

**ROOF ELEVATION**  
1/8" = 1'0"

NOTE: HIP RIDGE FOR THE MAIN ROOF AS:  
 2x8 FOR UNBRACED LENGTH UP TO 9'0"  
 2x10 FOR UNBRACED LENGTH UP TO 12'0"  
 2x12 FOR UNBRACED LENGTH UP TO 18'0"  
 ALL RAFTERS TO BE #2 2x6 D-PIR 16' O.C.  
 UNLESS OTHERWISE NOTED  
 PURLING RAFTERS TO BEARING WALL LINES  
 CONNECT RAFTERS TO CEILING JOIST W (4) 16d GALV. NAILS  
 CONNECT RAFTERS TO RIDGE, VALLEY, AND HIP RIDGE  
 WITH (4) 16d GALV. NAILS  
 VERT. RIDGE AND RAFTER SUPPORTS TO BE EQUAL TO OR GREATER  
 THAN THE DEPTH OF RAFTERS

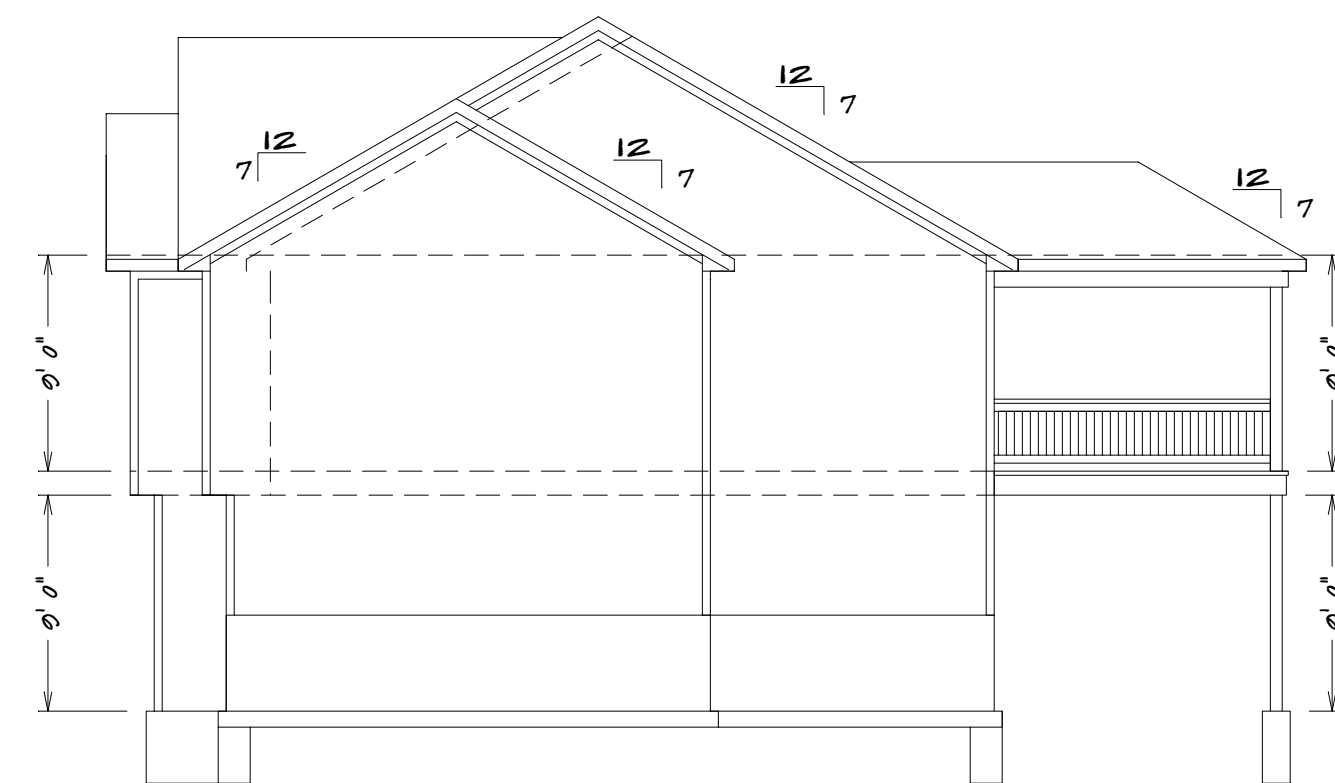


**FRONT ELEVATION**  
1/4" = 1'0"

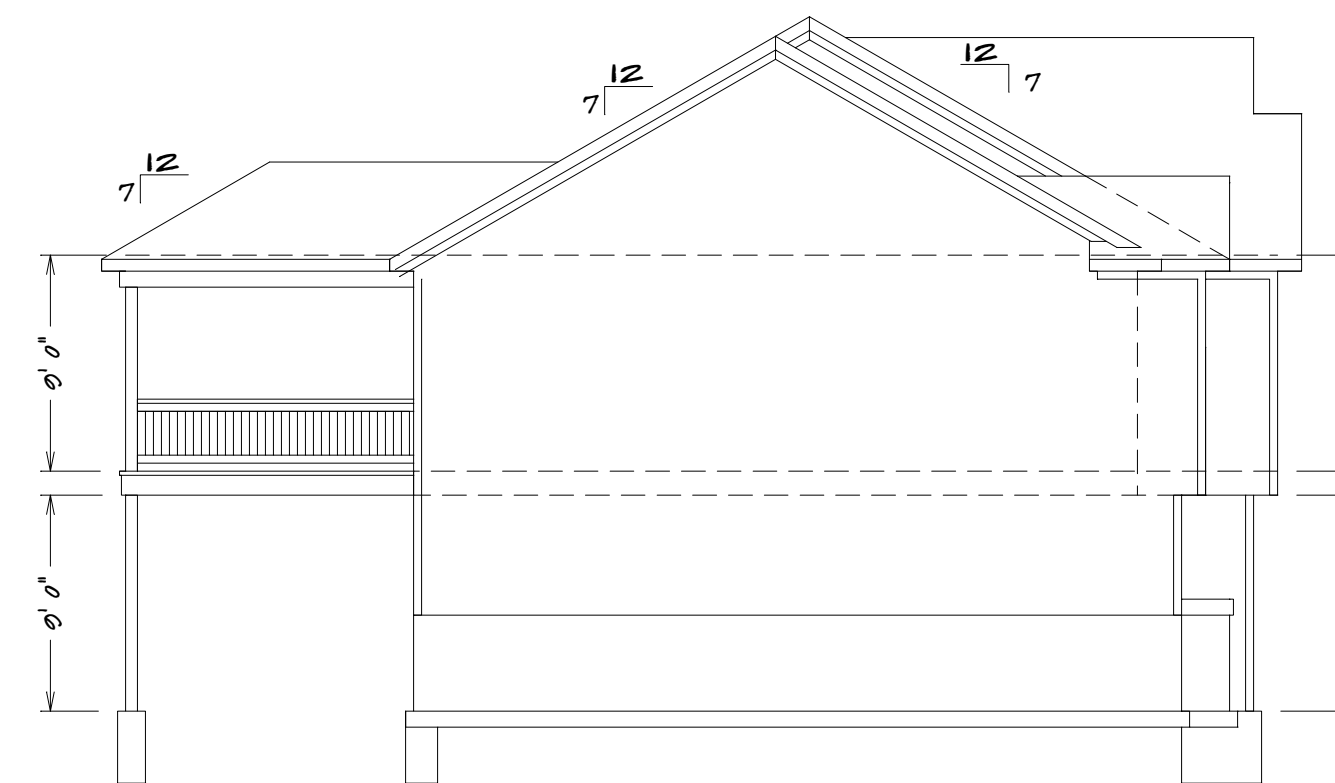
BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION, AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES.

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

NOTE:  
 ACTUAL ELEVATIONS MAY VARY FROM ARCHITECTURAL DRAWINGS, DUE TO TERRAIN/BACKFILL PROCESS  
 FRONT ELEVATION IS ARCHITECTURAL DRAWING AND MAY VARY DUE TO MATERIALS AVAILABILITY



**RIGHT ELEVATION**  
1/8" = 1'0"



**LEFT ELEVATION**  
1/8" = 1'0"



**REAR ELEVATION**  
1/8" = 1'0"

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION AND ELEVATIONS. ALSO VERIFY ALL BEAM, HEADERS, PAD LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR COMPLIANCE WITH CONTRACTS, CITY, AND NATIONAL CODES. BUILDER/CONTRACTOR TO VERIFY ALL RAFTERS, BEAMS, JOISTS, FLOOR JOISTS, AND FLOOR FINISHES. BUILDER/CONTRACTOR TO VERIFY ALL ACCESS TO OTHER COMPARTMENTS. ALL COPYRIGHT INFRINGEMENTS OR RESIMILANCES TO OTHER COMPARTMENTS. BUILDER/CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY ON-SITE CHANGES MADE TO STRUCTURE.

**SQUARE FOOTAGE**

LIVING AREA	FIRST FLOOR = 1877
OPTIONAL BASEMENT	= 765
UNFINISHED AREA	COVERED DECK = 144
	GARAGE = 640

**OPTION PLAN #2**

HOME BUYER:	PHONE:	DATE DRAWN:	PLAN NO.:	SHEET NO.:
BUILDER:	PHONE:	DATE REVISED:	KH-610	2
SUB-DIVISION:	LOT NO.:	DESIGNER:	FILE NAME:	APPROX. SQ.FT.:
			610 FRV2	610 FRV2





SEE ELEVATION FOR WALL HEIGHTS

NOTE. ELECTRICAL SERVICE TO BE 200 AMP.

