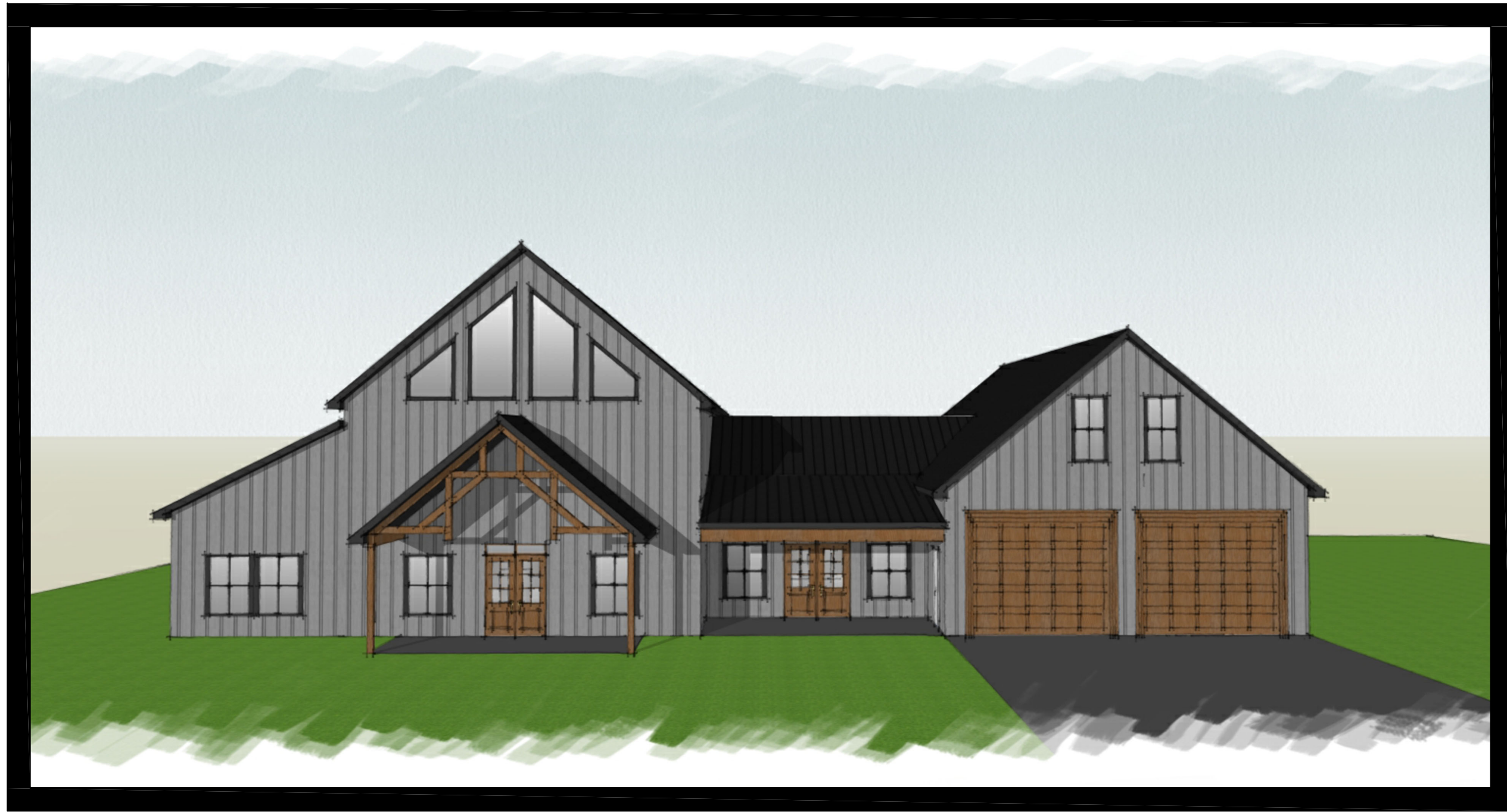




Bluegrass Lumber & Hardware
Authorized Plans

"Wray Manor"

