



**KLEHR HARRISON  
HARVEY BRANZBURG<sup>LLP</sup>**

**PERMIT HOLDER EXHIBIT PACKET**  
**10 BETHLEHEM PIKE**

ZBA Calendar No. MI-2021-003377  
Application No. ZP-2021-003377  
Wednesday, October 13, 2021 @ 2:00pm

- 1. By-Right Project RCO Presentation**
- 2. Zoning Plans**
- 3. July Neighbor Presentation**
- 4. Letter Opposing Appeal**
- 5. Bill No. 210075**
- 6. Zoning Code Sections:**
  - A. §14-701(1)(c)**
- 7. Woodcock Design - Expert Report**
- 8. Expert Witness CV**
- 9. List of Community Meeting**
- 10. Letter to Chestnut Hill Neighbors**

# **Exhibit 1**

# PROJECT DESCRIPTION AS-OF-RIGHT

| LOT INFORMATION                 |  |   |
|---------------------------------|--|---|
| LOT ADDRESS(ES):                | 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118 |   |
| LOT AREA(S):                    | 11,113 SF                                  |   |
| BASE ZONING DISTRICT:           | CMX-2                                      |   |
| OVERLAY ZONING DISTRICT:        | WWO WISSAHICKON WATERSHED OVERLAY DISTRICT |   |
| USE REGULATIONS                 |  |   |
| PROPOSED & PERMITTED USES:      | BASEMENT THRU 1ST                          | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|                                 | 2ND THRU 5TH                               | MULTI-FAMILY HOUSING  |
| DISTRICT & LOT DIMENSIONS       |  |   |
|                                 | REQUIRED                                   | PROPOSED  |
| MIN LOT WIDTH (FT)              | N/A  | NO CHANGE   |
| MIN LOT AREA (SF)               | N/A  | NO CHANGE   |
| MAX OCCUPIED AREA (% OF LOT)    | 80%  | 79.5% (8,839 SF BLDG)   |
| MAX UNITS ALLOWED               | 35 (see Note 1)                            | 34  |
| YARDS                           |  |   |
| MIN FRONT YARD DEPTH (FT)       | N/A  | 0' - 0"   |
| MIN SIDE YARD WIDTH, EACH (FT)  | 5 FT if used                               | 0' - 0"   |
| MIN REAR YARD DEPTH (FT)        | 9'-0" (see Note 2)                         | 10'-0"  |
| HEIGHT                          |  |   |
| MAX HEIGHT (FT)                 | 46'-9 1/2" (see Note 3)                    | 46'-9 1/2"  |
| MAX FLOOR AREA (% OF LOT AREA)  | N/A  | N/A   |
| OFF STREET PARKING REQUIREMENTS |  |   |
| CAR PARKING                     | 0  | 0   |
| BICYCLE PARKING                 | 12 (1 bicycle per 3 units)                 | 12  |

## NOTES

**Note 1:** Section 14-602(4)(a)[2](.b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that (.c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.

Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (.6). Per Housing Unit density Bonuses table, 25% increase in units permitted is provided for Moderate Income.

**Maximum units allowed = 11,113 SF / 480 SF per unit = 23 units**  
**Green Roof Bonus = 23 units x .25% = 5.75 units (5 rounded down) = 28 units**  
**Moderate Income Density Bonus = 28 units x .25% = 7 units = 35 units allowed.**

**Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.

**Minimum rear yard depth = 77'-3" x .1 = 7'-8 3/4", therefore, it shall be 9'-0" or greater.**

**Note 3:** Per table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0".

Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (.6). Per Additional Building Height table, 7'-0" of height bonus.

Section 14-202(6) Rules of Measurement - Height, Building or Structure the vertical distance from the average ground level at the base of the structure to the top of the structure.

**Building Height= 38'-0" + 7'-0" (height bonus) = 45'-0"**  
**Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**  
**Average Grade = 438.61' = +1.81' (1'-9 1/2")**

**Total Building Height = 38'-0" + 7'-0" + 1'-9 1/2" = 46' - 9 1/2"**



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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**PROJECT DESCRIPTION  
AS-OF-RIGHT**

|                      |              |                    |
|----------------------|--------------|--------------------|
| SCALE<br>12" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|----------------------|--------------|--------------------|

SHEET NO.

**A01**



VIEW FROM BETHLEHEM PIKE



VIEW TOWARD BETHLEHEM PIKE (FROM SUMMIT ST)



VIEW FROM SUMMIT ST

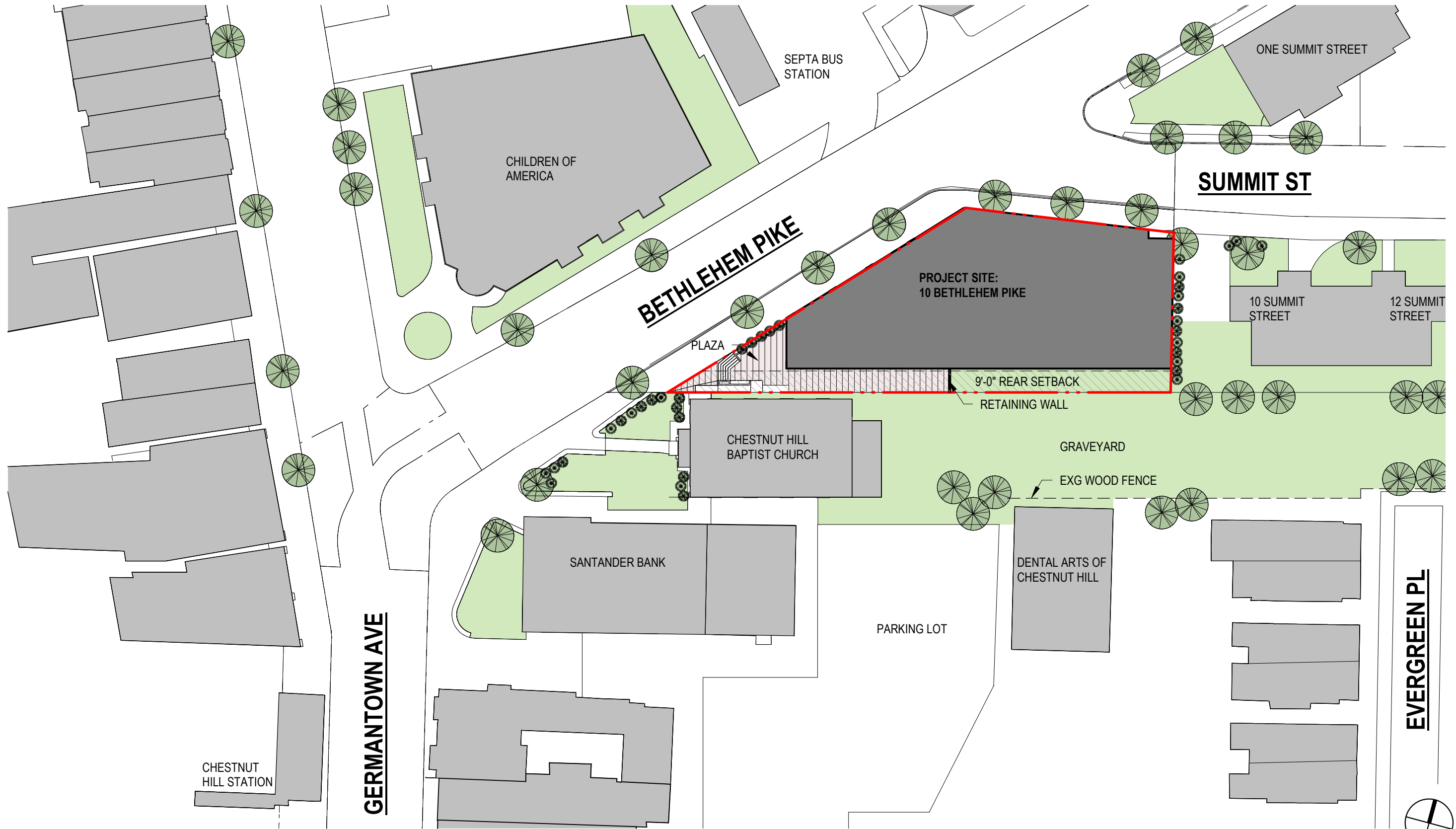
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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**EXISTING SITE PHOTOS**

|           |              |                    |
|-----------|--------------|--------------------|
| SCALE     | DRAWN<br>JAV | PROJECT NO.<br>567 |
| SHEET NO. |              | <b>A02</b>         |



**10 BETHLEHEM PIKE**  
 10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

COSCIA MOOS  
 ARCHITECTURE

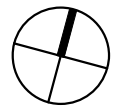
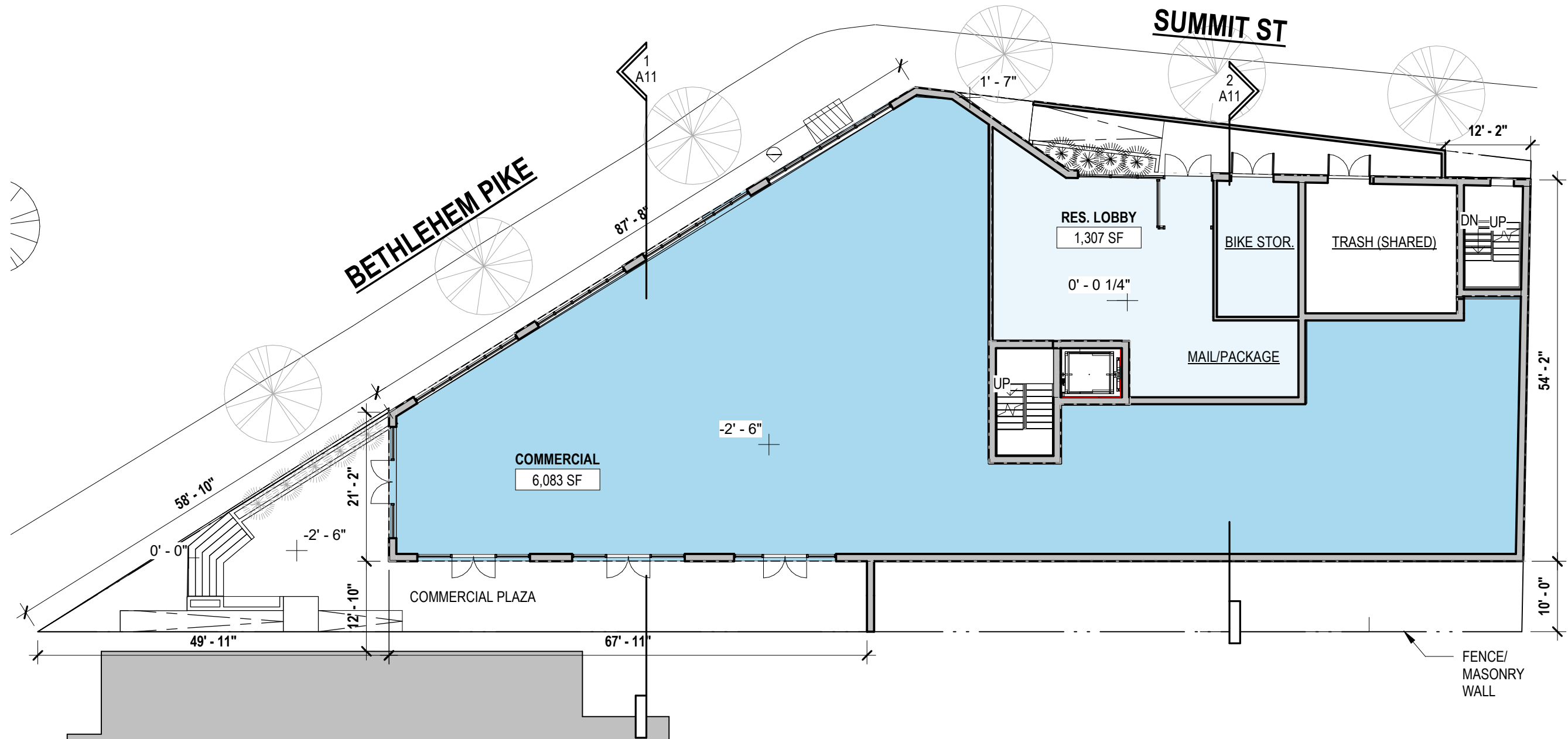
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**SITE PLAN**  
 AS-OF-RIGHT

|                      |              |                    |
|----------------------|--------------|--------------------|
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|                         |
|-------------------------|
| SHEET NO.<br><b>A03</b> |
|-------------------------|

**APARTMENT UNIT MIX**

|                   |           |
|-------------------|-----------|
| JR 1 BDR          | 3         |
| 1 BDR             | 19        |
| 2 BDR             | 12        |
| <b>UNIT TOTAL</b> | <b>34</b> |



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**COSCIA MOOS**  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

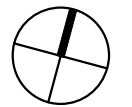
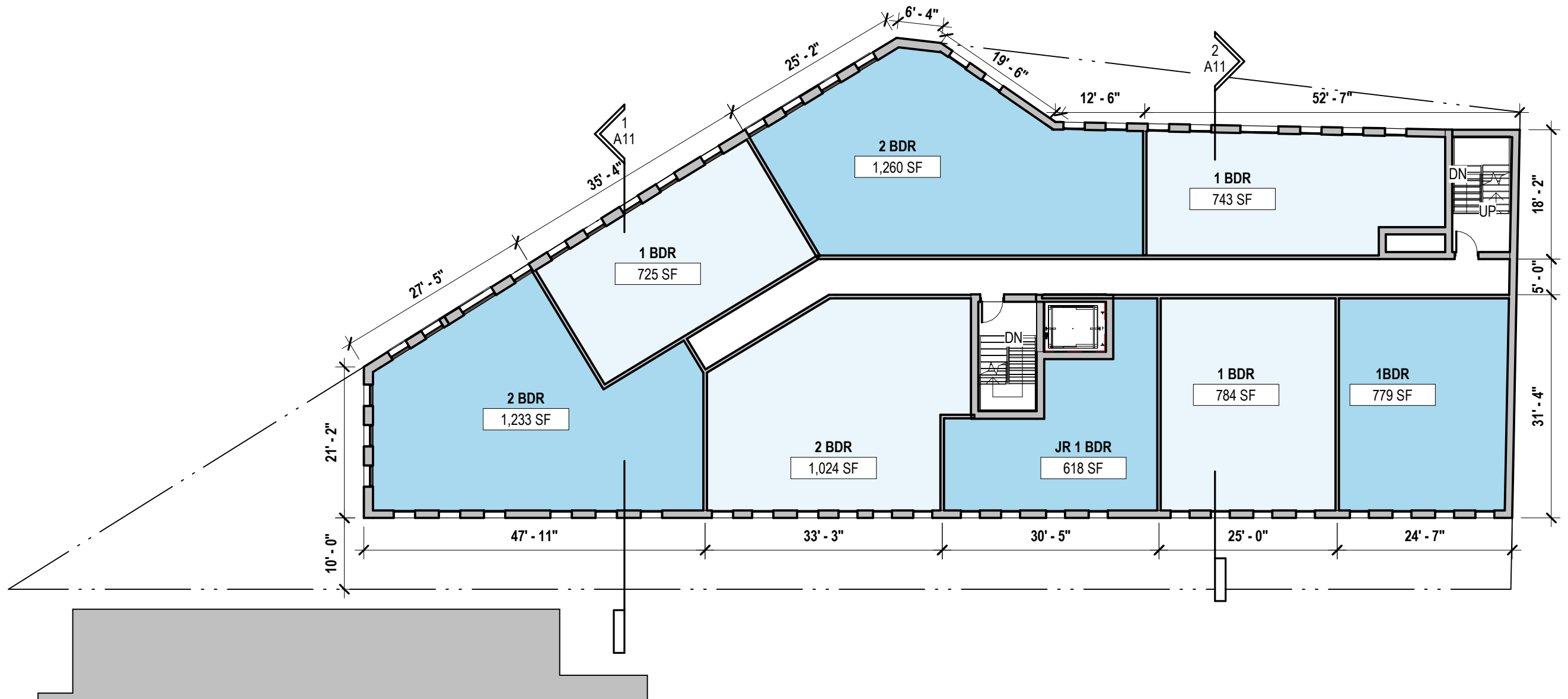
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**GROUND FLOOR PLAN**  
**AS-OF-RIGHT**

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

SHEET NO.  
**A04**

**LEVEL 2 - APARTMENT MIX**

|                   |          |
|-------------------|----------|
| JR 1 BDR          | 1        |
| 1 BDR             | 4        |
| 2 BDR             | 3        |
| <b>UNIT TOTAL</b> | <b>8</b> |



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**COSCIA MOOS**  
 ARCHITECTURE

**10 BETHLEHEM PIKE**  
 10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

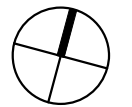
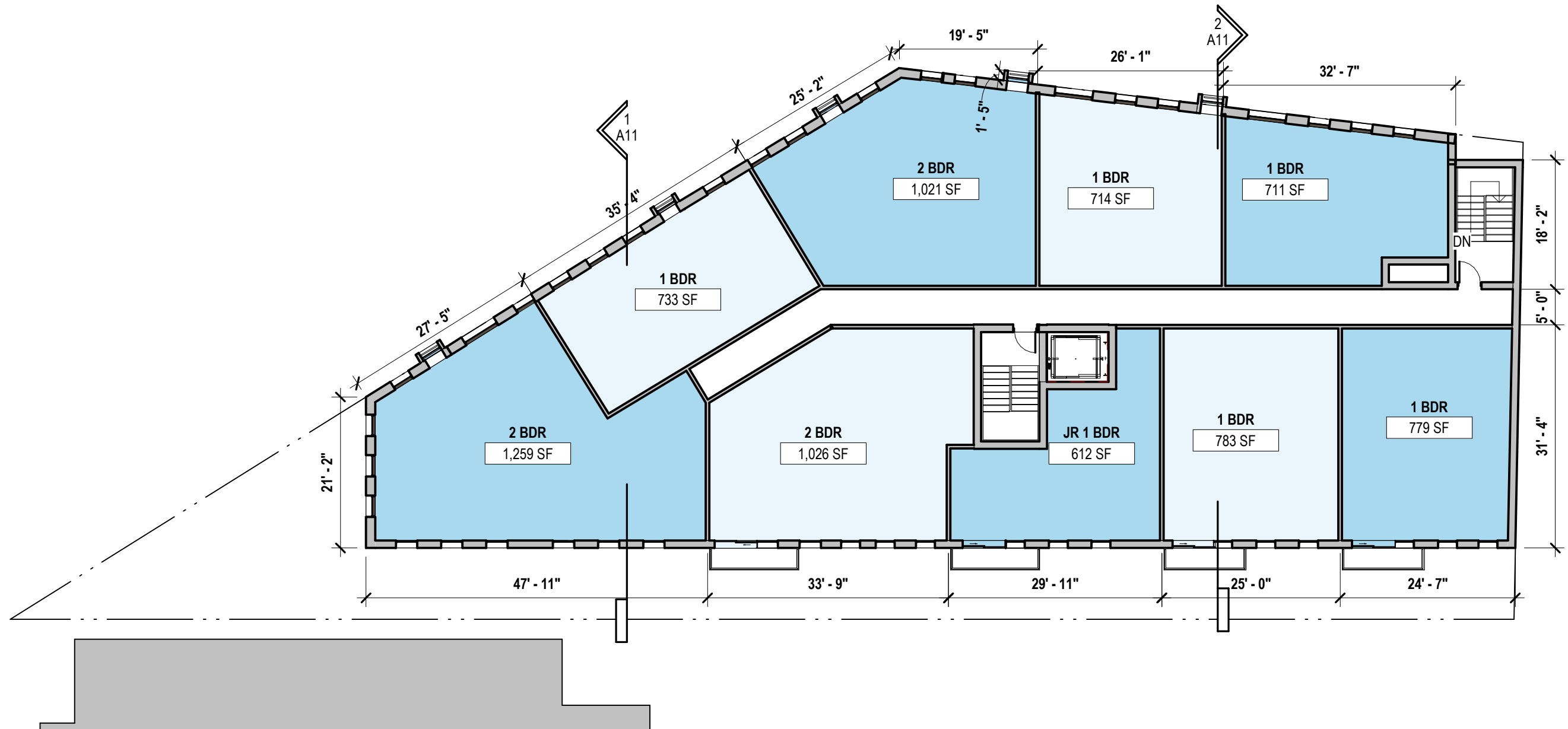
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**2ND FLOOR PLAN**  
**AS-OF-RIGHT**

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

SHEET NO.  
**A05**

**LEVEL 3&4 - APARTMENT MIX**

|                   |          |
|-------------------|----------|
| JR 1 BDR          | 1        |
| 1 BDR             | 5        |
| 2 BDR             | 3        |
| <b>UNIT TOTAL</b> | <b>9</b> |



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**COSCIA MOOS**  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**3RD AND 4TH FLOOR PLAN**  
**AS-OF-RIGHT**

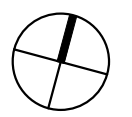
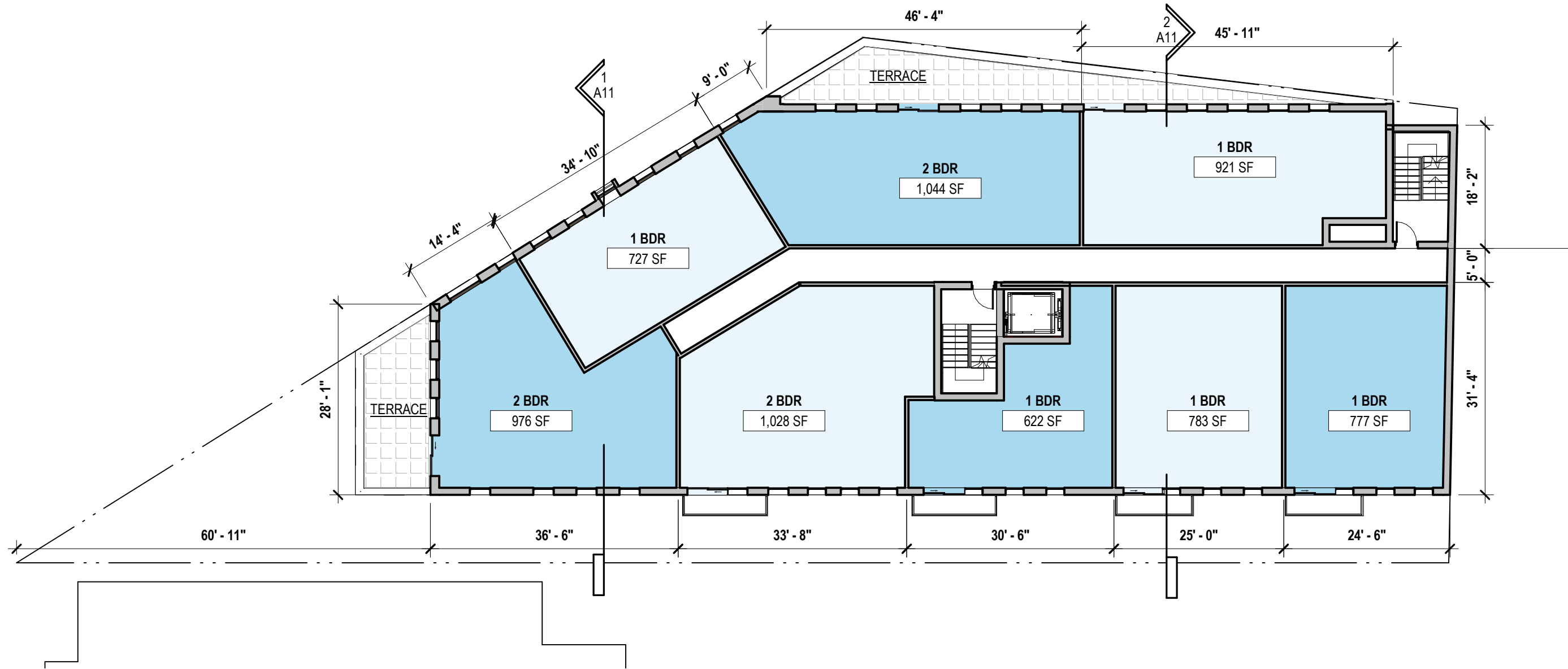
|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
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SHEET NO.  
**A06**



**LEVEL 5 - APARTMENT MIX**

|                   |          |
|-------------------|----------|
| JR 1 BDR          | 0        |
| 1 BDR             | 5        |
| 2 BDR             | 3        |
| <b>UNIT TOTAL</b> | <b>8</b> |



**COSCIA MOOS**  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**5TH FLOOR PLAN**  
**AS-OF-RIGHT**

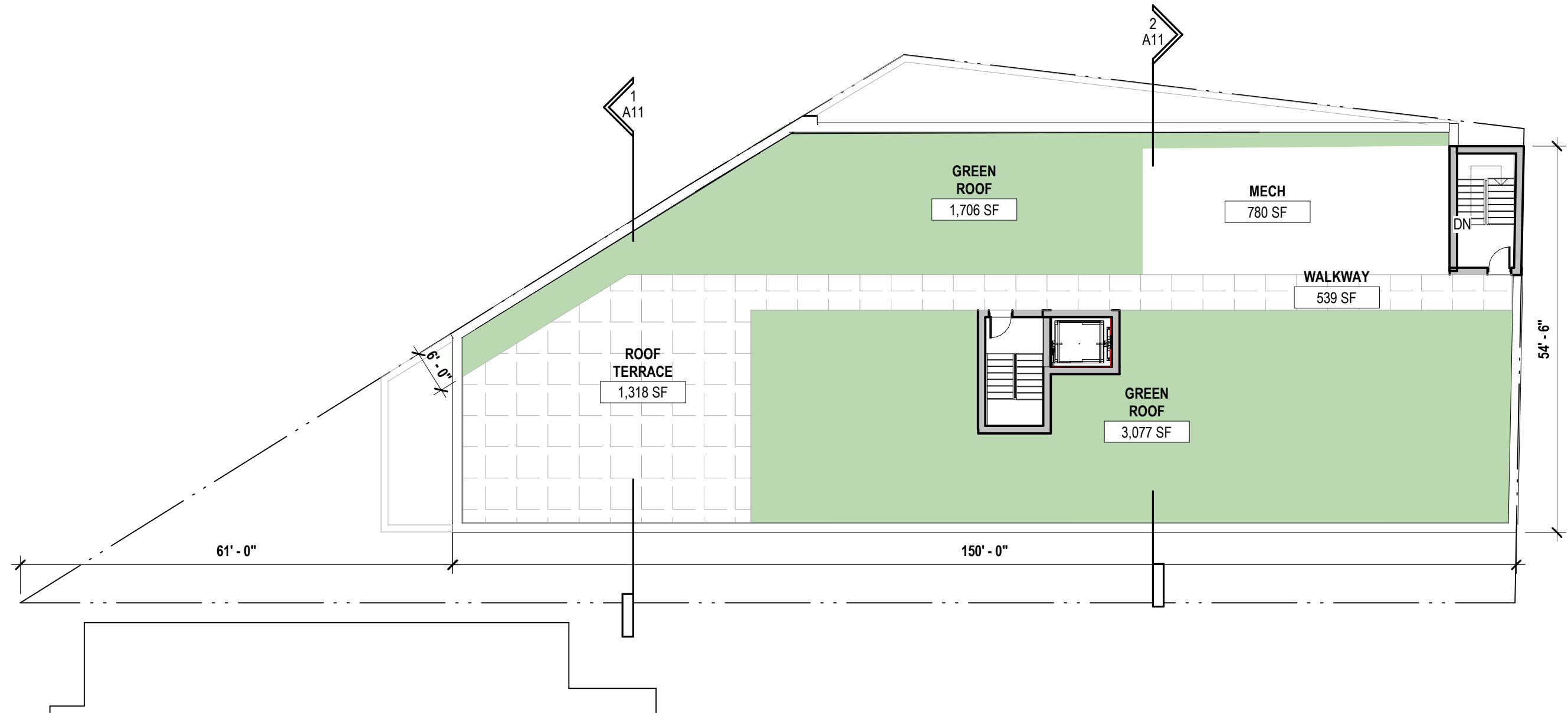
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|------------------------|--------------|--------------------|
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SHEET NO.  
**A07**

