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Noank Fire District
Zoning Commission

Worksheet for Estimating Residential Village Lot Coverage Limitations

This worksheet is provided to assist applicants in determining how the regulations concerning lot coverage (the amount of a building lot that is covered by the footprint of the main dwelling, detached accessory buildings and other structures) apply to an application. These regulations are in Sections 3.5 and 2.10 of the Zoning Ordinance for the Noank Fire District.

Step 1 - Identify the Applicant and the Lot for which Application Being Submitted

Name of Applicant: Peter J. Springsteel Architect LLC

Street Address of Building Lot: 20 Terrace Avenue - Noank Village

Parcel ID No. (PIN) per Town of Groton: 260820805160

Step 2 - Area of the Above Lot in Square Feet 20,822 s.f.

Source of Above Data (check one)
Town of Groton (GIS or Town Clerk) ☒ X
A2 Survey ☐

Step 3 - Calculate Allowed Coverage on the Above Lot by Buildings

a. If area of lot in Step 2 above is less than 4,000 square feet:
Total allowed coverage is 40% of area of lot, so
multiply the lot size in Step 2 by 0.4 = N.A.

b.1. If area of the lot in Step 2 is greater than 4,000 and less than 32,000 square feet:
Total allowed coverage is 40% of first 4,000 sq ft 1,600 s.f.

Plus 5 percent of the lot area in excess of 4,000 square feet, up to
28,000 square feet, or a total lot size of 32,000 square feet
Excess lot area = Lot area minus 4,000 = 16,822 s.f.
Additional allowed coverage = 0.05 times the excess lot area 841 s.f.

Total Allowed Coverage for Lots More Than 4,000 and Less Than 32,000:
Total of b.1. plus b.2. 2,441 s.f.

c. If area of lot in Step 2 above is 32,000 square feet or more,
the total allowed coverage is 3,000 square feet: N.A.

Rev. 1 2013.07.22

Noank Fire District
Planning Commission

Worksheet for Estimating Residential Village Lot Coverage Limitations

Step 4 - Calculate the Maximum Allowed Footprint of the Main Dwelling

The maximum allowed footprint of the main dwelling is 90% of the total
allowed coverage calculated in Step 3.
Maximum Allowed Main Dwelling Footprint =
0.9 times Total Allowed Coverage 2,441 s.f. x 0.9 2,197 s.f.

Note: Covered porches which increase the footprint of the main dwelling beyond the
above limit are allowed as long as they are no more than 8 ft. wide, and the area of
the main dwelling plus detached accessory buildings plus porches does not exceed
the Total Allowed Coverage determined in Step 3 above.

Step 5 - Detached Accessory Buildings

The allowed footprint of all of the Detached Accessory Buildings on a lot is subject to
two limitations.

a. The total footprint of all the detached accessory buildings cannot be more than 25%
of the total lot coverage allowed for the lot, as calculated in Step 3 above.
Total allowed coverage per Step 3 times 25% = 2,441 s.f. x .25 610 s.f.

b. The total footprint of the main dwelling plus any porches allowed per the note in Step
4 plus the detached accessory buildings cannot exceed the Total Allowed Coverage
calculated in Step 3 above, which is: 2,441 s.f.

Rev. 1 2013.07.22



BURKE RESIDENCE
NEW SINGLE FAMILY RESIDENCE
20 TERRACE AVENUE
NOANK (GROTON), CONNECTICUT

CODE:

2021 INTERNATIONAL RESIDENTIAL CODE
2022 STATE BUILDING CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE

BUILDING USE GROUP: SINGLE FAMILY DETACHED R3
CONSTRUCTION TYPE: VB COMBUSTIBLE UNPROTECTED

WIND EXPOSURE: 105 MPH, 129 MPH Vult. EXPOSURE D
WINDBORNE DEBRIS REGION: NO
GROUND SNOW LOAD: 30 PSF
WEATHERING: SEVERE
FROST LINE DEPTH: 42"
FLOOD ZONE: AE EL13
CLIMATE ZONE: 5A
WINTER DESIGN TEMP.: 7 DEGREES F
ICE BARRIER REQUIRED: YES
AIR FREEZING INDEX: 1500
MEAN ANNUAL TEMP.: 50 DEGREES F
LATERAL BRACING: BRACED WALLS

MINIMUM DESIGN LIVE LOADS:

GROUND SNOW LOAD: 30 P.S.F.
ATTICS W/ STORAGE: 20 P.S.F.
ATTICS W/O STORAGE: 10 P.S.F.
SLEEPING AREAS: 30 P.S.F.
GARAGES: 50 P.S.F.
DECKS & PORCHES: 40 P.S.F.
EXTERIOR BALCONIES: 40 P.S.F.
ALL OTHER SPACES: 40 P.S.F.

