
**Tri-State Home Inspections
Bedford/Goffstown NH
Inspector: Joseph M. Griffin
NH License # 00005**

Printed Sunday, January 26, 2020

Inspected By:
Joseph Griffin

Referral Information
Client

Client Information: Record Number 21550

**Smith, Margaret
555 Oak Lane
Oaksville, NH**

Inspected 12/14/19 8:30 AM Client present at inspection, Weather heavy rain, cold

FRONT VIEW

PHOTO



Addition photo

Informational photo only- No repair needed





Inspection Summary

Tri-State Home Inspections
Bedford/Goffstown NH
Inspector: Joseph M. Griffin
NH License # 00005

Record 21550 - Smith, Margaret 555 Oak Lane, Oaksville, NH

Safety Concern

EXTERIOR

Entry Doors

Steel doors recommended at all entry points.
Deadbolts recommended at all exterior doors for safety reasons. See photo-repairs needed



Safety Concern

Windows Storm\Screen

All screens should be checked for proper fit and security at move-in.
Some missing screens were noted.
All screens should be checked for proper fit and security at move-in.
Recommend current homeowner install all screens BEFORE CLOSING to ensure fit and availability.
The newer windows have screens which are easily dislodged by children.
Recommend keeping children's beds away from windows.
Open windows from the top if they have full screens.



GROUNDS

Steps

Loose and missing mortar joints were noted should be repaired.
Uneven areas present a tripping hazard and should be repaired.
See photo-repairs needed
Some cracks and loose and missing mortar joints were noted in brick steps.



Safety Concern

INTERIOR

Smoke Detectors

Smoke detectors should be checked on the day home is occupied.
Older and few (by today's standards) smoke detectors noted. (See photo)
50/50 detectors are available now at most home centers.
Strongly suggest adding all new smoke detectors at move-in (Photo-electric type) in common hallways, inside and outside of sleeping areas, and at least one on every level of the home.
Hardwired detectors with battery backup if possible. If not, a dual 9v battery type is recommended.
Strongly suggest adding carbon monoxide detectors, one on each level, especially inside/outside sleeping areas.
Just having one in the basement may not protect you as it will be hard to hear through closed doors.
New technology is available today in a combo detector. (See example photo)
These detectors can detect high Carbon Monoxide levels in addition to Smoke detection.
They are recommended to be hard wired with a 9v battery backup for safety.
If battery powered only, make sure the detectors can ALL communicate wirelessly.
It is recommended to buy all the detectors together, and from the same manufacturer.

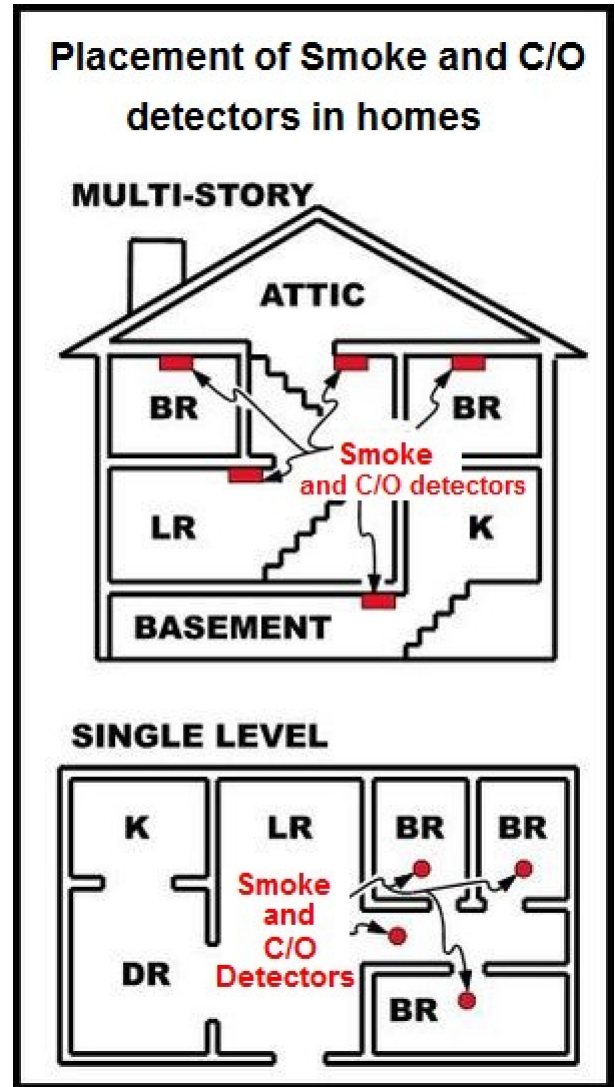


Example of newer Combo detector

Safety Concern



Example of wireless detector



BATHROOM

Bath sink

Sink and base not secured to wall. Falling hazard. See photo-repairs needed



Safety Concern

KITCHEN

Range Oven

A stabilizing device (ANTI-TIP BRACKET) should be installed to prevent accidental downward movement of the stove. See example photo



Safety Concern

GARAGE

Auto Garage Door Lift Controls

One opener inoperable. All wiring to openers is unsafe/inferior. See photo-repairs needed



Garage Doors

The door between house and garage should be replaced with a fire rated door. See photo-repairs needed