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ROOF AREA: 7,971 SF

GREEN ROOF REQUIRED: 60% OF ROOF AREA  
GREEN ROOF MINIMUM: 4783 SF  
GREEN ROOF PROVIDED: 4783 SF



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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**ROOF PLAN**  
**AS-OF-RIGHT**

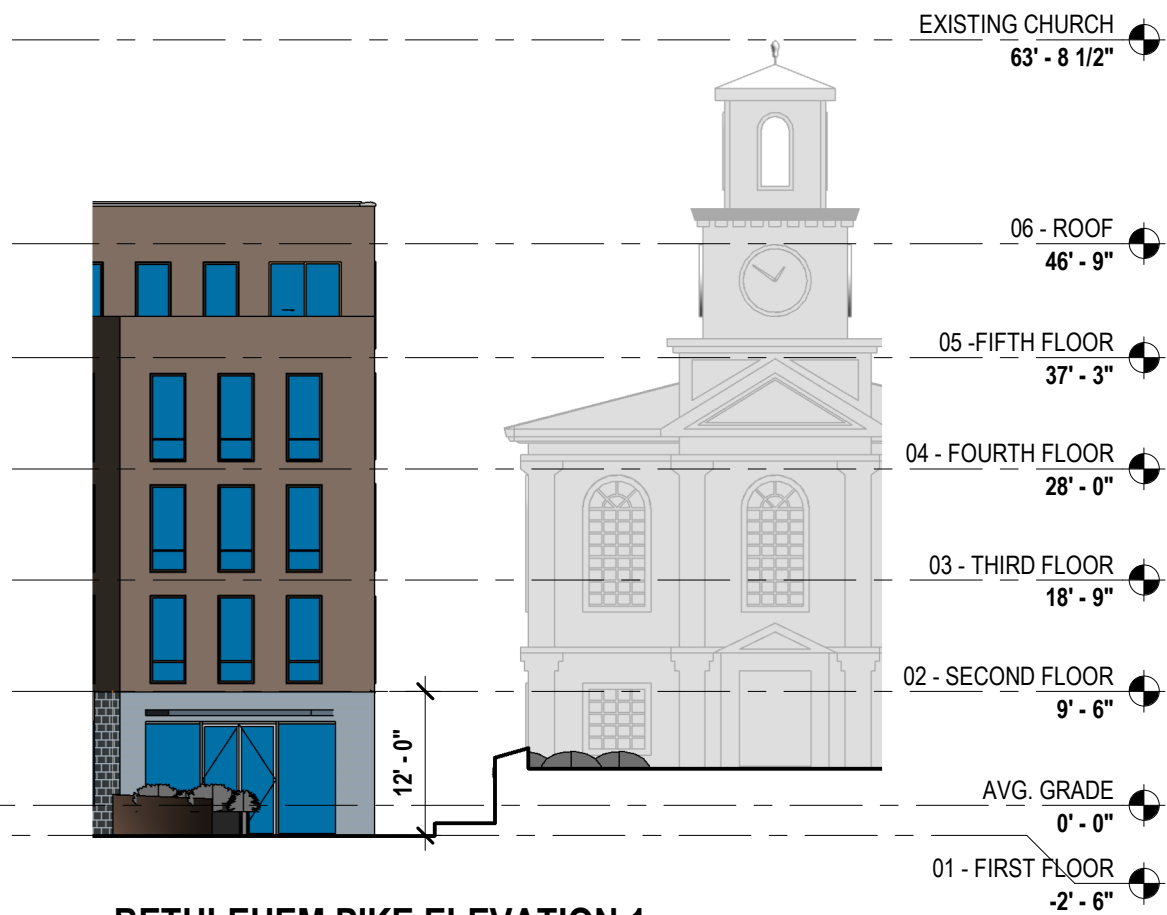
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DRAWN  
JAV

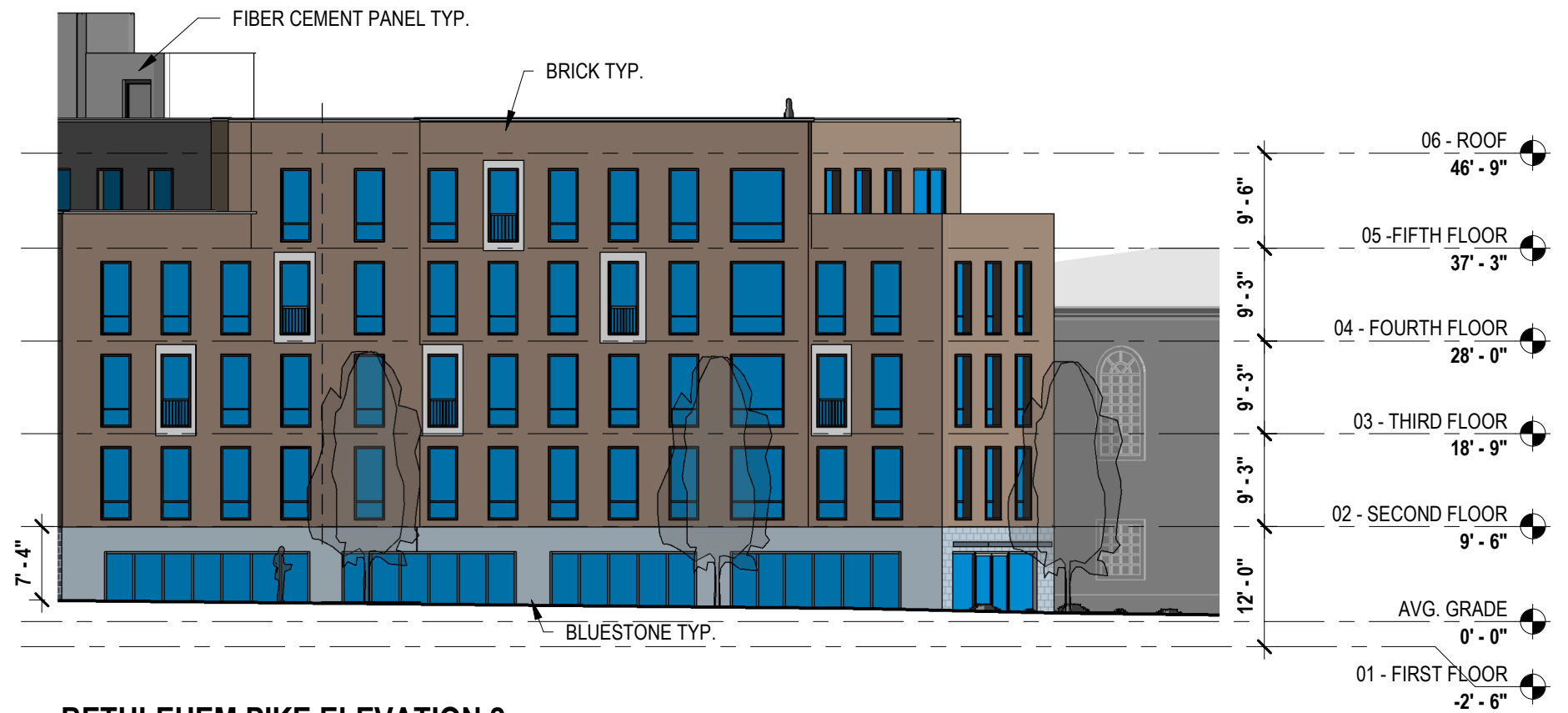
PROJECT NO.  
567

SHEET NO.

**A08**



**BETHLEHEM PIKE ELEVATION 1**



**BETHLEHEM PIKE ELEVATION 2**

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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**ELEVATIONS  
AS-OF-RIGHT**

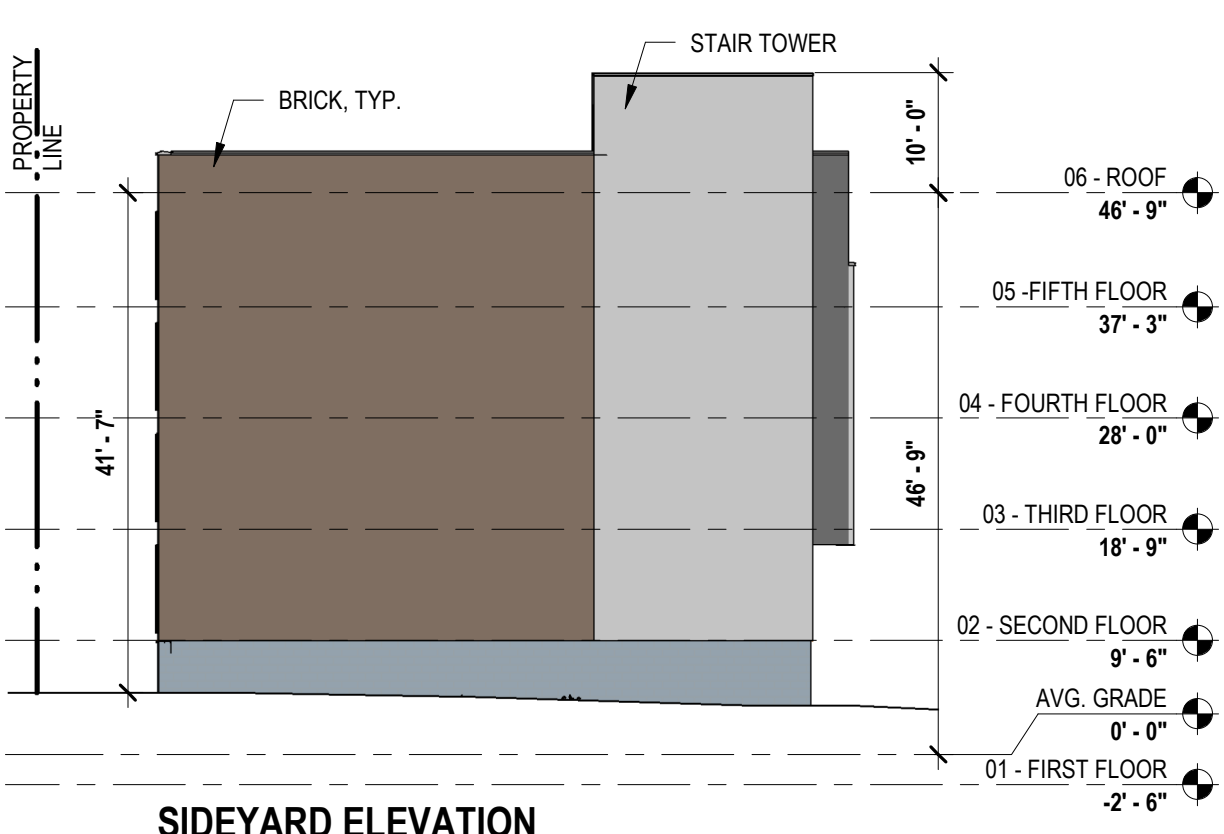
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1/16" = 1'-0"

DRAWN  
JAV

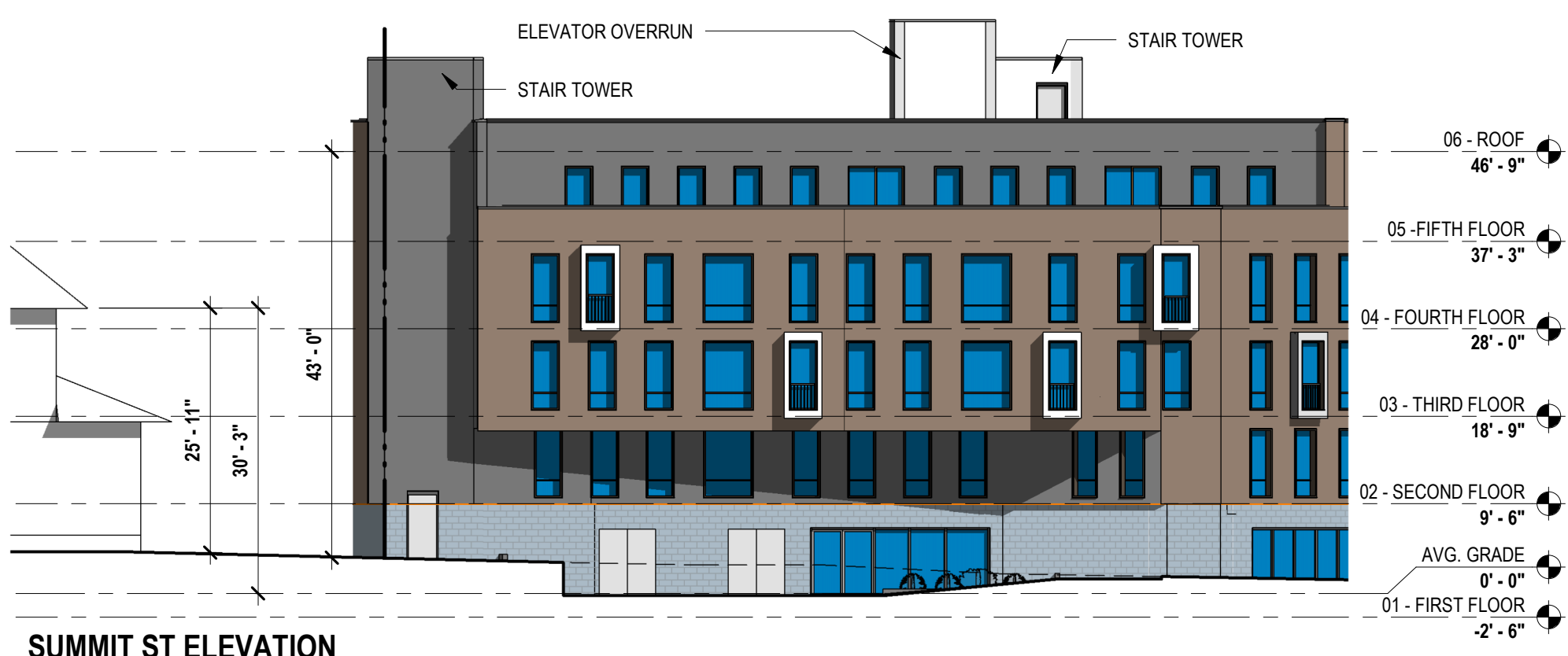
PROJECT NO.  
567

SHEET NO.

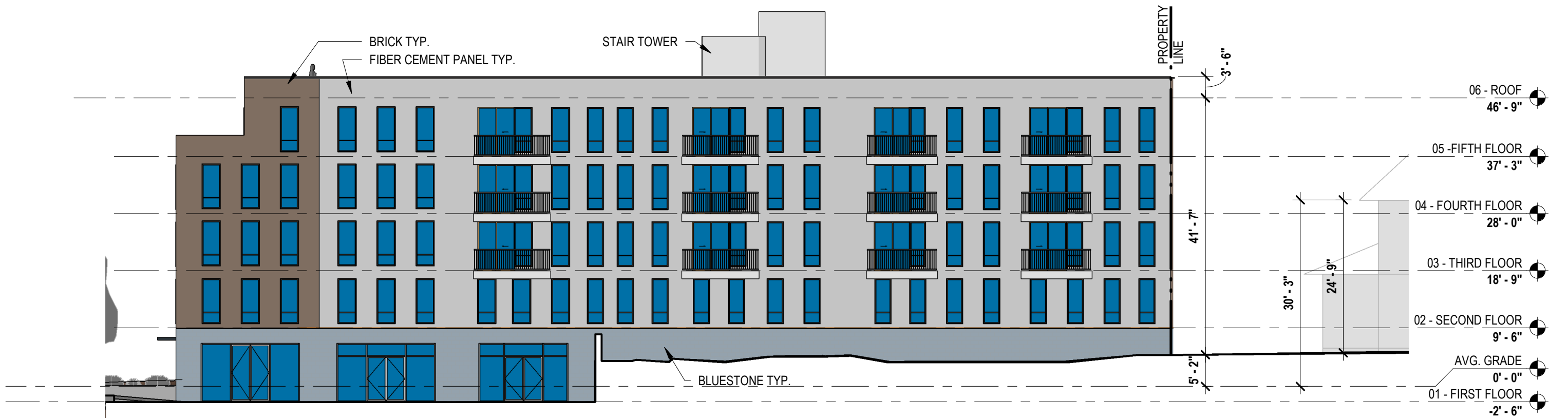
**A09**



**SIDEYARD ELEVATION**



**SUMMIT ST ELEVATION**



**REAR ELEVATION**

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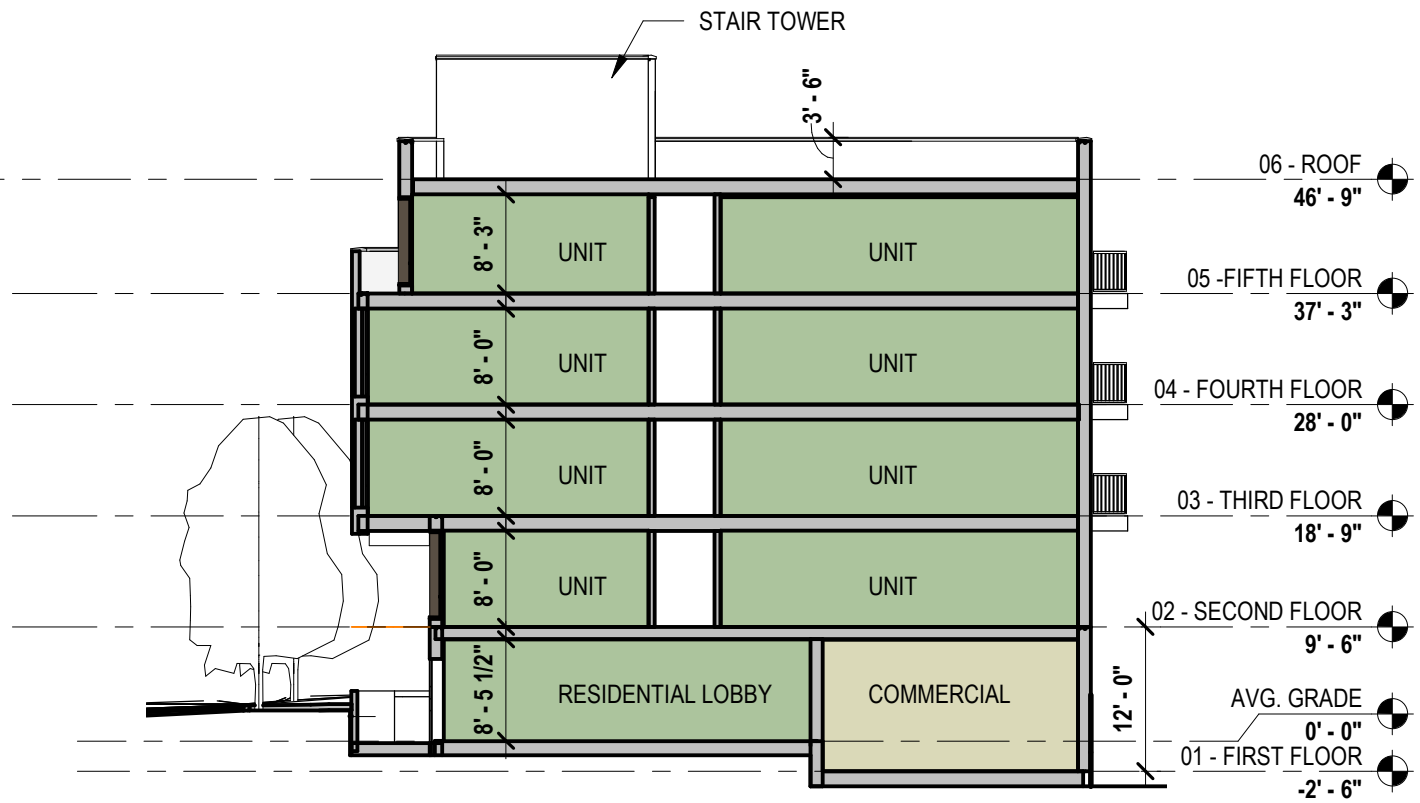
COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

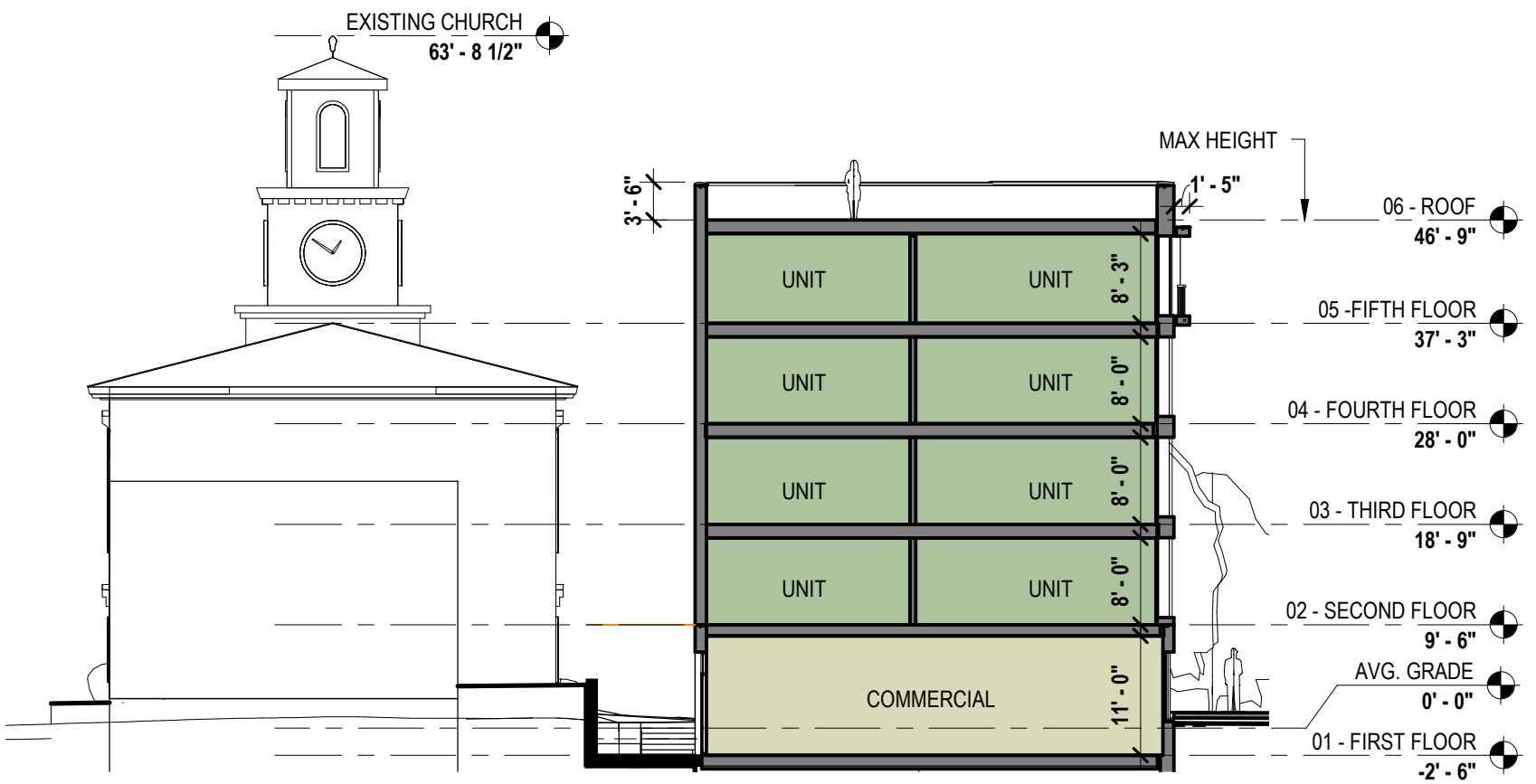
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**ELEVATIONS  
AS-OF-RIGHT**

|                        |              |                    |
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|------------------------|--------------|--------------------|

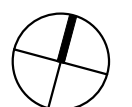
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CROSS SECTION - 1



CROSS SECTION - 2



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COSCIA MOOS  
ARCHITECTURE

10 BETHLEHEM PIKE  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
SECTIONS  
AS-OF-RIGHT

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

SHEET NO.  
**A11**



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COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
3D VIEW  
AS-OF-RIGHT

SCALE  
12" = 1'-0"

DRAWN  
JAV

PROJECT NO.  
567

SHEET NO.

A12



2/15/2021 2:17:38 PM

COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
3D VIEW  
AS-OF-RIGHT

SCALE  
1 1/2" = 1'-0"

DRAWN  
JAV

PROJECT NO.  
567

SHEET NO.