NOTE. DOUBLE JOIST UNDER ALL PARALLEL WALLS ABOVE UNLESS NOTED

S.D. = SMOKE DETECTOR

**GENERAL HEADER SPECIFICATIONS:**

REQUIRED AREAS NEEDING HEADERS:	HEADER DESCRIPTIONS:
WINDOWS/DOORS UP TO 38" R.O.	(2) #2 D-FIR 2X10'S
WINDOWS/DOORS 38" UP TO 72" R.O.	(2) #2 D-FIR 2X10'S W/1/2" GLUE PLY
WINDOWS/DOORS 72" UP TO 96" R.O.	(2) 9 1/2" L.V.L.
80" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 9 1/2" L.V.L.
90" GARAGE DOORS W/CEILING & ROOF LOAD	(2) 9 1/2" L.V.L.
80" GARAGE DOORS W/SECOND FLOOR	(2) 9 1/2" L.V.L.
90" GARAGE DOORS W/SECOND FLOOR	(2) 11 7/8" L.V.L.
160" GARAGE DOOR W/NO SECOND FLOOR	(2) 11 7/8" L.V.L.
160" GARAGE DOORS W/SECOND FLOOR	(2) 14" L.V.L.

USE HEADERS FOR OPENINGS ABOVE UNLESS SPECIFIED OTHERWISE.

**R312.2.1 Window sills.**

In dwelling units, where the opening of an operable window is located more than 72 inches (1828 mm) above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches (610 mm) above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4-inch-diameter (102 mm) sphere where such openings are located within 24 inches (610 mm) of the finished floor.

**Exceptions:**

- Windows whose openings will not allow a 4-inch-diameter (102 mm) sphere to pass through the opening when the opening is in its largest opened position.
- Openings that are provided with window fall prevention devices that comply with ASTM F 2090.
- Windows that are provided with window opening control devices that comply with Section R312.2.2.

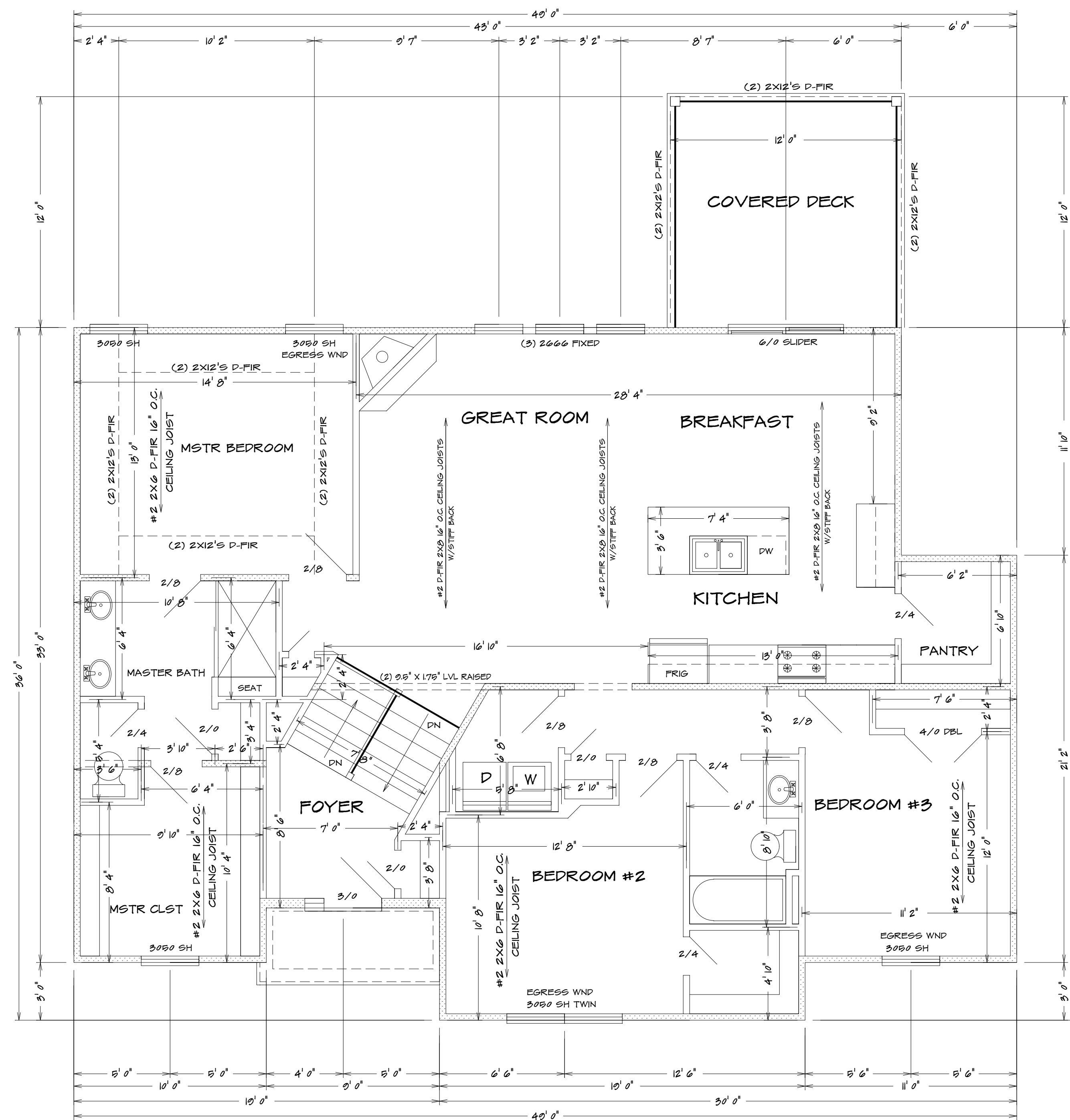
**R312.2.2 Window opening control devices.**

Window opening control devices shall comply with ASTM F 2090. The window opening control device, after operation to release the control device allowing the window to fully open, shall not reduce the minimum net clear opening area of the window unit to less than the area required by Section R310.1.1.

Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet, one-half of which must be operable.

**Exception:**

The glazed areas shall not be required where artificial light and a local exhaust system are provided. The minimum local exhaust rates shall be determined in accordance with Section M1507. Exhaust air from the space shall be exhausted directly to the outdoors.



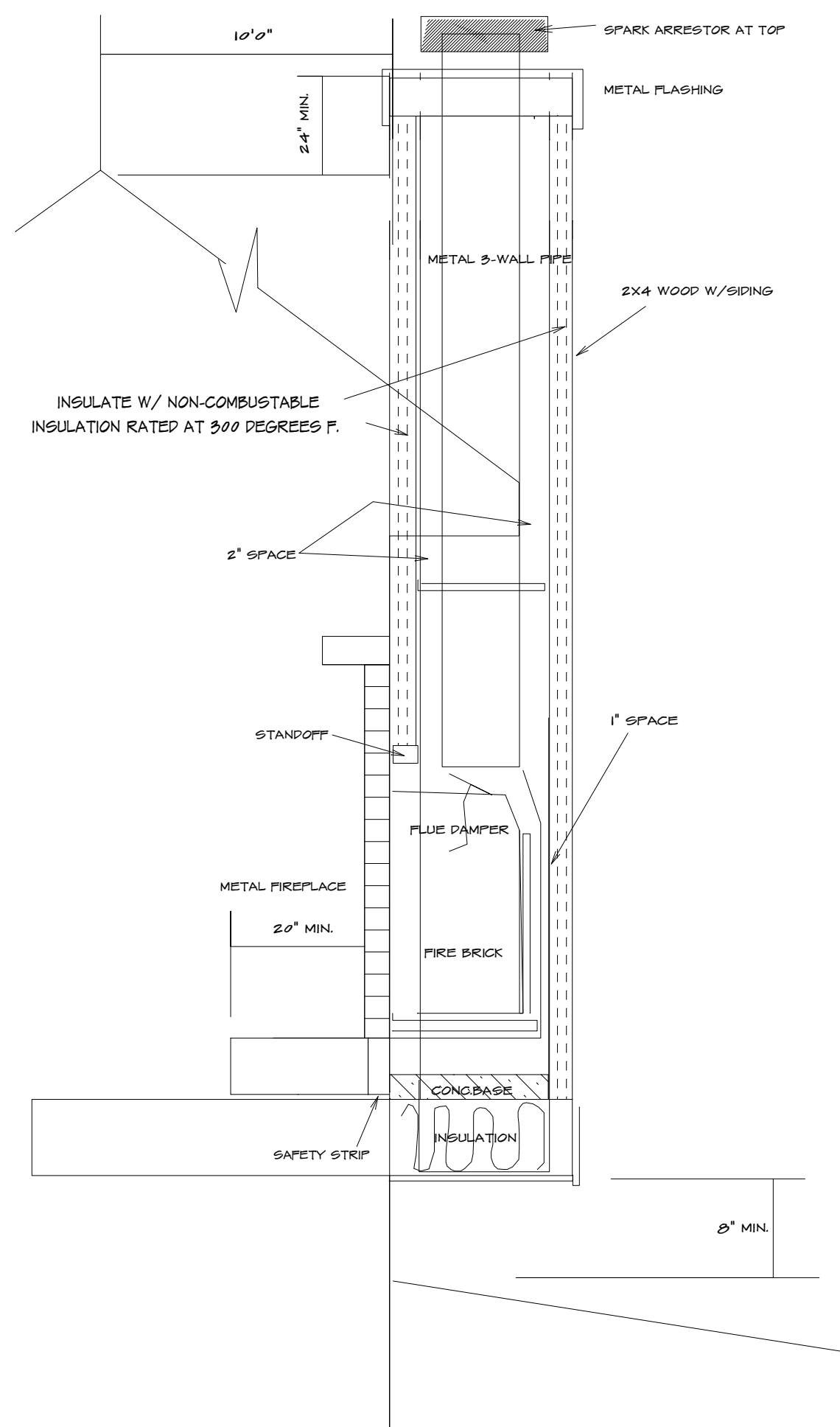
**FIRST FLOOR PLAN**

1/4" = 1'0"