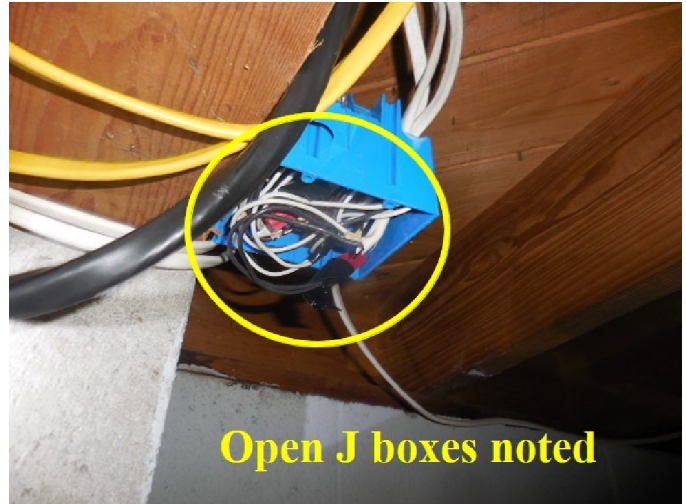


Safety Concern

BASEMENT

Visible wiring

Unsafe wiring noted overhead. See photo-repairs needed



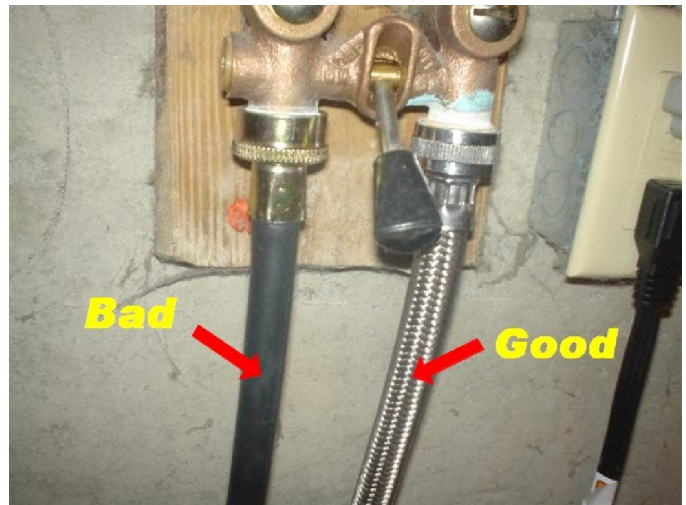
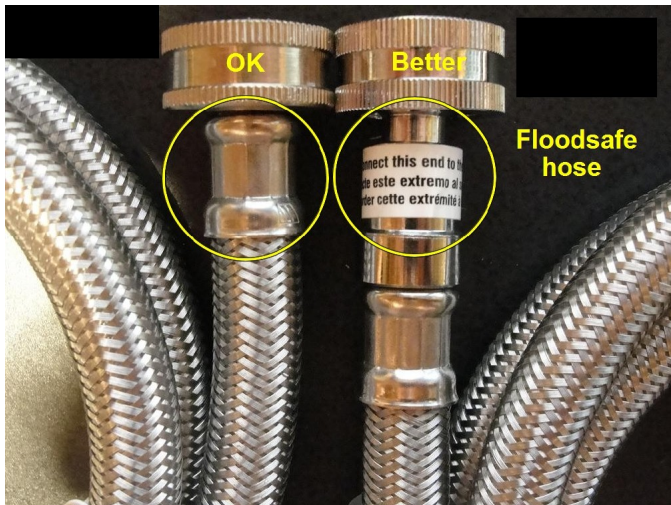
Safety Concern

LAUNDRY

LAUNDRY

Recommend installing "Flood-Proof" stainless steel hoses to replace rubber hoses. See photo-repairs needed.

See example of proper hoses.



PLUMBING

Well head/casing

Exposed wires not encased in conduit are susceptible to shorting or being contacted by weed whackers, mowers, etc. See photo-repairs needed



Safety Concern

W. HEATER

Temp. Pressure Relief Valve and Pipe

Temp and pressure valve extension should be extended to within 6" of floor.



Wiring

Improper and unsafe wiring at water heater. See photo-repairs needed
Temp regulator valve also missing.



Service/Repair

GUTTERS

GUTTER SYSTEM

Gutters are strongly recommended. Stainless steel type are best, with gutter guards/leaf covers. Missing gutters and downspouts allow uncontrolled roof water to fall to the foundation. See photo
Downspout extensions are necessary to encourage positive flow away from the foundation.
Gutter guards are recommended to reduce debris accumulation in the gutters. See example photos.
Stone beds abutting foundation and extending past the splash line are also recommended to reduce splashup. See example photo.