A13



2/15/2021 2:17:38 PM

COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
3D VIEW  
AS-OF-RIGHT

|                         |              |                    |
|-------------------------|--------------|--------------------|
| SCALE<br>1 1/2" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|-------------------------|--------------|--------------------|

|                      |
|----------------------|
| SHEET NO.<br><br>A14 |
|----------------------|



# PROJECT DESCRIPTION 55'-0" SCHEME

| LOT INFORMATION                 |  |   |
|---------------------------------|--|---|
| LOT ADDRESS(ES):                | 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118 |   |
| LOT AREA(S):                    | 11,113 SF                                  |   |
| BASE ZONING DISTRICT:           | CMX-2                                      |   |
| OVERLAY ZONING DISTRICT:        | WWO WISSAHICKON WATERSHED OVERLAY DISTRICT |   |
| USE REGULATIONS                 |  |   |
| PROPOSED & PERMITTED USES:      | BASEMENT THRU 1ST                          | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|                                 | 2ND THRU 5TH                               | MULTI-FAMILY HOUSING  |
| DISTRICT & LOT DIMENSIONS       |  |   |
|                                 | REQUIRED                                   | PROPOSED  |
| MIN LOT WIDTH (FT)              | N/A  | NO CHANGE   |
| MIN LOT AREA (SF)               | N/A  | NO CHANGE   |
| MAX OCCUPIED AREA (% OF LOT)    | 80%  | 76% (8,462 SF BLDG)   |
| MAX UNITS ALLOWED               | 35 (see Note 1)                            | 34  |
| YARDS                           |  |   |
| MIN FRONT YARD DEPTH (FT)       | N/A  | 0' - 0"   |
| MIN SIDE YARD WIDTH, EACH (FT)  | 5 FT if used                               | 5' - 0"   |
| MIN REAR YARD DEPTH (FT)        | 9'-0" (see Note 2)                         | 10'-0"  |
| HEIGHT                          |  |   |
| MAX HEIGHT (FT)                 | 46'-9 1/2" (see Note 3)                    | 55'-0"  |
| MAX FLOOR AREA (% OF LOT AREA)  | N/A  | N/A   |
| OFF STREET PARKING REQUIREMENTS |  |   |
| CAR PARKING                     | 0  | 9   |
| BICYCLE PARKING                 | 12 (1 bicycle per 3 units)                 | 12  |

## NOTES

**Note 1:** Section 14-602(4)(a)[2](.b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that (.c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.

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**Green Roof Bonus = 23 units x .25% = 5.75 units (5 rounded down) = 28 units**  
**Moderate Income Density Bonus = 28 units x .25% = 7 units = 35 units allowed.**

**Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.

**Minimum rear yard depth = 77'-3" x .1 = 7'-8 3/4", therefore, it shall be 9'-0" or greater.**

**Note 3:** Per table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0".

Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (.6). Per Additional Building Height table, 7'-0" of height bonus.

Section 14-202(6) Rules of Measurement - Height, Building or Structure the vertical distance from the average ground level at the base of the structure to the top of the structure.

**Building Height= 38'-0" + 7'-0" (height bonus) = 45'-0"**  
**Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**  
**Average Grade = 438.61' = +1.81' (1'-9 1/2")**

**Total Building Height = 38'-0" + 7'-0" + 1'-9 1/2" = 46' - 9 1/2"**



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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**PROJECT DESCRIPTION**  
**55'-0" SCHEME**

|                      |              |                    |
|----------------------|--------------|--------------------|
| SCALE<br>12" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|----------------------|--------------|--------------------|

SHEET NO.

**A15**

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COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
SITE PLAN  
55'-0" SCHEME

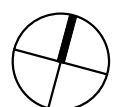
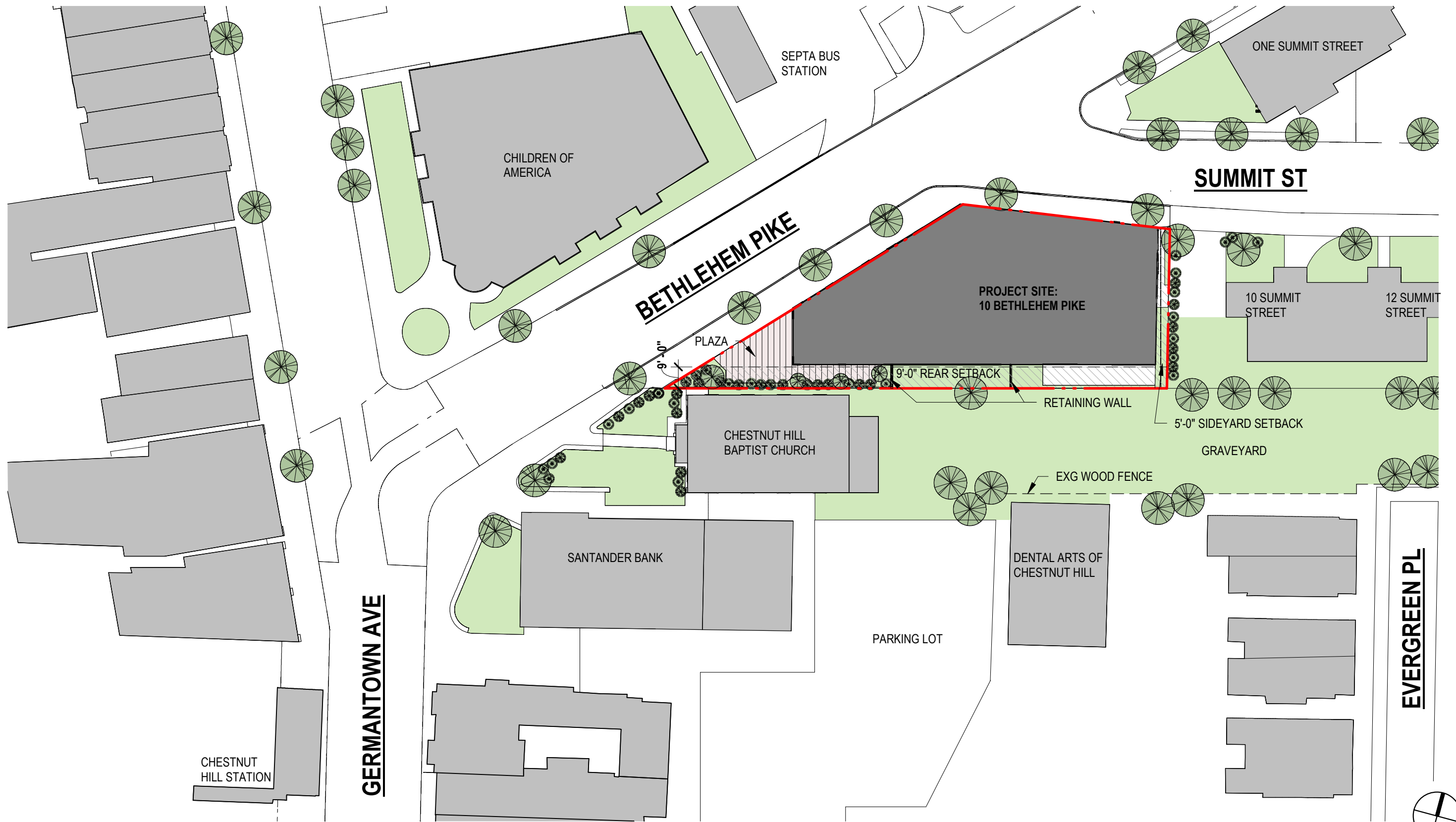
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DRAWN  
JAV

PROJECT NO.  
567

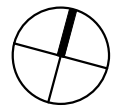
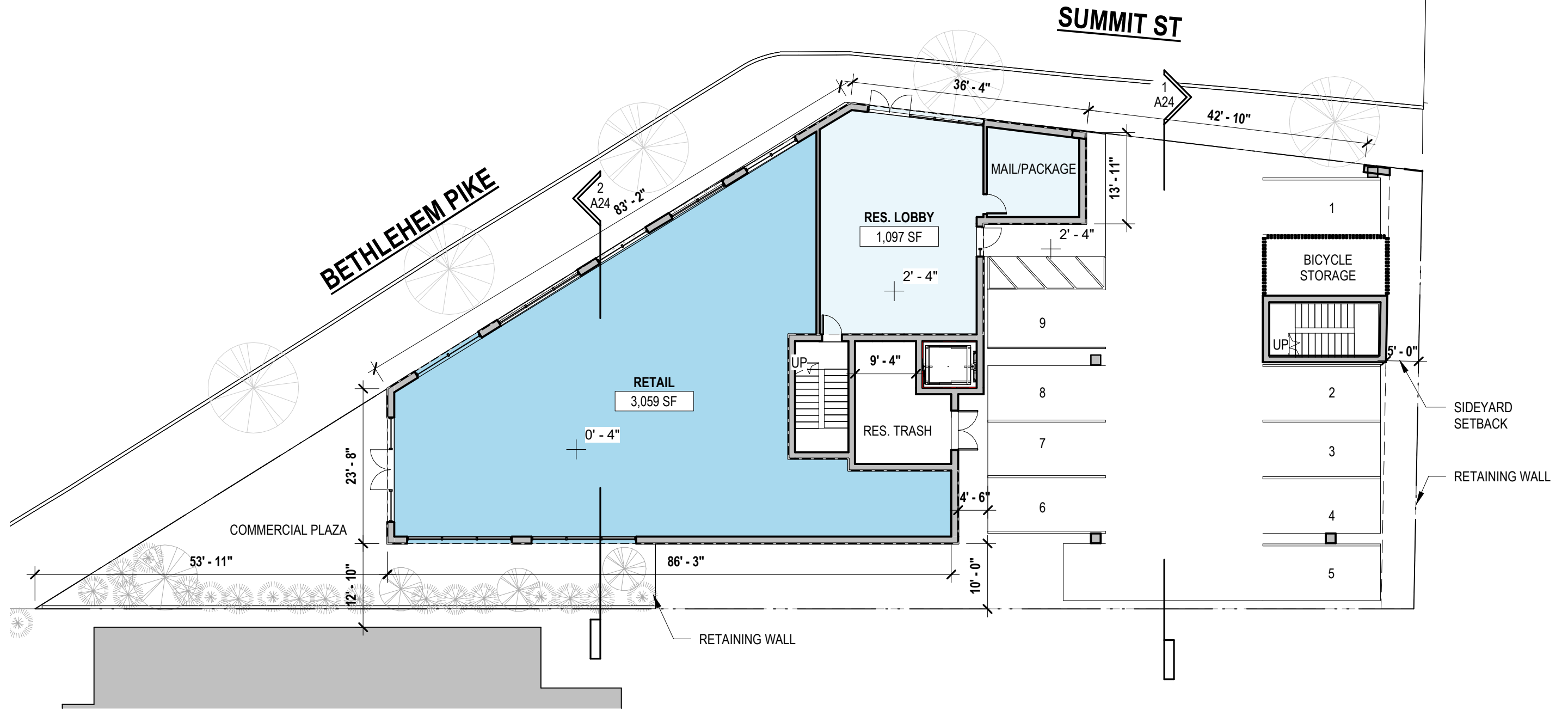
SHEET NO.

A16



**APARTMENT UNIT MIX**

|                   |           |
|-------------------|-----------|
| JR 1 BDR          | 4         |
| 1 BDR             | 21        |
| 2 BDR             | 9         |
| <b>UNIT TOTAL</b> | <b>34</b> |



2/15/2021 2:22:57 PM

COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**GROUND FLOOR PLAN**  
**55'-0" SCHEME**

SCALE  
1/16" = 1'-0"

DRAWN  
JAV

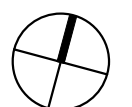
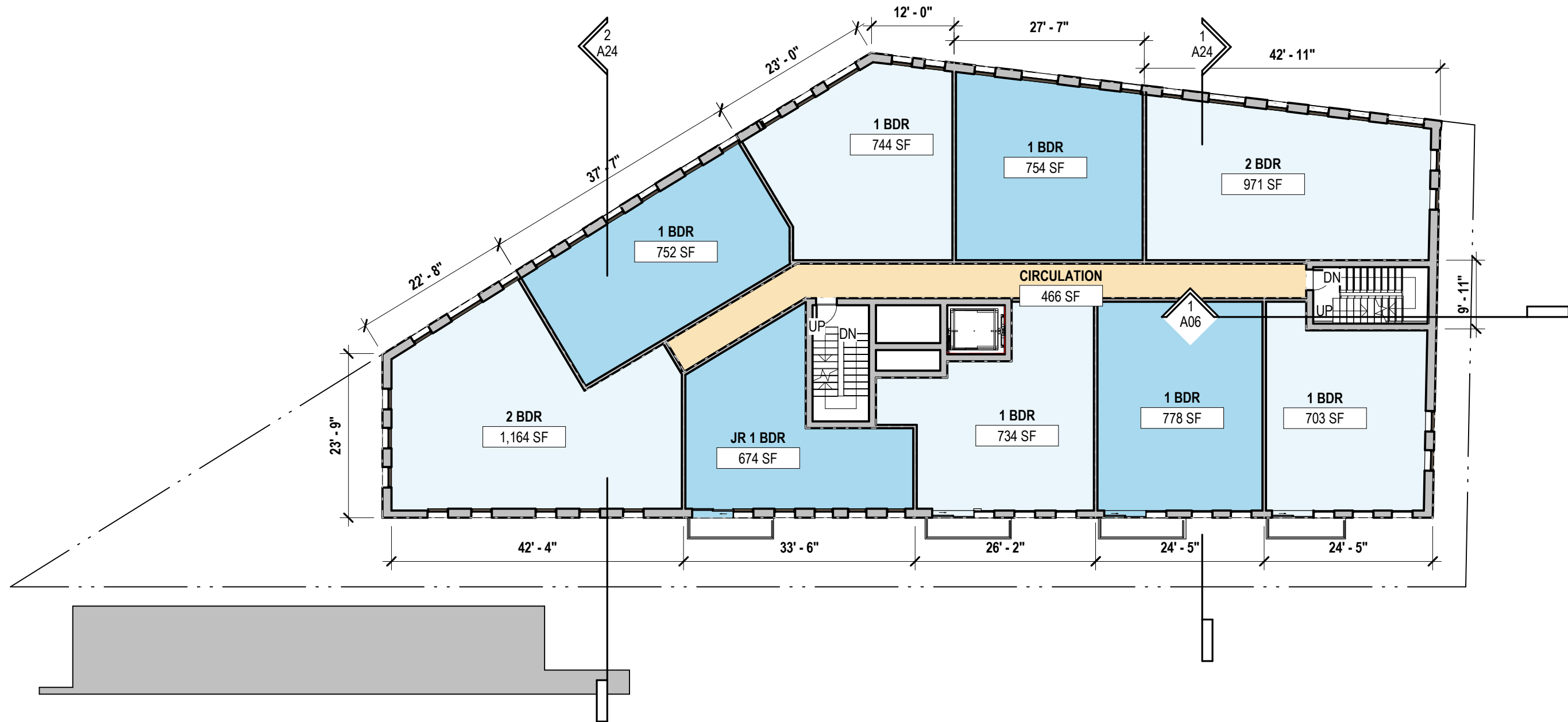
PROJECT NO.  
567

SHEET NO.

**A17**

TYPICAL FLOOR (LEVEL 2,3 &4)

|                   |          |
|-------------------|----------|
| JR 1 BDR          | 1        |
| 1 BDR             | 6        |
| 2 BDR             | 2        |
| <b>UNIT TOTAL</b> | <b>9</b> |



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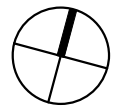
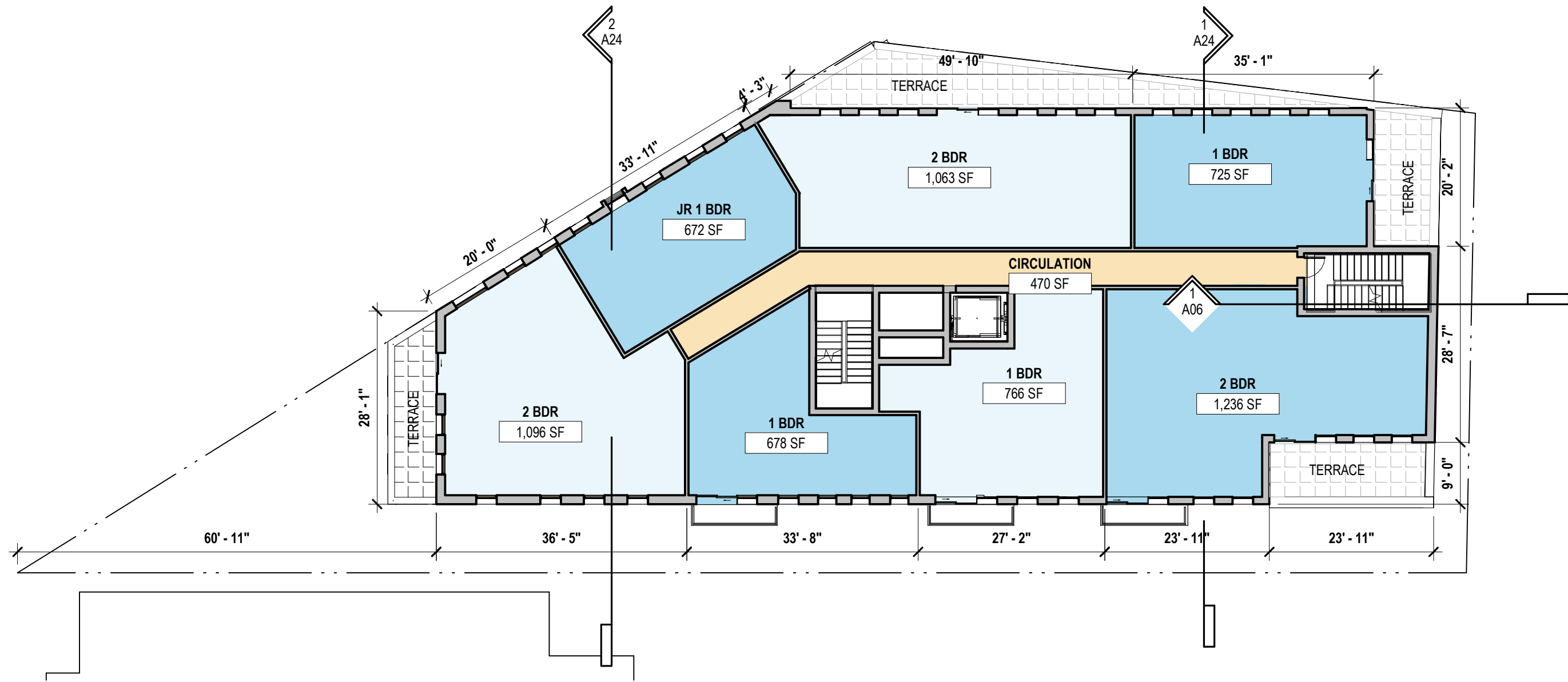
**COSCIA MOOS ARCHITECTURE**  
**10 BETHLEHEM PIKE**  
 10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**TYPICAL FLOOR**  
**55'-0" SCHEME**

|                         |              |                    |
|-------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0"  | DRAWN<br>JAV | PROJECT NO.<br>567 |
| SHEET NO.<br><b>A18</b> |              |                    |

FIFTH FLOOR (LEVEL 5)

|                   |          |
|-------------------|----------|
| JR 1 BDR          | 1        |
| 1 BDR             | 3        |
| 2 BDR             | 3        |
| <b>UNIT TOTAL</b> | <b>7</b> |



2/15/2021 2:22:58 PM

**COSCIA MOOS**  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

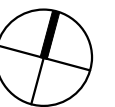
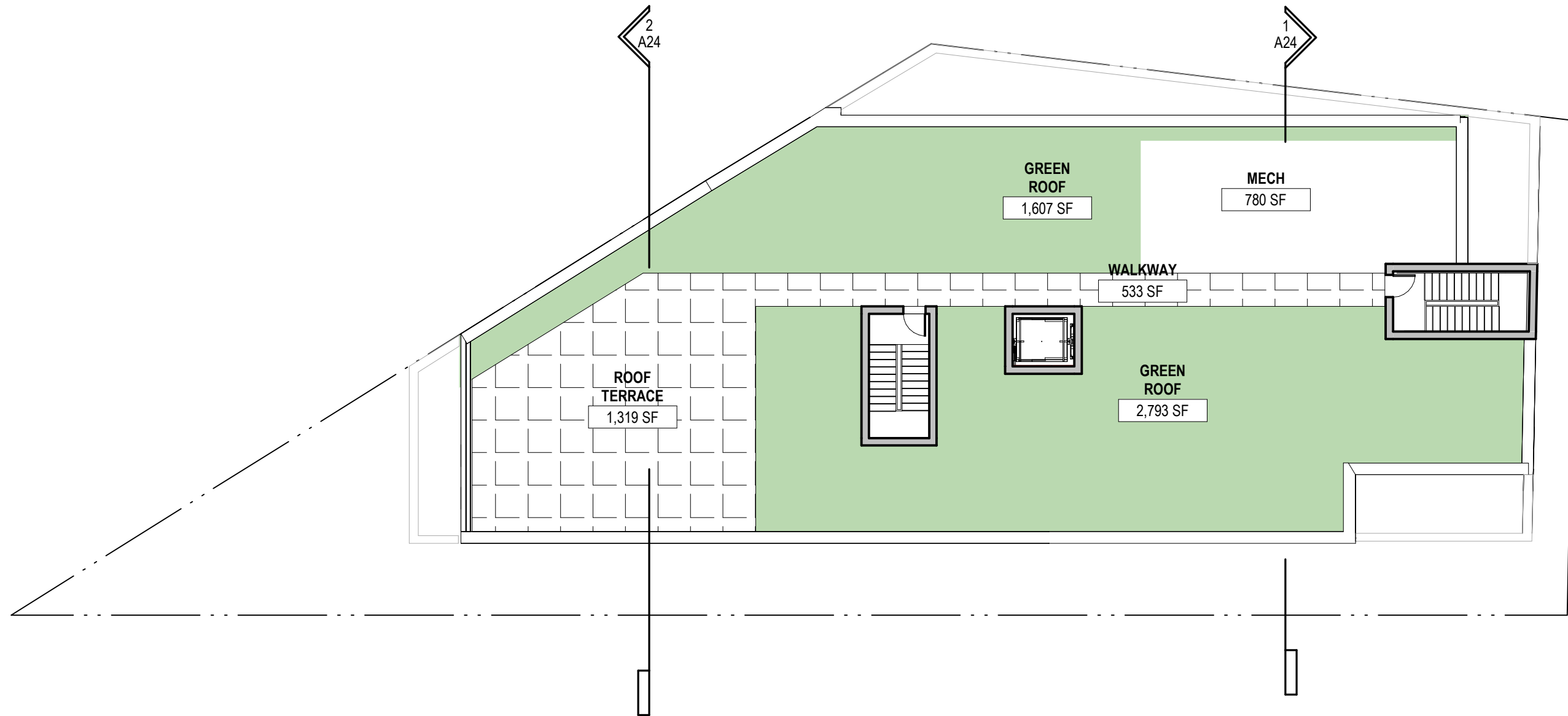
SHEET TITLE  
**FIFTH FLOOR**  
**55'-0" SCHEME**

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

SHEET NO.  
**A19**

ROOF AREA: 7,333 SF

GREEN ROOF REQUIRED: 60% OF ROOF AREA  
GREEN ROOF MINIMUM: 4400 SF  
GREEN ROOF PROVIDED: 4400 SF



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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**ROOF PLAN**  
**55'-0" SCHEME**

SCALE  
1/16" = 1'-0"

DRAWN  
JAV

PROJECT NO.  
567

SHEET NO.

