



INSTR # 2022247478
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 RECORDED 09/12/2022 04:20:16 PM
 STACY M. BUTTERFIELD, CLERK OF COURT
 POLK COUNTY
 RECORDING FEES \$596.50
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This instrument prepared by:

Robert C. Chilton, Esq.
 Boswell & Dunlap LLP
 245 S. Central Avenue
 Bartow, FL 33830

CERTIFICATE OF AMENDMENT TO THE DECLARATION OF CONDOMINIUM AND BYLAWS FOR IMPERIAL SOUTHGATE VILLAS CONDOMINIUM ASSOCIATION (SECTION II), INC.

WHEREAS, the Declaration of Condominium for Imperial Southgate Villas Condominium Apartments Section Two was originally recorded on December 8, 1971 in O.R. Book 1404, Page 938 *et seq.*, and has been amended from time to time, including via the Amendment and Third Restatement recorded on October 25, 2012 in O.R. Book 8782, Page 1562, *et seq.*, all in the public records of Polk County, Florida (collectively "Declaration");

WHEREAS, the Bylaws of Imperial Southgate Villas Condominium Association (Section II), Inc. ("Association") were originally recorded on December 8, 1971 in O.R. Book 1404, Page 951 *et seq.*, and have been amended from time to time, including via the Amended and Third Restated Bylaws recorded on October 25, 2012 in O.R. Book 8782, Page 1572, *et seq.*, all in the public records of Polk County, Florida (collectively "Bylaws");

WHEREAS, pursuant to Article VIII of the Declaration and Article XIII of the Bylaws, the Declaration and Bylaws may be amended "by written agreement of a majority of unit owners without requirement of any meeting";

WHEREAS, the below described amendments to the Declaration and Bylaws have been unanimously approved by the Association's board of directors and duly and properly approved and adopted by written agreement of more than a majority of the Association's members; and

WHEREAS, the signed instruments attached hereto and incorporated herein represent the written agreement of more than a majority of the Association's members;

NOW, THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS that the undersigned, on behalf the Association, pursuant to the Condominium Act, the Declaration and the Bylaws, do hereby certify and attest that the foregoing recitals are true and correct and that the following amendments have been duly and properly approved and adopted by the Association's members (deletions are lined through; additions are underlined; words already existing and underlined in the instrument are underlined twice):

Article XII of the Declaration is amended as follows:

Each Unit Owner may, but is not required to, shall be and become a member of THE VILLA CLUB (which is, at the time of this amendment, operated by SCOTT KELLY VILLA

~~CLUB, LLC) under such terms and conditions as are agreeable to the Unit Owner and THE VILLA CLUB. Membership is not required by, or compulsory under, this Declaration. No Unit Owner is required by this Declaration to pay any fees or other sums to THE VILLA CLUB solely because they are a Unit Owner. THE VILLA CLUB has no right under this Declaration to lien or otherwise claim or assert any demand, claim or interest against any Unit in the Condominium. The Association is not, by this Declaration, required to pay any fees or other sum to THE VILLA CLUB. THE VILLA CLUB consists of certain recreational facilities at IMPERIAL SOUTHGATE VILLAS CONDOMINIUM APARTMENTS, the location of which appears on the Plat of IMPERIAL SOUTHGATE VILLAS CONDOMINIUM APARTMENTS, Section Two, Referred to above. Solely for the purposes of this Declaration and the formula for calculating any increase in membership fees payable to THE VILLA CLUB, the fiscal year for THE VILLA CLUB shall run from November 1 of any calendar year through and including October 31 of the immediately following calendar year. The designation of THE VILLA CLUB fiscal year herein, however shall not affect the years selected by either THE VILLA CLUB or the Association for tax or any other purposes.~~

~~For historical reference, effective November 1, 1992, each Unit owner paid as a membership fee to THE VILLA CLUB the sum of Twenty Dollars (\$20.00) per month, per Unit owned. This fee remained in effect for five years beginning November 1, 1992, and ending on October 31, 1997.~~