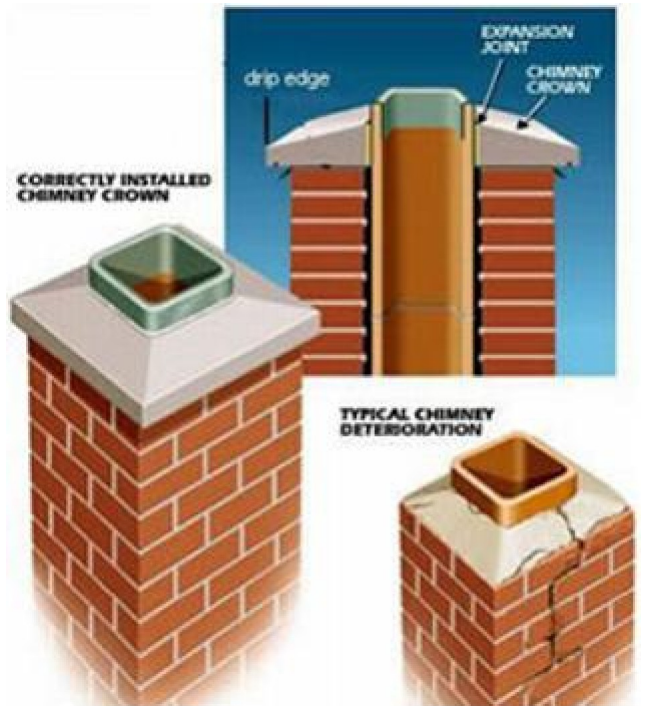


Service/Repair

CHIMNEY

Chimney Top

The chimney wash/cap/crown should be replaced for better weather protection of the chimney. See photo-repairs needed. Cracked or disintegrating chimney caps/crowns are a common cause of roof leaks. See example photo of proper crowning. Some loose mortar noted at top courses. See photo-repairs needed.



Service/Repair

EXTERIOR

Siding

Some siding damage was noted. See photo-repairs needed



Loose siding front of home



Right side garage



Damaged siding at rear

Patio Doors

Door is difficult to operate.

Door/front/rear/side

Fogged glass noted at both panels. See photo-repairs needed



Fogged slider doors

Service/Repair

Window trim

Some window trim lines are soft/rotted. Composite trim is a better option in areas that receive water from roof runoff. See photo-repairs needed



Service/Repair

GROUNDS

Driveway

Some cracks noted. Recommend filling cracks and sealing driveway to prevent damage from freeze-thaw cycles. See example photo.



Service/Repair

GARAGE

Garage Windows

The glazing on the windows should be renewed.

Trim around doors

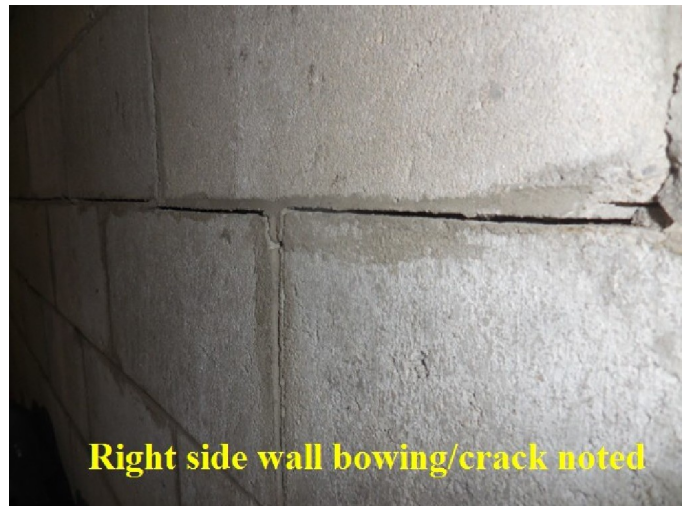
Door does not seal to floor. Gaps noted. See photo-repairs needed



BASEMENT

Basement Foundation Walls

There were some horizontal cracks and bowing and the entire structural condition should be evaluated by a structural contractor or engineer and all needed repairs should be made. See photo-repairs needed



Service/Repair

Basement Structural Columns

Temporary hollow jackscrew type support columns noted. See photo-repairs needed.

These types of jackscrew supports are meant for TEMPORARY support only, and not meant to carry the full bearing loads long-term. Steel-cement filled lally columns are recommended. See example photo.



Concrete filled



Service/Repair

Basement Insulation

Other =
Rim joist insulation recommended. See photo-repairs needed



Service/Repair

Basement Drainage

There is evidence of water entering basement and it appears to be an ongoing problem.

There was water standing on the floor at time of inspection and drainage should be improved.

Some water penetration was noted.

There was standing water in the sump pump pit. (Note: The presence of water promotes mold, fungus, dampness and bacteria.)

Sump pumps can serve a good purpose. Perimeter troughs are designed to collect water under the floor in perforated pipes and drain to the sump pit. Sump pumps should extend to the exterior and runoff pipes should positively flow away from the building.

The cause of basement water penetration is usually the result of a combination of deficiencies. Uncontrolled surface grade water and roof drainage water deposited next to the foundation are the leading causes of basement water problems.

Efflorescence, the result of a process where moisture penetrates through the wall and dissolves some of the minerals leaving a white powdery substance, is an indication of moisture penetration.