**A20**

2/16/2021 5:30:30 PM

COSCIA MOOS  
ARCHITECTURE

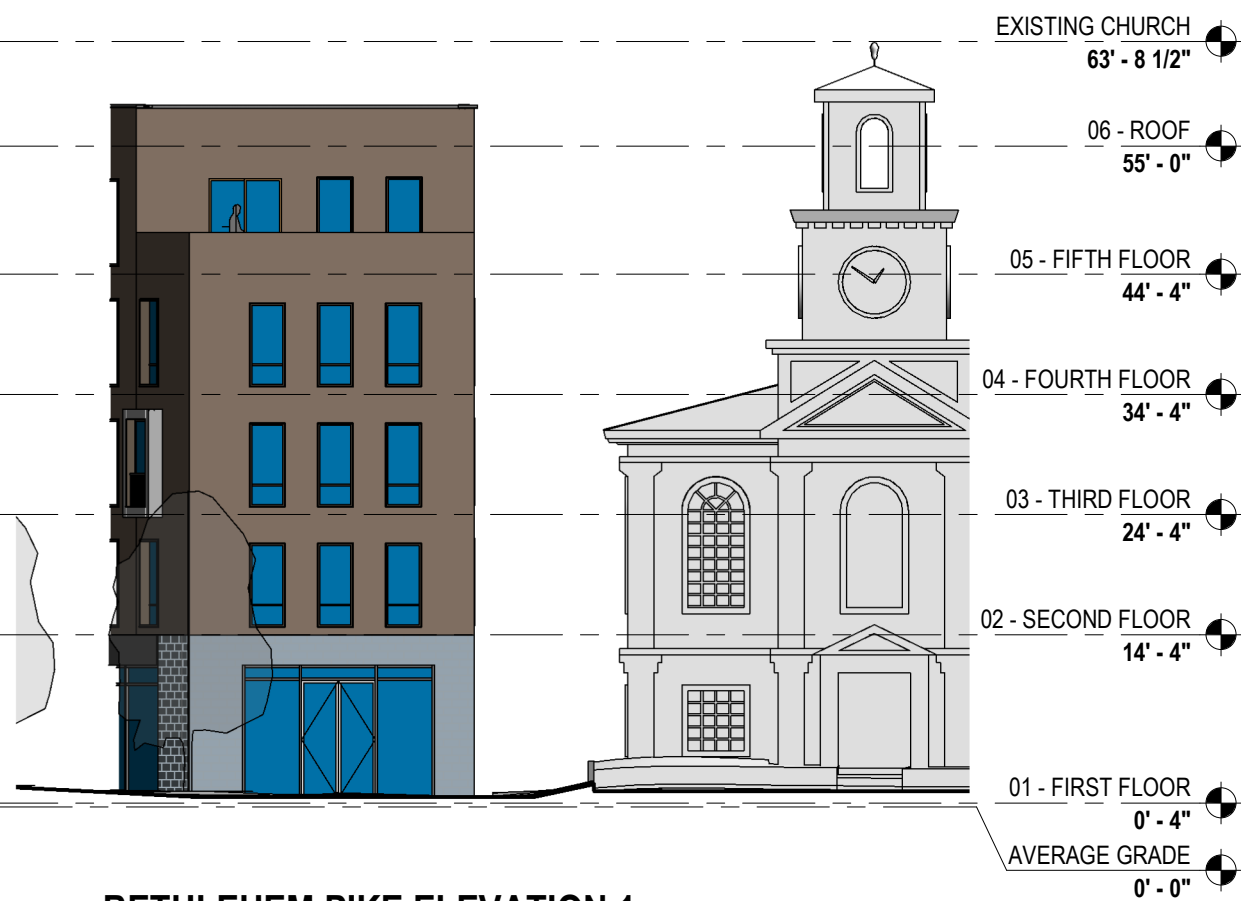
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10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**BUILDING ELEVATIONS**  
55'-0" SCHEME

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

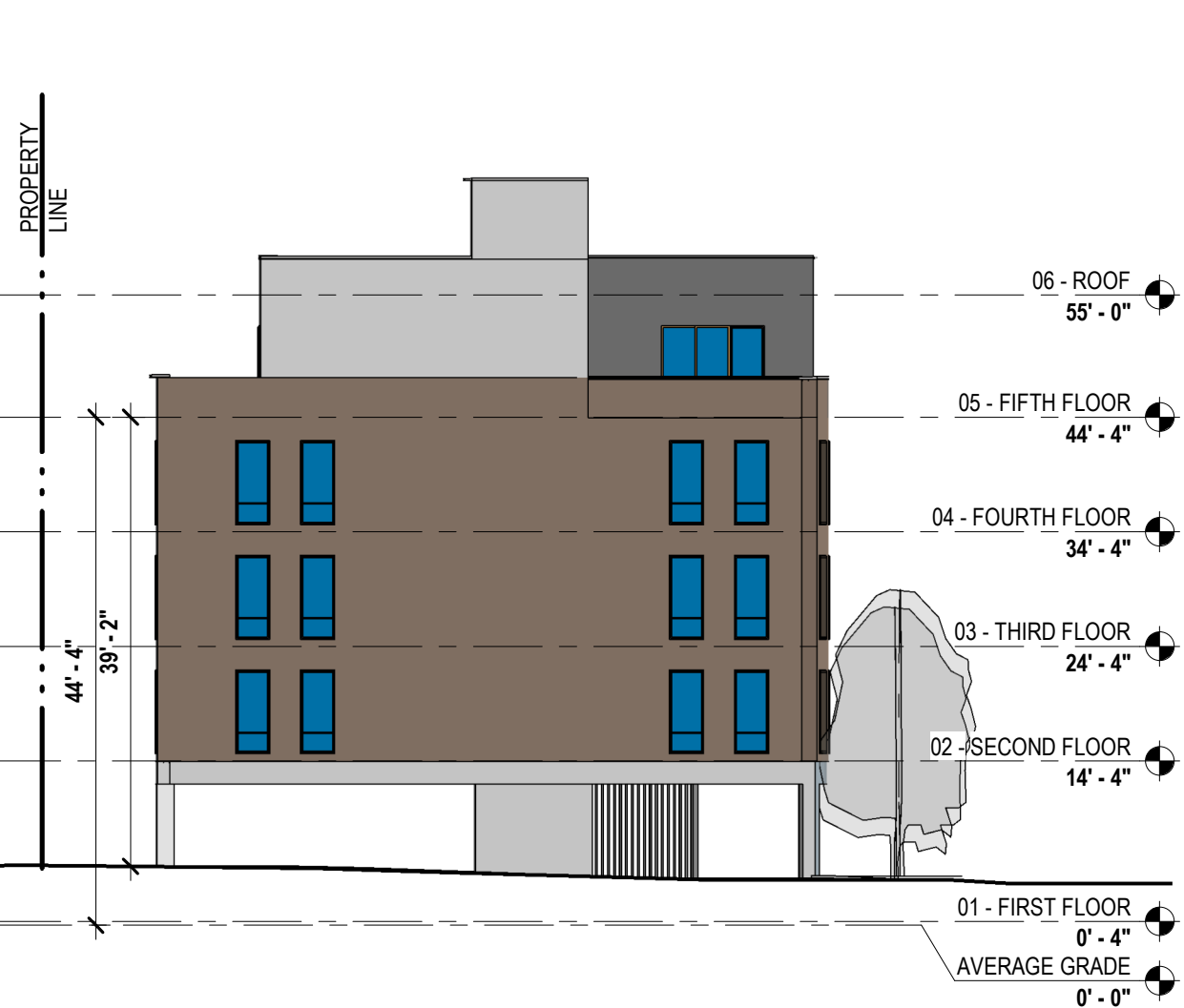
|                             |
|-----------------------------|
| SHEET NO.<br><br><b>A21</b> |
|-----------------------------|

**BETHLEHEM PIKE ELEVATION 1**



**BETHLEHEM PIKE ELEVATION 2**





**SIDEYARD ELEVATION**

**SUMMIT ST ELEVATION**

2/16/2021 3:00:58 PM

**COSCIA MOOS  
ARCHITECTURE**

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**BUILDING ELEVATIONS**  
**55'-0" SCHEME**

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

SHEET NO.  
**A22**





**REAR ELEVATION**

2/15/2021 2:23:03 PM

COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**BUILDING ELEVATIONS**  
55'-0" SCHEME

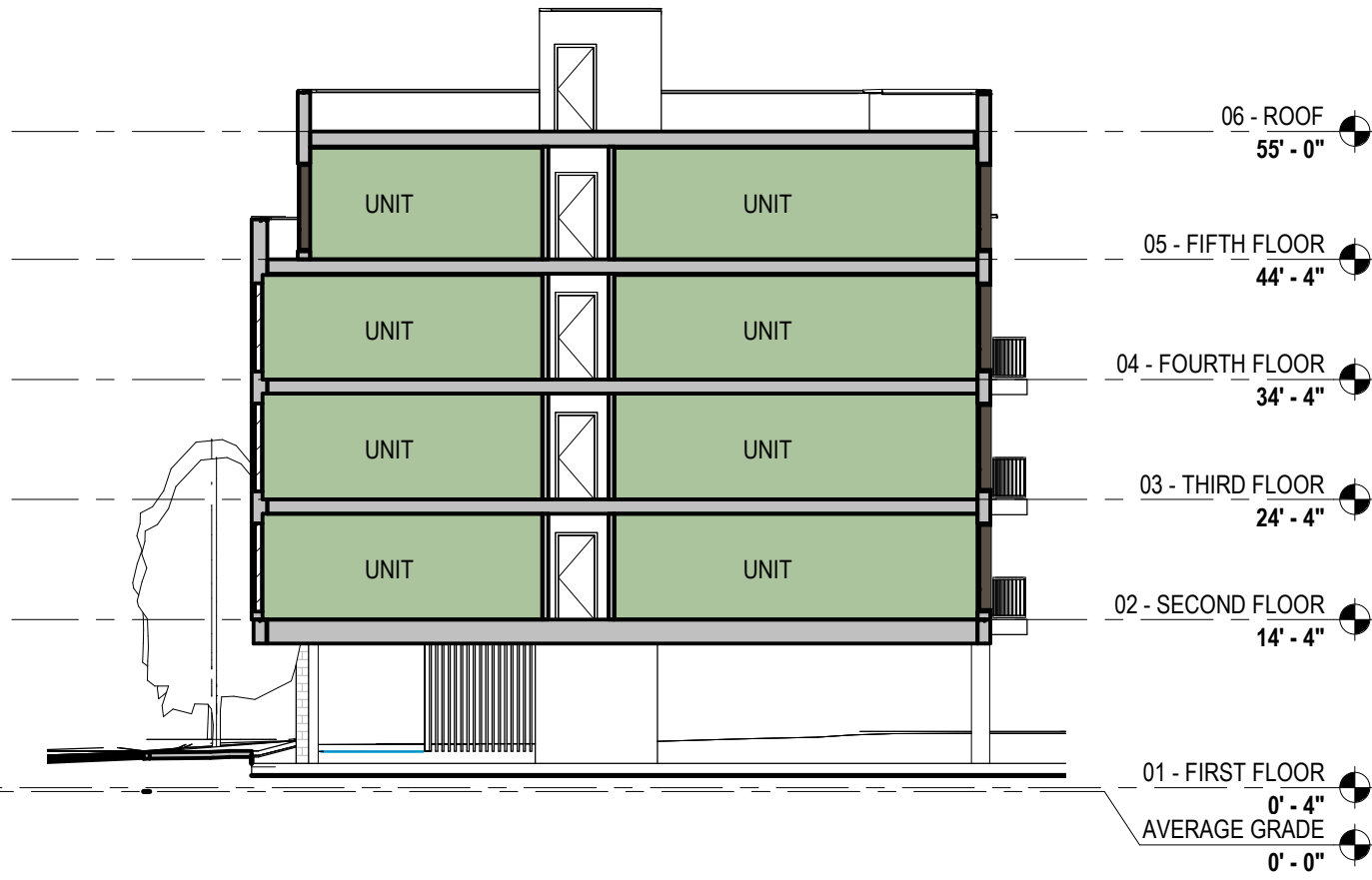
SCALE  
1/16" = 1'-0"

DRAWN  
JAV

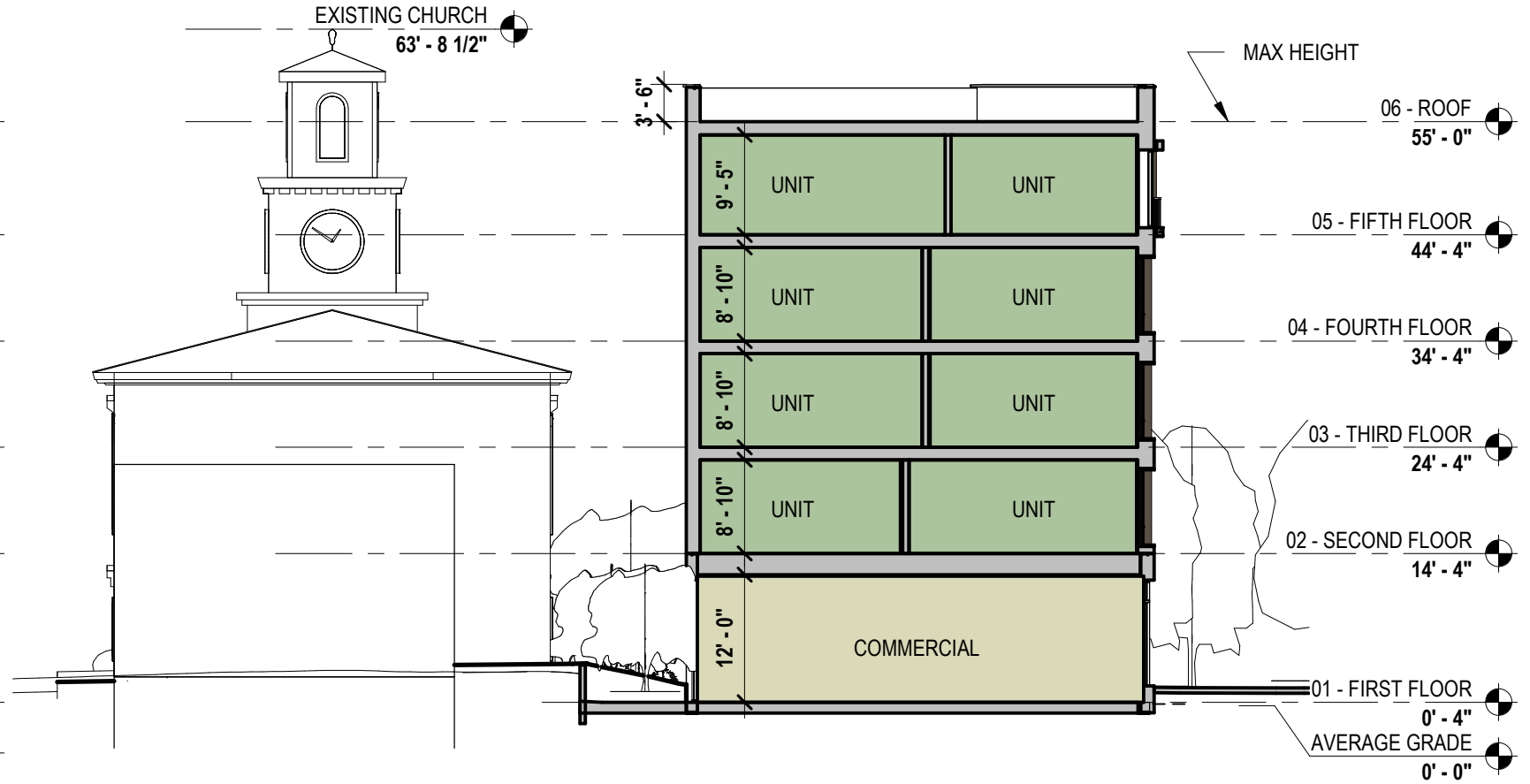
PROJECT NO.  
567

SHEET NO.

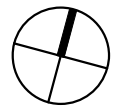
**A23**



CROSS SECTION 1



CROSS SECTION 2



2/15/2021 2:23:03 PM

COSCIA MOOS  
ARCHITECTURE

10 BETHLEHEM PIKE  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
SECTIONS  
55'-0" SCHEME

|                        |              |                    |
|------------------------|--------------|--------------------|
| SCALE<br>1/16" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|------------------------|--------------|--------------------|

SHEET NO.  
**A24**



2/15/2021 2:23:04 PM

COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
3D VIEW  
55'-0" SCHEME

|                         |              |                    |
|-------------------------|--------------|--------------------|
| SCALE<br>1 1/2" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|-------------------------|--------------|--------------------|

|                      |
|----------------------|
| SHEET NO.<br><br>A25 |
|----------------------|



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COSCIA MOOS  
ARCHITECTURE

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
**3D VIEW**  
**55'-0" SCHEME**

|                         |              |                    |
|-------------------------|--------------|--------------------|
| SCALE<br>1 1/2" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
| SHEET NO.               |              | <b>A26</b>         |



2/15/2021 2:23:04 PM

COSCIA MOOS  
ARCHITECTURE

# 10 BETHLEHEM PIKE

10 BETHLEHEM PIKE, PHILADELPHIA PA 19118

SHEET TITLE  
3D VIEW  
55'-0" SCHEME

|                         |              |                    |
|-------------------------|--------------|--------------------|
| SCALE<br>1 1/2" = 1'-0" | DRAWN<br>JAV | PROJECT NO.<br>567 |
|-------------------------|--------------|--------------------|

|                      |
|----------------------|
| SHEET NO.<br><br>A27 |
|----------------------|

# **Exhibit 2**

**Versions**

| No.        | Date       | Description |
|------------|------------|-------------|
| 03/03/2021 | ZONING     |             |
| 1          | 00/00/0000 | ASI 000     |

Architect

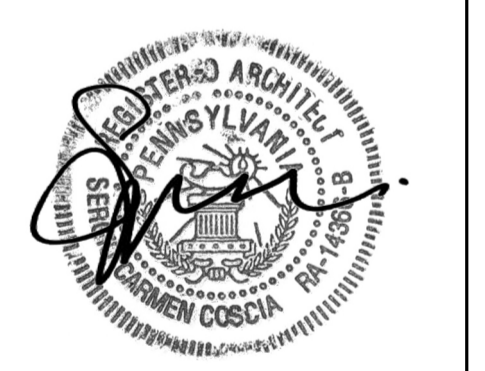
**COSCIA MOOS ARCHITECTURE**

Coscia Moos Architecture  
1616 Walnut Street, Suite 101  
Philadelphia, PA 19103  
267 761 9416

Civil Engineer

**MASER CONSULTING**

Maser Consulting  
2 Penn Center, Suite 222  
Philadelphia, PA 19102  
215 881 9021



Signature and Seal  
Project

**10 BETHLEHEM PIKE**  
10 BETHLEHEM PIKE,  
PHILADELPHIA PA  
19118

Sheet Title  
**ZONING TABLES & PLANS**

Date: 03/03/2021  
Scale: As indicated  
Drawn: JAV  
Project No.: 567  
Sheet No.:

**Z100**

**AREA REGULATIONS**

**LOT INFORMATION**

LOT ADDRESS(ES): 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118

OPA NUMBER: #88-2722300

LOT AREA(S): 11,113 SF

LOT AREA(S) - PDS: 11,058 SF

BASE ZONING DISTRICT: CMX-2

OVERLAY ZONING DISTRICT: WWO WISSAHICKON WATERSHED OVERLAY DISTRICT

**USE REGULATIONS**

| PROPOSED & PERMITTED USES: | BASEMENT THRU 1ST | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|----------------------------|-------------------|---|
|                            |                   |   |
|                            |                   | MULTI-FAMILY HOUSING  |

**DIMENSIONAL STANDARDS (14-701-3)**

| DISTRICT & LOT DIMENSIONS    | REQUIRED        | PROPOSED               |
|------------------------------|-----------------|------------------------|
| MIN LOT WIDTH (FT)           | N/A             | NO CHANGE              |
| MIN LOT AREA (SF)            | N/A             | NO CHANGE              |
| MAX OCCUPIED AREA (% OF LOT) | 80%             | 76.35% (8,443 SF BLDG) |
| MAX UNITS ALLOWED            | 33 (see Note 1) | 33                     |

**YARDS**

|                                |                    |        |
|--------------------------------|--------------------|--------|
| MIN FRONT YARD DEPTH (FT)      | N/A                | 7'-0"  |
| MIN SIDE YARD WIDTH, EACH (FT) | 5 FT if used       | 5'-0"  |
| MIN REAR YARD DEPTH (FT)       | 9'-0" (see Note 2) | 10'-0" |

**HEIGHT**

|                                |                         |            |
|--------------------------------|-------------------------|------------|
| MAX HEIGHT (FT)                | 46'-9 1/2" (see Note 3) | 46'-9 1/2" |
| MAX FLOOR AREA (% OF LOT AREA) | N/A                     | N/A        |

**LANDSCAPE AND TREES (14-705(2))**

|                         |                |   |
|-------------------------|----------------|---|
| STREET TREE REQUIREMENT | 7 (See Note 4) | 7 |
|-------------------------|----------------|---|

**OFF STREET PARKING REQUIREMENTS (14-802-2)**

|                   |                            |    |
|-------------------|----------------------------|----|
| CAR PARKING       | 0                          | 8  |
| ACCESSIBLE SPACES | 0                          | 0  |
| COMPACT SPACE     | 0                          | 0  |
| BICYCLE PARKING   | 12 (1 bicycle per 3 units) | 12 |

**OFF STREET LOADING REQUIREMENTS (14-806)**

|                    |                |   |
|--------------------|----------------|---|
| OFF-STREET LOADING | 0 (See Note 6) | 0 |
|--------------------|----------------|---|

**BAY WINDOWS (11603 (4))**

|             |           |                       |
|-------------|-----------|-----------------------|
| BAY WINDOWS | PERMITTED | PROVIDED (See Note 6) |
|-------------|-----------|-----------------------|

**ROOF DECK (14604(5))**

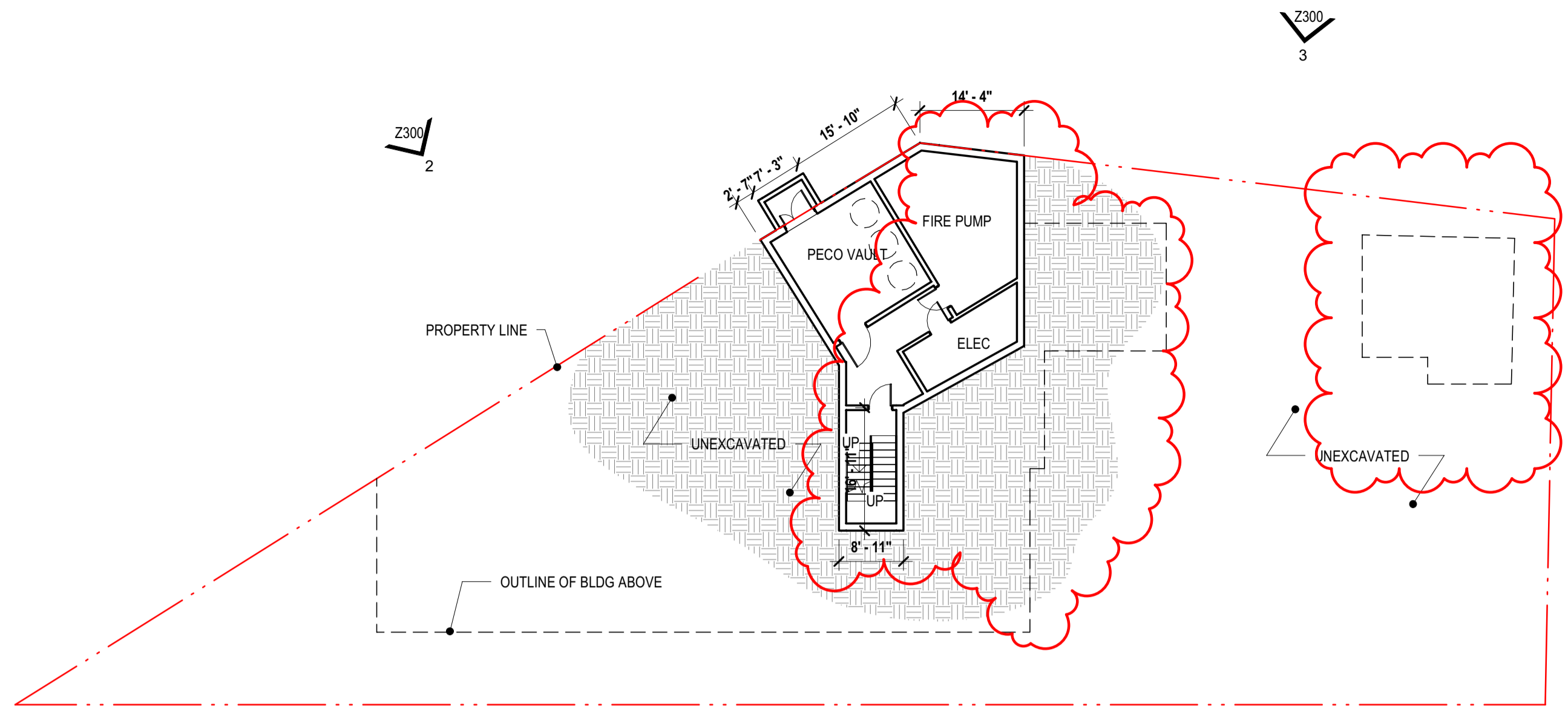
|           |           |                       |
|-----------|-----------|-----------------------|
| ROOF DECK | PERMITTED | PROVIDED (See Note 7) |
|-----------|-----------|-----------------------|

**PARKING LANDSCAPE AND SCREENING (14803(5))**

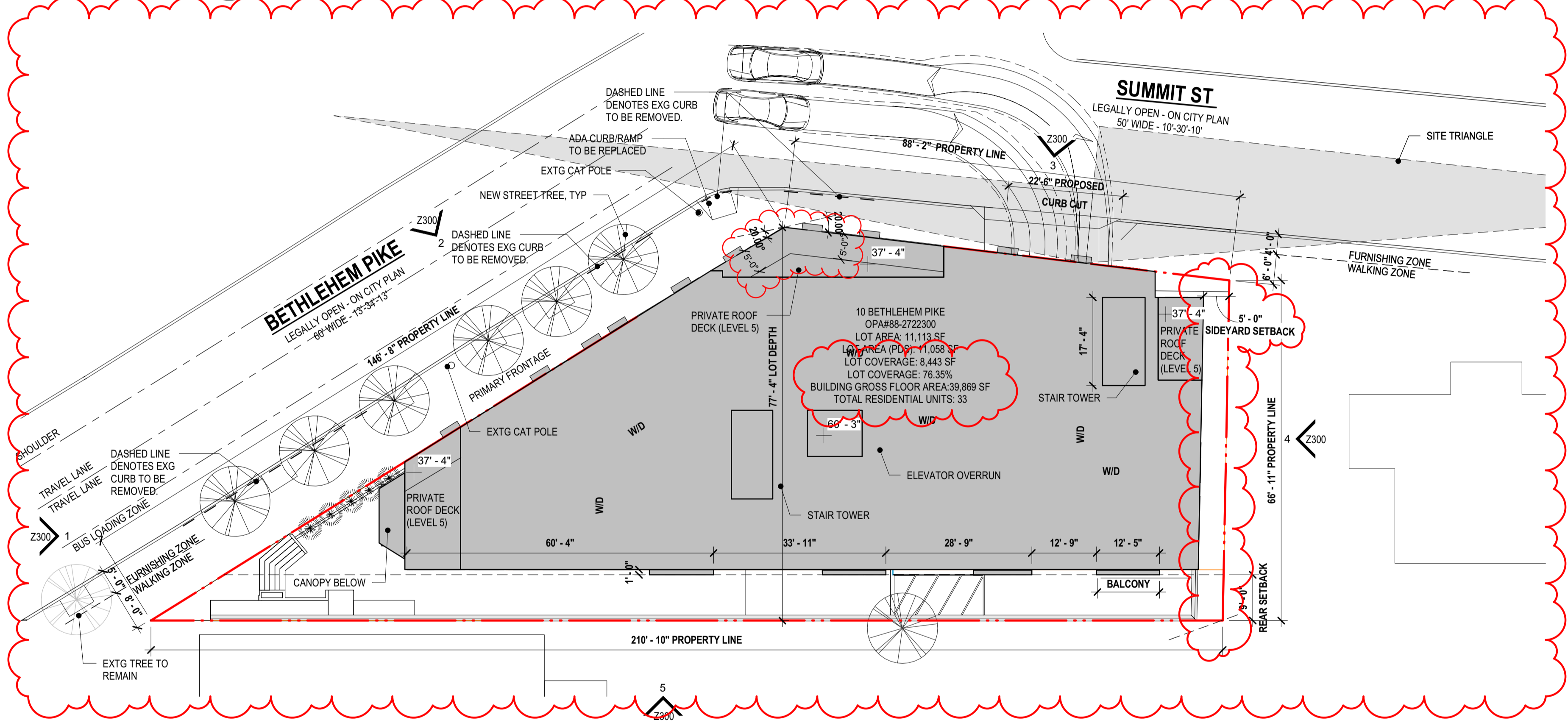
|  |                                   |                       |
|--|-----------------------------------|-----------------------|
| PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS | REQUIRED                          | PROVIDED (See Note 8) |
| INTERIOR LANDSCAPE REQNMNTS                        | 660 SF OPEN PARKING X 10% = 66 SF | 114 SF (See Note 9)   |