~~For the fiscal year beginning November 1, 1997, and in each fiscal year thereafter, both base costs and comparison costs must be determined to calculate any future increase in membership fees for THE VILLA CLUB. The actual costs of maintenance, taxes and operation of THE VILLA CLUB incurred by THE VILLA CLUB for the immediately preceding fiscal year shall be considered the "Comparison Cost" year. The "Base Cost" shall be established by averaging the actual annual costs of repairs, maintenance, taxes and operation of THE VILLA CLUB incurred by THE VILLA CLUB for the three (3) fiscal years immediately preceding the Comparison Cost year. Any future increase in membership fees for THE VILLA CLUB shall be determined by subtracting the Base Cost from the Comparison Cost and dividing the resulting difference, if any, by the Base Cost to obtain the percentage of increase, if any. The percentage obtained shall then be multiplied by the fee then currently in force to obtain the dollar amount of the membership fee increase. In no event shall the membership fee be less in any subsequent year than the previous year.~~

~~THE VILLA CLUB shall notify the Association, in writing, by no later than November 30 of any fiscal year in which an increase is sought, of any intended increase in THE VILLA CLUB membership fees, and shall provide to the Association an accounting of the costs of repairs, maintenance, taxes and operation of THE VILLA CLUB (the "Expenses") together with a worksheet as to how it arrived at the sum representing the requested increase. THE VILLA CLUB shall also furnish to the Association, together with such notification of fee increase and worksheet, proof of payment of the Expenses in the form of, without limitation, contracts, bills, statements, receipts, or canceled checks upon which THE VILLA~~

~~CLUB relies in support of its calculations. THE VILLA CLUB shall not be entitled to claim expenses or portion thereof in its calculations for which documentation is not supplied to the Association with THE VILLA CLUB's notification of fee increase. In determining the actual costs of any Comparison Cost year THE VILLA CLUB shall use a cash basis of accounting. The Association shall have thirty (30) days from receipt of THE VILLA CLUB's notification of an increase to review the worksheet and documentation and to notify THE VILLA CLUB in writing that it is contesting the calculation of the increase sought. Such notice shall be specific in describing the reasons for contesting the calculation of the increase. If a notice of contest is not given within the time provided, the calculation shall be deemed accepted and shall take effect as of November 1 of the fiscal year for which the increase is sought. If the Association gives timely notice to THE VILLA CLUB contesting the calculation of the increase then THE VILLA CLUB and the Association shall each designate a certified public accountant licensed in the State of Florida and the two C.P.A.'s shall select a third C.P.A. to act as mediators. The three C.P.A.'s shall review the documents supporting THE VILLA CLUB's requested increase and the notice of contest and shall determine, by a majority vote, whether the increase was calculated correctly. The determination of the C.P.A.'s shall be binding on THE VILLA CLUB, the Association and the Unit owners. If THE VILLA CLUB elects not to increase, fails to give timely notice of its intent to increase, or fails to increase for any reason the membership fees in any fiscal year in which it may be entitled to do so, THE VILLA CLUB shall forever waive that year's increase and must use the formula outlined above for any future years.~~

~~THE VILLA CLUB recognizes that the Unit owners of Imperial Southgate Villas Condominium Apartments, Section One, and Imperial Southgate Villas Condominium Apartments, Section Three are also required to be members of THE VILLA CLUB under the provisions of the Declaration of Condominium of those condominiums and upon the same terms as stated herein. THE VILLA CLUB, therefore, agrees that any future increase in Villa Club membership fees shall be applicable to all Unit owners in all three condominiums comprising the Imperial Southgate Villas Condominium Apartments Development.~~

~~The membership fee shall be paid quarterly in advance by each Unit owner provided, however, during such time the Association collects said fee for The Villa Club said sums shall be paid monthly. In the event of joint ownership of a Unit, the total quarterly obligation of the joint owners will be one quarterly fee. In the event of default in the payment of the membership fee, the defaulting Unit owner shall immediately be suspended from all club privileges, and there shall accrue upon the Unit of such defaulting owner a lien in favor of THE VILLA CLUB in the amount of the delinquent membership fee together with interest thereon at the rate of ten percent (10%) per annum. Said lien may, at the option of THE VILLA CLUB, be foreclosed in the same manner as real property mortgages in the State of Florida or suit may be instituted thereon against the defaulting owner or owners. In either event, THE VILLA CLUB shall be entitled to recovery in addition to the delinquent membership fees, THE VILLA CLUB's costs of collection including court costs and attorney's fees. The transfer of any Unit shall not affect the rights of THE VILLA CLUB hereunder to proceed to foreclose its lien against such Unit or seek redress against~~