When the sump float was lifted pump check valve leaked profusely. The pump should be repaired or replaced. See photo-repairs needed



Service/Repair

Sump wiring

The sump pump should be wired independent directly to the panel. See photo-repairs needed



Sump pump installation

Sump pumps should discharge into a small dry well below grade, well away from the foundation walls. See photo-repairs needed

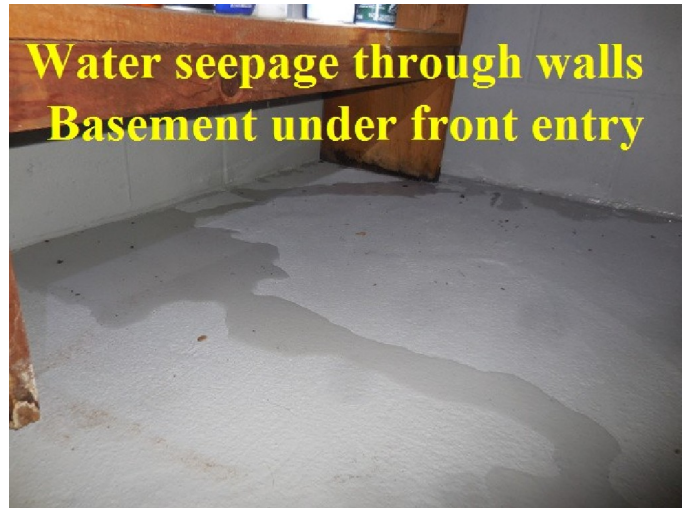
As they are piped now, the water would return back under the slab and overwork the pumps. See example of small drywell.



Service/Repair

Wet areas/Standing water

Several areas of water intrusion noted, mostly due to lack of gutters and proper drainage techniques. See photo-repairs needed



Service/Repair

LAUNDRY

Laundry Water Faucets

Other =
Damaged/broken valve noted. See photo-repairs needed
Mixing valve recommended. See example photo



PLUMBING

Water softener

The water softener backflush line should not empty into the septic system as it can cause scale buildup and tank degradation.
It is recommended to drain the line to the exterior if possible.
See photo-repairs needed



Monitor/Maintain

ROOF

Roof Style

Some prior repairs noted to flat rolled roofing. Informational photo only- No repairs needed



CHIMNEY

Flue Lining

The flue lining was only inspected from the inside of the fireplace. Due to height restrictions, the chimney was NOT examined from the roof.

INTERIOR

Woodstove

Woodstoves are not part of the inspection. It is strongly recommended that the stove flue is cleaned regularly. Informational photo only- No repairs needed



Monitor/Maintain

GARAGE

GARAGE

The garage inspection was limited due to stored items. See photo.



BASEMENT

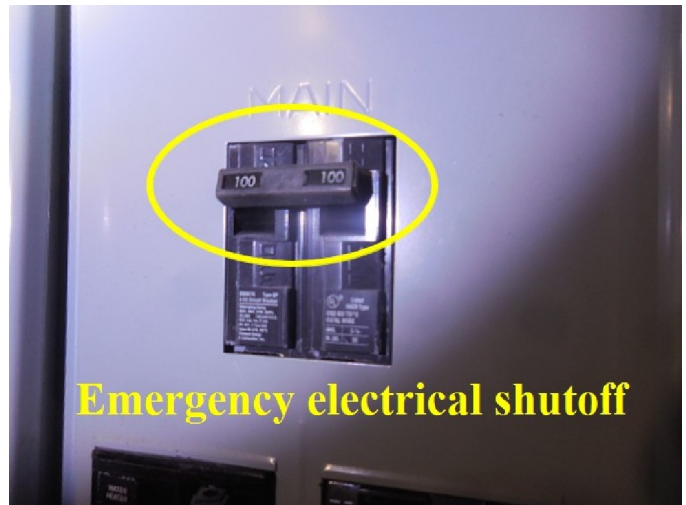
BASEMENT

This basement has all the classic signs of chronic water intrusion/seepage. Water was noted seeping in to several areas, through wall cracks, etc.

ELECTRIC

Main Electrical Disconnect

Turn power off here in emergencies. (See photo)



Breakers in Use

Note: The home has only has a 100 amp service line incoming. This can and will lead to over-amperage conditions in peak draw periods. It is strongly recommend to upgrade the incoming service to 200 amps, which will help properly balance and distribute the load properly.

Monitor/Maintain

PLUMBING

Main Water Shut Off

Turn water off in flooding emergencies. Location: See photo.



Water pressure

Excellent pressure/flow noted at fixtures. Informational photo only- No repairs needed



W. HEATER

WATER HEATER

Water temperatures should be adjusted to 120 degrees F for child safety.

Monitor/Maintain

FURNACE

Forced Air System Energy Source

275 Gallon oil tank noted. NO ACTIVE leaks noted AT THIS TIME.

Note: Older tanks have recently come under scrutiny by the EPA. Informational photo only- No repairs needed
Your oil company may want to inspect the tank before delivering oil, they may choose to NOT FILL YOUR TANK, based on their company inspection guidelines or AGE parameters for oil tanks.
Be advised.



Monitor/Maintain

Thermostat

Programmable WIFI thermostat recommended for better energy efficiency. Informational photo only- No repairs needed



Monitor/Maintain

Filter System

Informational photo only- No repairs needed
The filter should be looked at/replaced every 6-8 months.