BUILDING DATA:
SQUARE FOOTAGES:
SEE DRAWING A-101

WINDOW REQUIREMENTS:
IMPACT RATING: N.A.
PROTECTION SYSTEM: N.A.
DP RATING: DP50
1ST FLR. EGRESS: N.A.
2ND FLOOR EGRESS: YES, 5.7 S.F., 20" H MIN., 24" W MIN.
OPENING LIMITING DEVICE: YES @ SILLS 6'0" ABOVE GRADE

INSULATION:
FENESTRATION U-FACTOR: 0.32
SKYLIGHT U-FACTOR: 0.50
CEILING R-VALUE: R-60 OR R-49 FULL TO EAVE
FRAMED WALL R-VALUE: R-30 OR R-21 + R-5
FLOOR R-VALUE: R-30
BASEMENT WALL R-VALUE: R-10/R-13
SLAB R-VALUE: R-10, 4FT.

SCOPE OF WORK:

PROPOSED 2 STORY, SINGLE FAMILY DWELLING W/
GARAGE UNDER IN AE EL13 FLOOR ZONE.

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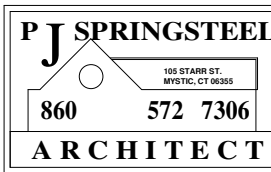
ZONING STATISTICS: ZONE RV - VILLAGE RESIDENTIAL DISTRICT

	ALLOWED	PROPOSED
BUILDING HEIGHT	25' AVG. / 30 MAX.	22'10" / 26'8"
LOT SIZE / FRONTAGE	20,000 S.F. / 30'	20,822 S.F. / 254' +/-
FRONT YARD	25'0"	84'5"
SIDE YARDS	10'0"	18'2"
REAR YARD	15'0"	46'0"
LOT COVERAGE	2,441 S.F.	1,426 S.F.

NOTES:

1. LOT INFORMATION OBTAINED FROM TOWN OF GROTON GEOGRAPHIC INFORMATION
SYSTEM AND FEMA MAP RESOURCE CENTER.

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DATE: 30 JANUARY 2024

A-001

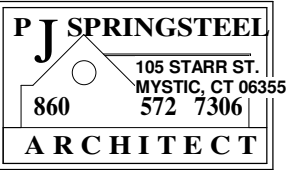


SITE PLAN & NEIGHBORHOOD PHOTOS

BURKE RESIDENCE
NEW SINGLE FAMILY RESIDENCE
20 TERRACE AVENUE - NOANK (TOWN OF GROTON), CONNECTICUT

NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT WITH ANY DISCREPANCIES FROM THE DRAWINGS. DO NOT SCALE THE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS OR SAFETY PRECAUTIONS.

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A-002

BRACED WALL LINE A-2:
CONTINUOUS SHEATHING

BRACED WALL LINE B-2:
CONTINUOUS SHEATHING

BRACED WALL NOTES:
-HATCHED WALLS ARE BRACED WALLS.
-INTERIOR BRACED WALLS SHALL BE
SHEATHED WITH 1/2" CDX & BLOCKED
SIMILAR TO EXTERIOR WALLS.
-REFER TO A-102 FOR BRACED WALL
DETAILS.

BRACED WALL LINE 3-2:
CONTINUOUS SHEATHING

BRACED WALL LINE 2-2:
CONTINUOUS SHEATHING

BRACED WALL LINE 1-2:
CONTINUOUS SHEATHING

NOTE:
CONTRACTOR SHALL PROVIDE ROOF TRUSS SHOP DRAWING SIGNED
AND SEALED BY CT PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL BY
THE ARCHITECT AND BUILDING OFFICIAL.
SHOP DRAWING SHALL SHOW TRUSS LAYOUT, ALL LOAD CRITERIA, CONNECTIONS, TRUSS
PROFILES, AND BRACING.