~~the defaulting owner. THE VILLA CLUB reserves the right to terminate, within its sole discretion, any and all memberships at any time.~~

Article I § 1 of the Bylaws is amended as follows:

SECTION 1. NAME. The name of the Corporation shall be the IMPERIAL SOUTHGATE VILLAS CONDOMINIUM ASSOCIATION, SECTION II, INC., hereinafter the "Association". The Association Board of Directors shall hereinafter be referred to as the "Board". The IMPERIAL SOUTHGATE VILLAS CONDOMINIUM APARTMENTS SECTION, II, shall hereinafter be referred to as the "Condominium". ~~The recreational facility and clubhouse which serves the Condominium shall hereinafter be referred to as the "Clubhouse".~~

Article III § 3 of the Bylaws is amended as follows:

SECTION 3. PLACES OF MEETINGS. ~~The location for Clubhouse shall be the preferred place of meeting for annual and special meetings shall be determined by the Board of Directors.~~

Article IV § 7 of the Bylaws is amended as follows:

SECTION 7. ELECTION OF DIRECTORS: Directors shall be elected by written ballot. Proxies shall in no event be used in electing any Directors, either in general elections or elections to fill vacancies caused by recall, resignation, or otherwise. Not less than sixty (60) days before a scheduled election, the Association shall mail or deliver, whether by separate Association mailing or as included in another Association mailing or delivery, including regularly published newsletters, to each member entitled to vote, a first notice of the date of the election. Any member desiring to be a candidate for the Board of Directors shall give written notice to the secretary of the Association not less than forty (40) days before a scheduled election. If desired, not less than thirty-five (35) days prior to the election, candidates may submit a personal information sheet to the Association. Not less than fourteen (14) days and no more than thirty-four (34) days before the election meeting, the Association shall then mail or deliver a second notice of the meeting to all members entitled to vote therein, together with a ballot which shall list all candidates. The Association shall also include the personal information sheet, no larger than 8 ½ inches by 11 inches, furnished by the candidate, if any, in the mailing of the ballot, with the costs of mailing and copying to be borne by the Association. Elections shall be decided by a plurality of those ballots cast. There shall be no quorum requirement or minimum number of votes necessary for election of Directors. No member shall permit any other person to vote his ballot, and any such ballots improperly cast shall be deemed invalid. A member who needs assistance in casting the ballot may obtain assistance in casting the ballot. Voting results shall be announced at the first available meeting, and shall be posted conspicuously on the condominium property ~~at the Clubhouse~~. Any

member violating this provision may be fined by the Association in accordance with Florida Statutes Section 718.303.

Article X § 2 of the Bylaws is amended as follows:

Section 2: Association's Services. The services of the Association shall include: general management services; ~~bill, collect and remit THE VILLA CLUB dues;~~ coordination and liaison for garbage and trash removal; cable, fire, water, and sewer services; however, the Association does not provide such services, nor call the service provider for specific repairs to specific units.

ALL OTHER PROVISIONS OF THE DECLARATION AND BYLAWS REMAIN IN FULL FORCE AND EFFECT.

[continue to following page]

IN WITNESS WHEREOF, the undersigned, as officers of Imperial Southgate Villas Condominium Association (Section II), Inc., and on behalf of its members, have hereunto affixed their signatures this 12th day of September, 2022.