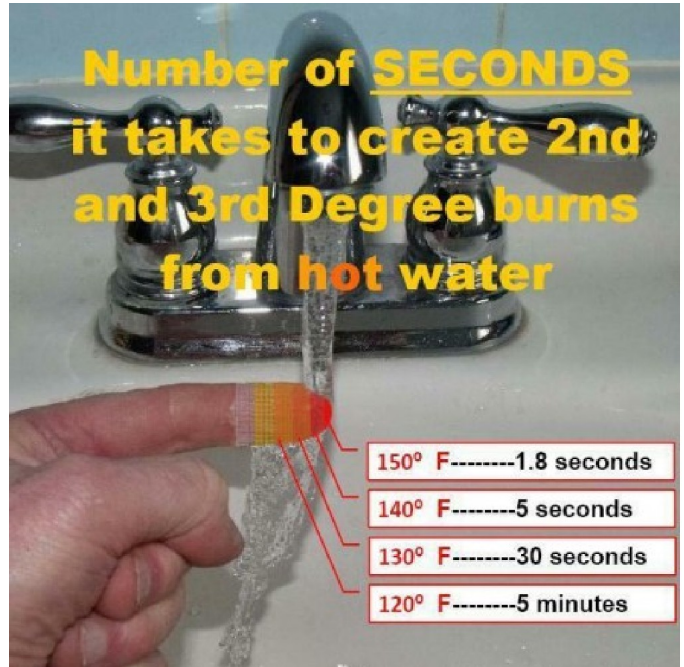


Monitor/Maintain

WOOD-BORING INSECTS

No wood-boring insect activity noted

No wood boring pest activity noted. However, it is strongly recommended to treat for carpenter ants in the spring and fall. Treatment is available at most home centers. See example photo



Inspection Report Details

Record 21550 - Smith, Margaret 555 Oak Lane, Oakville, NH

ROOF

Satisfactory **ROOF - General Comment**

The general condition of roof is excellent.

Satisfactory **How Inspected - From Ground**

Satisfactory **Roof Access Restricted - Height**

Monitor/Maintain **Roof Style - Gable, Flat, Shed**

Some prior repairs noted to flat rolled roofing. Informational photo only- No repairs needed

Satisfactory **Roof Covering - Asphalt**

Satisfactory **Approx. Age - 5 thru 10**

Satisfactory **Number of Layers - Unknown**

Satisfactory **Roof Ventilation System - Ridge, Gable Vents**

Satisfactory **Plumbing Vents - PVC**

GUTTERS

Service/Repair **GUTTER SYSTEM - General Comment**

Gutters are strongly recommended. Stainless steel type are best, with gutter guards/leaf covers. Missing gutters and downspouts allow uncontrolled roof water to fall to the foundation. See photo
Downspout extensions are necessary to encourage positive flow away from the foundation.
Gutter guards are recommended to reduce debris accumulation in the gutters. See example photos.
Stone beds abutting foundation and extending past the splash line are also recommended to reduce splashup. See example photo.

CHIMNEY

Service/Repair **Chimney Top - Brick**

The chimney wash/cap/crown should be replaced for better weather protection of the chimney. See photo-repairs needed
Cracked or disintegrating chimney caps/crowns are a common cause of roof leaks. See example photo of proper crowning.
Some loose mortar noted at top courses. See photo-repairs needed

Satisfactory **Chimney Cap - Screen, Steel**

Satisfactory **Chimney Inspected From - Ground\Binoculars**

CHIMNEY

Satisfactory Access Restricted - Height

Unable to view interior of chimney due to height.

Satisfactory Chimney 1 Type - Brick

Satisfactory Chimney 1 Location - Main

Monitor/Maintain Flue Lining - Clay Tile

The flue lining was only inspected from the inside of the fireplace. Due to height restrictions, the chimney was NOT examined from the roof.

EXTERIOR

Service/Repair Siding - Vinyl

Some siding damage was noted. See photo-repairs needed

Safety Concern Entry Doors - Metal, Wood Solid Core, Wood Hollow Core

Steel doors recommended at all entry points.

Deadbolts recommended at all exterior doors for safety reasons. See photo-repairs needed

Service/Repair Patio Doors - Sliding

Door is difficult to operate.

Satisfactory Window Character Material - Wood

Satisfactory Window Character Type - Double Hung, Casement

Satisfactory Glass - Insulated

Safety Concern Windows Storm\Screen - MFG Screens

All screens should be checked for proper fit and security at move-in.

Some missing screens were noted.

All screens should be checked for proper fit and security at move-in.

Recommend current homeowner install all screens BEFORE CLOSING to ensure fit and availability.

The newer windows have screens which are easily dislodged by children.

Recommend keeping children's beds away from windows.

Open windows from the top if they have full screens.

Service/Repair Door/front/rear/side - Problems noted, see comments

Fogged glass noted at both panels. See photo-repairs needed

Service/Repair Window trim - Rot/damage noted, see comments

Some window trim lines are soft/rotted. Composite trim is a better option in areas that receive water from roof runoff.

See photo-repairs needed

GROUNDS

Satisfactory GROUNDS - General Comment

Home is well landscaped.

Satisfactory Walks - Asphalt

GROUNDINGS

Safety Concern **Steps - Brick, Stone**

Loose and missing mortar joints were noted should be repaired.
Uneven areas present a tripping hazard and should be repaired. See photo-repairs needed
Some cracks and loose and missing mortar joints were noted in brick steps.

Satisfactory **Decks - P.T. Wood**

Service/Repair **Driveway - Asphalt**

Some cracks noted. Recommend filling cracks and sealing driveway to prevent damage from freeze-thaw cycles. See example photo.

Satisfactory **Hand Rail - Wood**

ATTIC

Satisfactory **ATTIC - no access**

INTERIOR

Satisfactory **INTERIOR ROOMS - General Comment**

Typical wear and tear noted for the age of the home.