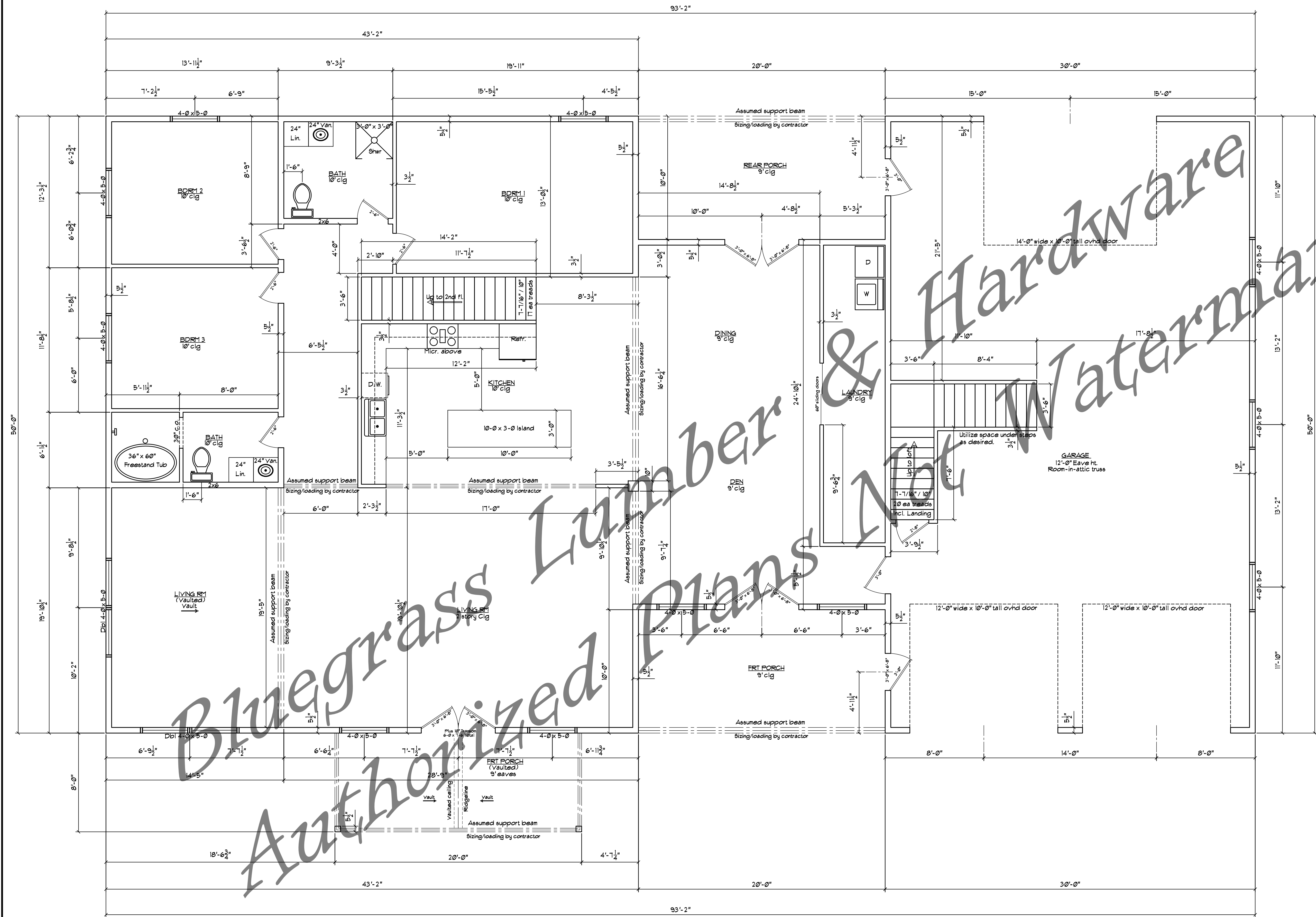
MATTHEW CURRAN
CUSTOM DESIGN & DRAFTING

270-668-3022
curramatthew83@yahoo.com
498 Cedar Lane, Custon KY

Bluegrass Lumber & Hardware
New Construction Residence
Wray Manor

DATE:	REVISION DESCRIPTION
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DATE: FEB 2026
SCALE: NTS
PROJECT:
BGL WRAY MANOR
COVER SHEET
G-001



1ST FLOOR PLAN

1/4" = 1'-0"

- CONSTRUCTION NOTES**
- ALL EXTERIOR WALLS ARE SHOWN AS 2x6 (S) UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE SHOWN AS 2x4 (S) OR AS CALLED OUT AS 2x6 AT FRAMING LOCATIONS IF APPLICABLE. FRAMING DIMENSIONS ARE SHOWN AS FACE OF STUD TO FACE OF STUD TO ALLOW FOR EASE OF FRAMING.
 - CABINETS, BUILT-INS, AND SHELVS TO BE COORDINATED WITH OWNER.
 - WALLS DEPICTED AS STUDS. DRY WALL, SHEATHING, OR OTHER FINISHES NOT INCLUDED IN DIMENSIONS.
 - CONTRACTOR SHALL ENSURE THAT FOUNDATION IS ADEQUATE TO SUPPORT STRUCTURE. ASIDE BY ALL LOCAL AND STATE BUILDING CODE REGULATIONS. ALL LOADS, SIZES OF ANY BEAMS, JOISTS, TRUSSES, FOUNDATIONS, ETC. SHALL BE SIZED BY OTHERS TO ENSURE NECESSARY SUPPORT AND SOUNDNESS OF STRUCTURE.
 - CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DRAWINGS, AND LATEST CODE COMPLIANCE, BEFORE BEGINNING CONSTRUCTION. INTERIOR DOORS AND CASED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED MIN. OF 4.5" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING MIN. OF 4.5" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
 - HOME TO BE CONSTRUCTED ON SLAB ON GRADE AS SHOWN.
 - CONTRACTOR SHALL ENSURE ALL WINDOWS & DOORS SHOWN MEET CODE REQUIREMENTS WHERE APPLICABLE. EGRESS SIZES MAY VARY DEPENDING ON VARIOUS WINDOW & DOOR MANUFACTURERS AND VARY BY REGION. OWNER TO DETERMINE TYPES OF WINDOWS DESIRED.
 - WINDOW SILL HEIGHTS SHALL BE 5" A.F.F. MIN. AND 44" A.F.F. MAX.
 - TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-8" A.F.F. UNLESS OTHERWISE NOTED.
 - STEP RISE/RUN FIGURED ASSUMING 12" FLOOR SYSTEM. IF FLOOR TRUSSES OR THICKER SYSTEM IS USED, CONTRACTOR TO ENSURE NO CONFLICT WITH INCREASED RISE/RUN.
 - CONTRACTOR SHALL ENSURE THAT SOIL BEARING IS SUITABLE TO SUPPORT SLABS AND FOOTINGS AS NEEDED. CONSULT GEOTECHNICAL PROFESSIONALS IF ISSUES ARISE WITH UNSUITABLE SOILS.
 - ELECTRICAL DESIGN SHALL BE DECIDED BY LICENSED ELECTRICIAN AND PER CODE. HVAC LOADINGS/EQUIPMENT SHALL BE DESIGNED BY LICENSED HVAC CONTRACTOR. HVAC EQUIPMENT IS ANTICIPATED TO BE INSTALLED IN ATTIC OR CLOSET AREA TBD BY CONTRACTOR. PLUMBING ROUTES SHALL BE DETERMINED BY LICENSED PLUMBER BASED ON FIXTURE LAYOUT SHOWN HEREIN.