Witness: [Signature]
Printed Name: Robert C. Chilton

Beverly A. Short
Beverly A. Short, President

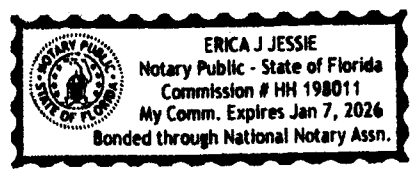
Witness: [Signature]
Printed Name: Erica Jessie

ATTESTATION OF SECRETARY:
Donna F. Coates
Donna F. Coates, Secretary

STATE OF FLORIDA
COUNTY OF POLK

The foregoing was executed and acknowledged before me by means of physical presence, this 12th day of September, 2022, by Beverly A. Short, as President, and by Donna F. Coates, as Secretary, of Imperial Southgate Villas Condominium Association (Section II), Inc.

[Signature]
Notary Public – State of Florida
 Produced Identification
Type of ID Produced: drivers' license



Imperial Southgate Villas Condominium Association (Section II), Inc.
P.O. Box 2352
Lakeland, FL 33806-2352
southgatevillas2president@gmail.com

Agreement to Amendments to Declaration of Condominium and Bylaws

I, as Owner of (or designated voter for) one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of my unit, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 8/30/22

Dianna G. Allen

Signature of Owner or Designated Voter

Unit No.: 621

DIANNA G. ALLEN

Printed Name of Owner or Designated Voter

Cottage Ln.

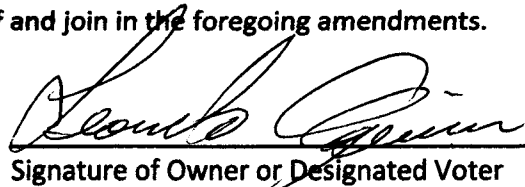
IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9/1/2022



Signature of Owner or Designated Voter

Unit No.: 604 Cottage LN

LEONARDO AGUILAR

Printed Name of Owner or Designated Voter

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Date: 9-7-22

Roger Barker
Signature of Owner or Designated Voter

Unit No.: 624 AVERY LN

ROGER BARKER
Printed Name of Owner or Designated Voter

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I/we, as trustee(s) of a trust that is Owner of one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of the trust, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 9-4-22

641 Cottage Lane
Unit No.: _____

Barbara Brannen
Signature of Trustee(s)

Barbara Brannen
Printed Name(s) of Trustee(s)

Barbara Brannen Trust B&B
Printed Name of Trust

Barbara J. Brannen
Revocable living trust

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Date: 9-4-2022

Helen N. Buchy
Signature of Owner or Designated Voter

Unit No.: 652 Cottage Lane

Helen N. Buchy
Printed Name of Owner or Designated Voter

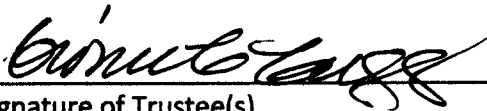
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Date: 9-6-22


Signature of Trustee(s)

Unit No.: 537

GIOVANNA C. CANGER
Printed Name(s) of Trustee(s)

GIOVANNA C. CANGER TRUST
Printed Name of Trust

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-6-22

Dollie Elizabeth Clardy
Signature of Trustee(s)

Unit No.: 505 Kelsey

Dollie Elizabeth Clardy
Printed Name(s) of Trustee(s)

Dollie Elizabeth Clardy Trust
Printed Name of Trust

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Date: 8/30/22 Donna Coates
Signature of Owner or Designated Voter

Unit No.: 618 Avery Lane Donna Coates
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-7-2022

Evelyn Cruz
Signature of Owner or Designated Voter

Unit No.: 509

Evelyn Cruz
Printed Name of Owner or Designated Voter

Carmelo Daine

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: Sept. 2, 2022 Sue Cudaback
Signature of Owner or Designated Voter

Unit No.: 532 Kelsey Street Sue Cudaback
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8/30/22

Ana L. Diaz

Signature of Owner or Designated Voter

Unit No.: 516 Cameo

Ana Luisa Diaz

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-30-22

Nancy R. Dollar
Signature of Owner or Designated Voter

Unit No.: ~~73~~ 89

NANCY R. DOLLAR
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-29-2022

Marilee Donker
Signature of Owner or Designated Voter

Unit No.: 510 Cameo Dr

MARILEE DONKER
Printed Name of Owner or Designated Voter

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Date: 9.4.2022

Patti Elinor
Signature of Owner or Designated Voter

Unit No.: 603 Cottage Lane

Patti ELINOR
Printed Name of Owner or Designated Voter

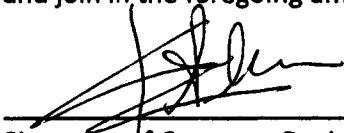
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Date: 9/1/2022