ALL NOTES, SECTIONS, AND DRAWINGS ARE IN ACCORDANCE WITH THE 2018 IRC

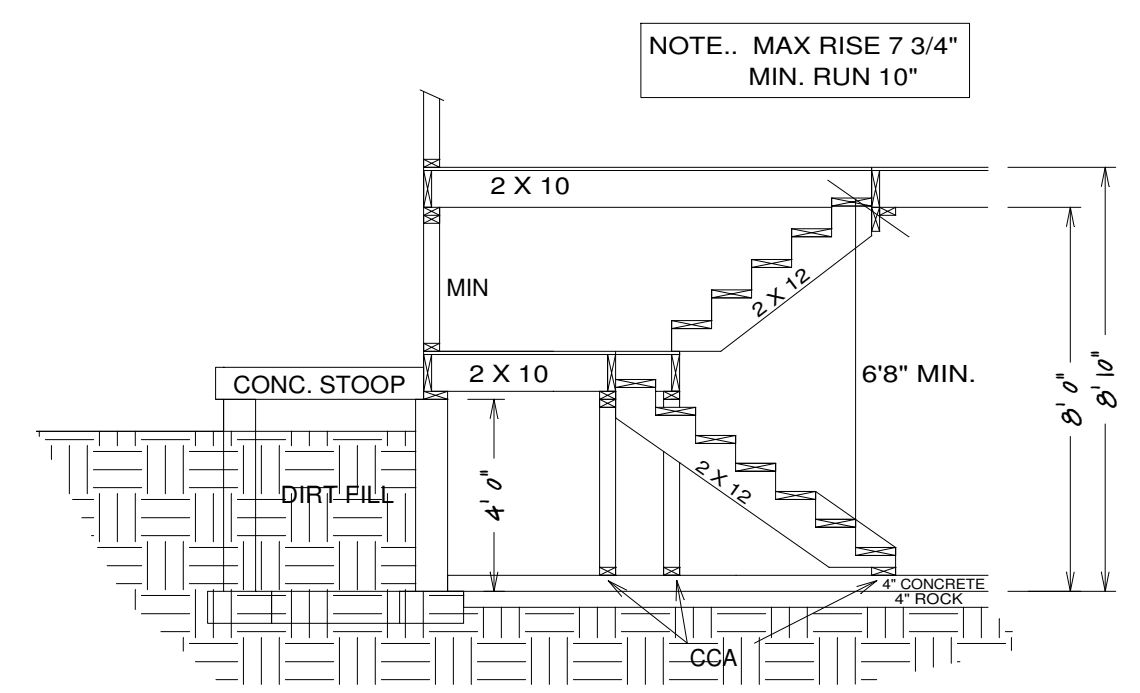
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SUB-DIVISION:	LOT NO.:	DESIGNER:	FILE NAME:	APPROX. SQ.FT.:
			610 FLR1	610 FLR1



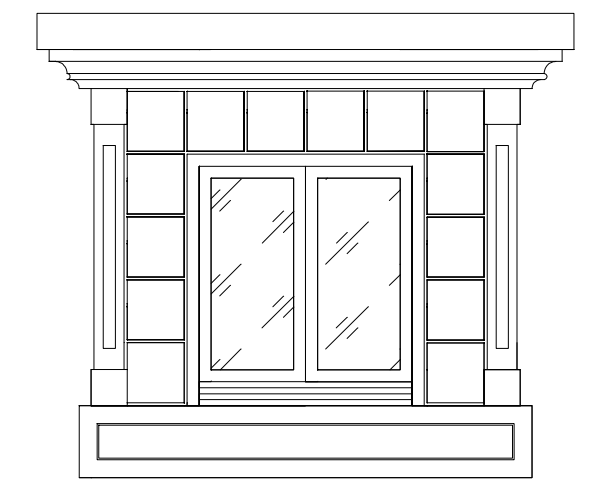
**TYPICAL METAL FIRE PLACE**

NOTE: SEE SPECS FOR SPECIFIC APPLICATIONS.



**SPLIT-ENTRY SECTION**

1/4" = 1'0"



**TYPICAL F.P. FRONT**

**EMERGENCY EGRESS**

1. PROVIDE ONE WINDOW FROM EACH BEDROOM THAT HAS A MIN. OPENABLE AREA OF 5.7 SQ. FT. WITH A MIN. OPENABLE HEIGHT OF 24" AND WIDTH OF 20"

**ELECTRICAL OUTLETS**

1. ALL OUTLETS TO BE BRANCH CIRCUIT-INTERRUPTER OR GROUND FAULT CIRCUIT-INTERRUPTER PROTECTED EXCEPT: REFRIGERATOR, SINGLE OUTLET FOR SUMP PUMP\* AND SINGLE OUTLET IN GARAGE FOR A FREEZER
2. ALL RECEPT. TO BE TAMPER RESISTANT

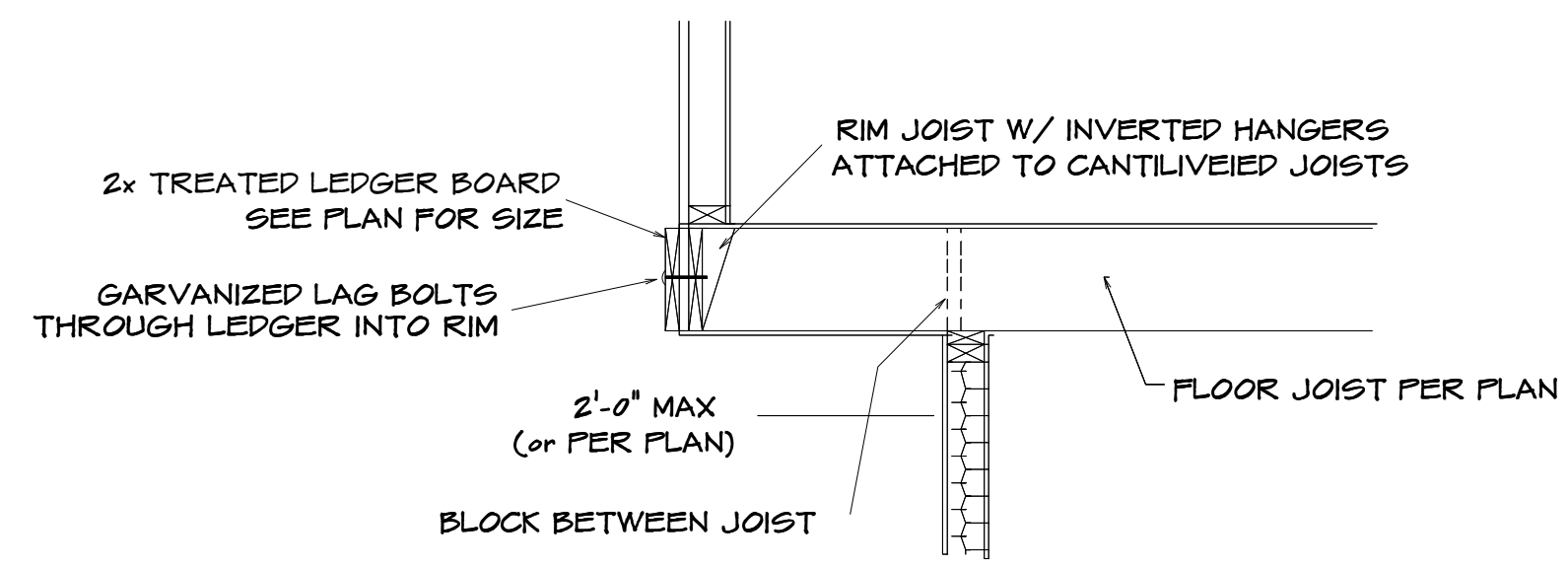
**GARAGE**

1. THE GARAGE FLOOR SHALL BE SLOPED TOWARD GARAGE DOORS
2. DOORS BETWEEN GARAGE AND DWELLING - MIN 1 9/8" SOLID CORE OR HONEY COMBED STEEL DOOR OR 20 MIN. RATED
3. GARAGE TO HAVE 5/8" TYPE X GYPSUM THROUGHOUT
4. THE H-FRAME SHALL CONSIST OF 2X6 FRAMING

**GLAZING**

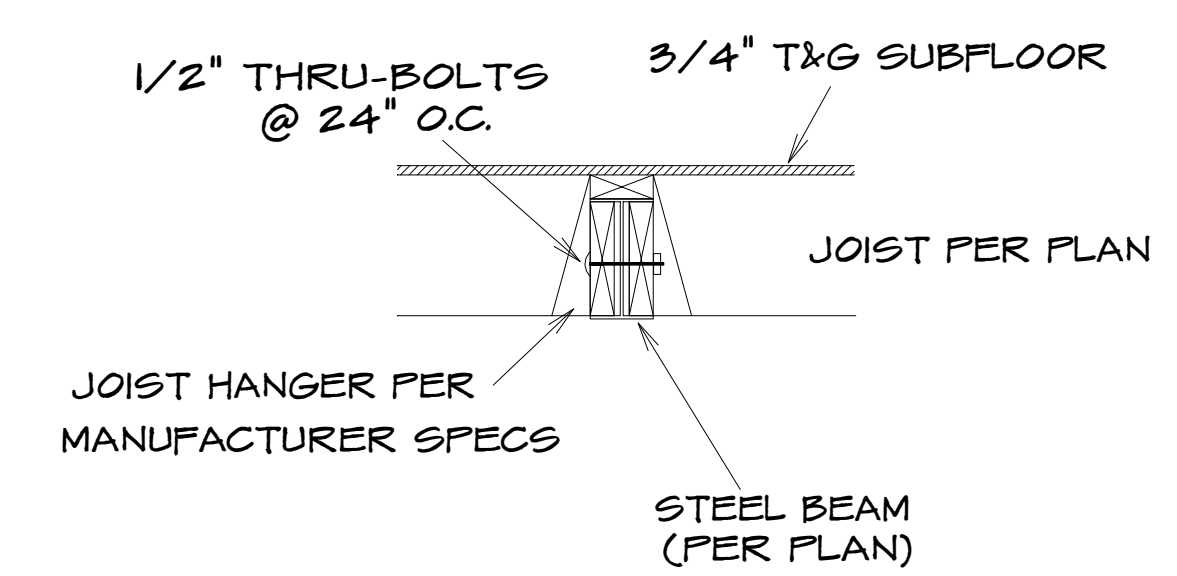
GLAZING IN HAZARDOUS LOCATIONS AS IDENTIFIED IN RC SECTION R302.4 SHALL BE APPROVED SAFETY GLAZING MATERIALS: GLASS IN STORM DOORS, INDIVIDUAL FIXED OR OPENABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARCH OF THE DOOR IN CLOSED POSITION AND WHOSE BOTTOM EDGE IS WITHIN 60" OF THE FLOOR, WALLS ENCLOSED STAIRWAYS AND LANNINGS WHERE THE GLAZING IS WITHIN 60" OF THE TOP OR BOTTOM OF THE STAIR ENCLOSURES FOR STAIRS, TUBS, SHOWERS, AND WHIRLPOOLS; GLAZING IN FIXED OR OPENABLE PANELS EXCEEDING 6 SQ. FT. AND WHOSE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36"