AREA CALCULATIONS
MAIN LEVEL CONDITIONED SPACE (EXCLUDES GARAGE AND PORCHES) +/- 2,712 SF
HOME SECOND LEVEL SPACE +/- 819 SF
GARAGE +/- 1,486 SF
GARAGE BONUS AREA 2ND LEVEL +/- 128 SF
FRONT PORCH +/- 200 SF
REAR PORCH +/- 200 SF
AREAS TAKEN FROM OUTSIDE OF STUD FRAMING

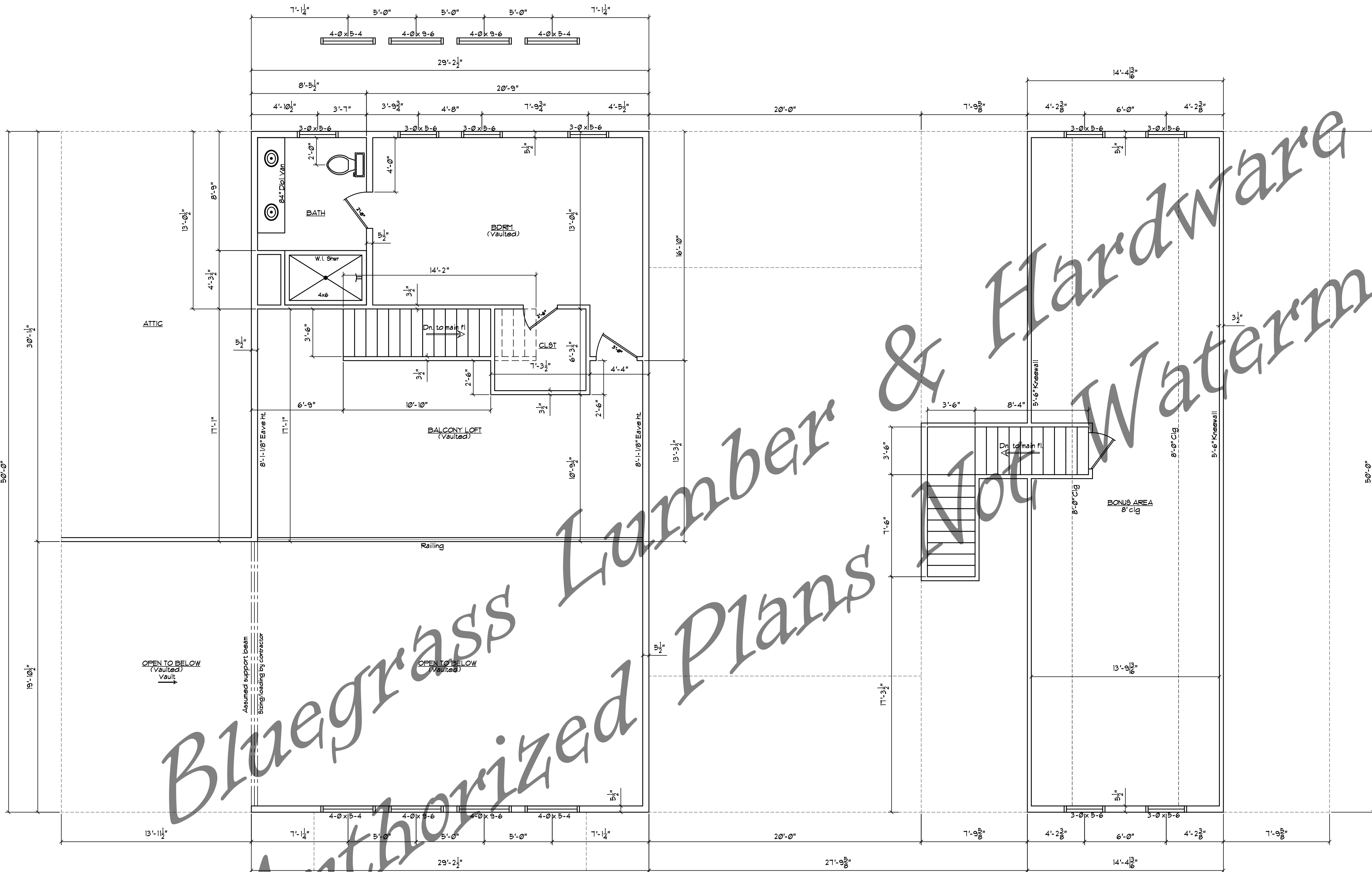
SUBMISSION ITEMS
WHEN SUBMITTING TO PLANNING AND ZONING, CONTRACTOR/OWNER SHALL SUBMIT ALONG WITH THESE PLANS THE FOLLOWING:
-ENGINEERED TRUSS DRAWINGS IF TRUSSES ARE APPLICABLE.
-AFTER SIZING W/ LENGTHS AND BRACING INFORMATION IF ROOF IS TO BE CONVENTIONALLY STICK FRAMED.
-ENGINEERED LUMBER LAYOUT PLAN FROM VENDOR WITH SPAN SIZING AND SPACING INFO.
-FOOTING LAYOUT SHOWING ALIGNMENT WITH ABOVE AND LOAD BEARING POINTS FOR CONTINUOUS FOOTINGS AS WELL AS PIER FOOTINGS.