Signature of Owner or Designated Voter

Unit No.: 547 CAMÉDYR

JOAQUIN ESTEBAN

Printed Name of Owner or Designated Voter

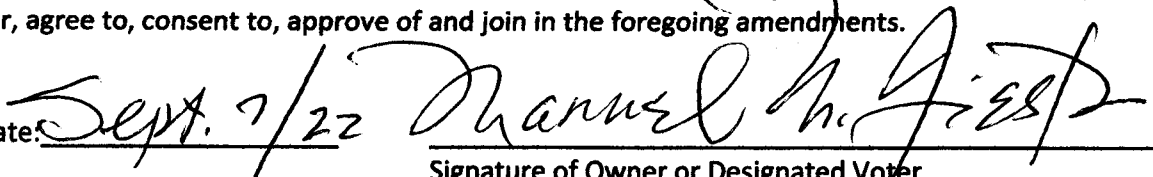
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Date:

Sept. 7/22 

Signature of Owner or Designated Voter

Unit No.:

504 Camero MANUEL M. FIESTA

Printed Name of Owner or Designated Voter

Uk. Fl
33803

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9/03/2022 Mary Lou Garland
Signature of Owner or Designated Voter

Unit No.: 612 Ivory Lane Mary Lou Garland
Printed Name of Owner or Designated Voter

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I/we, as trustee(s) of a trust that is Owner of one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of the trust, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 9-04-22 Gorenflo - Trustee
Signature of Trustee(s)

Unit No.: 81 Thomas Charles Gorenflo
655 COTTAGE LN Printed Name(s) of Trustee(s)

CHARLES GORENFLO TESTAMENTARY
Printed Name of Trust TRUST


IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

Imperial Southgate Villas Condominium Association (Section II), Inc.
P.O. Box 2352
Lakeland, FL 33806-2352
southgatevillas2president@gmail.com

Agreement to Amendments to Declaration of Condominium and Bylaws

I, as Owner of (or designated voter for) one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of my unit, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 9/7/2022



Signature of Owner or Designated Voter

Unit No.: 528
US 528
Carmed

LISA GARDNER

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-6-22

Clara Hall

Signature of Owner or Designated Voter

Unit No.: 520 Kelsey

Clara Hall

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8/29/2022

Thomas B. Hallam, Jr.
Signature of Owner or Designated Voter

Unit No.: 14 (514 Kelsey St.)

Thomas B. Hallam, Jr.
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 09/02/2022

Marjorie E. Heffner
Signature of Owner or Designated Voter

Unit No.: 646
Cottage Lane

Marjorie E. Heffner
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-6-22

Gladys L. Honaker
Signature of Owner or Designated Voter

Unit No.: 543 Keboyst

Gladys L. Honaker
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-30-22

Judy B. Hooten
Signature of Owner or Designated Voter

Unit No.: 551 Kelsey St

Trudy G. Hooten
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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ROA
Date: Sept 4, 2020² [Signature]
Signature of Owner or Designated Voter

Unit No.: 523 Kelsey St [Signature]
Lakeland, FL
33803
Printed Name of Owner or Designated Voter

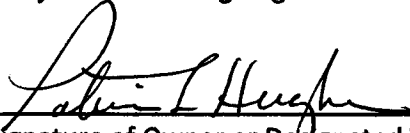
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Date: 8/30/22



Signature of Owner or Designated Voter

Unit No.: 644 Cottage Lane
#1

PATRICIA L. HUGHES

Printed Name of Owner or Designated Voter

(Unit # 71, Section Two)