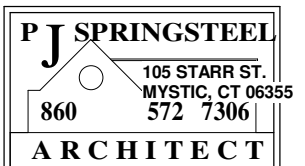
NOTE:
BLOCK TWO END BAYS AT
ALL GABLE ROOFS AT SHEATHING
SEAMS 48" O.C. WITH 2"x6" D.F.
ON THE FLAT

BURKE RESIDENCE
NEW SINGLE FAMILY RESIDENCE

20 TERRACE AVENUE - NOANK (TOWN OF GROTON), CONNECTICUT

NOTES:
THE CONTRACTOR IS RESPONSIBLE
FOR CONFIRMING ALL DIMENSIONS IN
THE FIELD. THE CONTRACTOR SHALL
IMMEDIATELY CONTACT THE
ARCHITECT WITH ANY DISCREPANCIES
FROM THE DRAWINGS.
DO NOT SCALE THE DRAWINGS.
THE ARCHITECT SHALL NOT BE
RESPONSIBLE FOR CONSTRUCTION
MEANS, METHODS OR SAFETY
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A-101

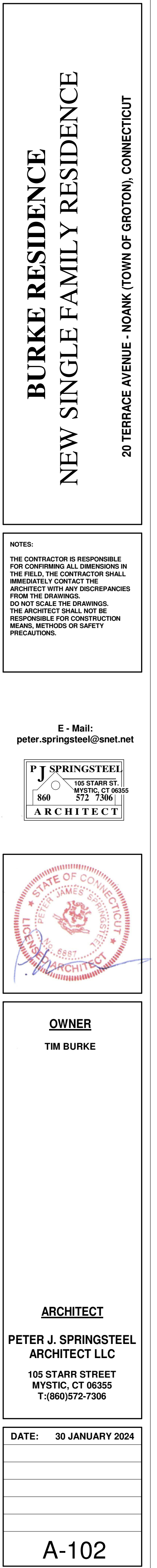
1ST FLOOR & ROOF CONSTRUCTION PLANS

SCALE: 1/4" = 1'-0"
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1. 1ST FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

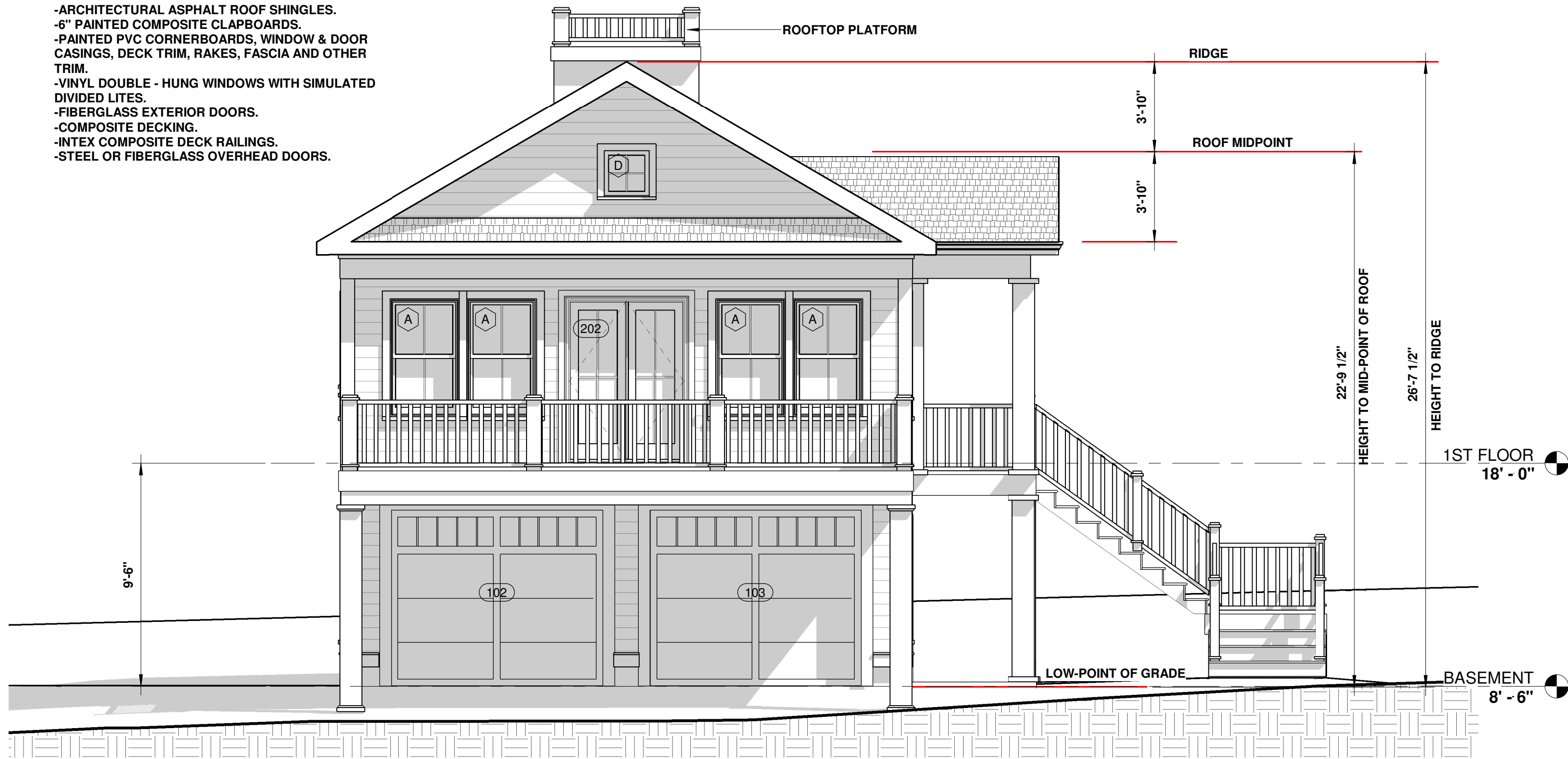
Living Area: 1,056 s.f.
Deck Area: 240 s.f.
Porch Area: 130 s.f.
Lot Coverage: 1,426 s.f.