**NOTES**

- Note 1:** Section 14-602(4)(a)(2)(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that (c) If the green roof conditions set forth in § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.
- Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Home Unit Density Bonus table, 25% increase in units permitted is provided to Moderate Income.
- Maximum units allowed = 1919 sf (3 units) + (11,058 SF - 1919sf) / 480 SF per unit = 3 units + 19 units = 22 units.**
- Green Roof Bonus = 22 units x .25% = 5.5 units (5 rounded down) = 27 units**
- Moderate Income Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed.**
- Cost Calculation:**  
Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160  
Unit Calculation: 5 units allowed x \$25,000 = \$125,000  
Payment will be based on the Lot Area Calculation
- Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.
- Minimum rear yard based on Lot Depth = 77'-4" x .1 = 7'-9"**
- \*Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.**
- Note 3:** Per Table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.
- Building Height = 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"**
- Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**
- Average Grade = 438.61' = +1.81' (1'-9 1/2")**
- Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46'-9 1/2"**
- Note 4:** Per 14-705(2)(c) 2)(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.
- 234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)**
- Project provides 6 new trees and 1 existing to remain.**
- Note 5:** Bay Windows provided in compliance with Section 11-603 (4) Projections Over the Street- Balconies and Bay Windows.
- Bethlehem Pike - 87'-10" of frontage (three allowed for 63'-0" of frontage)**
- Level 3: 3 bays provided (3 allowed); Level 4: 2 bays provided (3 allowed); Level 5: 1 bay provided (3 allowed)
- Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage)**
- Level 3: 2 bays provided (3 allowed); Level 4: 2 bays provided (3 allowed)
- Note 6:** Per Table 14-803-1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)
- Note 7:** Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 ft. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard.
- Note 8:** Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five ft tall shall be provided. The screening material shall be designed to provide 75% opacity.
- Note 9:** Herbaceous plants or lawn installed in the required landscaped area shall be from the list of appropriate plantings per 14-705 of the Philadelphia Zoning Code
- Note 10:** WWO Wissahickon Watershed Overlay District 14-510 (6) Category 5 - No Limit to Impervious Ground Coverage. Existing site is currently 95% Impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.
- (a) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft. Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.**
- (b) Slopes of fifteen percent (15%) of greater on any lot or portion(s) thereof.**
- Slope Calculation**  
Property Line 210'-10": Low Point = 437.8' High Point = 441.5' Slope = 1.74%  
Property Line 66'-11": Low Point = 440.3' High Point = 441.5' Slope = 1.78%  
Property Line 88'-2": Low Point = 437.5' High Point = 440.3' Slope = 2.74%  
Property Line 146'-8": Low Point = 436.36' High Point = 437.8' Slope = 1% overall, 3.8% at steepest point.
- Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5' Slope = 2.92%**
- Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.**



**2 ZONING CELLAR**  
Z100 1/16" = 1'-0"



**1 ZONING SITE PLAN**  
Z100 1/16" = 1'-0"

Per 14-701(1)(d)(.1), the City Planning Commission has determined that:

**Bethlehem** is the primary street;

Opposite of **Summit** Street is the rear;

Street is the rear street

Applied Electronically by: **KEITH DAVIS**  
**April 12, 2021**  
**PHILADELPHIA CITY PLANNING COMMISSION**

In accordance with the terms and provisions of Section 14-510 of the Philadelphia Code pertaining to:

**WISSAHICKON WATERSHED OVERLAY DISTRICT**

**APPROVED**

**DISAPPROVED** **Cat 5**

Applied Electronically by: **KEITH DAVIS**  
**April 12, 2021**  
**PHILADELPHIA CITY PLANNING COMMISSION**

In accordance with the terms and provisions of Section 14-704(2) of the Philadelphia Code pertaining to:

**APPROVED SLOPE PROTECTION:**  
FOR ZONING ONLY  
04/26/21

**Approved 0 - 24%**

**Disapproved >= 25%**

Applied Electronically by **KEITH DAVIS**  
**April 12, 2021**  
**PHILADELPHIA CITY PLANNING COMMISSION**

**Philadelphia City Planning Commission**

**#Date** **4/12/21**  
**Keith F Davis**

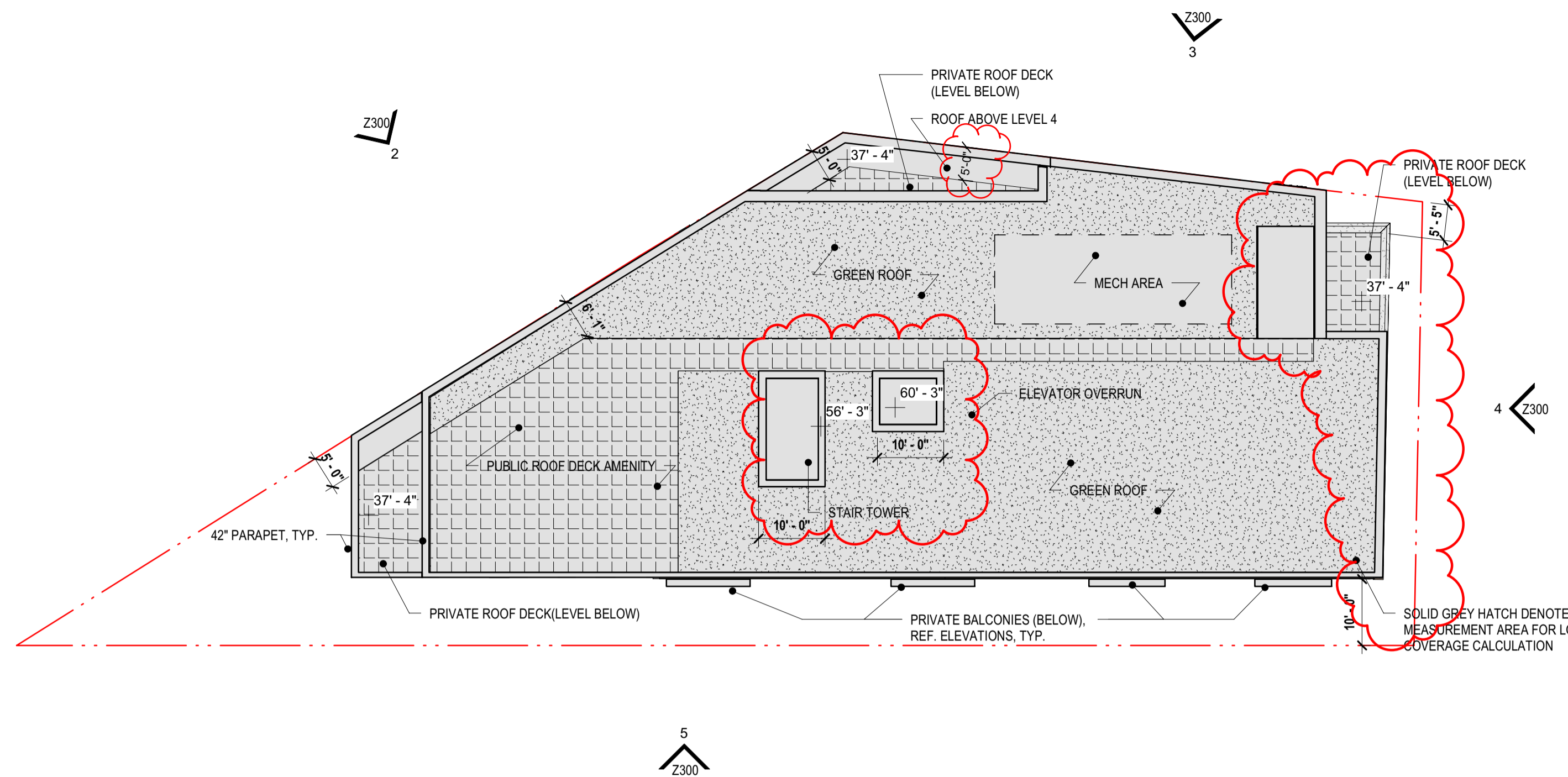
**Development Planning**



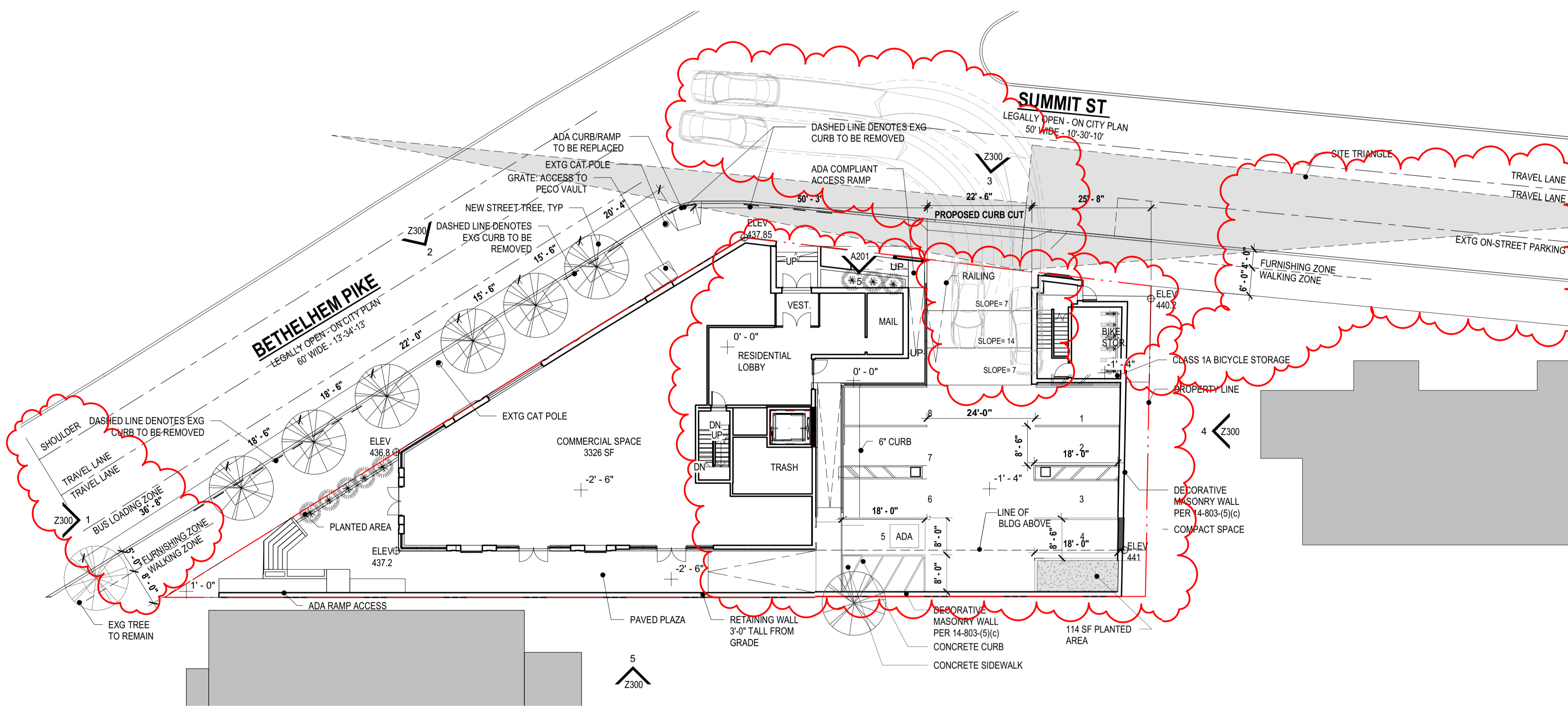
**EXISTING SUMMIT ST STREET VIEW**



**EXISTING BETHLEHEM PIKE STREET VIEW**



**2 ZONING - ROOF PLAN**  
Z200 1/16" = 1'-0"



**1 ZONING - FIRST FLOOR PLAN**  
Z200 1/16" = 1'-0"

| AREA REGULATIONS                                   |  |   |
|--|--|---|
| <b>LOT INFORMATION</b>                             |  |   |
| LOT ADDRESS(ES):                                   | 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118 |   |
| OPA NUMBER:  | #88-2722300                                |   |
| LOT AREA(S):                                       | 11,113 SF                                  |   |
| LOT AREA(S) - PDS:                                 | 11,058 SF                                  |   |
| BASE ZONING DISTRICT:                              | CMX-2                                      |   |
| OVERLAY ZONING DISTRICT:                           | WVO WISSAHICKON WATERSHED OVERLAY DISTRICT |   |
| <b>USE REGULATIONS</b>                             |  |   |
| PROPOSED & PERMITTED USES:                         | BASEMENT THRU 1ST                          | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|  | 2ND THRU 5TH                               | MULTI-FAMILY HOUSING  |
| <b>DIMENSIONAL STANDARDS (14-701-3)</b>            |  |   |
| <b>DISTRICT &amp; LOT DIMENSIONS</b>               | REQUIRED                                   | PROPOSED  |
| MIN LOT WIDTH (FT)                                 | N/A  | NO CHANGE   |
| MIN LOT AREA (SF)                                  | N/A  | NO CHANGE   |
| MAX OCCUPIED AREA (% OF LOT)                       | 80%  | 76.35% (8,443 SF BLDG)  |
| MAX UNITS ALLOWED                                  | 33 (see Note 1)                            | 33  |
| <b>YARDS</b>                                       |  |   |
| MIN FRONT YARD DEPTH (FT)                          | N/A  | 0'-0"   |
| MIN SIDE YARD WIDTH, EACH (FT)                     | 5 FT if used                               | 5'-0"   |
| MIN REAR YARD DEPTH (FT)                           | 9'-0" (see Note 2)                         | 10'-0"  |
| <b>HEIGHT</b>                                      |  |   |
| MAX HEIGHT (FT)                                    | 46'-9 1/2" (see Note 3)                    | 46'-9 1/2"  |
| MAX FLOOR AREA (% OF LOT AREA)                     | N/A  | N/A   |
| <b>LANDSCAPE AND TREES (14-702(2))</b>             |  |   |
| STREET TREE REQUIREMENT                            | 7 (See Note 4)                             | 7   |
| <b>OFF STREET PARKING REQUIREMENTS (14-802-2)</b>  |  |   |
| CAR PARKING  | 0  | 8   |
| ACCESSIBLE SPACES                                  | 0  | 0   |
| COMPACT SPACE                                      | 0  | 0   |
| BICYCLE PARKING                                    | 12 (1 bicycle per 3 units)                 | 12  |
| <b>OFF STREET LOADING REQUIREMENTS (14-806)</b>    |  |   |
| OFF-STREET LOADING                                 | 0 (See Note 6)                             | 0   |
| <b>BAY WINDOWS (11603 (4))</b>                     |  |   |
| BAY WINDOWS  | PERMITTED                                  | PROVIDED (See Note 6)   |
| <b>ROOF DECK (14604(5))</b>                        |  |   |
| ROOF DECK  | PERMITTED                                  | PROVIDED (See Note 7)   |
| <b>PARKING LANDSCAPE AND SCREENING (14803(5))</b>  |  |   |
| PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS | REQUIRED                                   | PROVIDED (See Note 8)   |
| INTERIOR LANDSCAPE RECMNTS                         | 660 SF OPEN PARKING X.10% = 66 SF          | 114 SF (See Note 9)   |

- NOTES**
- Note 1:** Section 14-602(4)(a)(2)(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that (c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.  
Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per *Housing Unit Density Bonus Table*, 25% increase permits permitted is provided for Moderate Income.  
**Maximum units allowed = 1919 sf (3 units) + (11,058 SF - 1919sf) / 480 SF per unit = 3 units + 19 units = 22 units.**  
**Green Roof Bonus = 22 units x 25% = 5.5 units (5 rounded down) = 27 units**  
**Moderate Income Density Bonus = 27 units x 25% = 6.75 (6 rounded down) = 33 units allowed.**
- Cost Calculation:**  
**Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160**  
**Unit Calculation: 6 units earned x \$25,000 = \$150,000**  
**Payment will be based on the Lot Area Calculation.**
- Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.  
**Minimum rear yard based on Lot Depth = 77'-4" x .1 = 7'-9"**  
**\*Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.**
- Note 3:** Per Table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per *Additional Building Height Table*, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.  
**Building Height = 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"**  
**Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**  
**Average Grade = 438.81' = +1.81' (1'-9 1/2")**  
**Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46'-9 1/2"**
- Note 4:** Per 14-705(2)(c)(2)(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.  
**234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)**  
**Project provides 6 new trees and 1 existing to remain.**
- Note 5:** Bay Windows provided in compliance with Section 11-603 (4) Projections Over the Street- Balconies and Bay Windows.  
**Bethlehem Pike - 87'-10" of frontage (three allowed for 63'-0" of frontage)**  
Level 3: 3 bays provided (3 allowed), Level 4: 2 bays provided (3 allowed), Level 5: 1 bay provided (3 allowed)  
**Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage)**  
Level 3: 2 bays provided (3 allowed), Level 4: 2 bays provided (3 allowed)
- Note 6:** Per Table 14-803-1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)
- Note 7:** Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 ft. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard
- Note 8:** Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five feet tall shall be provided. The screening material shall be designed to provide 75% opacity.
- Note 9:** Herbaceous plants or lawn installed in the required landscaped area shall be from the type of appropriate plantings per § 14-705 of the Philadelphia Zoning Code
- Note 10:** WVO Wissahickon Watershed Overlay District 14-510 (6)  
Category 5 - No Limit to Impervious Ground Coverage  
Existing site is currently 95% impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.
- Note 10:** Steep Slope Protection 14-704 (2)  
(a.) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft.  
**Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.**  
(b.) Slopes of fifteen percent (15%) or greater on any lot or portion(s) thereof.  
**Steep Slope Calculation**  
Property Line 210'-10": Low Point = 437.8' High Point = 441.5' Slope = 1.74%  
Property Line 60'-11": Low Point = 440.3' High Point = 441.5' Slope = 1.79%  
Property Line 88'-2": Low Point = 437.5' High Point = 440.3' Slope = 2.74%  
Property Line 146'-8": Low Point = 436.36' High Point = 437.8' Slope = 1% overall.  
**3.8% at steepest point.**  
Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5', Slope = 2.92%  
**Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.**

**Versions**

| No. | Date       | Description |
|-----|------------|-------------|
| 1   | 03/03/2021 | ZONING      |
|     | 00/00/0000 | ASI 000     |

Architect

**COSCIA MOOS ARCHITECTURE**

Coscia Moos Architecture  
1616 Walnut Street, Suite 101  
Philadelphia, PA 19103  
267 761 9416  
Civil Engineer

**MASER CONSULTING**

Maser Consulting  
2 Penn Center, Suite 222  
Philadelphia, PA 19102  
215 881 9021

Signature and Seal  
Project

**10 BETHLEHEM PIKE**  
**10 BETHLEHEM PIKE, PHILADELPHIA PA 19118**

Sheet Title  
**ZONING TABLE AND PLANS**

Date  
03/03/2021

Scale  
As Indicated

Drawn  
JAV

Project No.  
567

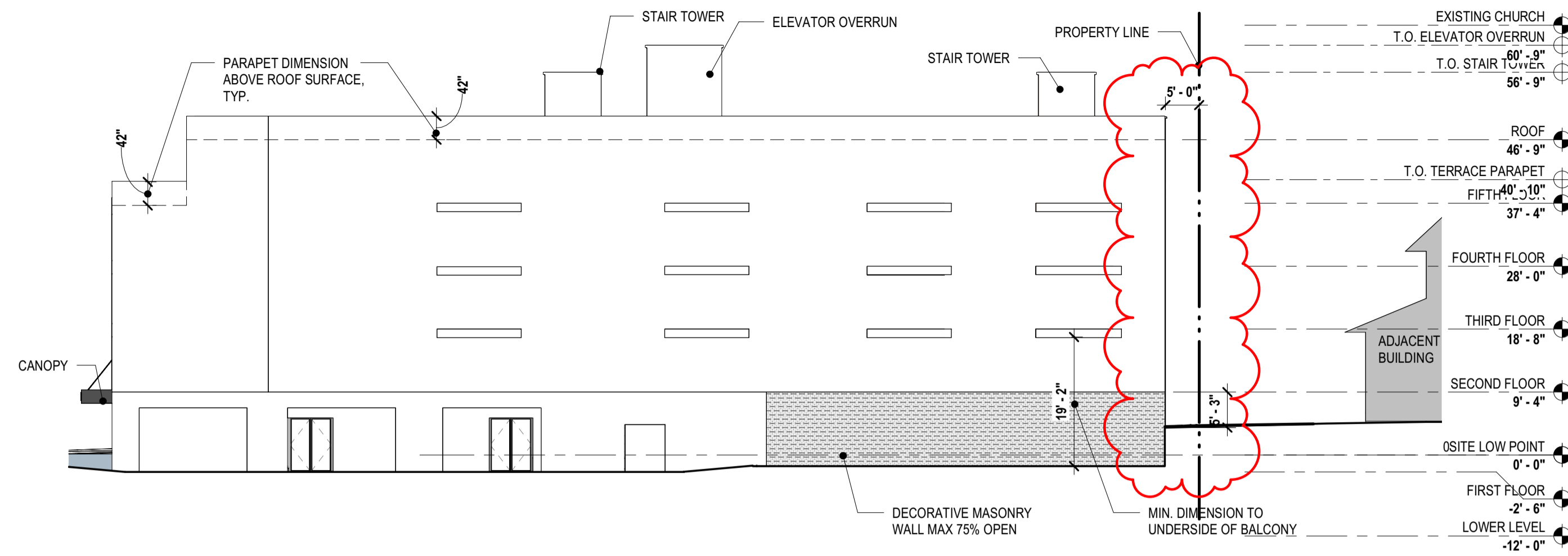
Sheet No.

**Z200**

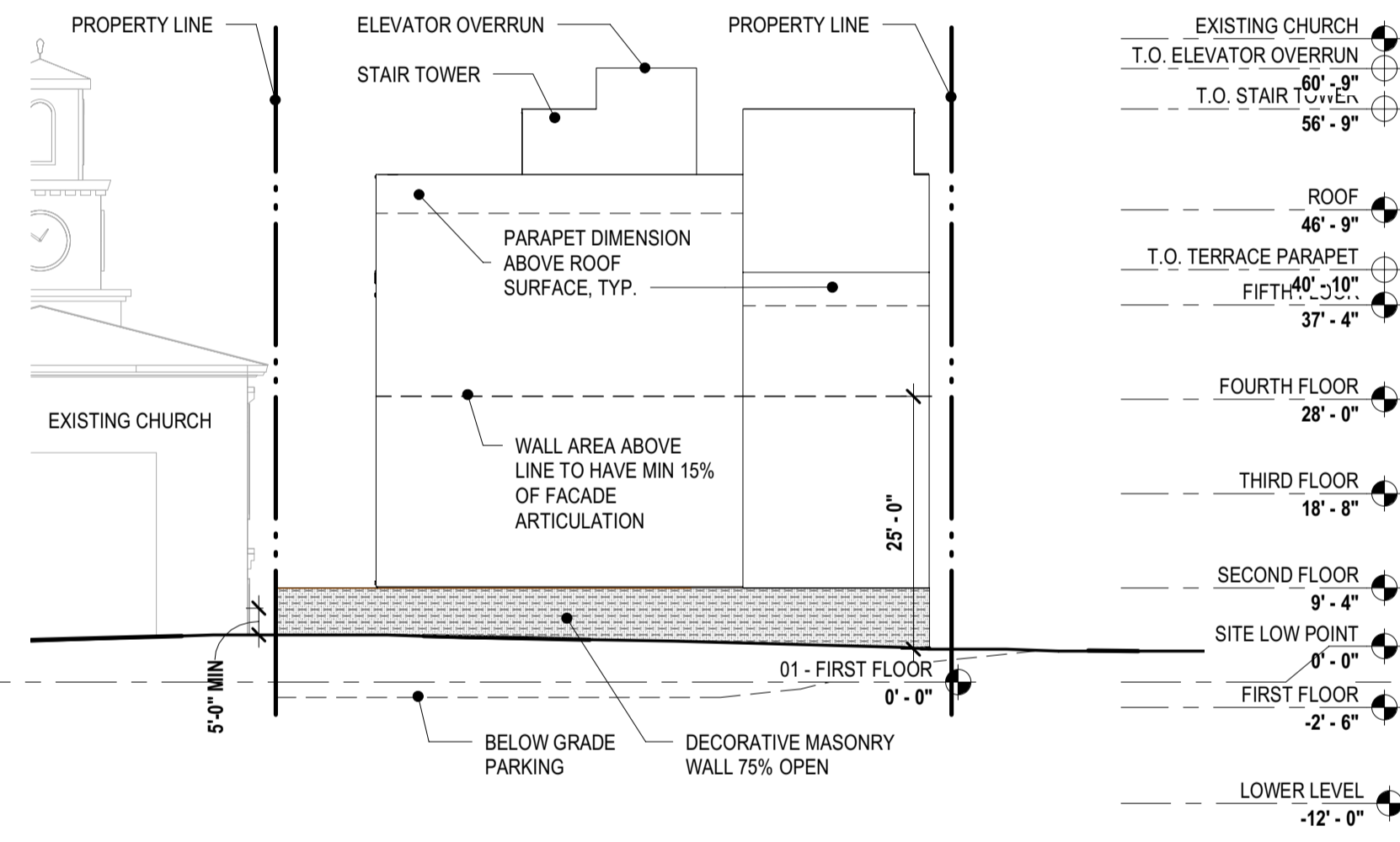


Applied Electronically by L&J User.