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: AUG 30 2022

William Light

Signature of Owner or Designated Voter

Unit No.: 622 Potage W

William Light

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9/1/2022



Signature of Owner or Designated Voter

Unit No.: 612 Cottage

Bruce Kirby

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-29-22

Diane R. Lazer
Signature of Owner or Designated Voter

Unit No.: 626 Avon Lane

DIANE LAZIER
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-29-2022

Judy Long
Signature of Owner or Designated Voter

Unit No.: 609 Cottage Ln

Judy Long
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: Sept. 8 2022

Rebecca Lussier
Signature of Owner or Designated Voter

Unit No.: 615 Cottage

Rebecca Lussier
Printed Name of Owner or Designated Voter


IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Agreement to Amendments to Declaration of Condominium and Bylaws

I, on behalf of the below-listed Owner of one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of the owner, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 8/29/20



Signature

Unit No.: 100 A

Sgt Marcus owner

Printed Name and Position (e.g. President)

Morris Realty Company

Printed Name of Owner

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-1-22 Steve McNear P.O.A. for Mary V. McNear
Signature of Owner or Designated Voter

Unit No.: 518 Camero Dr. STEVE MCNEAR FOR MARY V. MCNEAR
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-30-22

Dianne Merciers
Signature of Owner or Designated Voter

Unit No.: 521 Kelsy ST

Dianne Merciers
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-3-22 Lawrence Morgan
Signature of Owner or Designated Voter

Unit No.: 620 Cottage Ln. Lawrence Morgan
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-30-2022



Signature of Owner or Designated Voter

Unit No.: 7

Janice D. Morris

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-1-2022

Patricia Myers
Signature of Owner or Designated Voter

Unit No.: 547 Kelsey St

Patricia Myers
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 09-2-2022

Sandra A. Omarah
Signature of Owner or Designated Voter

Unit No.: 638
Lot 69

Sandra A. Omarah
Printed Name of Owner or Designated Voter

Cottage Lane

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: Aug. 30, 2022

Mildred L. Pflieger
Signature of Owner or Designated Voter

Unit No.: 830 Imperial

MILDRED L. PFLIEGER
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: Aug. 30, 2022 Faye Price 522 Kelsey St.
Signature of Owner or Designated Voter Lakeland, FL.

Unit No.: 522 Faye Price
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-2-22

Barbara Jeanette Purdum
Signature of Owner or Designated Voter

Unit No.: 538 Kelly

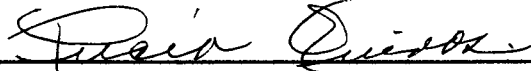
Barbara Jeanette Purdum
Printed Name of Owner or Designated Voter

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Date: 9/1/2022 
Signature of Owner or Designated Voter

Unit No.: 709 Kelsey LUCIA QUIROS
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: Sept 2, 2022 Mary Sue Ready
Signature of Owner or Designated Voter

Unit No.: 506 Cameo Mary Sue Ready
Dr. Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: Aug 29, 2022

Jean Richards
Signature of Owner or Designated Voter

Unit No.: 629 Cottage Lane

Jean Richards
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Agreement to Amendments to Declaration of Condominium and Bylaws

I/we, as trustee(s) of a trust that is Owner of one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of the trust, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 9-2-2022

Gerald W Ridge
Signature of Trustee(s)

Unit No.: 75

Gerald W. Ridge
Printed Name(s) of Trustee(s)

Ridge Gerald W. Living Trust
Printed Name of Trust

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 8-31-22 Irene Roll
Signature of Owner or Designated Voter

Unit No.: 523 CAMEO DR IRENE ROLL
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-1-22

María C. Segredo
Signature of Owner or Designated Voter

Unit No. 614 cottage^{LM}

María C. Segredo
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: SEPT. 7, 2022

Margot A. Shafer
Signature of Owner or Designated Voter

Unit No.: 530 CAHEOR

MARGOT SHAFER
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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I, as Owner of (or designated voter for) one unit in Imperial Southgate Villas Condominium Association (Section II), Inc., having received and reviewed the proposed amendments to Article XII of the Declaration of Condominium and Articles I § 1, III § 3, IV § 7 and X § 2 of the Bylaws, and being authorized to execute this instrument on behalf of my unit, do hereby formally vote for, agree to, consent to, approve of and join in the foregoing amendments.