ENGINEERING NOTE
ALL FOOTINGS, FOUNDATIONS SHALL BE DESIGNED AND SIZED BY OTHERS AS NECESSARY FOR SUPPORT OF STRUCTURE. ADHERE TO LATEST STATE AND LOCAL KY BUILDING CODE. ON INTERIOR STRUCTURAL SPANS FOR FOOTINGS, BEAMS, WALLS, TRUSS BEARING, CONTRACTOR SHALL ENSURE THAT ALL IS ENGINEERED BY OTHERS FOR NECESSARY SUPPORT OF STRUCTURE. NO ENGINEERING, SPANS, OR BEAM SIZING HAS BEEN DONE AT THIS TIME FOR LOADINGS. CONTRACTOR AND MANUFACTURERS OF ALL BEAMS, TRUSSES, ENGINEERED LUMBER, AND FLOOR SYSTEMS WILL BE RESPONSIBLE FOR ENGINEERING JOB TO MEET THE INTENT OF THE LAYOUT SHOWN HEREIN INCLUDING PLACEMENT OF ALL LOAD BEARING POINTS.

REVISION DESCRIPTION
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DATE:	FEB 2026
SCALE:	1/4" = 1'-0"
PROJECT:	BGL WRAY MANOR
	MAIN FLOOR PLAN
	A-1

Bluegrass Lumber & Hardware
New Construction Residence
Wray Manor



2nd FLOOR PLAN

1/4" = 1'-0"

- CONSTRUCTION NOTES**
- ALL EXTERIOR WALLS ARE SHOWN AS 2x6 (3 1/2") UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE SHOWN AS 2x4 (3 1/2") OR AS CALLED OUT AS 2x6 AT PLUMBING LOCATIONS IF APPLICABLE. FRAMING DIMENSIONS ARE SHOWN AS FACE OF STUD TO FACE OF STUD TO ALLOW FOR EASE OF FRAMING.
 - CABINETS, SHELVS, AND SHELVS TO BE COORDINATED WITH OWNER.
 - WALLS DEPICTED AS STUDS, DRYWALL, SHEATHING, OR OTHER FINISHES NOT INCLUDED IN DIMENSIONS.
 - CONTRACTOR SHALL ENSURE THAT FOUNDATION IS ADEQUATE TO SUPPORT STRUCTURE. ADVICE BY ALL LOCAL AND STATE BUILDING CODE REGULATIONS. ALL LOADS, SIZES OF ANY BEAMS, JOISTS, TRUSSES, FOUNDATIONS, ETC, SHALL BE SIZED BY OTHERS TO ENSURE NECESSARY SUPPORT AND SOUNDNESS OF STRUCTURE.
 - CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, DRAWINGS, AND LATEST CODE COMPLIANCE, BEFORE BEGINNING CONSTRUCTION. INTERIOR DOORS AND CASED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED MIN. OF 4.5" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING MIN. OF 4.5" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
 - HOME TO BE CONSTRUCTED ON SLAB ON GRADE AS SHOWN.
 - CONTRACTOR SHALL ENSURE ALL WINDOWS & DOORS SHOWN MEET CODE EGRESS REQUIREMENTS WHERE APPLICABLE. EGRESS SIZES MAY VARY DEPENDING ON VARIOUS WINDOW & DOOR MANUFACTURERS AND VARY BY REGION. OWNER TO DETERMINE TYPES OF WINDOWS DESIRED.
 - WINDOW SILL HEIGHTS SHALL BE 15" A.F.F. MIN. AND 44" A.F.F. MAX.
 - TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-6" A.F.F. UNLESS OTHERWISE NOTED.
 - STEP RISE/RUN FIGURED ASSUMING 12" FLOOR SYSTEM. IF FLOOR TRUSSES OR THICKER SYSTEM IS USED, CONTRACTOR TO ENSURE NO CONFLICT WITH INCREASED RISE/RUN.
 - CONTRACTOR SHALL ENSURE THAT SOIL BEARING IS SUITABLE TO SUPPORT SLAB AND FOOTINGS AS NEEDED. CONSULT GEOTECHNICAL PROFESSIONALS IF ISSUES ARISE WITH UNSUITABLE SOILS.
 - ELECTRICAL DESIGN SHALL BE DECIDED BY LICENSED ELECTRICIAN AND PER CODE. HVAC LOADINGS/EQUIPMENT SHALL BE DESIGNED BY LICENSED HVAC CONTRACTOR. HVAC EQUIPMENT IS ANTICIPATED TO BE INSTALLED IN ATTIC OR CLOSET AREA. TO BE DETERMINED BY PLUMBING ROUTES SHALL BE DETERMINED BY LICENSED PLUMBER BASED ON FIXTURE LAYOUT SHOWN HEREIN.

AREA CALCULATIONS

MAIN LEVEL CONDITIONED SPACE (EXCLUDES GARAGE AND PORCHES)	4'-2,112 SF
HOME SECOND LEVEL SPACE	4'-819 SF
GARAGE	4'-1,486 SF
GARAGE BONUS AREA 2ND LEVEL	4'-1,120 SF
FRONT PORCH	4'-200 SF
REAR PORCH	4'-200 SF
*AREAS TAKEN FROM OUTSIDE OF STUD FRAMING.	