2. ROOF CONSTRUCTION PLAN
1/4" = 1'-0"



PROPOSED MATERIALS:

- ARCHITECTURAL ASPHALT ROOF SHINGLES.
- 6" PAINTED COMPOSITE CLAPBOARDS.
- PAINTED PVC CORNERBOARDS, WINDOW & DOOR CASINGS, DECK TRIM, RAKES, FASCIA AND OTHER TRIM.
- VINYL DOUBLE - HUNG WINDOWS WITH SIMULATED DIVIDED LITES.
- FIBERGLASS EXTERIOR DOORS.
- COMPOSITE DECKING.
- INTEX COMPOSITE DECK RAILINGS.
- STEEL OR FIBERGLASS OVERHEAD DOORS.



① FRONT / SOUTH ELEVATION
1/4" = 1'-0"

WINDOW SPECIFICATIONS:

- ALL WINDOWS AND EXTERIOR DOORS, UNLESS OTHERWISE NOTED, ARE HARVEY VINYL WINDOW OR EQUAL APPROVED BY THE OWNER OR THE ARCHITECT.
- GLAZING SHALL BE HIGH PERFORMANCE, LOW E4, TEMPERED AT LOCATIONS INDICATED.
- MUNTINS SHALL BE SIMULATED DIVIDED LIGHTS.
- GANGED WINDOWS SHALL BE SEPARATED BY TWO STUDS UNLESS OTHERWISE INDICATED.
- EXTERIOR CASINGS SHALL BE 5/4"x6" W/ 2" HISTORIC SILL, SPLINED AND WELDED, PAINTED "BORAL". FILL HOLES TO SMOOTH FINISH.
- ALL OPERABLE WINDOWS SHALL BE SUPPLIED WITH SCREENS IN WHITE.
- PROVIDE EXTENSION JAMBS AS NECESSARY AT EACH CONDITION.
- CLADDING SHALL BE WHITE.
- GLAZING AT DOORS AND WHERE INDICATED BY "T" SHALL BE TEMPERED.
- WINDOWS SHALL BE FLASHED AND SEALED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED SPECIFICATIONS. THE MANUFACTURER'S REPRESENTATIVE SHALL APPROVE THE WINDOW INSTALLATION ON SITE PRIOR TO INSTALLATION OF EXTERIOR AND INTERIOR CASINGS.
- CONTRACTOR SHALL SUBMIT WINDOW / EXTERIOR DOOR SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO RELEASING THE ORDER FOR FABRICATION.