**TYPICAL FRAMING DETAILS (Not to Scale)**

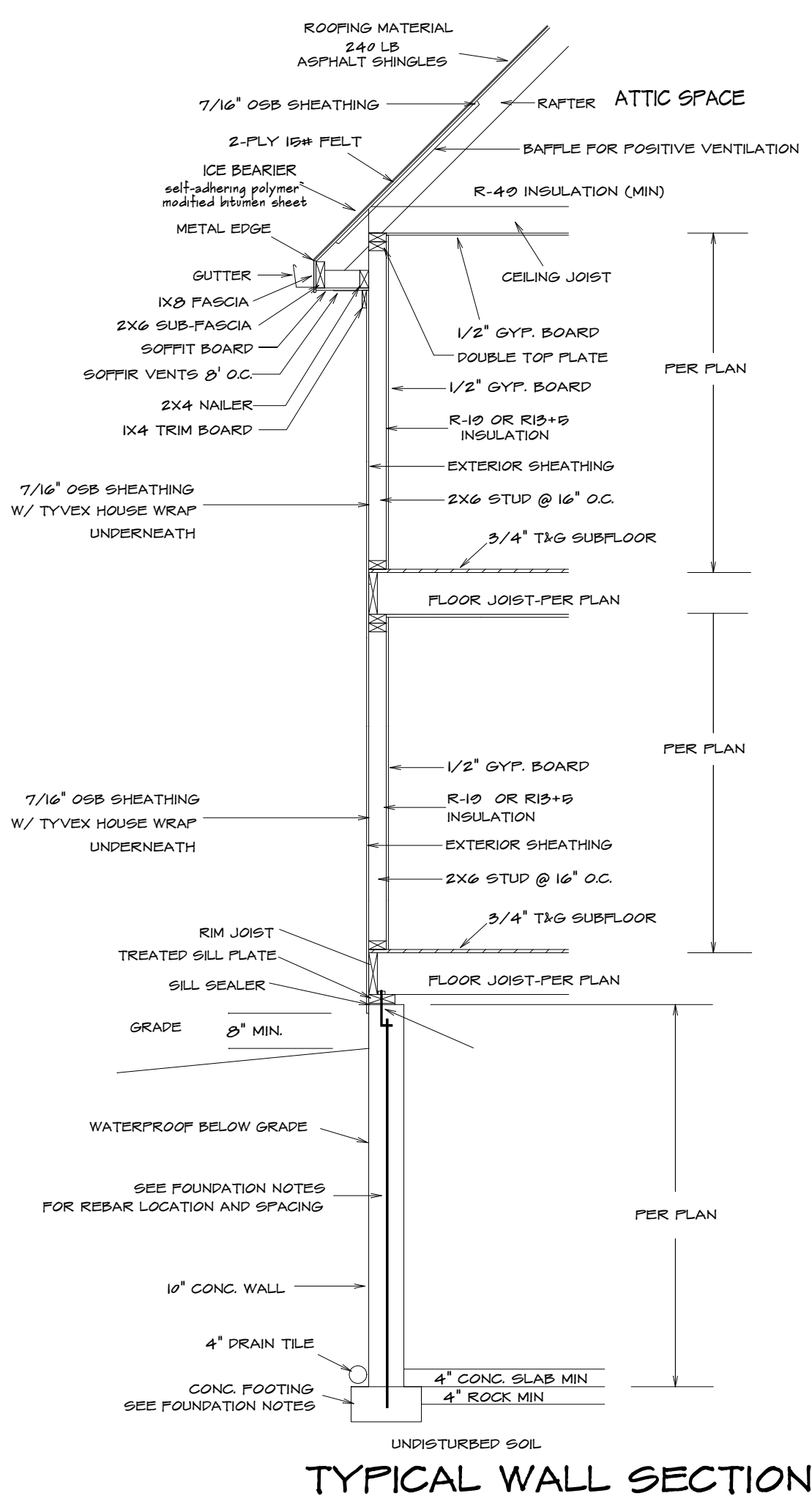


**TYPICAL CANTILEVER FRAMING W/ DECK ATTACHMENT**

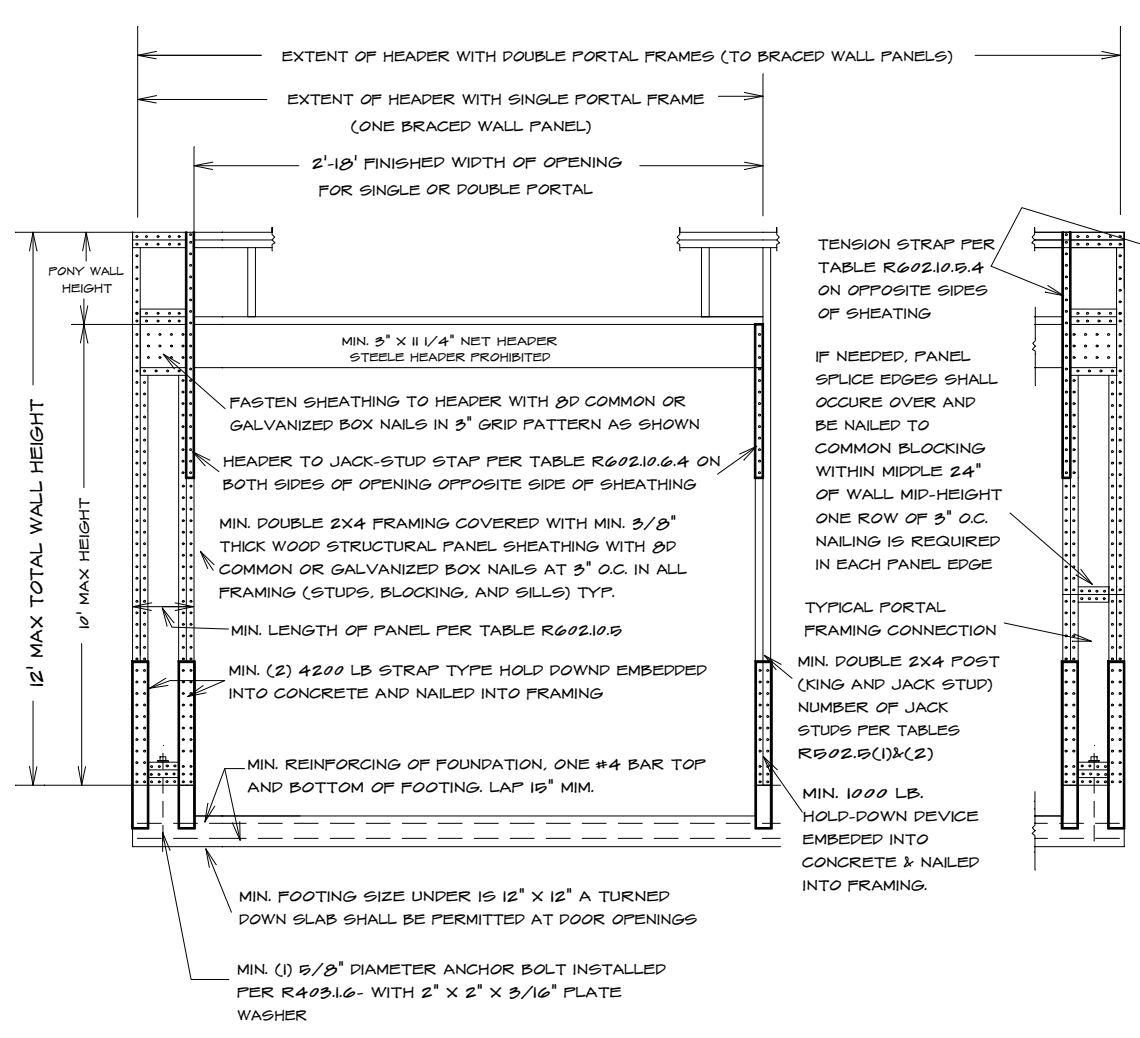
DECK JOIST SPAN	1/2" O LAG SPACING	EQUIVALENT SPACING FOR 16" O.C. JOIST BAYS
UP TO 10'-0"	16" O.C.	N/A
10'-0" - 14'-0"	12" O.C.	16" O.C. DBL EVERY OTHER
14'-0" - 18'-0"	8" O.C.	16" O.C. DBL EVERY JOIST BAY