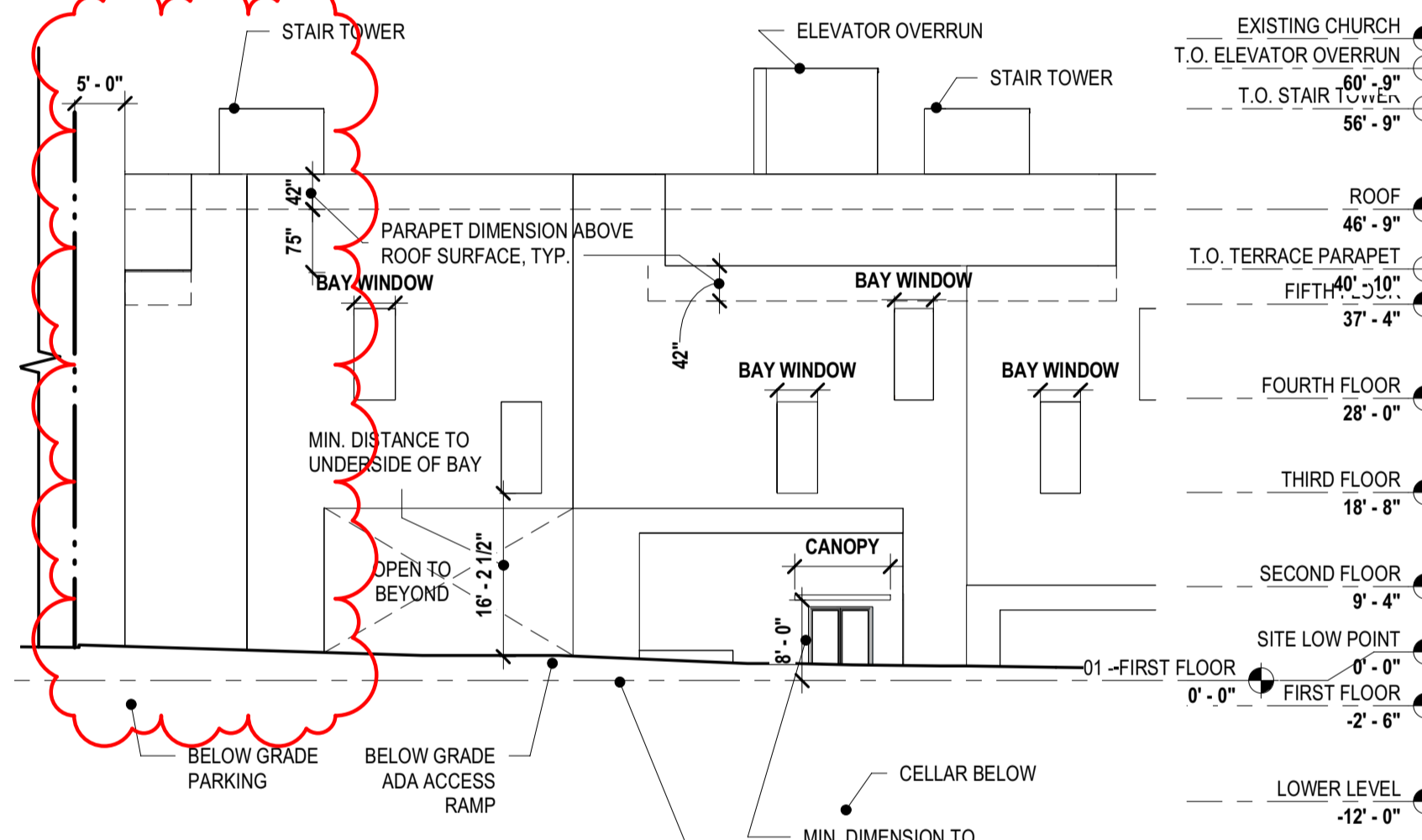




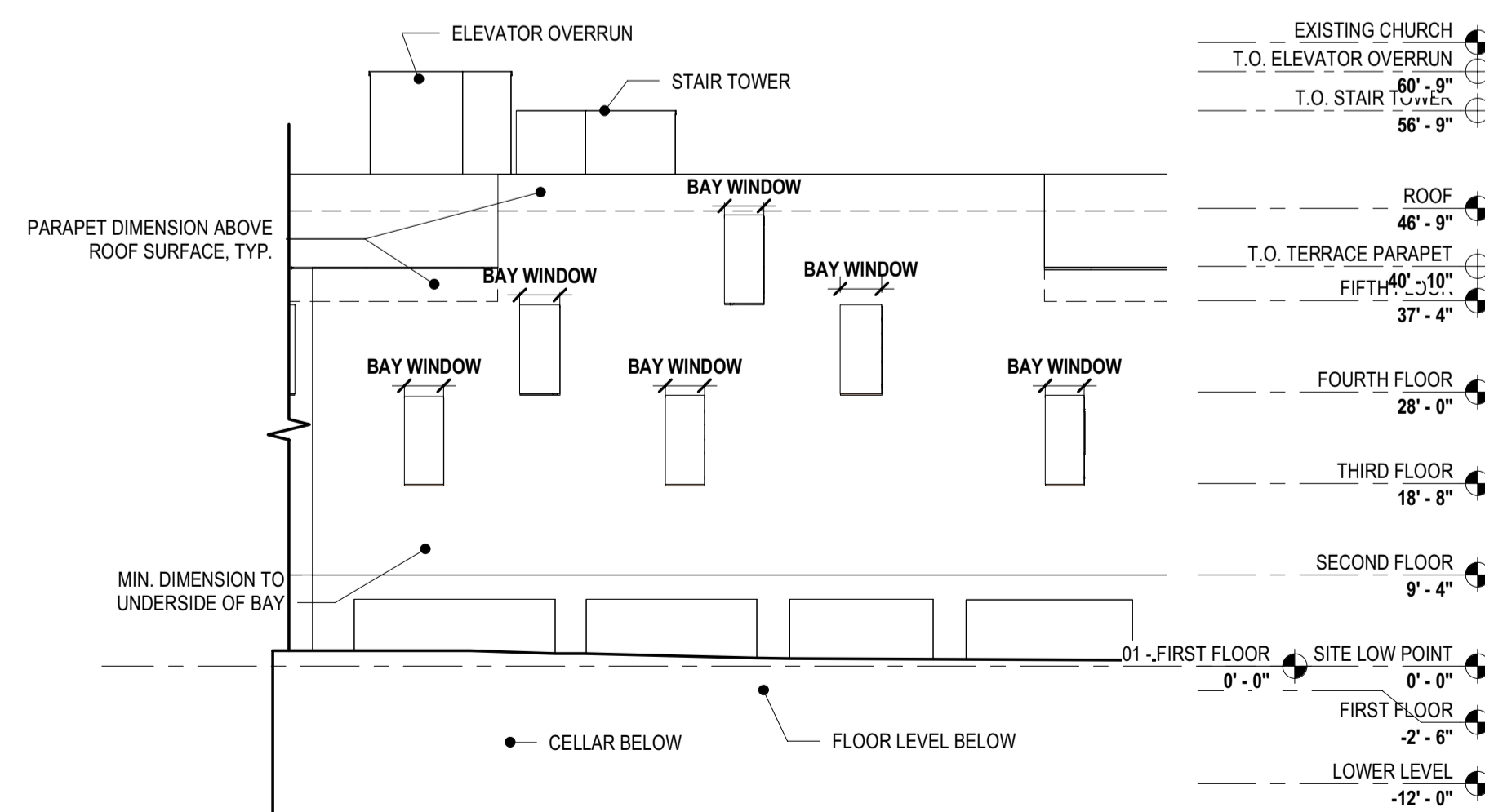
**5 ZONING ELEVATION - SOUTH**  
Z300 1/16" = 1'-0"



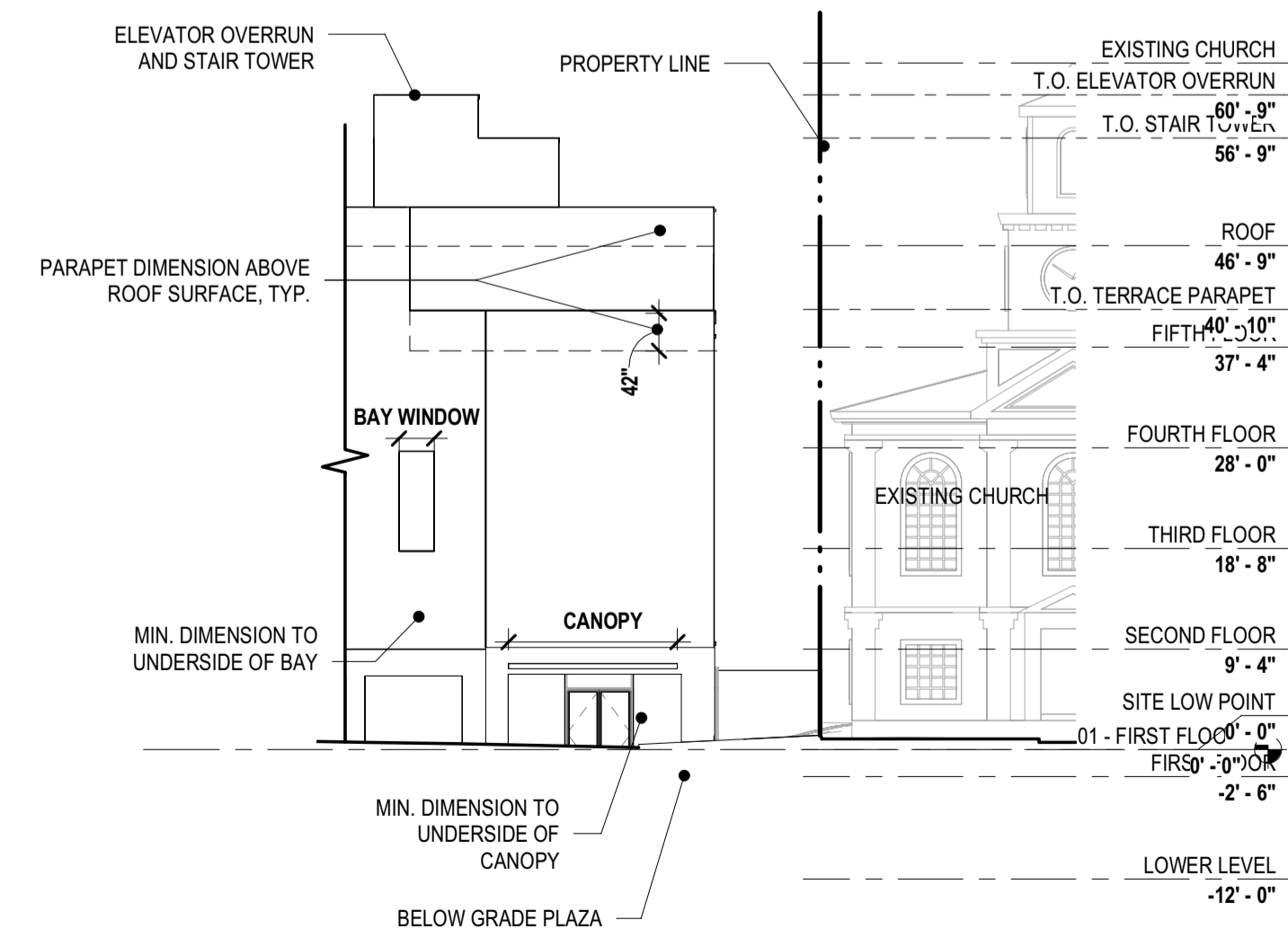
**4 ZONING ELEVATION - EAST**  
Z300 1/16" = 1'-0"



**3 ZONING ELEVATION - SUMMIT STREET**  
Z300 1/16" = 1'-0"



**2 ZONING ELEVATION - BETHLEHEM PIKE EAST**  
Z300 1/16" = 1'-0"



**1 ZONING ELEVATION - BETHLEHEM PIKE NORTH**  
Z300 1/16" = 1'-0"

**AREA REGULATIONS**

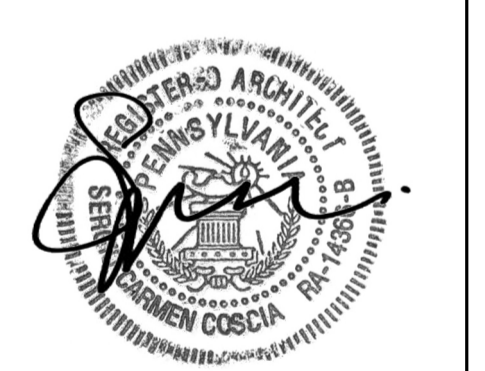
| LOT INFORMATION   |                                   |   |
|---|-----------------------------------|---|
| LOT ADDRESS(ES): 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118         |                                   |   |
| OPA NUMBER: #88-2722300   |                                   |   |
| LOT AREA(S): 11,113 SF  |                                   |   |
| LOT AREA(S) - PDS: 11,058 SF  |                                   |   |
| BASE ZONING DISTRICT: CMX-2   |                                   |   |
| OVERLAY ZONING DISTRICT: WWO WISSAHICKON WATERSHED OVERLAY DISTRICT |                                   |   |
| USE REGULATIONS   |                                   |   |
| PROPOSED & PERMITTED USES:  | BASEMENT THRU 1ST FLOOR           | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|   | 2ND THRU 5TH FLOOR                | MULTI-FAMILY HOUSING  |
| DIMENSIONAL STANDARDS (14-701-3)                                    |                                   |   |
| DISTRICT & LOT DIMENSIONS   | REQUIRED                          | PROPOSED  |
| MIN LOT WIDTH (FT)  | N/A                               | NO CHANGE   |
| MIN LOT AREA (SF)   | N/A                               | NO CHANGE   |
| MAX OCCUPIED AREA (% OF LOT)  | 80%                               | 76.35% (8,443 SF BLDG)  |
| MAX UNITS ALLOWED   | 33 (see Note 1)                   | 33  |
| YARDS   |                                   |   |
| MIN FRONT YARD DEPTH (FT)   | N/A                               | 0'-0"   |
| MIN SIDE YARD WIDTH, EACH (FT)                                      | 5 FT if used                      | 5'-0"   |
| MIN REAR YARD DEPTH (FT)  | 9'-0" (see Note 2)                | 10'-0"  |
| HEIGHT  |                                   |   |
| MAX HEIGHT (FT)   | 46'-9 1/2" (see Note 3)           | 46'-9 1/2"  |
| MAX FLOOR AREA (% OF LOT AREA)                                      | N/A                               | N/A   |
| LANDSCAPE AND TREES (14-705(2))                                     |                                   |   |
| STREET TREE REQUIREMENT   | 7 (See Note 4)                    | 7   |
| OFF STREET PARKING REQUIREMENTS (14-802-2)                          |                                   |   |
| CAR PARKING   | 0                                 | 8   |
| ACCESSIBLE SPACES   | 0                                 | 0   |
| COMPACT SPACE   | 0                                 | 0   |
| BICYCLE PARKING   | 12 (1 bicycle per 3 units)        | 12  |
| OFF STREET LOADING REQUIREMENTS (14-806)                            |                                   |   |
| OFF-STREET LOADING  | 0 (See Note 6)                    | 0   |
| BAY WINDOWS (11603 (4))   |                                   |   |
| BAY WINDOWS   | PERMITTED                         | PROVIDED (See Note 6)   |
| ROOF DECK (14604(5))  |                                   |   |
| ROOF DECK   | PERMITTED                         | PROVIDED (See Note 7)   |
| PARKING LANDSCAPE AND SCREENING (14803(5))                          |                                   |   |
| PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS                  | REQUIRED                          | PROVIDED (See Note 8)   |
| INTERIOR LANDSCAPE REQMENTS   | 660 SF OPEN PARKING X 10% = 66 SF | 114 SF (See Note 9)   |

- NOTES**
- Note 1:** Section 14-602(4)(a)(2)(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft.; provided that: (c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.  
 Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit density Bonus table, 25% increase results permit is provided for Moderate Income.  
**Maximum units allowed = 1919 sf (3 units) + (11,058 SF-1919sf) / 480 SF per unit = 3 units + 19 units = 22 units.**  
**Green Roof Bonus = 22 units x .25% = 5.5 units (6 rounded down) = 27 units**  
**Moderate Income Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed.**
- Cost Calculation:**  
**Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160**  
**Unit Calculation: 6 units earned x \$25,000 = \$150,000**  
**Payment will be based on the Lot Area Calculation**
- Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.  
**Minimum rear yard based on Lot Depth = 77'-4" x .1 = 7'-9"**  
**\*Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.**
- Note 3:** Per Table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.  
**Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"**  
**Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**  
**Average Grade = 438.61' = +1.81' (1'-8 1/2")**  
**Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-8 1/2" = 46'-9 1/2"**
- Note 4:** Per 14-705(2)(c)(2)(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.  
**234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)**  
**Project provides 6 new trees and 1 existing to remain.**
- Note 5:** Bay Windows provided in compliance with Section 11-603 (4) Projections Over the Street - Balconies and Bay Windows.  
**Bethlehem Pike - 87'-10" of frontage (three allowed for 63'-0" of frontage)**  
 Level 3: 3 bays provided (3 allowed); Level 4: 2 bays provided (3 allowed); Level 5: 1 bay provided (3 allowed)  
**Summit Street - 87'-0" of frontage (three allowed for 63'-0" of frontage)**  
 Level 3: 2 bays provided (3 allowed); Level 4: 2 bays provided (3 allowed)
- Note 6:** Per Table 14-803-1, Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)
- Note 7:** Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 sq. ft. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard
- Note 8:** Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five ft tall shall be provided. The screening material shall be designed to provide 75% opacity.
- Note 9:** Herbaceous plants or lawn installed in the required landscaped area shall be from the type of appropriate plantings per § 14-705 of the Philadelphia Zoning Code
- Note 10:** WWO Wissahickon Watershed Overlay District 14-510 (6)  
 Category 5 - No Limit to Impervious Ground Coverage  
 Existing site is currently 95% impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.  
**Note 10:** Sleep Slope Protection 14-704 (2)  
 (a.) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft.  
**Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.**  
 (b.) Slopes of fifteen percent (15%) or greater on any lot or portion(s) thereof.  
 Sleep Slope Calculation  
 Property Line 210'-10"; Low Point = 437.8' High Point = 441.5'; Slope = 1.74%  
 Property Line 68'-11"; Low Point = 440.3' High Point = 441.5'; Slope = 1.79%  
 Property Line 88'-2"; Low Point = 437.5' High Point = 440.3'; Slope = 2.74%  
 Property Line 146'-8"; Low Point = 436.36' High Point = 437.8'; Slope = 1% overall, 3.8% at steepest point.  
 Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5'; Slope = 2.92%  
**Maximum Sleep Slope calculated at 3.8%, steep slope provisions do not apply.**

**Versions**

| No.        | Date       | Description |
|------------|------------|-------------|
| 03/03/2021 | ZONING     |             |
| 1          | 00/00/0000 | ASI 000     |

Architect  
**COSCIA MOOS ARCHITECTURE**  
 Coscia Moos Architecture  
 1616 Walnut Street, Suite 101  
 Philadelphia, PA 19103  
 267 761 9416  
 Civil Engineer



Signature and Seal  
 Project  
**10 BETHLEHEM PIKE**  
**10 BETHLEHEM PIKE, PHILADELPHIA PA 19118**  
 Sheet Title  
**ZONING TABLES & ELEVATIONS**

Date: 03/03/2021  
 Scale: As indicated  
 Drawn: JAV  
 Project No.: 567  
 Sheet No.:

**Z300**



Applied Electronically by L&J User.



Signature and Seal

**10 BETHLEHEM PIKE**

**10 BETHLEHEM PIKE, PHILADELPHIA PA 19118**

PROJECT NO: 567

OWNER:  
Client Name  
Client Address

Client URL  
Client Phone

ARCHITECT:  
Coscia Moos Architecture  
1616 Walnut Street  
Suite 101  
Philadelphia, PA 19103  
www.cosciamoos.com  
267-761-9416

CIVIL ENGINEER:  
Consultant 1  
Consultant 1 Address

Consultant 1 URL  
Consultant 1 Phone

STRUCTURAL ENGINEER:  
Consultant 2  
Consultant 2 Address

Consultant 2 URL  
Consultant 2 Phone

MEFPF ENGINEER:  
Consultant 3  
Consultant 3 Address

Consultant 3 URL  
Consultant 3 Phone

1 ASI 000 00/00/0000  
ZONING 03/03/2021  
07/30/2021

ISSUED FOR CONSTRUCTION

SCALE: As indicated

DRAWN BY: JAV

**ZONING TABLES & PLANS**

**Z100**

- NOTES**
- Note 1:** Section 14-602(4)(a)(2)(i), (b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft., provided that (c) if the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.  
Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit Density Bonuses table, 25% increase in units permitted is provided for Moderate Income.  
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**Average Grade = 438.81' = +1.81' (1'-9 1/2")**  
**Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46' - 9 1/2"**
- Note 4:** Per 14-705(2)(c) (2)(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.  
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**3 bays provided (3 allowed)**  
**Summit Street - 87'-0" of frontage (three allowed for 63'-0" of frontage)**  
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Property Line 66'-11": Low Point = 440.3' High Point = 441.5' Slope = 1.79%  
Property Line 88'-2": Low Point = 437.5' High Point = 440.3' Slope = 2.74%  
Property Line 146'-8": Low Point = 436.36' High Point = 437.8' Slope = 1% overall, 3.8% at steepest point.  
Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5', Slope = 2.92%  
**Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.**

**AREA REGULATIONS**

| LOT INFORMATION          |  |
|--------------------------|--|
| LOT ADDRESS(ES):         | 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118 |
| OPA NUMBER:              | #88-2722300                                |
| LOT AREA(S):             | 11,113 SF                                  |
| LOT AREA(S) - PDS:       | 11,058 SF                                  |
| BASE ZONING DISTRICT:    | CMX-2                                      |
| OVERLAY ZONING DISTRICT: | WWO WISSAHICKON WATERSHED OVERLAY DISTRICT |

| USE REGULATIONS            |   |
|----------------------------|---|
| PROPOSED & PERMITTED USES: | BASEMENT THRU 1ST RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|                            | 2ND THRU 5TH MULTI-FAMILY HOUSING   |

| DIMENSIONAL STANDARDS (14-701-3) |                 |                        |
|----------------------------------|-----------------|------------------------|
| DISTRICT & LOT DIMENSIONS        | REQUIRED        | PROPOSED               |
| MIN LOT WIDTH (FT)               | N/A             | NO CHANGE              |
| MIN LOT AREA (SF)                | N/A             | NO CHANGE              |
| MAX OCCUPIED AREA (% OF LOT)     | 80%             | 76.35% (8,443 SF BLDG) |
| MAX UNITS ALLOWED                | 33 (see Note 1) | 33                     |

| YARDS                          |                           |
|--------------------------------|---------------------------|
| MIN FRONT YARD DEPTH (FT)      | N/A 0' - 0"               |
| MIN SIDE YARD WIDTH, EACH (FT) | 5 FT if used 5' - 0"      |
| MIN REAR YARD DEPTH (FT)       | 9'-0" (see Note 2) 10'-0" |

| HEIGHT                         |                                    |
|--------------------------------|------------------------------------|
| MAX HEIGHT (FT)                | 46'-9 1/2" (see Note 3) 46'-9 1/2" |
| MAX FLOOR AREA (% OF LOT AREA) | N/A N/A                            |

| LANDSCAPE AND TREES (14-705(2)) |                  |
|---------------------------------|------------------|
| STREET TREE REQUIREMENT         | 7 (See Note 4) 7 |

| OFF STREET PARKING REQUIREMENTS (14-802-2) |                               |
|--|-------------------------------|
| CAR PARKING                                | 0 8                           |
| ACCESSIBLE SPACES                          | 0 1                           |
| COMPACT SPACE                              | 0 0                           |
| BICYCLE PARKING                            | 12 (1 bicycle per 3 units) 12 |

| OFF STREET LOADING REQUIREMENTS (14-806) |                  |
|--|------------------|
| OFF-STREET LOADING                       | 0 (See Note 6) 0 |

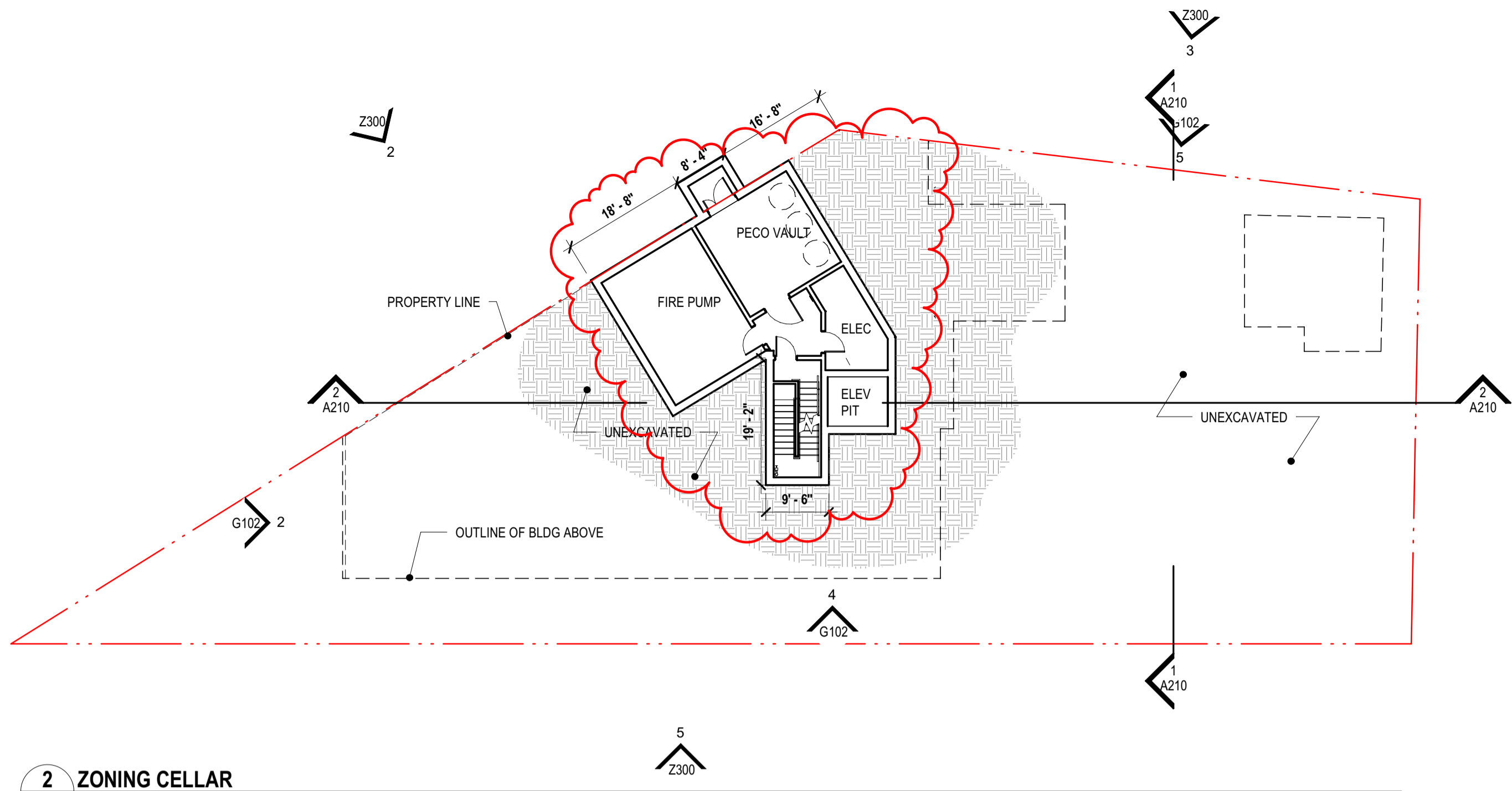
| BAY WINDOWS (11603 (4)) |                                 |
|-------------------------|---------------------------------|
| BAY WINDOWS             | PERMITTED PROVIDED (See Note 6) |

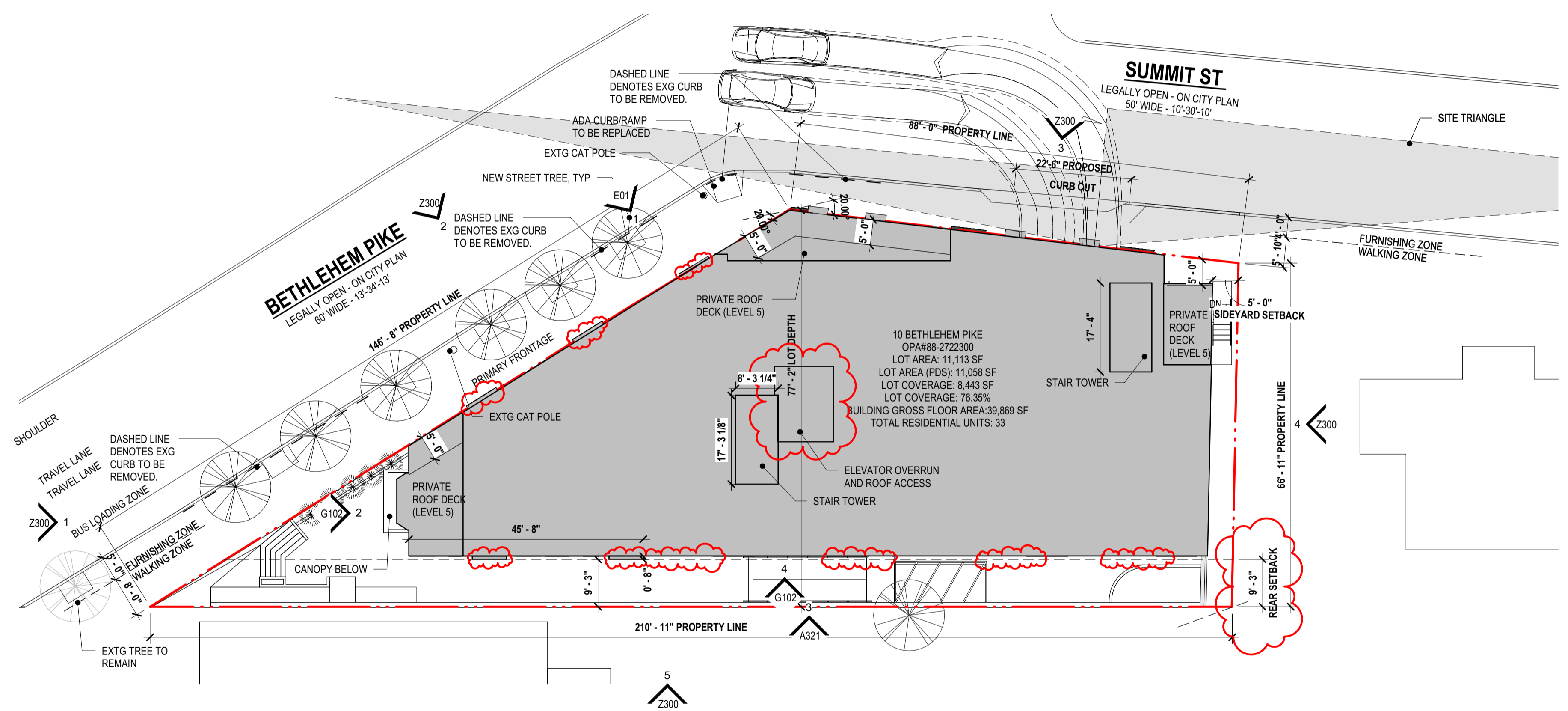
| ROOF DECK (14604(5)) |                                 |
|----------------------|---------------------------------|
| ROOF DECK            | PERMITTED PROVIDED (See Note 7) |

| PARKING LANDSCAPE AND SCREENING (14803(5))         |   |
|--|---|
| PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS | REQUIRED PROVIDED (See Note 6)                        |
| INTERIOR LANDSCAPE REQMNITS                        | 660 SF OPEN PARKING X.10% = 66 SF 114 SF (See Note 9) |



**2 ZONING CELLAR**  
Z100 1/16" = 1'-0"



**1 ZONING SITE PLAN**  
Z100 1/16" = 1'-0"



EXISTING SUMMIT ST STREET VIEW



EXISTING BETHLEHEM PIKE STREET VIEW



Applied Electronically by L&I User.