Satisfactory **Interior Walls - Dry Wall**

Satisfactory **Interior Ceilings - Dry Wall**

Satisfactory **Interior Floors - Vinyl, Wood, Carpet, Tile**

Satisfactory **Interior Switches - Tested**

Satisfactory **Interior Fixtures - Properly Wired**

Satisfactory **Interior Outlets - Three Prong Grounded**

Satisfactory **Interior Heat Source - Tested**

Satisfactory **Closets - Doors in Place**

INTERIOR

Safety Concern **Smoke Detectors - Too Few**

Smoke detectors should be checked on the day home is occupied.
Older and few (by today's standards) smoke detectors noted. (See photo)
50/50 detectors are available now at most home centers.
Strongly suggest adding all new smoke detectors at move-in (Photo-electric type) in common hallways, inside and outside of sleeping areas, and at least one on every level of the home.
Hardwired detectors with battery backup if possible. If not, a dual 9v battery type is recommended.
Strongly suggest adding carbon monoxide detectors, one on each level, especially inside/outside sleeping areas.
Just having one in the basement may not protect you as it will be hard to hear through closed doors.
New technology is available today in a combo detector. (See example photo)
These detectors can detect high Carbon Monoxide levels in addition to Smoke detection.
They are recommended to be hard wired with a 9v battery backup for safety.
If battery powered only, make sure the detectors can ALL communicate wirelessly.
It is recommended to buy all the detectors together, and from the same manufacturer.

Satisfactory **Stairways - With Hand Railings**

Satisfactory **Ceiling Fan - Tested**

Satisfactory **Windows - Sample Number Tested**

Satisfactory **GFCI Rest - Reset**

Monitor/Maintain **Woodstove - See comments**

Woodstoves are not part of the inspection. It is strongly recommended that the stove flue is cleaned regularly.
Informational photo only- No repairs needed

BATHROOM

Satisfactory **BATHROOM - General Comment**

All fixtures operated at inspection. No leaks noted.

Satisfactory **Bathroom Receptacles - GFCI**

Satisfactory **Bathroom Exhaust System - Elec. Fan Outdoors**

Satisfactory **Bathroom Sink Faucets - Single Lever**

Satisfactory **Bathroom Sink Drain and Trap - PVC**

Satisfactory **Toilet Bowl and Tank - 2 Piece**

Satisfactory **Toilet Operation - Flushes, Drains, Refills**

Satisfactory **Bathtub Faucets - Single Lever**

BATHROOM

Satisfactory Bathroom Ventilation - Fan

Satisfactory Shower Drain - Tub, Floor Drain Stall

Safety Concern Bath sink - Problems noted- See comments

Sink and base not secured to wall. Falling hazard. See photo-repairs needed

KITCHEN

Satisfactory KITCHEN - General Comment

Kitchen appliances not part of the inspection. Overall kitchen condition is good.

Satisfactory Kitchen Cabinets - Custom Wood

Satisfactory Kitchen Sink - Stainless

Satisfactory Kitchen Sink Faucet - Single Lever

Satisfactory Kitchen Sink 3rd Faucet - Sprayer

Satisfactory Garbage Disposal - None

Safety Concern Range Oven - Free Standing

A stabilizing device (ANTI-TIP BRACKET) should be installed to prevent accidental downward movement of the stove.
See example photo

Satisfactory Surface Cooktop - Electrical

GARAGE

Monitor/Maintain GARAGE - General Comment

The garage inspection was limited due to stored items. See photo.

Satisfactory Garage Type - 2 Car Attached

Satisfactory Garage Exterior Walls - Same as House

Service/Repair Garage Windows - Wood

The glazing on the windows should be renewed.

Satisfactory Garage Roof Framing Style - Gable

Satisfactory Garage Roof Framing Type - Truss

GARAGE

Satisfactory Garage Electrical System - Fed From House

Safety Concern Auto Garage Door Lift Controls - Auto Opener, Auto Safety Reverse, Electronic Eye

One opener inoperable. All wiring to openers is unsafe/inferior. See photo-repairs needed

Satisfactory Garage Interior Walls - Unfinished

Satisfactory Garage Interior Ceiling - Unfinished

Satisfactory Garage Floor - Concrete

Safety Concern Garage Doors - Overhead, Metal/Aluminum, Swing

The door between house and garage should be replaced with a fire rated door. See photo-repairs needed

Service/Repair Trim around doors - Rot/damage noted- See comments

Door does not seal to floor. Gaps noted. See photo-repairs needed

BASEMENT

Monitor/Maintain BASEMENT - General Comment

This basement has all the classic signs of chronic water intrusion/seepage. Water was noted seeping in to several areas, through wall cracks, etc.

Satisfactory Basement Type - Full Percent

Satisfactory Basement Access - Interior Stairs

Service/Repair Basement Foundation Walls - Cement Block

There were some horizontal cracks and bowing and the entire structural condition should be evaluated by a structural contractor or engineer and all needed repairs should be made. See photo-repairs needed

Satisfactory Basement Floor - Cement

Satisfactory Basement Bridging - Wood Blocking

Service/Repair Basement Structural Columns - Steel

Temporary hollow jackscrew type support columns noted. See photo-repairs needed.

These types of jackscrew supports are meant for TEMPORARY support only, and not meant to carry the full bearing loads long-term.