**UPSET STEEL BEAM/JOIST CONNECTION**



**TYPICAL WALL SECTION**



**ALTERNATE BRACED WALL PANEL**  
R60210.3.3 Method PPH: Portal frame with hold-downs

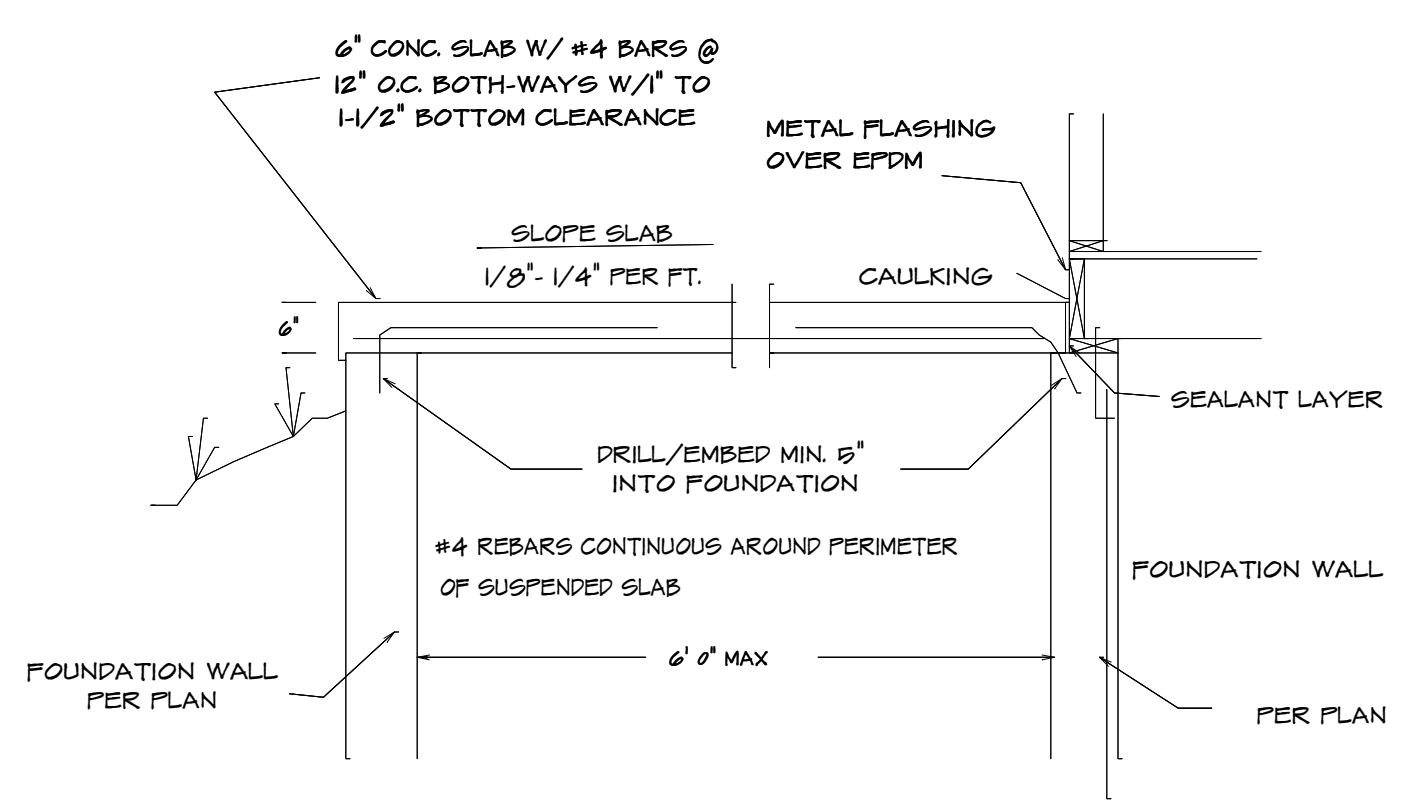
**BRACED WALLS:**

METHOD WSP (R60210.2 2012 IRC): MIN. 5/16" APA RATED WITH 2x4 NAILS @ 6" AND 12"

METHOD GB (R60210.2 2012 IRC): MIN. 1/2" GYPSUM BOARD WITH NO. 6 1/4" TYS W OR 5 SCREWS @ 7" O.C. EDGES AND WALL (4'-0" LONG, BOTH FACES OF WALL)

1. ALTERNATE BRACED WALL PANEL. R60210.3.3 Method PPH: Portal frame with hold-downs
2. ALTERNATE BRACED WALL PANEL. R60210.3.4 Method PPH: at garage door openings in Seismic Design Categories A, B and C
3. ALTERNATE BRACED WALL PANEL. R60210.3.2 Method ABW: Alternate braced wall panels
4. ALTERNATE BRACED WALL PANEL. R60210.6.4 Method CS-PF: Continuously sheathed portal frame

1. PROVIDE SOLID BLOCKING ABOVE AND BELOW ALL BRACED WALL LINES WHERE FRAMING ABOVE OR BELOW RUNS PERPENDICULAR TO THE BRACING. THE BRACED WALL SILL PLATE AND TOP PLATE SHALL BE FASTENED TO BLOCKING (R60210.6.4) FRAMING MEMBER WHERE PROVIDED) WITH (3) 1/4" NAILS @ 16" O.C.
2. SIMPSON ST1414 HOLD-DOWN STRAPS MAY BE SUBSTITUTED WITH SIMPSON PH22 HOLD-DOWNS AND A 5/8" ANCHOR ROD DRILLED AND EPOXYED A MIN. 7" INTO THE FOUNDATION



**FORMWORK OPTIONS:**

1. PROVIDE VULCRAFT 2VL (OR EQUAL CORRUGATED DECKING (SHORE AT MID-SPAN DURING CONSTRUCTION) OR
2. PLYWOOD FORMS WITH EXPANFABLE BAR JOIST OR TEMPORARY FRAMED WALLS BY CONTRACTOR

**SUSPENDED PORCH STOOP DETAIL**  
OPTIONAL

**PORCH SLAB (6" SPAN OR LESS)**

1. MAXIMUM SPAN = 6'
2. MINIMUM 6" THICKNESS
3. #4 REBARS AT 18" O.C. EACH WAY
4. MIN. 1/2" OF CONTINUOUS BEARING AT THE EDGES OF SLAB
5. PORCH SLAB GREATER THEN 6" SHALL BE TREATED AS AN ELEVATED GARAGE SLAB

**INSULATION NOTES:**

2018 IRC  
MIN. INSULATION SHALL BE PROVIDED ADJACENT TO HABITABLE AREAS AS FOLLOWS:  
EXTERIOR FRAMED WALLS (R10 OR R15+)  
FLOOR OVER HEATED SPACE R10  
FLOOR OVER OUTSIDE AIR R10  
ATTIC - BLOWN IN R49  
CATHEDRAL CEILING R50

**SECTION R316 CARBON MONOXIDE ALARMS**

R316 Carbon monoxide alarms.  
For new construction, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which built-in appliances are installed and in dwelling units that have attached garages.

R316.2 Carbon monoxide detection systems.  
Carbon monoxide detection systems that include carbon monoxide detectors and audible notification appliances, installed and maintained in accordance with the section for carbon monoxide alarms and NFPA 720, shall be permitted. The carbon monoxide detectors shall be listed as complying with UL 297B. Where a household carbon monoxide detection system is installed, it shall become a permanent feature of the occupancy, owned by the homeowner and shall be maintained by an approved servicing station.

**SMOKE ALARMS:**

2018 IRC  
PROVIDE SMOKE ALARMS IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING ROOM AND ON EACH FLOOR, INCLUDING BASEMENT. ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING. (SECTION R314.8)

**FRAMING NOTE**

1. ALL LUMBER SIZES ARE FOR #2 D-FIR-LARCH
2. ALL HEADERS TO BE MIN (2) #2-2X10
3. BLOCK CANTILEVERS, DOOR JAMBS, AND OVER DOORS
4. ALL HEADERS TO BEAR ON MIN. OF (2) 2X4 STUDS
5. JOIST UNDER BEARING PARTITIONS SHALL BE DOUBLED AND COVERED WITH RC SEC. R302.4
6. WATER RESISTIVE BARRIERS SHALL BE PROVIDED OVER ALL EXTERIOR WALL PER RC SEC. R715
7. WHERE CEILING JOIST ARE NOT INSTALLED CONNECTED TO THE RAFTERS AT THE TOP PLATE AND/OR WHERE CEILING JOIST ARE NOT INSTALLED IN THE LOWER 1/3 OF ATTIC SPACE RAFTER TIES SHALL BE INSTALLED IN THE LOWER 1/3 OF ATTIC
8. COLLAR TIES SHALL BE PROVIDED IN THE ATTIC SPACE IN THE UPPER 1/3 OF ATTIC
9. ROOF IS DESIGNED FOR 20 P.S.F. ROOF SNOW LOAD (MIN)
10. MIN. 20 PLY ASPHALT SHINGLES
11. RAFTER TIES SHALL NOT BE REQUIRED WHEN A STRUCTURAL RISER HAS BEEN PROVIDED AND ADEQUATELY DESIGNED (AS IN A FULLY VAULTED ROOM) SUCH SHALL BE NOTED AS 'STRUCTURAL' ON THE PLAN PER IRC SEC. R302.3

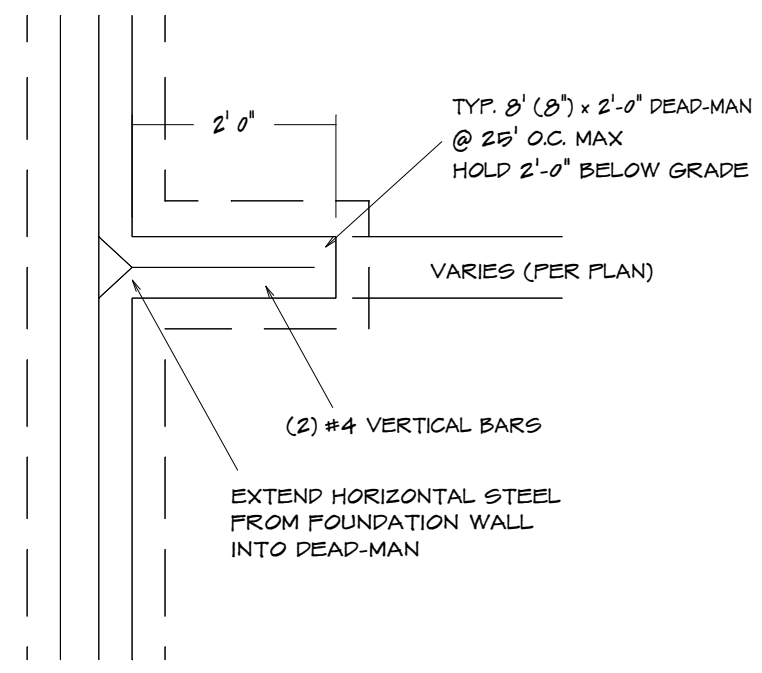
**R302.2 Guard opening limitations.**  
Required guards on open sides of stairways, raised floor areas, balconies, and porches shall have intermediate rails or ornamental closures that do not allow passage of a sphere 4" or more in diameter.