SUBMISSION ITEMS

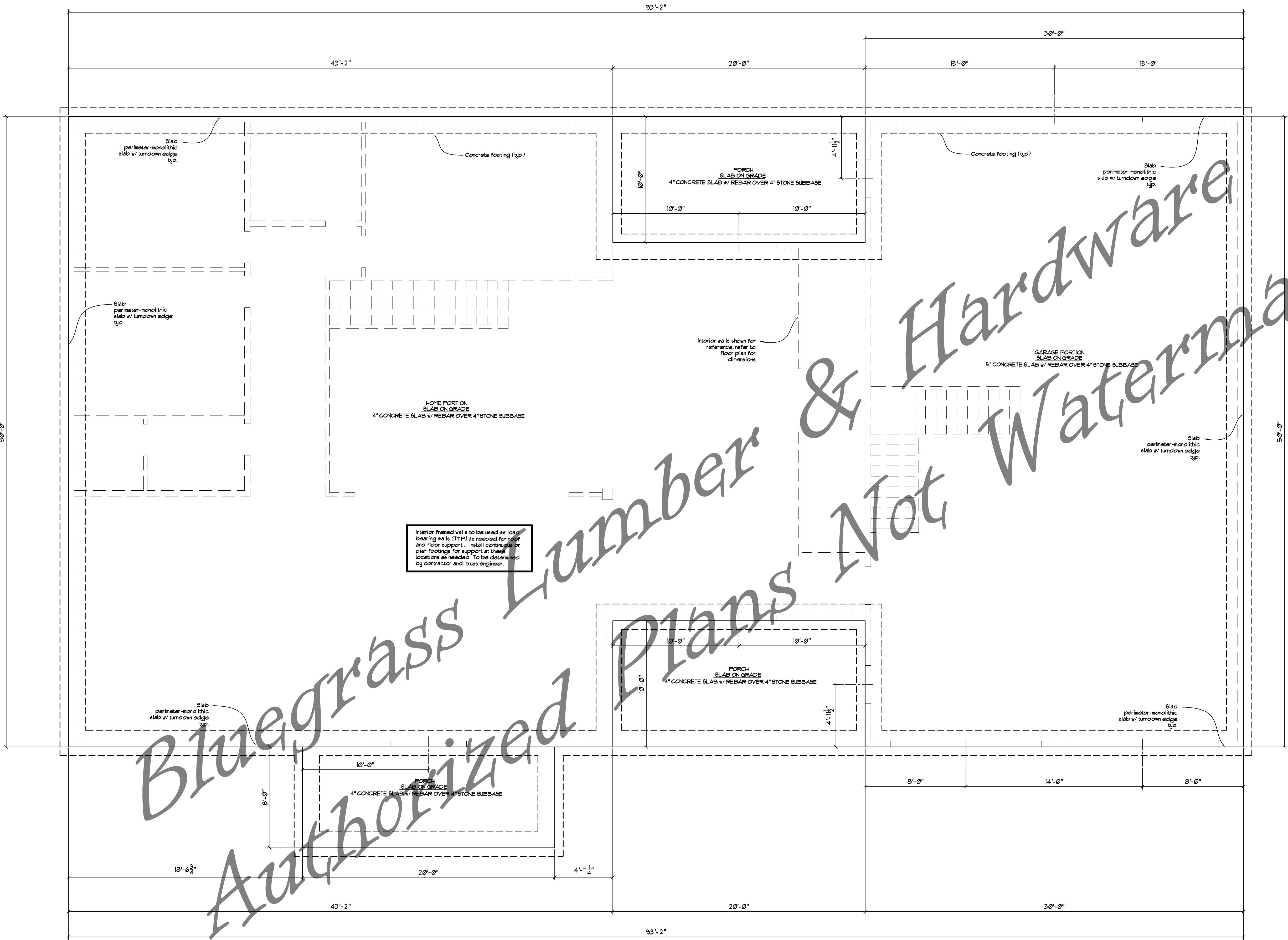
WHEN SUBMITTING TO PLANNING AND ZONING, CONTRACTOR/OWNER SHALL SUBMIT ALONG WITH THESE PLANS THE FOLLOWING:
-ENGINEERED TRUSS DRAWINGS IF TRUSSES ARE APPLICABLE.
-RAFTER SIZING W/ LENGTHS AND BRACING INFORMATION IF ROOF IS TO BE CONVENTIONALLY STICK FRAMED.
-ENGINEERED LUMBER LAYOUT PLAN FROM VENDOR WITH SPAN SIZING AND SPACING INFO.
-FOOTING LAYOUT SHOWING ALIGNMENT WITH ABOVE AND LOAD BEARING POINTS FOR CONTINUOUS FOOTINGS AS WELL AS PIER FOOTINGS.

ENGINEERING NOTE

ALL FOOTINGS, FOUNDATIONS SHALL BE DESIGNED AND SIZED BY OTHERS AS NECESSARY FOR SUPPORT OF STRUCTURE. ADHERE TO LATEST STATE AND LOCAL KY BUILDING CODE.
ON INTERIOR STRUCTURAL SPANS FOR FOOTINGS, BEAMS, WALLS, TRUSS BEARING, CONTRACTOR SHALL ENSURE THAT ALL IS ENGINEERED BY OTHERS FOR NECESSARY SUPPORT OF STRUCTURE. NO ENGINEERING, SPANS, OR BEAM SIZING HAS BEEN DONE AT THIS TIME FOR LOADINGS.
CONTRACTOR AND MANUFACTURERS OF ALL BEAMS, TRUSSES, ENGINEERED LUMBER, AND FLOOR SYSTEMS WILL BE RESPONSIBLE FOR ENGINEERING JOB TO MEET THE INTENT OF THE LAYOUT SHOWN HEREIN INCLUDING PLACEMENT OF ALL LOAD BEARING POINTS.