WINDOW SCHEDULE:

- A HARVEY VINYL DOUBLE HUNG WINDOW R.O. 3'0" W x 5'0" H , 2/2 LITES, 2W1H, R.O. HEAD @ 7'0" ABOVE BASEMENT SLAB, & R.O. HEAD @ 7'0-3/4" ABOVE 1ST FLOOR SUBFLOOR. EGRESS WINDOW.
- B HARVEY VINYL DOUBLE HUNG WINDOW R.O. 3'0" W x 3'4" H , 2/2 LITES, 2W1H, R.O. HEAD @ 7'0-3/4" ABOVE 1ST FLOOR SUBFLOOR.
- C HARVEY VINYL DOUBLE HUNG WINDOW R.O. 2'0" W x 4'0" H , 2/2 LITES, 2W1H, R.O. HEAD @ 7'0-3/4" ABOVE 1ST FLOOR SUBFLOOR.
- D HARVEY VINYL CASEMENT 2'0" W x 2'0" H , 4 LITE, 2W2H , R.O. HEAD @ 13'4-3/4" ABOVE 1ST FLOOR SUBFLOOR
- E ENGINEERED FLOOD VENTS (TYP.): SMART VENT MODEL#1540-510(SVENT) R.O. 16-1/4" W x 8-1/4" H

EXTERIOR DOOR SCHEDULE:

- 101 THERMATRU "SMOOTHSTAR" PAINTED FIBERGLASS PREHUNG DOOR SYSTEM, 3'0"x7'0"x1-3/4". WEATHERSTRIPPING ON ALL SIDES, BRONZE THRESHOLD. SEE ALLOWANCES FOR HARDWARE.
- 102 CLOPAY, SERIES SELECTED BY THE OWNER", 2" THICK, OVERHEAD INSULATED STEEL DOOR, 9'0" W x 7'6" H, W/ 1/2HP MOTOR, EXTERIOR KEYPAD, AUTO REVERSE, SPADE STRAP HINGES, SPADE LIFT HANDLES, TORSION AND EXTENSION SPRINGS, STEEL TRACKS, REMOTE OPERATOR. VERIFY STYLE/MODEL NUMBER WITH OWNER.
- 201 CUSTOM STAINED MAHOGANY, DOOR UNIT, 2-1/4"x3'0"x7'0", BRONZE DOOR HARDWARE & SILL, WEATHERSTRIPPING ON 4 SIDES, FIXED TRANSOM AND SIDELIGHTS WITH LITE LAYOUT AS SHOWN, INSULATED LOW-E GLAZING W/ 3/4" SIMULATED DIVIDED LITE PUTTY TYPE MUNTIN BARS ON THE INTERIOR AND EXTERIOR. PROVIDE BOTTOM PANEL AS SHOWN.
- 202 HARVEY VINYL MAJESTY HINGED PATIO DOOR R.O. 5'0" W x 6'11" H, 4 - LITE 2W2H, 4 - LITE 2W2H



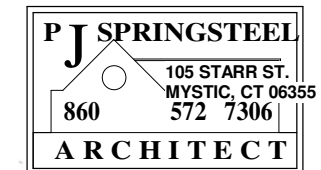
② RIGHT SIDE / EAST ELEVATION
1/4" = 1'-0"

BUILDING ELEVATIONS_1

SCALE: 1/4" = 1'-0"
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A-103



① REAR / NORTH ELEVATION
1/4" = 1'-0"



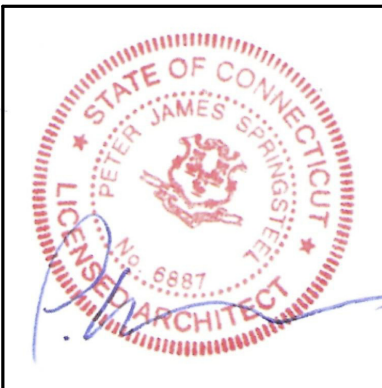
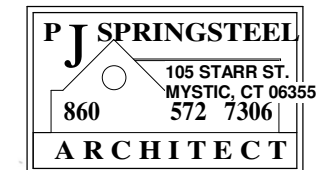
② LEFT SIDE / WEST ELEVATION
1/4" = 1'-0"

BUILDING ELEVATIONS 2

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SCALE: 1/4" = 1'-0"

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A-104