**R302.3 Opening protection.**  
Openings from a private garage directly into a room used for sleeping purposes shall not be permitted.  
Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches in thickness, solid or honeycomb-core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors, equipped with a self-closing device.

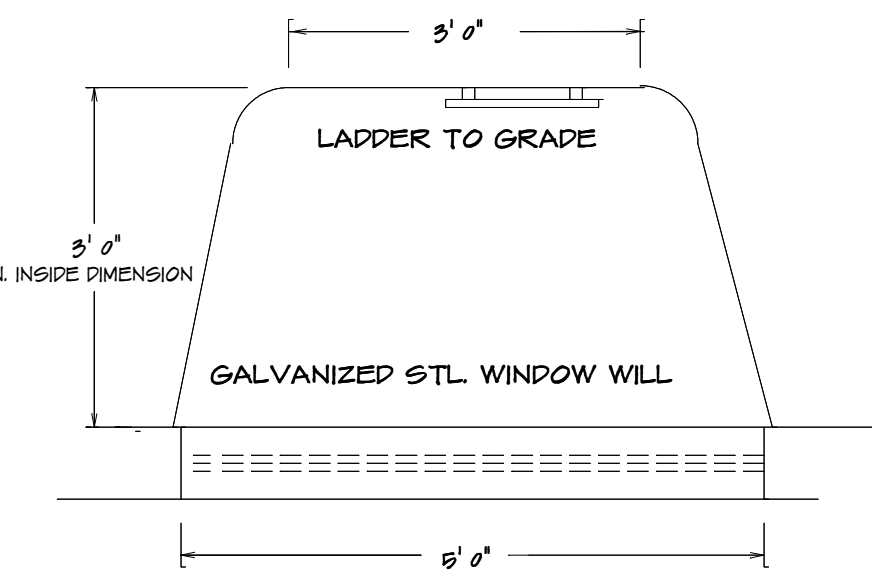
**TYPICAL DETAILS**

DATE DRAWN:	DATE REVISED:	DESIGNER:
PHONE:	PHONE:	LOT NO.
HOME BUYER:	BUILDER:	SUB-DIVISION:
SHEET NO. 6	PLAN NO. KH-610	FILE NAME: 610 SECI
APPROX. SQ.FT.		

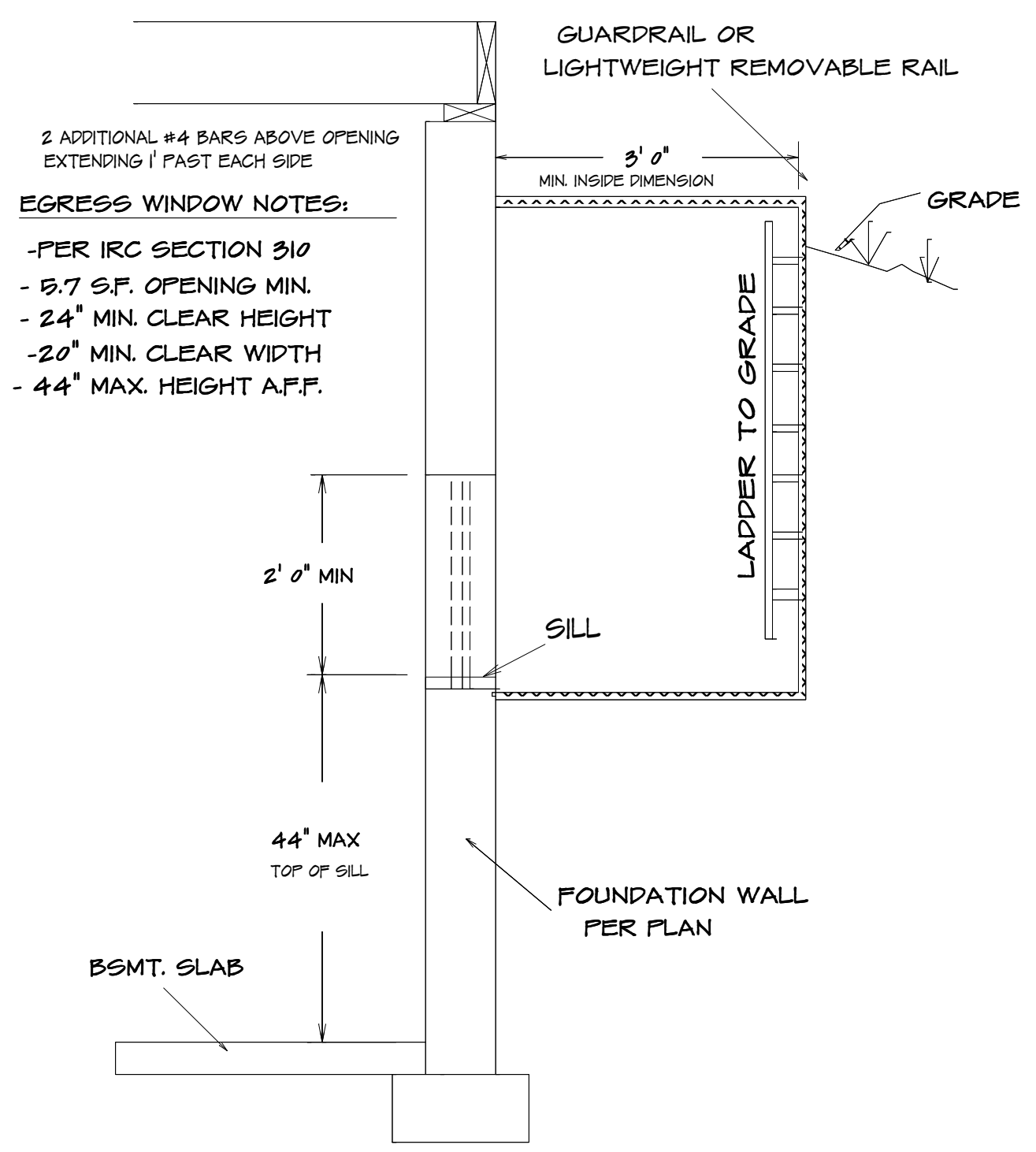
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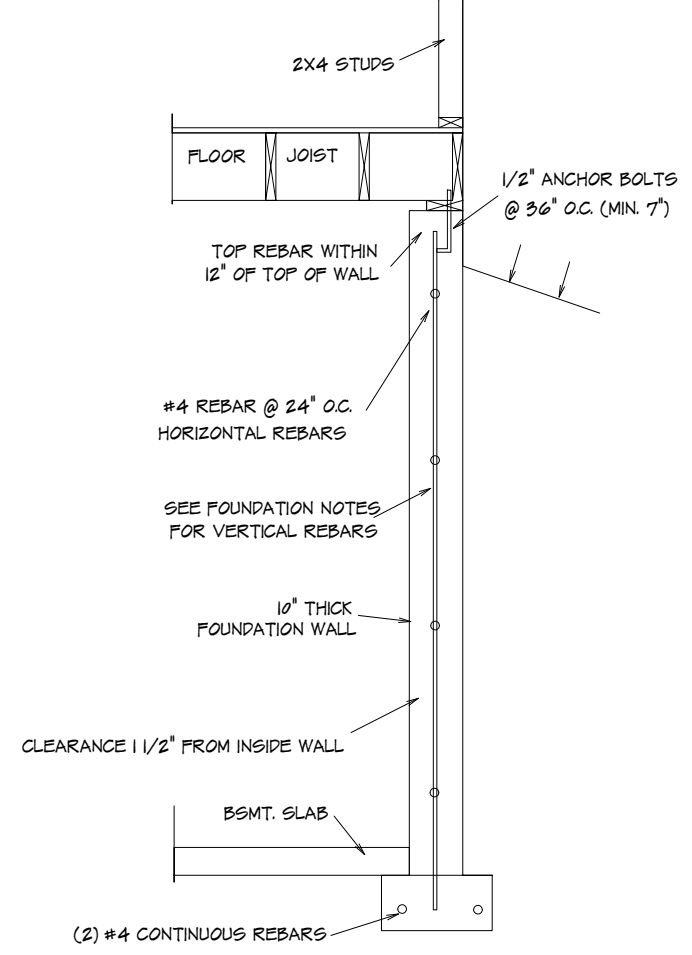
TYPICAL DEAD-MAN SECTION



TYPICAL EGRESS WINDOW PLAN SECTION



TYPICAL EGRESS WINDOW SECTION DETAIL



TYPICAL FOUNDATION WALL

**FOUNDATION NOTES:**

FND WALL REINFORCEMENT (CLASS 60 SOL. EXCEPT FOR RARE CIRCUMSTANCES) (ALL REBARS TO BE GRADE 40)

1' WALL W/ 9" BACKFILL VERT. #4 REBARS @ 12" O.C.  
 2' WALL W/ 7" BACKFILL VERT. #4 REBARS @ 12" O.C. SET ON A 16" x 8" CONCRETE FOOTER WITH (2) #4 REBARS CONTINUOUS.