Signature and Seal

**10 BETHLEHEM PIKE  
10 BETHLEHEM PIKE,  
PHILADELPHIA PA  
19118**

PROJECT NO: 567

OWNER:  
Client Name  
Client Address

Client URL  
Client Phone

ARCHITECT:  
Coscia Moos Architecture  
1616 Walnut Street  
Suite 101  
Philadelphia, PA 19103  
www.cosciamoos.com  
267-761-9416

CIVIL ENGINEER:  
Consultant 1  
Consultant 1 Address

Consultant 1 URL  
Consultant 1 Phone

STRUCTURAL ENGINEER:  
Consultant 2  
Consultant 2 Address

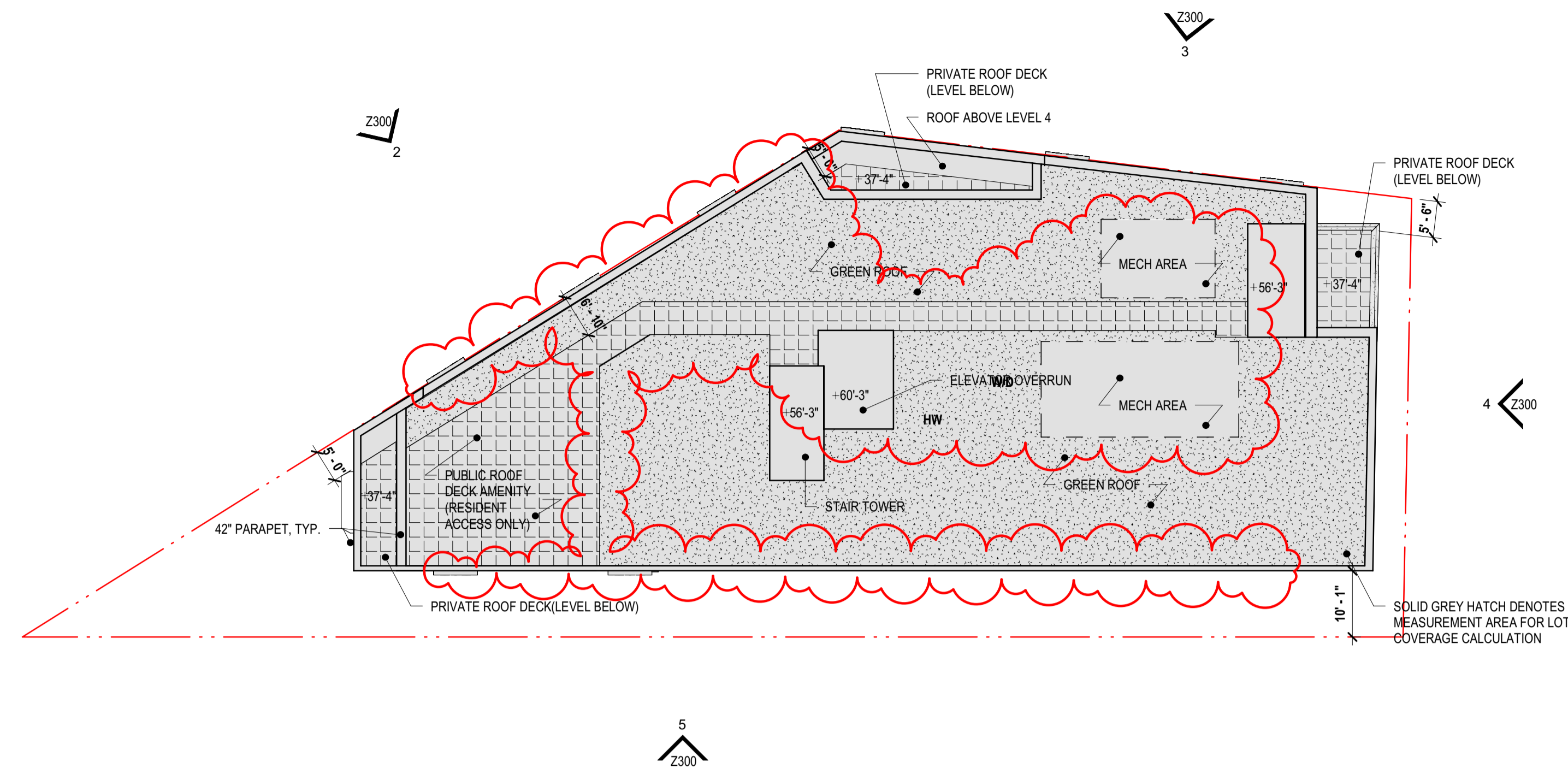
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Consultant 2 Phone

MEPPF ENGINEER:  
Consultant 3  
Consultant 3 Address

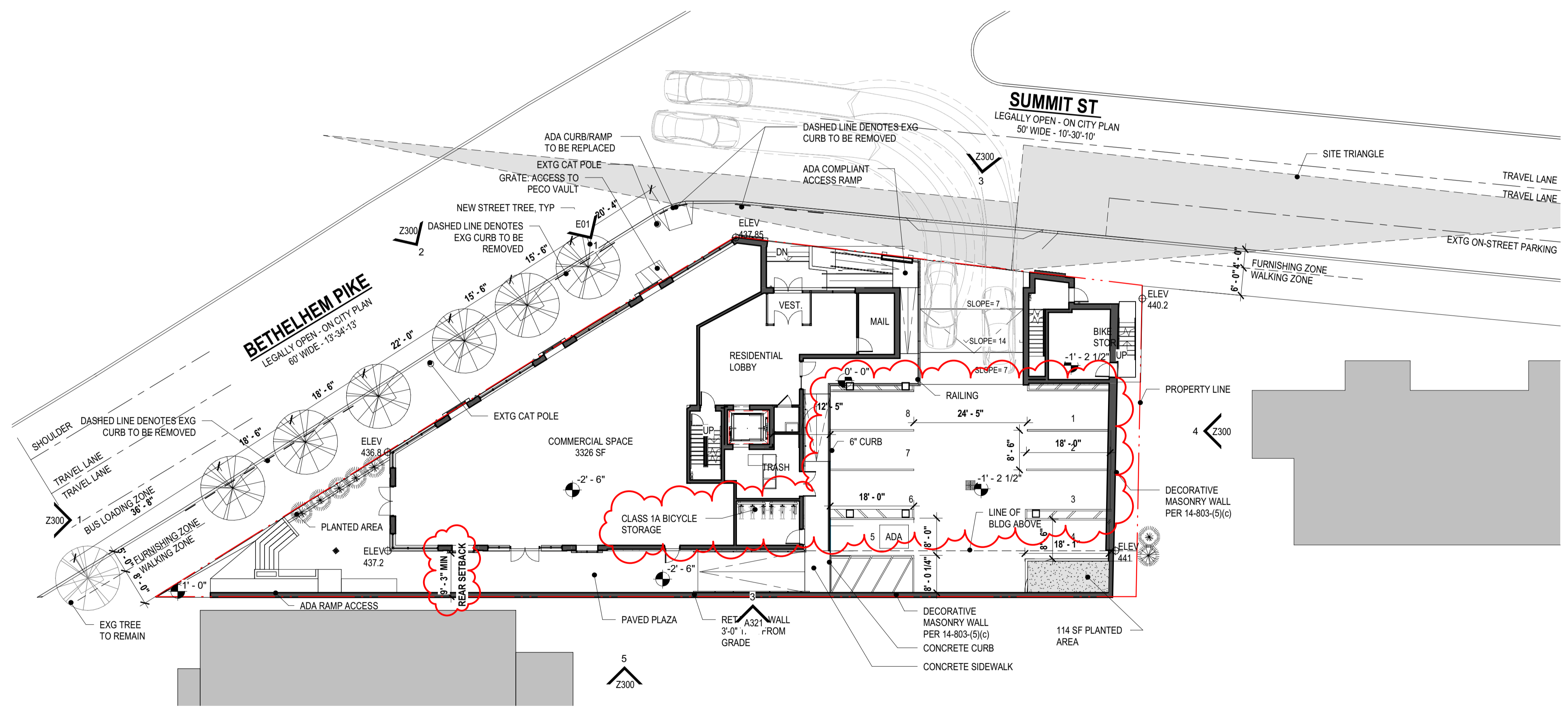
Consultant 3 URL  
Consultant 3 Phone

| AREA REGULATIONS                                   |  |   |
|--|--|---|
| <b>LOT INFORMATION</b>                             |  |   |
| LOT ADDRESS(ES):                                   | 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118 |   |
| OPA NUMBER:  | #88-2722300                                |   |
| LOT AREA(S):                                       | 11,113 SF                                  |   |
| LOT AREA(S) - PDS:                                 | 11,058 SF                                  |   |
| BASE ZONING DISTRICT:                              | CMX-2                                      |   |
| OVERLAY ZONING DISTRICT:                           | WVO WISSAHICKON WATERSHED OVERLAY DISTRICT |   |
| <b>USE REGULATIONS</b>                             |  |   |
| PROPOSED & PERMITTED USES:                         | BASEMENT THRU 1ST                          | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|  | 2ND THRU 5TH                               | MULTI-FAMILY HOUSING  |
| <b>DIMENSIONAL STANDARDS (14-701-3)</b>            |  |   |
| DISTRICT & LOT DIMENSIONS                          | REQUIRED                                   | PROPOSED  |
| MIN LOT WIDTH (FT)                                 | N/A  | NO CHANGE   |
| MIN LOT AREA (SF)                                  | N/A  | NO CHANGE   |
| MAX OCCUPIED AREA (% OF LOT)                       | 80%  | 76.35% (8,443 SF BLDG)  |
| MAX UNITS ALLOWED                                  | 33 (see Note 1)                            | 33  |
| <b>YARDS</b>                                       |  |   |
| MIN FRONT YARD DEPTH (FT)                          | N/A  | 0' - 0"   |
| MIN SIDE YARD WIDTH, EACH (FT)                     | 5 FT if used                               | 5' - 0"   |
| MIN REAR YARD DEPTH (FT)                           | 9'-0" (see Note 2)                         | 10'-0"  |
| <b>HEIGHT</b>                                      |  |   |
| MAX HEIGHT (FT)                                    | 46'-9 1/2" (see Note 3)                    | 46'-9 1/2"  |
| MAX FLOOR AREA (% OF LOT AREA)                     | N/A  | N/A   |
| <b>LANDSCAPE AND TREES (14-705(2))</b>             |  |   |
| STREET TREE REQUIREMENT                            | 7 (See Note 4)                             | 7   |
| <b>OFF STREET PARKING REQUIREMENTS (14-802-2)</b>  |  |   |
| CAR PARKING  | 0  | 8   |
| ACCESSIBLE SPACES                                  | 0  | 1   |
| COMPACT SPACE                                      | 0  | 0   |
| BICYCLE PARKING                                    | 12 (1 bicycle per 3 units)                 | 12  |
| <b>OFF STREET LOADING REQUIREMENTS (14-806)</b>    |  |   |
| OFF-STREET LOADING                                 | 0 (See Note 6)                             | 0   |
| <b>BAY WINDOWS (11603 (4))</b>                     |  |   |
| BAY WINDOWS  | PERMITTED                                  | PROVIDED (See Note 6)   |
| <b>ROOF DECK (14604(5))</b>                        |  |   |
| ROOF DECK  | PERMITTED                                  | PROVIDED (See Note 7)   |
| <b>PARKING LANDSCAPE AND SCREENING (14803(5))</b>  |  |   |
| PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS | REQUIRED                                   | PROVIDED (See Note 8)   |
| INTERIOR LANDSCAPE REQMENTS                        | 660 SF OPEN PARKING X.10% = 66 SF          | 114 SF (See Note 9)   |

- NOTES**
- Note 1:** Section 14-602(4)(a)(2)(i), b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft., provided that: (c) If the green roof conditions set forth in § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.  
Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit Density Bonuses table, 25% increase in units permitted is provided for Moderate Income.  
**Maximum units allowed = 1919 sf (3 units) + (11,058 SF-1919sf) / 480 SF per unit = 3 units + 19 units = 22 units.**  
**Green Roof Bonus = 22 units x .25% = 5.5 units (5 rounded down) = 27 units**  
**Moderate Income Density Bonus = 27 units x .25% = 6.75 (6 rounded down) = 33 units allowed.**
- Cost Calculation:**  
**Lot Area Calculation:** Lot Area (PDS) = 11,058 SF x 20 = \$221,160  
**Unit Calculation:** 6 units earned x \$25,000 = \$150,000  
**Payment will be based on the Lot Area Calculation**
- Note 2:** Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.  
**Minimum rear yard based on Lot Depth = 77'-4" x .1 = 7'-9"**  
**\*Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.**
- Note 3:** Per table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0" Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.  
**Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"**  
**Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'**  
**Average Grade = 438.81' = +1.81' (1'-9 1/2")**  
**Total Building Height From Low Point (436.8") = 38'-0" + 7'-0" + 1'-9 1/2" = 46' - 9 1/2"**
- Note 4:** Per 14-705(2)(c)(2)(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.  
**234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)**  
**Project provides 6 new trees and 1 existing to remain.**
- Note 5:** Bay Windows provided in compliance with Section 14-603 (4) Projections Over the Street, Balconies and Bay Windows.  
**Bethlehem Pike - 87'-10" of frontage (three allowed for 63'-0" of frontage)**  
3 bays provided (3 allowed)  
**Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage)**  
3 bays provided (3 allowed)
- Note 6:** Per Table 14-803-1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)
- Note 7:** Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 sf. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard
- Note 8:** Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five ft tall shall be provided. The screening material shall be designed to provide 75% opacity.
- Note 9:** Herbaceous plants or lawn installed in the required landscaped area shall be from the list of appropriate plantings per § 14-705 of the Philadelphia Zoning Code
- Note 10:** WVO Wissahickon Watershed Overlay District 14-510 (6)  
Category 5 - No Limit to Impervious Ground Coverage  
Existing site is currently 95% impervious (11,058 SF (PSD) with 551 Sq Ft of landscaping). A green roof is being provided to decrease surface water runoff. The infiltration capacity of the site will be increased not diminished.  
**Note 10: Steep Slope Protection 14-704 (2)**  
(a) A disturbance of lot area greater than 1,400 sq ft or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft.  
**Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.**  
(b) Slopes of fifteen percent (15%) or greater on any lot or portion(s) thereof.  
**Slope Calculation**  
Property Line 210'-10": Low Point = 437.8' High Point = 441.5', Slope = 1.74%  
Property Line 66'-11": Low Point = 440.3' High Point = 441.5', Slope = 1.79%  
Property Line 89'-2": Low Point = 437.5' High Point = 440.3', Slope = 2.74%  
Property Line 146'-8": Low Point = 436.36' High Point = 437.8', Slope = 1% overall, 3.8% at steepest point.  
**Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5', Slope = 2.92%**  
**Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.**



**2 ZONING - ROOF PLAN**  
Z200 1/16" = 1'-0"



**1 ZONING - FIRST FLOOR PLAN**  
Z200 1/16" = 1'-0"



1 ASI 000 00/00/0000  
ZONING 03/03/2021  
07/30/2021

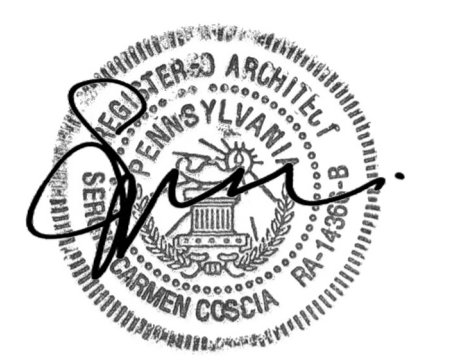
ISSUED FOR CONSTRUCTION

SCALE: As indicated

DRAWN BY: JAV

ZONING TABLE AND PLANS

**Z200**



Signature and Seal

**10 BETHLEHEM PIKE**

**10 BETHLEHEM PIKE, PHILADELPHIA PA 19118**

PROJECT NO: 567

OWNER:  
Client Name  
Client Address

Client URL  
Client Phone

ARCHITECT:  
Coscia Moos Architecture  
1616 Walnut Street  
Suite 101  
Philadelphia, PA 19103  
www.cosciamoos.com  
267-761-9416

CIVIL ENGINEER:  
Consultant 1  
Consultant 1 Address

Consultant 1 URL  
Consultant 1 Phone

STRUCTURAL ENGINEER:  
Consultant 2  
Consultant 2 Address

Consultant 2 URL  
Consultant 2 Phone

MEPPF ENGINEER:  
Consultant 3  
Consultant 3 Address

Consultant 3 URL  
Consultant 3 Phone

1 ASI 000 00/00/0000  
ZONING 03/03/2021  
07/30/2021

ISSUED FOR CONSTRUCTION

SCALE: As indicated

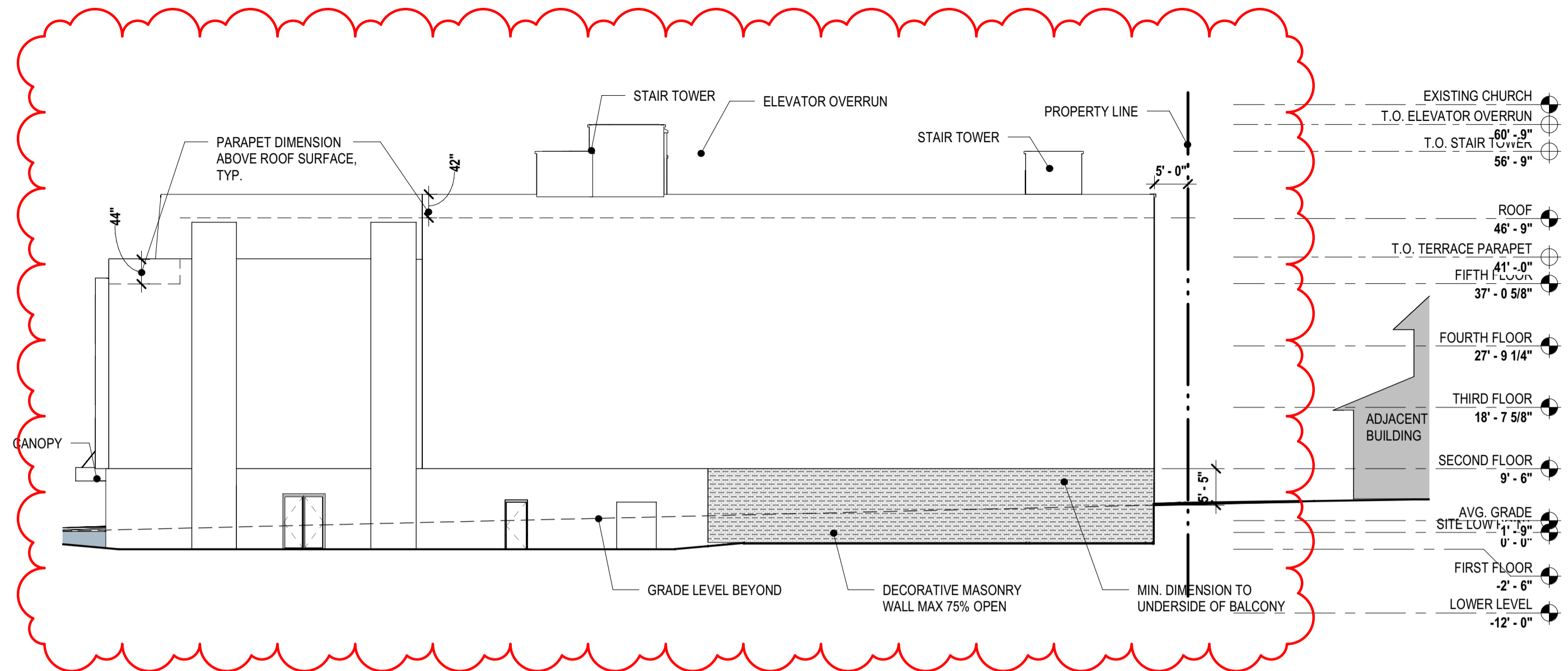
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**ZONING TABLES & ELEVATIONS**