REVISION DESCRIPTION	DATE
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DATE:	FEB 2026
SCALE:	1/4" = 1'-0"
PROJECT:	BGL WRAY MANOR
	2ND FL PLAN
	A-2



- FOUNDATION NOTES
- HOME WILL BE CONSTRUCTED ON CONCRETE SLAB ON GRADE. EXTERIOR FOOTINGS AND INTERIOR FOOTINGS TO BE PLACED AS REQUIRED.
 - ALL FOOTINGS, FOUNDATIONS SHALL BE DESIGNED AND SIZED BY OTHERS AS NECESSARY FOR SUPPORT OF STRUCTURE. ADHERE TO LATEST STATE AND LOCAL KY BUILDING CODE. ON INTERIOR SPANS FOR FOOTINGS/BEAMS, CONTRACTOR SHALL ENSURE THAT ALL IS ENGINEERED BY OTHERS FOR NECESSARY SUPPORT OF STRUCTURE. NO ENGINEERING, SPANS, OR BEAM SIZING HAS BEEN DONE AT THIS TIME. JOIST AND BEAM MANUFACTURERS WILL BE RESPONSIBLE FOR ENGINEERING JOB TO MEET THE INTENT OF THE LAYOUT SHOWN HEREIN.
 - FOR CLARIFICATION, IN REFERENCE TO MAIN FLOOR PLAN, OUTSIDE OF CONCRETE FOUNDATION WALLS ARE SHOWN AS COINCIDING WITH THE OUTSIDE OF STUD FRAMED WALL LINE AS SHOWN ON SHEET A-2.
 - CONTRACTOR SHALL ENSURE THAT SOIL BEARING IS SUITABLE TO SUPPORT SLAB AND FOOTINGS AS NEEDED. CONSULT GEOTECHNICAL PROFESSIONALS IF ISSUES ARISE WITH UNSUITABLE SOILS.
 - OUTDOOR PATIO LEVEL SHALL BE DISCUSSED WITH OWNER TO DETERMINE EXACT DESIRED ELEVATION DROP FROM INTERIOR FLOOR LEVEL DOWN TO TOP OF EXTERIOR SLABS. SLOPE PATIO CONCRETE AWAY FROM BUILDING AT A SLOPE OF 1.5% MINIMUM AND ENSURE SURROUNDING GRADE IS SLOPED AWAY SUFFICIENTLY TO PREVENT RAIN BLOWBACK, ANY PONDING OF WATER, OR BACKING UP DURING HEAVY RAIN EVENTS.

SLAB LAYOUT

1/4" = 1'-0"

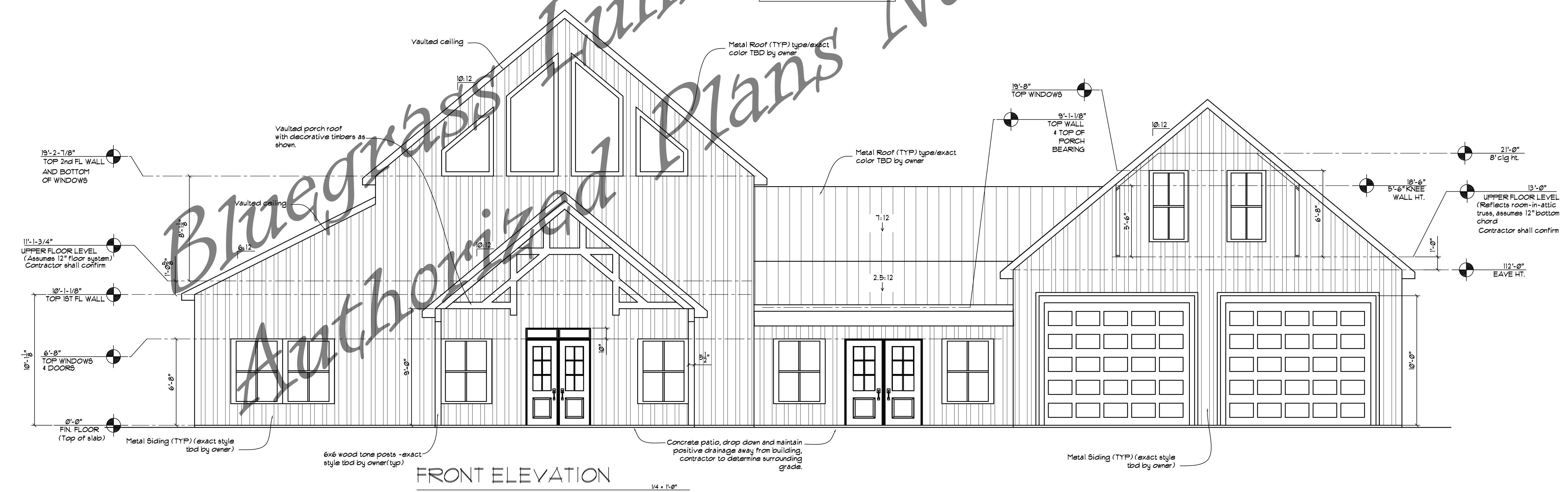
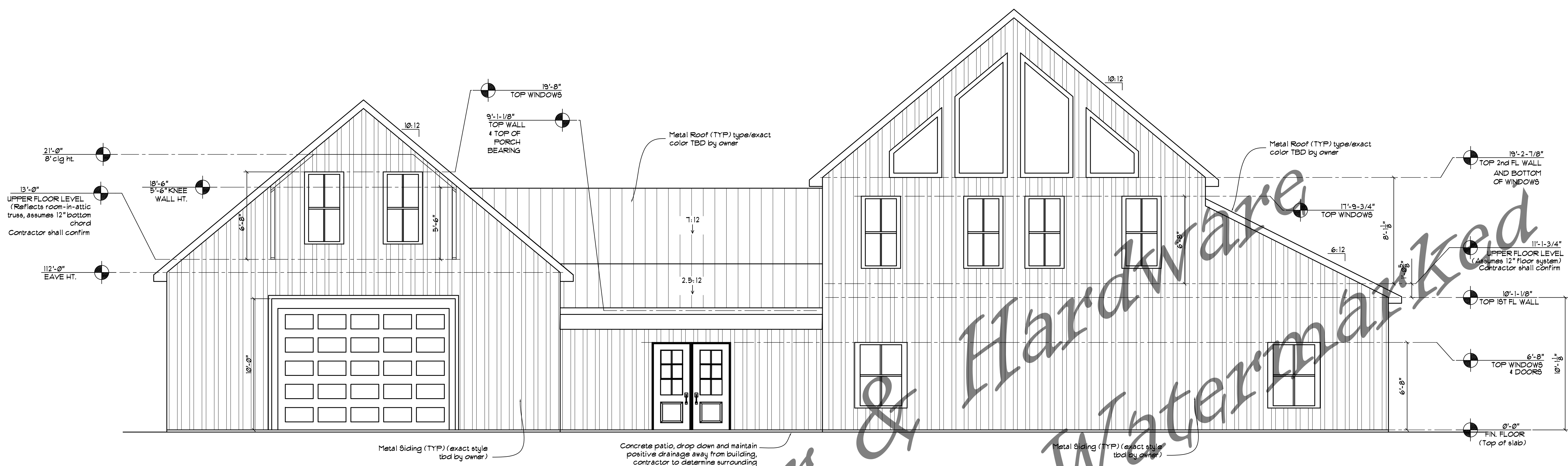
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DATE:	FEB 2026
SCALE:	1/4" = 1'-0"
PROJECT:	BGL WRAY MANOR
	SLAB LAYOUT
	S - 1