Steel-cement filled lally columns are recommended. See example photo.

Satisfactory Basement Structural Beams - Wood

Satisfactory Basement Ceiling Sub Floor - Sheathing BD.

BASEMENT

Service/Repair **Basement Insulation - Other**

Other =
Rim joist insulation recommended. See photo-repairs needed

Service/Repair **Basement Drainage - Sump Pump**

There is evidence of water entering basement and it appears to be an ongoing problem. There was water standing on the floor at time of inspection and drainage should be improved. Some water penetration was noted. There was standing water in the sump pump pit. (Note: The presence of water promotes mold, fungus, dampness and bacteria.) Sump pumps can serve a good purpose. Perimeter troughs are designed to collect water under the floor in perforated pipes and drain to the sump pit. Sump pumps should extend to the exterior and runoff pipes should positively flow away from the building. The cause of basement water penetration is usually the result of a combination of deficiencies. Uncontrolled surface grade water and roof drainage water deposited next to the foundation are the leading causes of basement water problems. Efflorescence, the result of a process where moisture penetrates through the wall and dissolves some of the minerals leaving a white powdery substance, is an indication of moisture penetration. When the sump float was lifted pump check valve leaked profusely. The pump should be repaired or replaced. See photo-repairs needed

Satisfactory **Sills - Intact, no water/insect damage visible**

Safety Concern **Visible wiring - Unfinished wiring noted- See comments**

Unsafe wiring noted overhead. See photo-repairs needed

Service/Repair **Sump wiring - Improper- See comments**

The sump pump should be wired independent directly to the panel. See photo-repairs needed

Service/Repair **Sump pump installation - Improper installation- See comments**

Sump pumps should discharge into a small dry well below grade, well away from the foundation walls. See photo-repairs needed
As they are piped now, the water would return back under the slab and overwork the pumps. See example of small drywell.

Service/Repair **Wet areas/Standing water - Yes- See comments for location/scope**

Several areas of water intrusion noted, mostly due to lack of gutters and proper drainage techniques. See photo-repairs needed

LAUNDRY

Safety Concern **LAUNDRY - General Comment**

Recommend installing "Flood-Proof" stainless steel hoses to replace rubber hoses. See photo-repairs needed.

See example of proper hoses.

Service/Repair **Laundry Water Faucets - Other**

Other =
Damaged/broken valve noted. See photo-repairs needed
Mixing valve recommended. See example photo

Satisfactory **Dryer Vented - Wall**

ELECTRIC

Satisfactory **ELECTRICAL SYSTEM - General Comment**

Home has 100 amp service. All wiring intact and stable at inspection.

ELECTRIC

Satisfactory Main Electrical Service - Attached To House

Satisfactory Main Electrical Service Wire - Aluminum

Satisfactory Overhead Clearance - 12 Feet

Satisfactory Voltage Available - 110 / 220

Satisfactory Main Electrical Distribution Panel Accessibility - Typical

Satisfactory Main Electrical Distribution Panel Location - Basement

Monitor/Maintain Main Electrical Disconnect - Breaker

Turn power off here in emergencies. (See photo)

Satisfactory Main Panel - 100

Satisfactory Interior Wiring - Copper

Satisfactory Type of Wire - Romex

Satisfactory Grounding - Driven Rod

Monitor/Maintain Breakers in Use - 100 percent

Note: The home has only has a 100 amp service line incoming.

This can and will lead to over-ampereage conditions in peak draw periods.

It is strongly recommend to upgrade the incoming service to 200 amps, which will help properly balance and distribute the load properly.

PLUMBING

Satisfactory PLUMBING - General Comment

All copper plumbing supply system. All fixtures operated. No leaks noted.

Satisfactory Water Source - Private Well

Satisfactory Municipal Main Supply Size - 3/4

Satisfactory Municipal Main Supply Type - Plastic

Monitor/Maintain Main Water Shut Off - Basement

Turn water off in flooding emergencies. Location: See photo.

PLUMBING

Satisfactory Interior Visible Water Pipes - Copper

Satisfactory Waste System - Private Septic

Septic inspection performed by Kent Septic. See their report for details on the condition of the septic system.

Satisfactory Interior Waste/Vent Pipes - PVC

Most piping concealed supply and drain.

Satisfactory Well Pump Type - Submersible

Satisfactory Pump Location - Well Casing

Satisfactory Well Pump Installation - Deep

Satisfactory Supply Tank Type - Steel Tank Air Bladder

Satisfactory Supply Tank Location - Basement

Service/Repair Water softener - Softener Backflush tied into main septic line

The water softener backflush line should not empty into the septic system as it can cause scale buildup and tank degradation.

It is recommended to drain the line to the exterior if possible. See photo-repairs needed

Monitor/Maintain Water pressure - Satisfactory

Excellent pressure/flow noted at fixtures. Informational photo only- No repairs needed

Safety Concern Well head/casing - Problems noted, see comments

Exposed wires not encased in conduit are susceptible to shorting or being contacted by weed whackers, mowers, etc. See photo-repairs needed

W. HEATER

Monitor/Maintain WATER HEATER - General Comment

Water temperatures should be adjusted to 120 degrees F for child safety.

