_\_\_ (to be filled in by Owner)

Date of submittal: \_\_\_\_\_ (to be filled in by Owner)



1. Design Review Committee (DRC) approval is required whenever a **CHANGE** is made to an exterior home color in Civano.<sup>1</sup> In order to assist the Committee in the approval process you are required to provide specific information so there are no delays.
  2. When a home is repainted the **SAME EXISTING COLOR**, the HOA requires that homeowners provide a color chip, the brand of paint and the LRV (no higher than 64).
  3. The Committee has provided the following Paint Submittal Checklist to assist you in your Paint Application Request in order to ensure that your review and approval is a smooth and quick process.
- 

**ACKNOWLEDGMENT** (Initial each box)

I ACKNOWLEDGE THAT DOCUMENTATION TO INCLUDE PAINT CHIPS AND LRV FOR ALL REPAINTING OF HOMES, WHETHER EXISTING COLOR OR PREAPPROVED COLORS FROM 2016 PAINT PALETTE, MUST BE SUBMITTED TO THE HOA MANAGER.

I ACKNOWLEDGE THAT APPLICATIONS MUST BE SUBMITTED BY THE LAST BUSINESS DAY OF THE MONTH TO BE INCLUDED ON THE FOLLOWING MONTH'S AGENDA. THE DESIGN REVIEW COMMITTEE (DRC) MEETS THE SECOND THURSDAY OF EACH MONTH. THERE WILL NO EXCEPTIONS TO THIS REQUIREMENT.  
SUBMIT APPLICATION TO:

Civano Manager  
10501 E Seven Generations Way, #109  
Tucson, AZ 85747  
520-546-3862/520-546-6795 (fax)  
Email: [hoa@civano1.com](mailto:hoa@civano1.com)

I ACKNOWLEDGE THAT AS A FINAL STEP IN THE REVIEW PROCESS, THE HOA MANAGER WILL ENSURE ACTUAL COLOR CHANGES HAVE BEEN COMPLETED IN STRICT COMPLIANCE WITH THE APPROVED FINAL APPLICATION AS RECORDED IN THE OFFICIAL MINUTES OF THE DESIGN REVIEW COMMITTEE AND MAILED TO EACH APPLICANT.

<sup>1</sup> In accordance with the AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR CIVANO I; NEIGHBORHOOD I dtd 1/04/2000. ¶4.7 Obligation to Obtain Approval and 2012 Civano I Design Review Manual dtd 11/07/2012. ¶1. Guidelines.

**Civano I Neighborhood I PROVISIONAL MAY 2016 PAINT  
SUBMITTAL CHECKLIST**

OWNER NAME: \_\_\_\_\_



ADDRESS: \_\_\_\_\_

Lot number: \_\_\_\_\_ (to be filled in by Owner)

Date of submittal: \_\_\_\_\_ (to be filled in by Owner)

**Please INITIAL each box that applies to your paint project  
acknowledging that you have provided the required  
documentation, information and materials with your  
submittal.**

**PAINT PROJECT IS EXISTING COLOR**

- DATE APPROVED: \_\_\_\_\_ COLOR CHIPS/LRV ON FILE (circle one): YES NO  
(Does not need neighbors' signatures, pictures or DRC review. Must include colors/brand/LRV if not on file at HOA Office. If not sure please call 520-546-3862.)
- 

**REVIEW OF 2016 APPROVED PAINT PALETTE**

- I HAVE REVIEWED THE PREAPPROVED COLORS IN THE 2016 PAINT PALETTE LOCATED IN THE HOA MANAGER'S OFFICE PERTINENT TO MY APPLICATION AND HAVE DETERMINED THAT ITEMS SUBMITTED DO REQUIRE DESIGN REVIEW COMMITTEE APPROVAL.

**PAINT PROJECT IS NEW COLOR**

- COLOR CHIPS ATTACHED

**PAINT LOCATION & INFORMATION:**

**BODY:** \_\_\_\_\_

**BRAND:** \_\_\_\_\_

**LRV:** \_\_\_\_\_ (no higher than 64)

**TRIM:** \_\_\_\_\_

**BRAND:** \_\_\_\_\_

**LRV:** \_\_\_\_\_ (no higher than 64)

Civano I Neighborhood I PROVISIONAL MAY 2016 PAINT  
SUBMITTAL CHECKLIST

OWNER NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

Lot number: \_\_\_\_\_ (to be filled in by Owner)

Date of submittal: \_\_\_\_\_ (to be filled in by Owner)



**GARAGE:** \_\_\_\_\_

**BRAND:** \_\_\_\_\_

**LRV:** \_\_\_\_\_ (no higher than 64)

**DOOR:** \_\_\_\_\_

**BRAND:** \_\_\_\_\_

**LRV:** \_\_\_\_\_ (no higher than 64)

**PICTURES**

PICTURES OF HOME AND SURROUNDING HOMES INCLUDED.

**NEIGHBORS' SIGNATURES**

I HAVE NOTIFIED THE FOLLOWING NEIGHBORS OF MY PAINT SUBMITTAL AND OF THEIR  
RIGHT TO ATTEND THE MEETING AND/OR SUBMIT COMMENTS TO THE HOA MANAGER.  
(Neighbors to be notified of the submittal/meeting live across from home and on either side.  
Neighbors' signatures do not signify approval/disapproval of project. DRC meets 2<sup>nd</sup>  
Thursday of the month. Please call HOA Manager to verify date of meeting.)

SIGNATURE/LOT #/DATE

SIGNATURE/LOT #/DATE

SIGNATURE/LOT #/DATE

=====

HOMEOWNER(S) SIGNATURE & DATE: \_\_\_\_\_

DATE OF COMPLETION OF PROJECT: \_\_\_\_\_