Bluegrass Lumber & Hardware
New Construction Residence
Wray Manor

DATE	REVISION DESCRIPTION
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DATE:	FEB 2026
SCALE:	1/4" = 1'-0"
PROJECT:	BGL WRAY MANOR
FRT & REAR VIEWS	
A-3	



Bluegrass Lumber & Hardware

New Construction Residence
Wray Manor

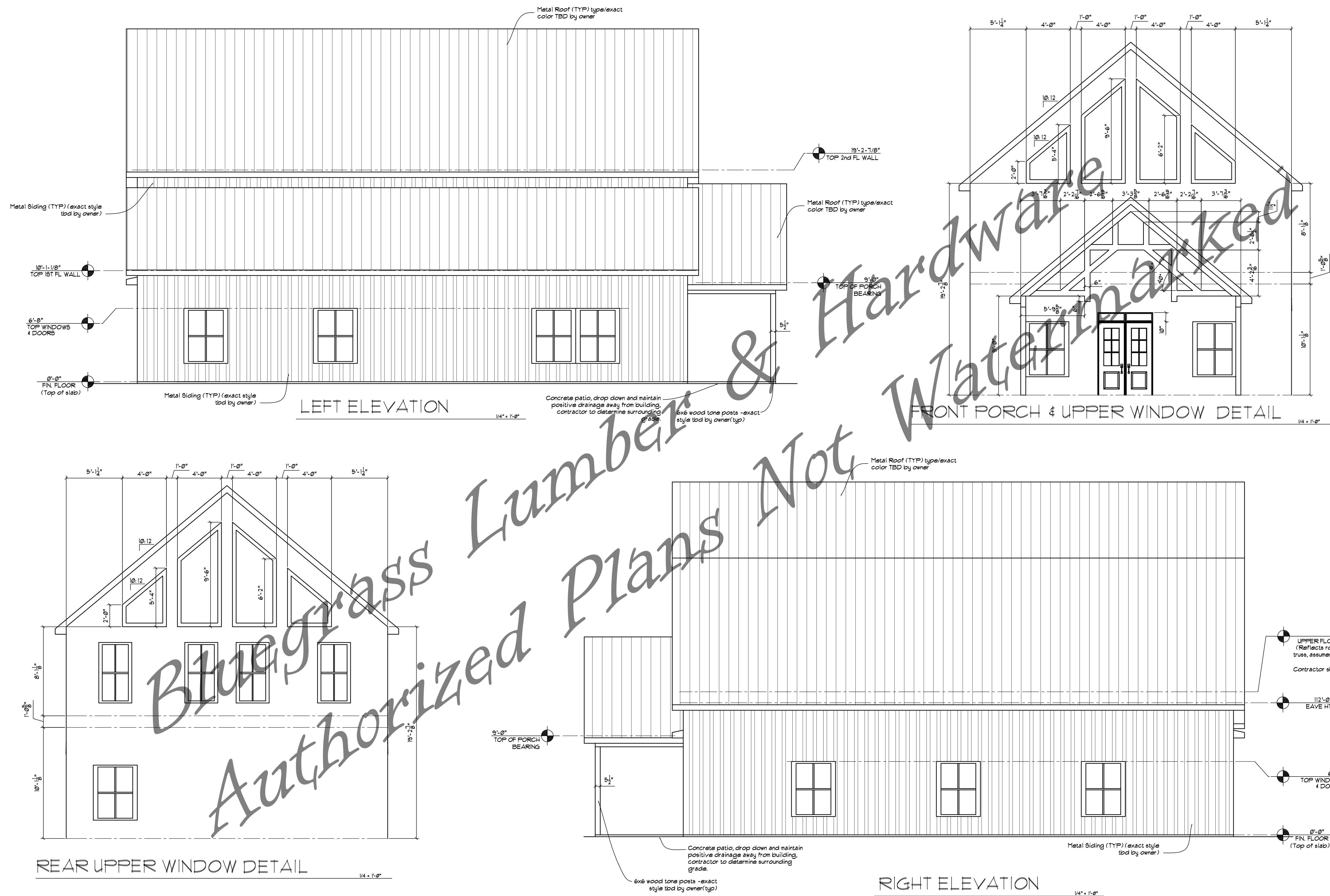
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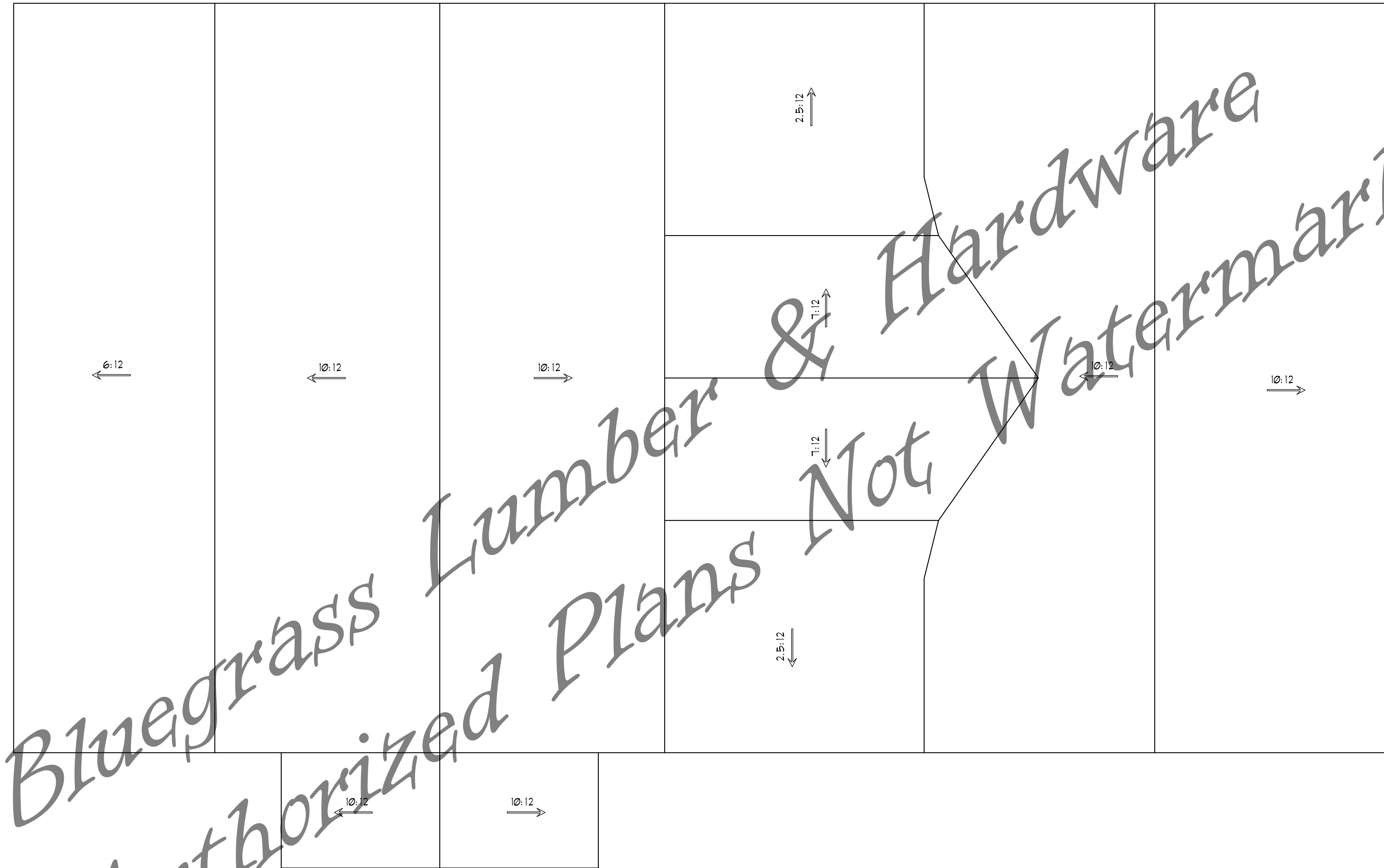
DATE:	FEB 2026
SCALE:	1/4" = 1'-0"

PROJECT:

BGL WRAY MANOR

LEFT & RIGHT VIEWS





ROOF OVERVIEW
1/4" = 1'-0"

Bluegrass Lumber & Hardware
New Construction Residence
Wray Manor

DATE	REVISION DESCRIPTION
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DATE:	FEB 2026
SCALE:	1/4" = 1'-0"
PROJECT:	BGL WRAY MANOR
	ROOF OVERVIEW
	A-5


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