Date: 29 August 2022


Signature of Owner or Designated Voter

Unit No.: 610 Averett Ln

Beverly Short
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

Imperial Southgate Villas Condominium Association (Section II), Inc.
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Date: 8/30/22



Signature of Trustee(s)

Unit No.: 513 Kelsey St.

Elizabeth (Libby) Smith

Printed Name(s) of Trustee(s)



Printed Name of Trust


Elizabeth Jo Anne Smith Revocable Trust

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9/3/22 
Signature of Owner or Designated Voter

Unit No.: 541 CANO DA KARLA SPECHT
Printed Name of Owner or Designated Voter

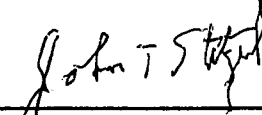
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Date: 9-7-22



Signature of Owner or Designated Voter

Unit No.: 517 CAMVED

JOHN T SCIREL

Printed Name of Owner or Designated Voter

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Date: 8-31-22



Signature of Owner or Designated Voter

Unit No.: 616 Cottages

Jack TOADVINE

Printed Name of Owner or Designated Voter

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Date: 9/4/2022

Beverlee R. Urban
Signature of Owner or Designated Voter

Unit No.: 649 COTTAGE LANE

BEVERLEE R. URBAN
Printed Name of Owner or Designated Voter

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Date: Sept. 2, 2022

Evelyn H. Vetrano
Signature of Trustee(s)

Unit No.: 632 Avery

Evelyn H. Vetrano
Printed Name(s) of Trustee(s)

Evelyn H. Vetrano
Printed Name of Trust
Revocable Trust

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Date: 09-02-2022

Sue A. Wallace
Signature of Owner or Designated Voter

Unit No.: 623 COTTAGE
LANE

SUE A. WALLACE
Printed Name of Owner or Designated Voter

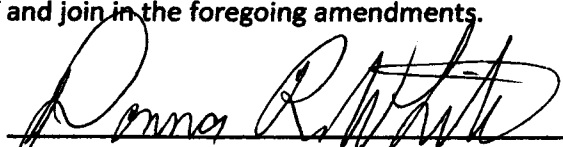
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Date: 9-1-2022



Signature of Owner or Designated Voter

Unit No.: 508 Kelsey

DONNA R. WHITE

Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9-9-2022 Vicki Wright
Signature of Owner or Designated Voter

Unit No.: 534 Vicki Wright
Printed Name of Owner or Designated Voter

IMPORTANT: Complete, sign and date and return this agreement to the condominium as soon as possible!

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Date: 9/9/22

Linda Morrison
Signature of Owner or Designated Voter

Unit No.: 524 Cameo Dr

Linda Morrison
Printed Name of Owner or Designated Voter

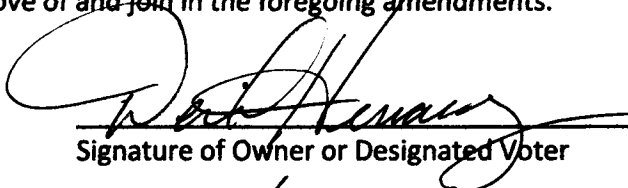
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Date: 9/10/22



Signature of Owner or Designated Voter

Unit No.: 626 Citrus Ln

David Hernandez

Printed Name of Owner or Designated Voter

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Date: 9/12/22 Reeth Rose
Signature of Owner or Designated Voter

Unit No.: 643 Reeth Rose
Cottage Lane Printed Name of Owner or Designated Voter

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Date: 9-5-22

Carl Rhodes
Signature of Owner or Designated Voter

Unit No.: 628

Carl Rhodes
Printed Name of Owner or Designated Voter

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Date: 8/31/22

Carol J. Eustace
Signature of Owner or Designated Voter

Unit No.: 651

Carol J. Eustace
Printed Name of Owner or Designated Voter

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Date: 8.30.22

M. Scott Himdel
Signature of Owner or Designated Voter

Unit No.: 507 KELSEY

M. SCOTT HIMDEL
Printed Name of Owner or Designated Voter

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