1 1/2' WALL W/ 9" BACKFILL VERT. #4 REBARS @ 8" O.C.  
 1 1/2' WALL W/ 9" BACKFILL VERT. #4 REBARS @ 12" O.C. SET ON A 24" x 12" CONCRETE FOOTER WITH (2) #4 REBARS CONTINUOUS.

HORIZ #4 REBARS @ 24" O.C.

ALL SUPPORT COLUMNS TO BE 3/8" DIA SCH 40 STEEL 8" x 4" CONCRETE WALL WITH (3) #4 REBARS HORIZ. AND WITH #4 REBARS @ 24" O.C. VERTICALLY

CONCRETE GARAGE FLOOR - 4" CONCRETE ON 4" CRUSHED ROCK

CONCRETE GARAGE FLOOR - 4" CONCRETE ON 4" CRUSHED ROCK WITH 6X6 10/10 WIRE MESH (SUSPENDED GARAGE FLOORS TO BE DESIGNED BY LICENSED ENGINEER)

COLUMN FOOTINGS FOR MIN. SOIL LOAD OF 800 LBS

42" x 42" x 12" CONCRETE PADS WITH (4) #4 REBARS EACH WAY (UNLESS NOTED)

CONCRETE GRADE PADS - 16" x 8" WITH (2) #4 REBARS CONTINUOUS.

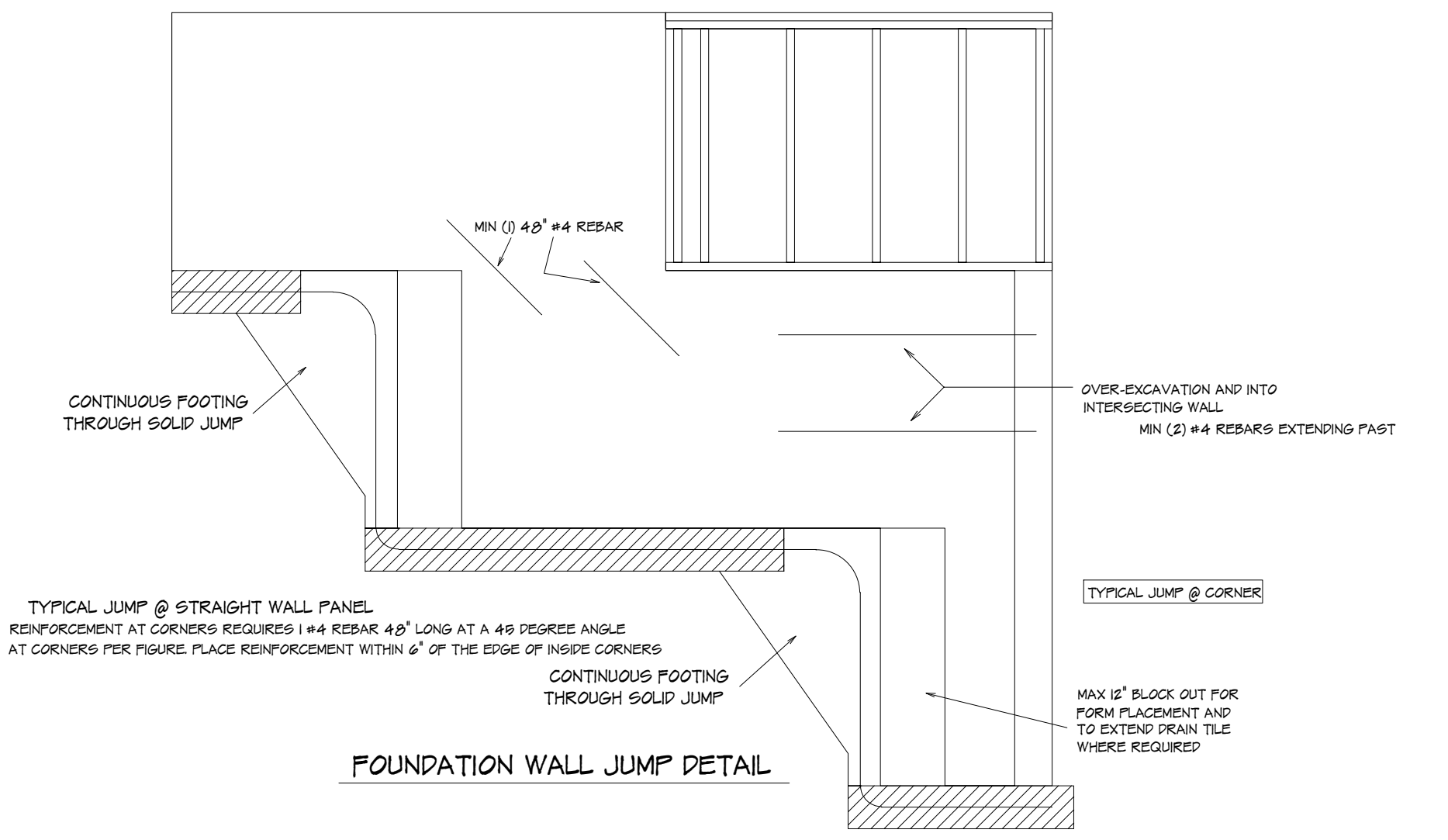
ALL FOOTINGS SHALL EXCEED A MINIMUM PROST DEPTH OF 36" INCHES BELOW GRADE. MAXIMUM DEPTH OF UNBALANCED FILL IS (1 FEET) FOR 8" HIGH WALL AND (3 FEET) FOR TEN-INCH WALL.

WATERPROOF CONCRETE WALL FROM FOOTING TO GRADE LINE.

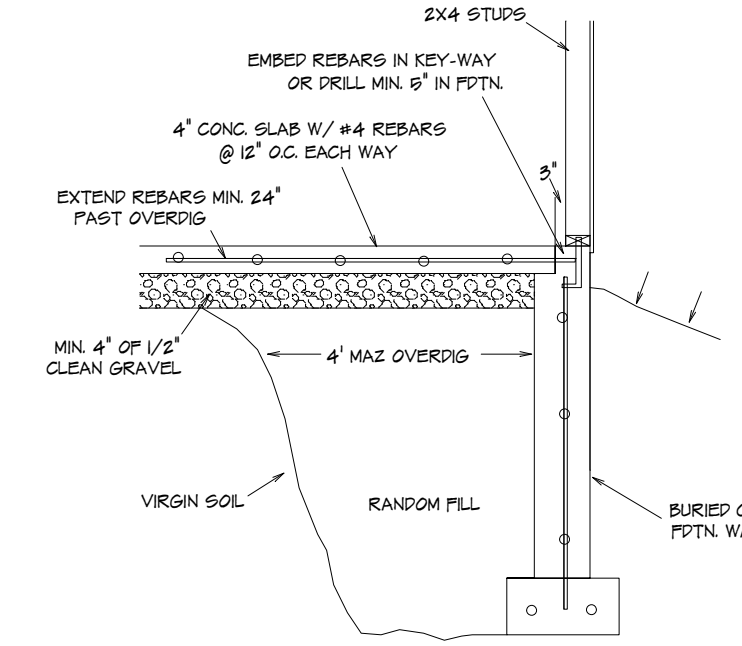
OPTIONAL WALK-OUT WALL 16" x 24" CONCRETE FOOTER W/ (3) #4 REBARS PARALLEL 12" O.C. CONTINUOUS. #4 REBAR VERT BENT INTO FLOOR 7' @ 24" O.C.

BELOW GRADE USE 4" OF CONCRETE ON 4" CRUSHED ROCK WITH 6 MIL-POLY OVER CRUSHED ROCK BELOW GRADE.

DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND AT LEAST 1 FOOT BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6 INCHES ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP OF OPEN JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH STRIPS OF BUILDING PAPER AND DRAINAGE TILES OR PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2 INCHES OF WASHED GRAVEL OR CRUSHED ROCK AT LEAST ONE SIZE LARGER THAN THE TILE JOINT OPENING OR PERFORATION AND COVERED WITH NOT LESS THAN 6 INCHES OF THE SAME MATERIAL.



FOUNDATION WALL JUMP DETAIL



TYPICAL OVERDIG @ SLAB

**ROOF ELEVATION**  
 1/8" = 1'-0"

NOTE: HP RIDGE FOR THE MAIN ROOF AS:  
 2X8 FOR UNBRACED LENGTH UP TO 9'-0"  
 2X10 FOR UNBRACED LENGTH UP TO 10'-0"  
 2X12 FOR UNBRACED LENGTH UP TO 12'-0"