Satisfactory Water Heater 1 Mfg. - A O Smith

Satisfactory Water Heater 1 Approx. Age - 1

Satisfactory Water Heater 1 Size - 40

Satisfactory Water Heater Fuel - Electric

Satisfactory Water Heater Cold Water Valve - Present

W. HEATER

Safety Concern **Temp. Pressure Relief Valve and Pipe - Present, Improper**

Temp and pressure valve extension should be extended to within 6" of floor.

Satisfactory **Water Heater Exterior Jacket - OK**

Safety Concern **Wiring - Wiring not restrained/unsafe**

Improper and unsafe wiring at water heater. See photo-repairs needed
Temp regulator valve also missing.

FURNACE

Satisfactory **FURNACE - General Comment**

Furnace operated at inspection, no problems noted.

Satisfactory **Forced Air System 1 Mfg. - Thermo Pride**

Satisfactory **Forced Air System 1 Approx. Age - 14**

Monitor/Maintain **Forced Air System Energy Source - Oil**

275 Gallon oil tank noted. NO ACTIVE leaks noted AT THIS TIME.
Note: Older tanks have recently come under scrutiny by the EPA. Informational photo only- No repairs needed
Your oil company may want to inspect the tank before delivering oil, they may choose to NOT FILL YOUR TANK,
based on their company inspection guidelines or AGE parameters for oil tanks.
Be advised.

Monitor/Maintain **Thermostat - Programmable**

Programmable WIFI thermostat recommended for better energy efficiency. Informational photo only- No repairs needed

Satisfactory **Flue Piping - Single Walled**

Monitor/Maintain **Filter System - Disposable**

Informational photo only- No repairs needed
The filter should be looked at/replaced every 6-8 months.

WOOD-BORING INSECTS

Monitor/Maintain **No wood-boring insect activity noted - See comments**

No wood boring pest activity noted. However, it is strongly recommended to treat for carpenter ants in the spring and fall.

Treatment is available at most home centers. See example photo

Smith, Margaret
555 Oak Lane
Oaksville, NH

Inspection Number: 21550

Comments

Inspected 12/14/19 8:30 AM Client present at inspection, Weather heavy rain, cold

REPORT DEFINITIONS

Satisfactory - An item in normal operation, or serviceable condition, but may show normal wear.

Service/Repair - An item in need of repair or maintenance, the expected cost of which should be at a level less than that of a major defect, at the time of inspection. Also noted, may be some inaccessible items or items not working.

Safety Concern - An item that affects the safety of the occupants of the home, and is in need of immediate repair.

Major Defect - An item that is currently broken and will have a substantial monetary value to repair, or needs evaluation to determine the cost of a likely expensive repair.

Home inspectors are generalists and are not experts in any specific field, and further evaluations are often needed. Qualified experts should be chosen carefully, and should be allowed to thoroughly inspect the entire suspect system and not be limited to specific areas cited in the home inspection.

Throughout this report, the age of the appliances, roofs, etc. if stated, are approximate. It is not possible to be exact, but an effort is made to be as accurate as possible based on the visible evidence where accessible.

When any item in the report is reported to be "Satisfactory", the meaning is that it should give generally satisfactory service within the limits of its age and any defects or current problems noted during the inspection. Please read the information printed on each page and call us for an explanation of any aspect of the report that you do not fully understand. Once you have settled on the inspected property, please call our office with any questions related to the home or its maintenance for the time that you own the property.

The "Whole House Inspection" is conducted according to the standards set by The American Society of Home Inspectors (ASHI) for the purpose of identifying major deficiencies that might affect your decision whether to purchase. Unfortunately, we cannot take away all the risks of home ownership. Although Service/Repair items may be mentioned, this report does not attempt to list them all. It is important for you to understand exactly what your professional inspector is able to do for you, and what the limitations are in his inspection. The inspection is of readily accessible areas of the building and is limited to visual observations only. The inspector may not move furniture and personal property or dismantle any appliances aside from removing covers on heaters, electrical panels etc. An inspection is intended to assist in evaluating the overall condition of a building and its components based on observations of the apparent condition the date of the inspection. The results of this home inspection are not intended to make any representation regarding latent or concealed defects that may exist.

Your home inspector is not a licensed structural engineer or other contractor whose license authorizes the rendering of a technical analysis of the structural integrity of a building or its other component parts. You may be advised to seek a licensed engineer or contractor's opinion as to any defects or concerns mentioned in this report. This report is not a guarantee or warranty, expressed or implied. There are warranty programs that may be obtained to insure you against failure of some of the major systems of the house. These warranties do not, however, cover all the inspected items included in the report, and you should read the documents provided with these warranty programs carefully.

Homebuyers, after occupying the home, sometimes overlook important information and warnings contained in their reports. This can result in failure of equipment of other damage, which could have been prevented if the inspector's advice and recommendations had been followed. It is important for the client to attend the inspection. The report is a fine tool, but does not replace the opportunity to ask questions directly and every effort should be made to attend the inspection. After occupancy, all homes will have some defects that may not be identified in the inspection report. If a problem occurs of which you feel our inspectors' report did not give you sufficient warning, call our office. A phone consultation may be helpful to you in deciding what corrective measures to take, and the inspector may be able to advise you in assessing proposals offered by contractors for correcting the problem. Please consult your inspector before you engage a contractor to examine or correct possible defects. Unless prior consultation occurs, we cannot assist you further.