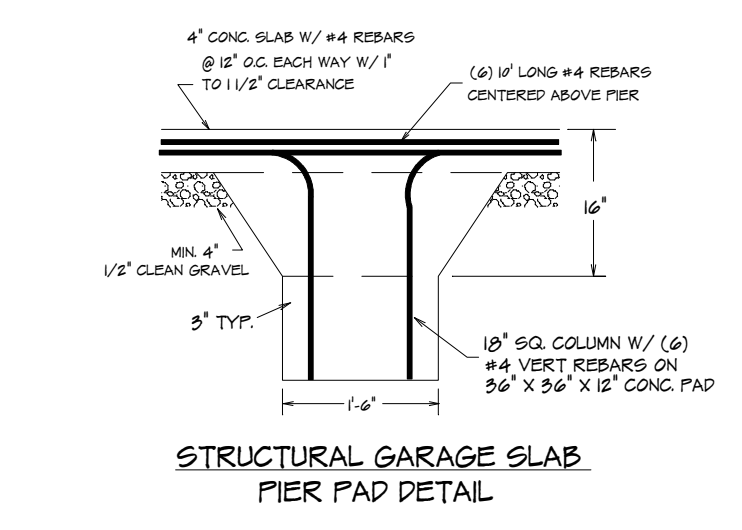
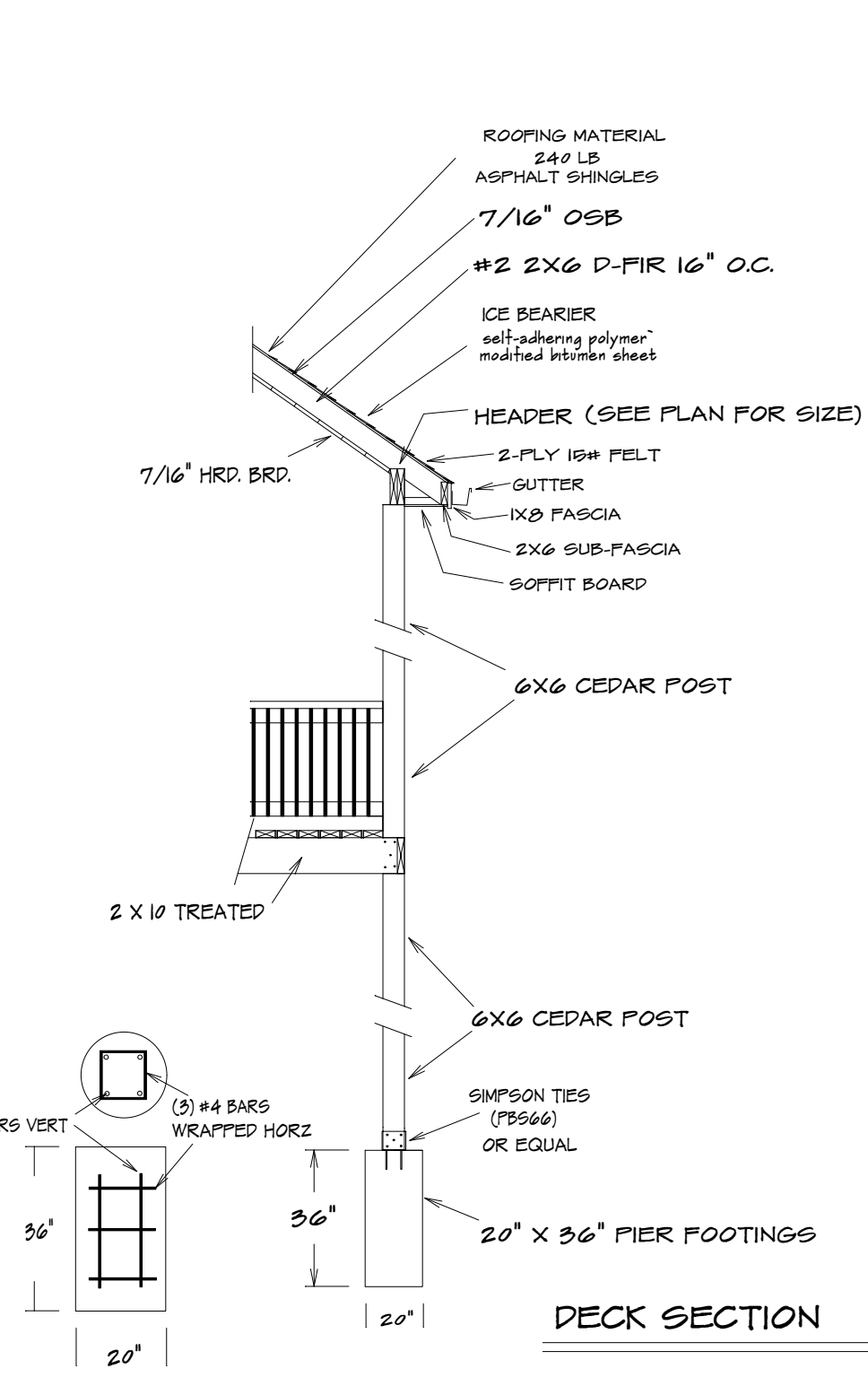
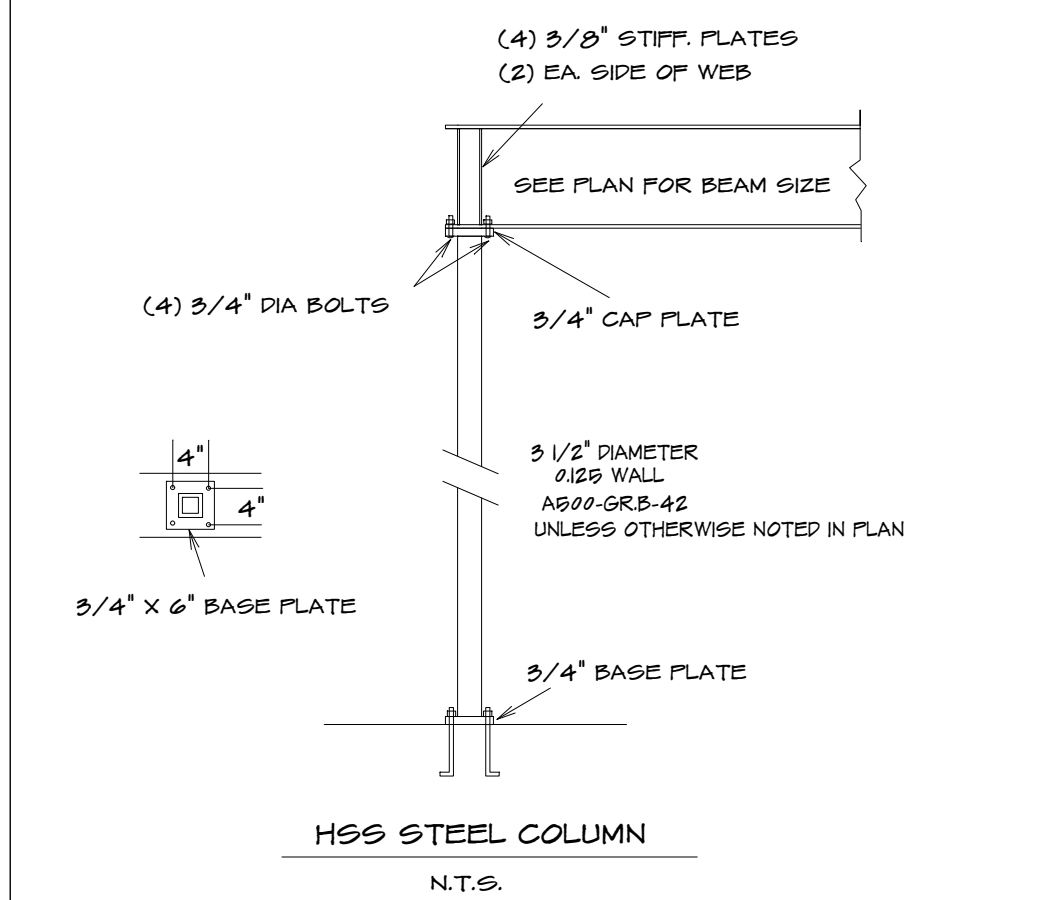
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FURLING RAFTERS TO BEARING WALL LINES

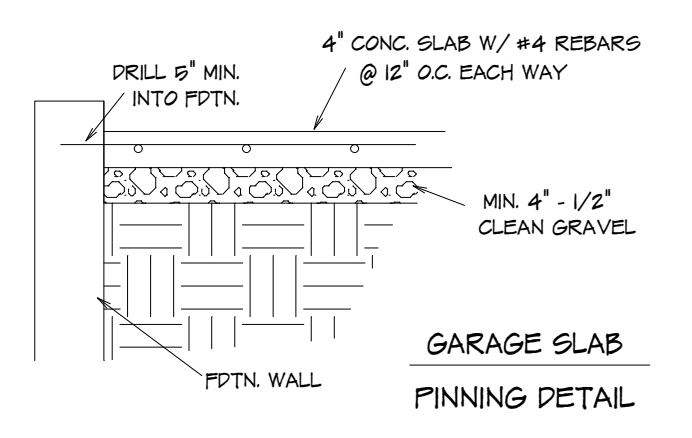
CONNECT RAFTERS TO CEILING JOIST W (4) 16d GALV. NAILS

CONNECT RAFTERS TO RIDGE, VALLEY, AND HP RIDGE WITH (4) 16d GALV. NAILS

VERT. RIDGE AND RAFTER SUPPORTS TO BE EQUAL TO OR GREATER THAN THE DEPTH OF RAFTERS



STRUCTURAL GARAGE SLAB PIER PAD DETAIL



GARAGE SLAB PINNING DETAIL

**REQUIRED FOOTING:**

BUILDING HEIGHT	MINIMUM FOOTING	HORIZONTAL REBAR	LOCATION OF REBAR
1 OR 2 STORY	8" T x 16" W	2-#4	6" FROM BTM
3 STORY	8" T x 24" W	2-#4	6" FROM BTM
ACC. STR.	8" T x 12" W	2-#4	6" FROM BTM

**Table No. R-302-22**  
 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

TYPE OF LOCATION OF CONCRETE CONSTRUCTION	MINIMUM SPECIFIED COMPRESSIVE STRENGTH (PSI)	
	Nonseismic	Seismic
Reinforced walls and foundations not subject to the overtopping of water	2,500	2,500
Reinforced slabs and exterior exterior grade, except garage floor slabs	2,500	2,500
Reinforced walls, foundations, walls, exterior walls, and other walls not subject to the overtopping of water	2,500	2,500
Piercaps, support slabs and slabs subject to the overtopping of water	2,500	2,500

SHEET NO. 7

PLAN NO. KH-610

FILE NAME: 610 SECC

APPROX. SQ.FT.

DATE DRAWN:

DATE REVISED:

DESIGNER:

PHONE:

PHONE:

LOT NO.

HOME BUYER:

BUILDER:

SUB-DIVISION:

BUILDER/CONTRACTOR IS RESPONSIBLE TO CHECK ALL DIMENSIONS FOR ACCURACY BETWEEN FLOORS, FOUNDATION AND ELEVATIONS ALSO VERIFY ALL BEAM HEADERS, PIG LOCATIONS, AND COLUMN SIZES. BUILDER/CONTRACTOR TO CHECK FOR CONFLICTS WITH ALL EXISTING UTILITIES AND RECORDS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.