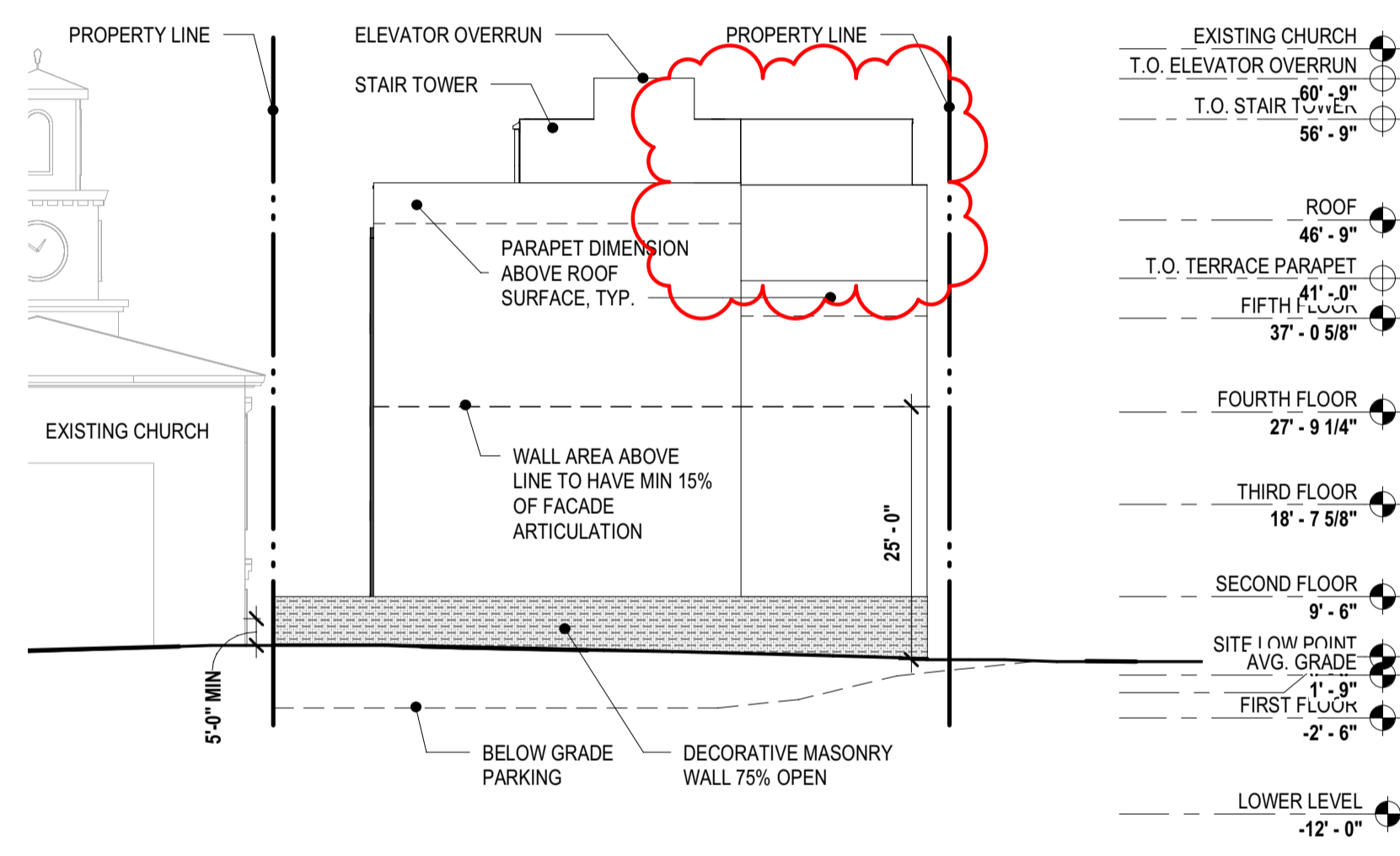
**Z300**

| AREA REGULATIONS                                   |  |   |
|--|--|---|
| <b>LOT INFORMATION</b>                             |  |   |
| LOT ADDRESS(ES):                                   | 10 BETHLEHEM PIKE, PHILADELPHIA, PA, 19118 |   |
| OPA NUMBER:  | #88-2722300                                |   |
| LOT AREA(S):                                       | 11,113 SF                                  |   |
| LOT AREA(S) - PDS:                                 | 11,058 SF                                  |   |
| BASE ZONING DISTRICT:                              | CMX-2                                      |   |
| OVERLAY ZONING DISTRICT:                           | WVO WISSAHICKON WATERSHED OVERLAY DISTRICT |   |
| <b>USE REGULATIONS</b>                             |  |   |
| PROPOSED & PERMITTED USES:                         | BASEMENT THRU 1ST                          | RETAIL SALE OF FOOD & BEVERAGE, RESIDENTIAL LOBBY, MECHANICAL |
|  | 2ND THRU 5TH                               | MULTI-FAMILY HOUSING  |
| <b>DIMENSIONAL STANDARDS (14-701-3)</b>            |  |   |
| <b>DISTRICT &amp; LOT DIMENSIONS</b>               | REQUIRED                                   | PROPOSED  |
| MIN LOT WIDTH (FT)                                 | N/A  | NO CHANGE   |
| MIN LOT AREA (SF)                                  | N/A  | NO CHANGE   |
| MAX OCCUPIED AREA (% OF LOT)                       | 80%  | 76.35% (8,443 SF BLDG)  |
| MAX UNITS ALLOWED                                  | 33 (see Note 1)                            | 33  |
| <b>YARDS</b>                                       |  |   |
| MIN FRONT YARD DEPTH (FT)                          | N/A  | 0' - 0"   |
| MIN SIDE YARD WIDTH, EACH (FT)                     | 5 FT if used                               | 5' - 0"   |
| MIN REAR YARD DEPTH (FT)                           | 9'-0" (see Note 2)                         | 10'-0"  |
| <b>HEIGHT</b>                                      |  |   |
| MAX HEIGHT (FT)                                    | 46'-9 1/2" (see Note 3)                    | 46'-9 1/2"  |
| MAX FLOOR AREA (% OF LOT AREA)                     | N/A  | N/A   |
| <b>LANDSCAPE AND TREES (14-705(2))</b>             |  |   |
| STREET TREE REQUIREMENT                            | 7 (See Note 4)                             | 7   |
| <b>OFF STREET PARKING REQUIREMENTS (14-802-2)</b>  |  |   |
| CAR PARKING  | 0  | 8   |
| ACCESSIBLE SPACES                                  | 0  | 1   |
| COMPACT SPACE                                      | 0  | 0   |
| BICYCLE PARKING                                    | 12 (1 bicycle per 3 units)                 | 12  |
| <b>OFF STREET LOADING REQUIREMENTS (14-806)</b>    |  |   |
| OFF-STREET LOADING                                 | 0 (See Note 6)                             | 0   |
| <b>BAY WINDOWS (11603 (4))</b>                     |  |   |
| BAY WINDOWS  | PERMITTED                                  | PROVIDED (See Note 6)   |
| <b>ROOF DECK (14604(5))</b>                        |  |   |
| ROOF DECK  | PERMITTED                                  | PROVIDED (See Note 7)   |
| <b>PARKING LANDSCAPE AND SCREENING (14803(5))</b>  |  |   |
| PERIMETER SCREENING FROM ADJACENT RESIDENTIAL LOTS | REQUIRED                                   | PROVIDED (See Note 6)   |
| INTERIOR LANDSCAPE REQMENTS                        | 660 SF OPEN PARKING X.10% = 66 SF          | 114 SF (See Note 9)   |

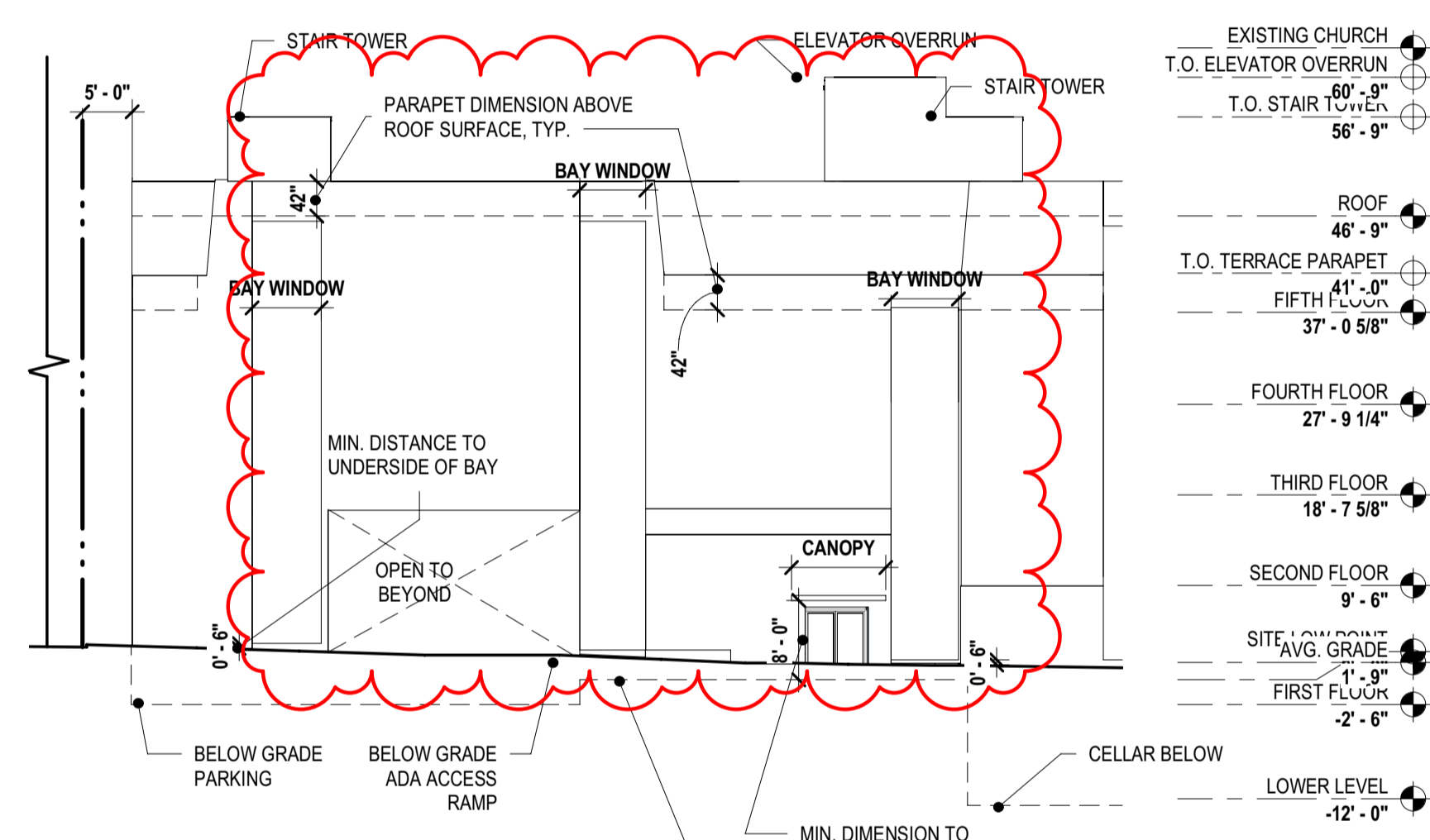
- NOTES**
- Note 1: Section 14-602(4)(a)(2)(b) A minimum of 480 sq. ft. of lot area is required per dwelling unit for the lot area in excess of 1,919 sq. ft., provided that: (c) If the green roof conditions set forth at § 14-602(7) are met, the number of units allowed is twenty-five percent (25%) greater than indicated by the foregoing lot size requirements.  
Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Housing Unit density Bonuses table, 25% increase in units permitted is provided for Moderate Income.  
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Lot Area Calculation: Lot Area (PDS) = 11,058 SF x 20 = \$221,160  
Unit Calculation: 6 units earned x \$25,000 = \$150,000  
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- Note 2: Minimum rear yard depth shall be the greater of 9 feet or 10% of the lot depth per Table 14-701-3.  
Minimum rear yard based on Lot Depth = 77'-4" x .1 = 7'-9"  
\*Proposed primary frontage by applicant is Bethlehem Pike, determination to be made by Commission.
- Note 3: Per table 14-701-3 Dimensional Standards for Commercial Districts, Max Height ft = 38'-0". Section 14-702 (7) (b) A floor area, height, or housing unit density bonus, as applicable if the owner of the property enters into a payment-in-lieu agreement that meets the standards set forth in subsection (6). Per Additional Building Height table, 7'-0" of height bonus. Section 14-202(6) Rules of Measurement - Height, Building or Structure: The vertical distance from the average ground level at the base of the structure to the top of the structure.  
Building Height= 38'-0" + 7'-0" (multi-family height bonus) = 45'-0"  
Grade at Building Corners = 441', 440.2', 437.85', 436.8', 437.2'  
Average Grade = 438.81' = +1.81' (1'-9 1/2")  
Total Building Height From Low Point (436.8') = 38'-0" + 7'-0" + 1'-9 1/2" = 46'-9 1/2"
- Note 4: Per 14-705(2)(c)(2)(a): At least one street tree per 35 ft. of linear front shall be provided. Street trees may be placed at regular or irregular intervals, provided that there is at least 15 ft. of space between tree trunks.  
234'-10" (linear frontage) / 35 = 7 Street Trees (rounded up)  
Project provides 6 new trees and 1 existing to remain.
- Note 5: Bay Windows provided in compliance with Section 14-603 (4) Projections Over the Street, Balconies and Bay Windows.  
Bethlehem Pike - 87'-10" of frontage (three allowed for 63'-0" of frontage)  
3 bays provided (3 allowed)  
Summit Street - 67'-0" of frontage (three allowed for 63'-0" of frontage)  
3 bays provided (3 allowed)
- Note 6: Per Table 14-803-1: Off Street Loading, Loading Spaces are not required if Residential use is less than 100,000 Gross Floor Area (Sq. Ft.)
- Note 7: Per 14-604(5), roof decks are permitted for residential use in all zoning districts. Roof deck setback is greater than 5 ft from the front building line. Roof access structures can exceed 125 sf. Stairs do not exceed 10 ft in height above the surface of the roof deck. Per Table 14-701-6, penthouses in Commercial districts for roof structures housing elevators are an exception to dimensional standard
- Note 8: Per 14-803 (5) (c) (1) When a parking lot abuts a residential district, a continuous screening wall at least five ft tall shall be provided. The screening material shall be designed to provide 75% opacity.
- Note 9: Herbaceous plants or lawn installed in the required landscaped area shall be from the list of appropriate plantings per § 14-705 of the Philadelphia Zoning Code
- Note 10: Sleep Slope Protection 14-704 (2)  
(a.) A disturbance of lot area greater than 1,400 sq ft. or on which the proposed activity will increase the impervious ground cover on the lot by more than 1,400 sq ft.  
Existing site has 551 sf of existing pervious ground cover. Impervious coverage will not be increased by more than 1,400 sq ft.  
(b.) Slopes of fifteen percent (15%) of greater on any lot of portion(s) thereof.  
Sleep Slope Calculation  
Property Line 210'-10"; Low Point = 437.8'; High Point = 441.5'; Slope = 1.74%  
Property Line 66'-11"; Low Point = 440.3'; High Point = 441.5'; Slope = 1.79%  
Property Line 88'-2"; Low Point = 437.5'; High Point = 440.3'; Slope = 2.74%  
Property Line 146'-8"; Low Point = 436.36'; High Point = 437.8'; Slope = 1% overall, 3.8% at steepest point.  
Slope from Site Lowpoint to High Point: Low Point = 436.36' High Point = 441.5'; Slope = 2.92%  
Maximum Steep Slope calculated at 3.8%, steep slope provisions do not apply.



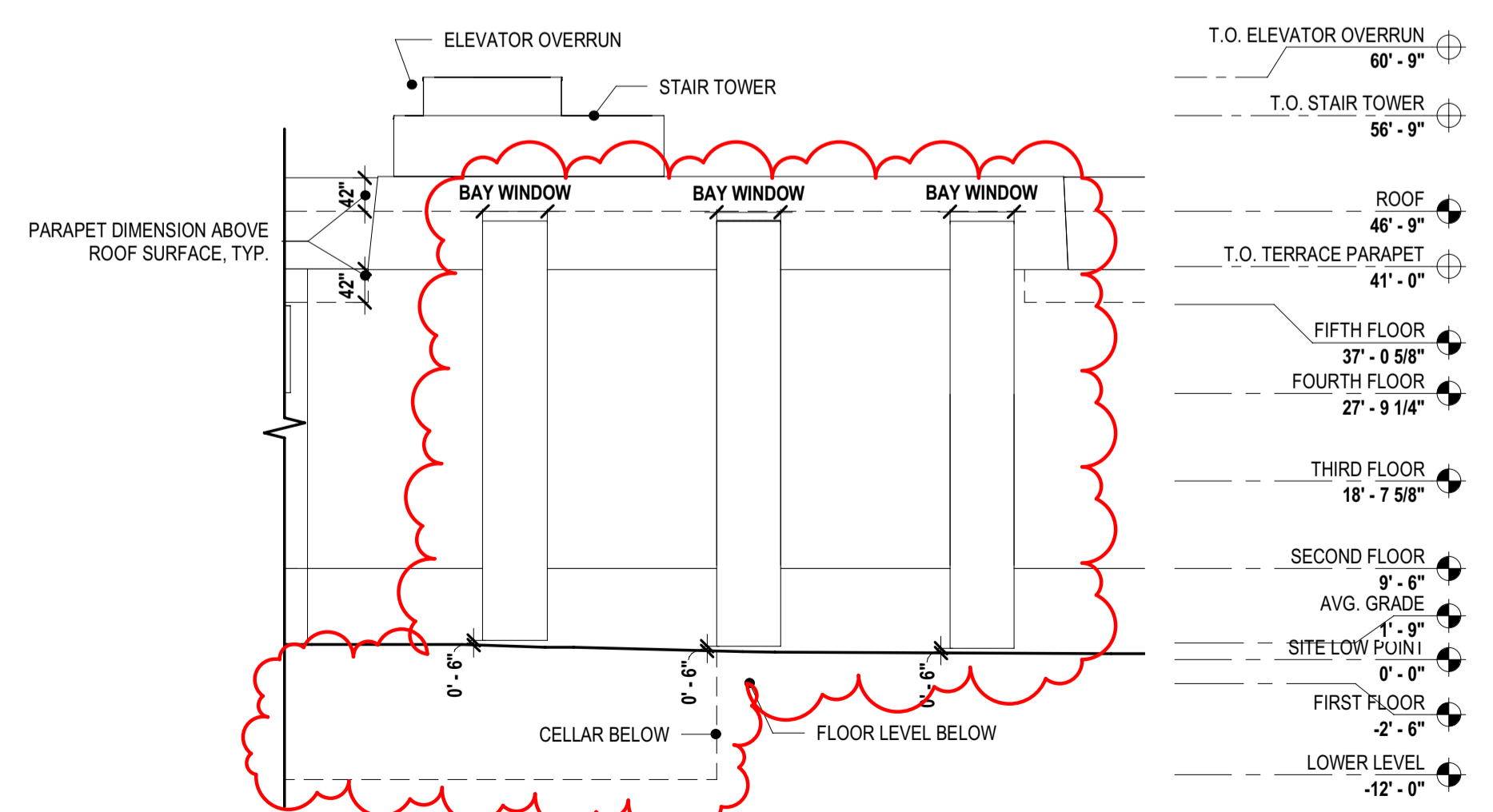
**5 ZONING ELEVATION - SOUTH**  
Z300 1/16" = 1'-0"



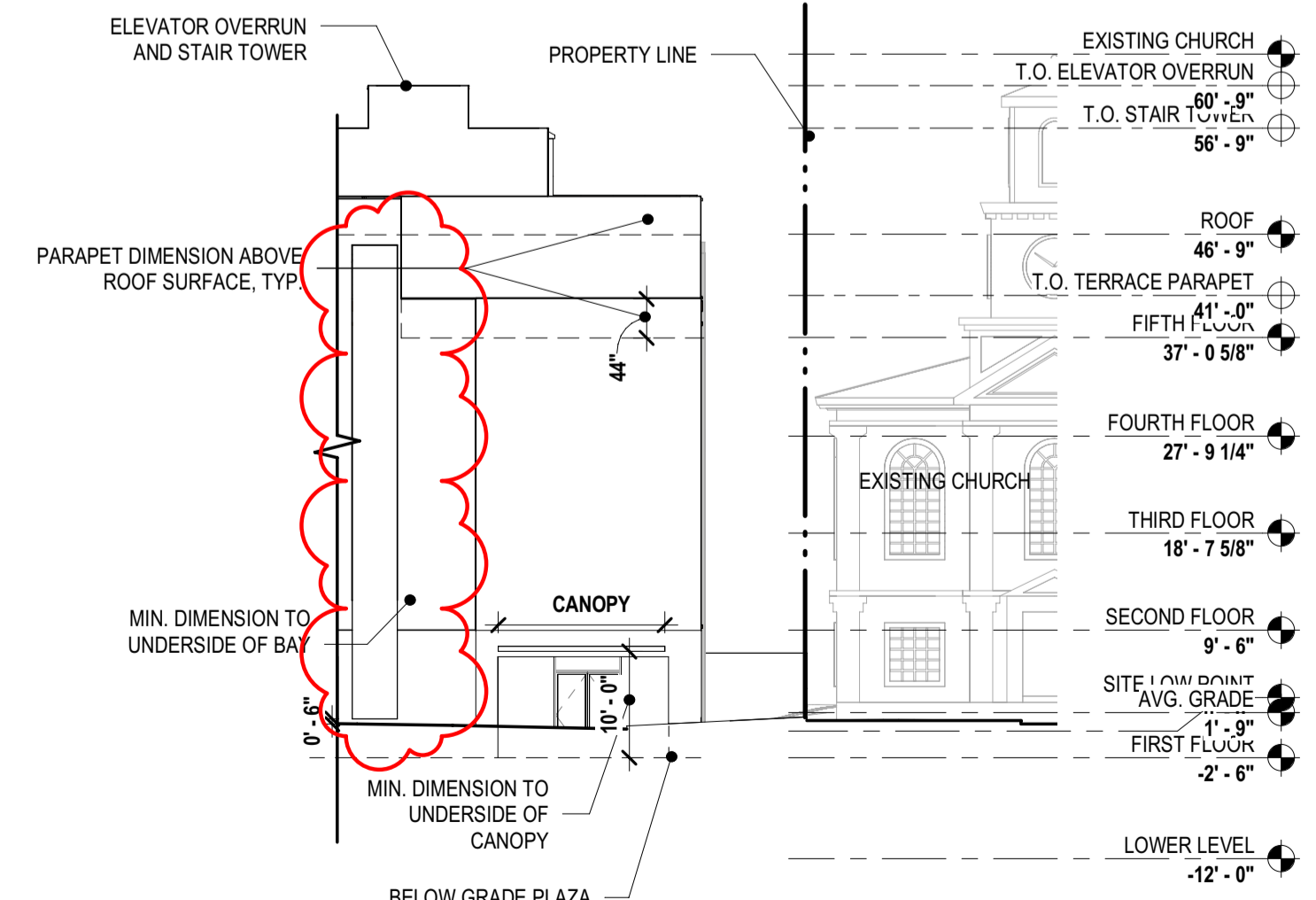
**4 ZONING ELEVATION - EAST**  
Z300 1/16" = 1'-0"



**3 ZONING ELEVATION - SUMMIT STREET**  
Z300 1/16" = 1'-0"



**2 ZONING ELEVATION - BETHLEHEM PIKE EAST**  
Z300 1/16" = 1'-0"



**1 ZONING ELEVATION - BETHLEHEM PIKE NORTH**  
Z300 1/16" = 1'-0"



Approved Electronically by L&J User

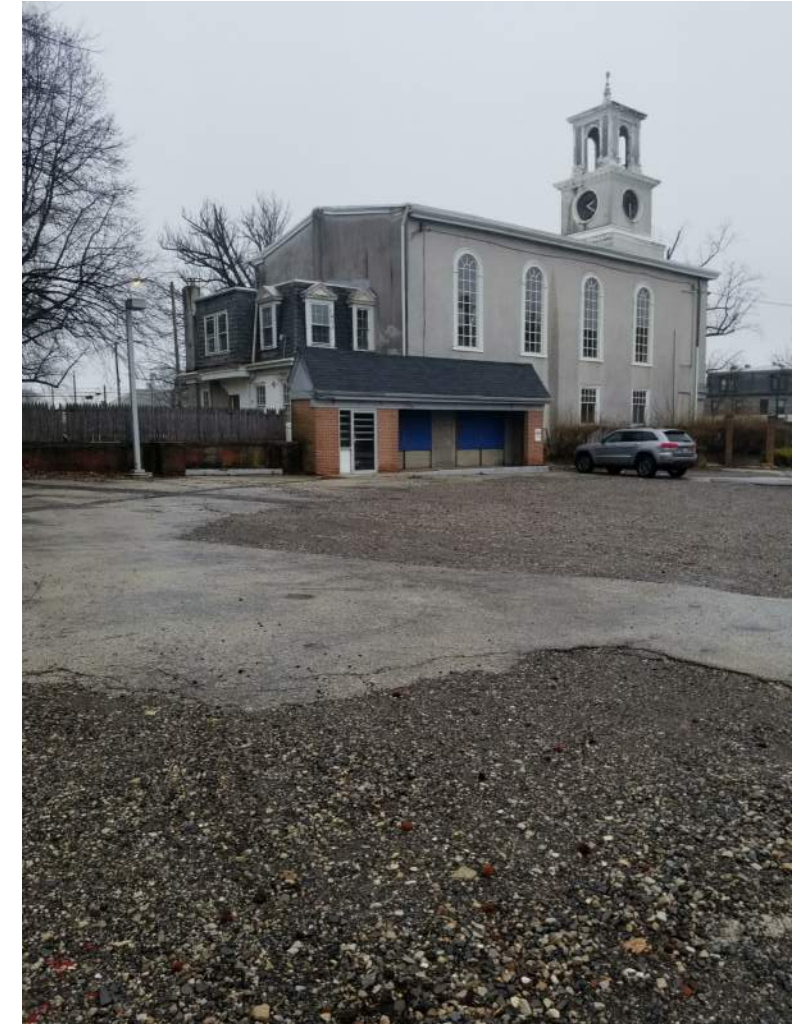
# **Exhibit 3**



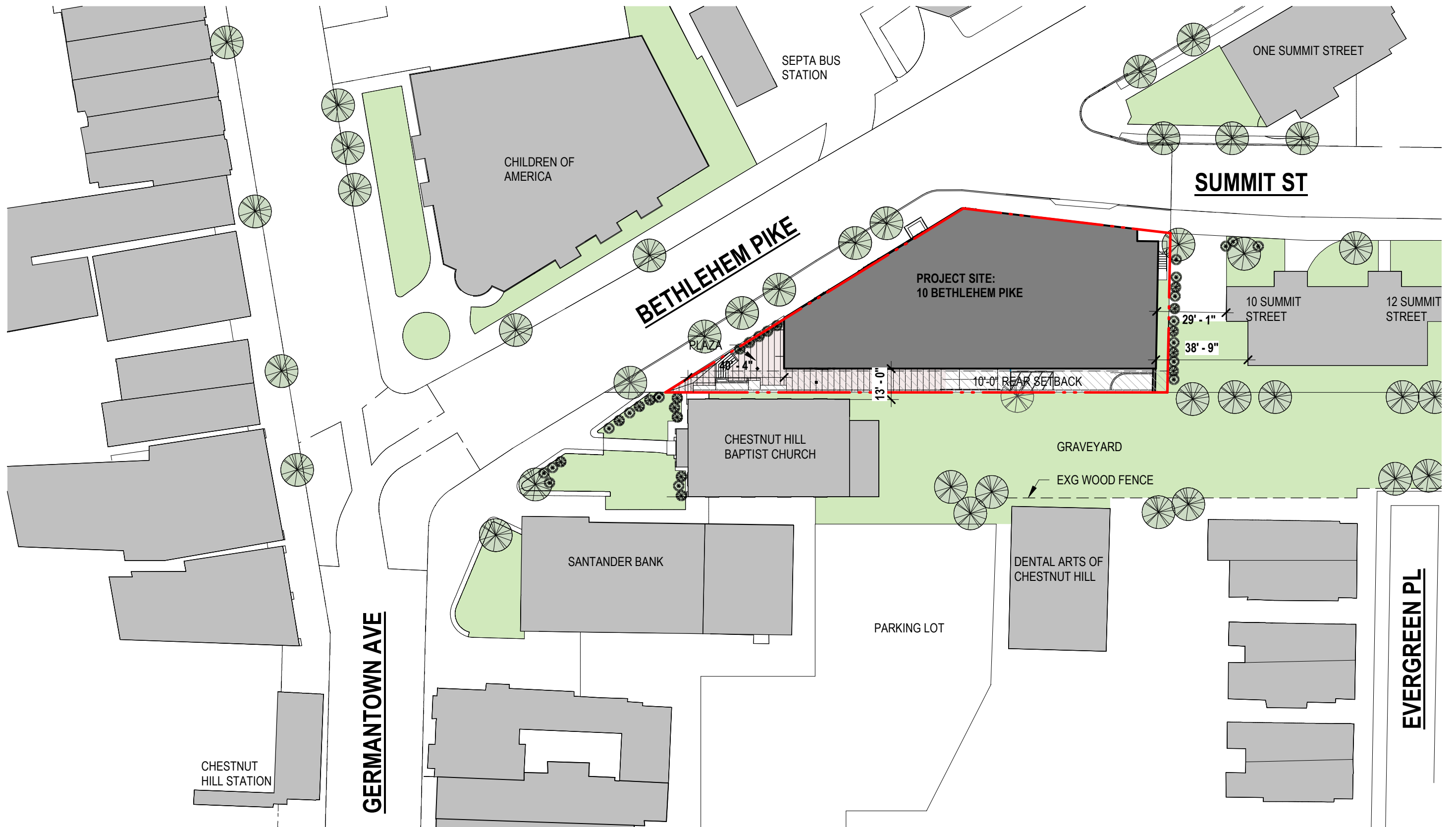
VIEW FROM BETHLEHEM PIKE

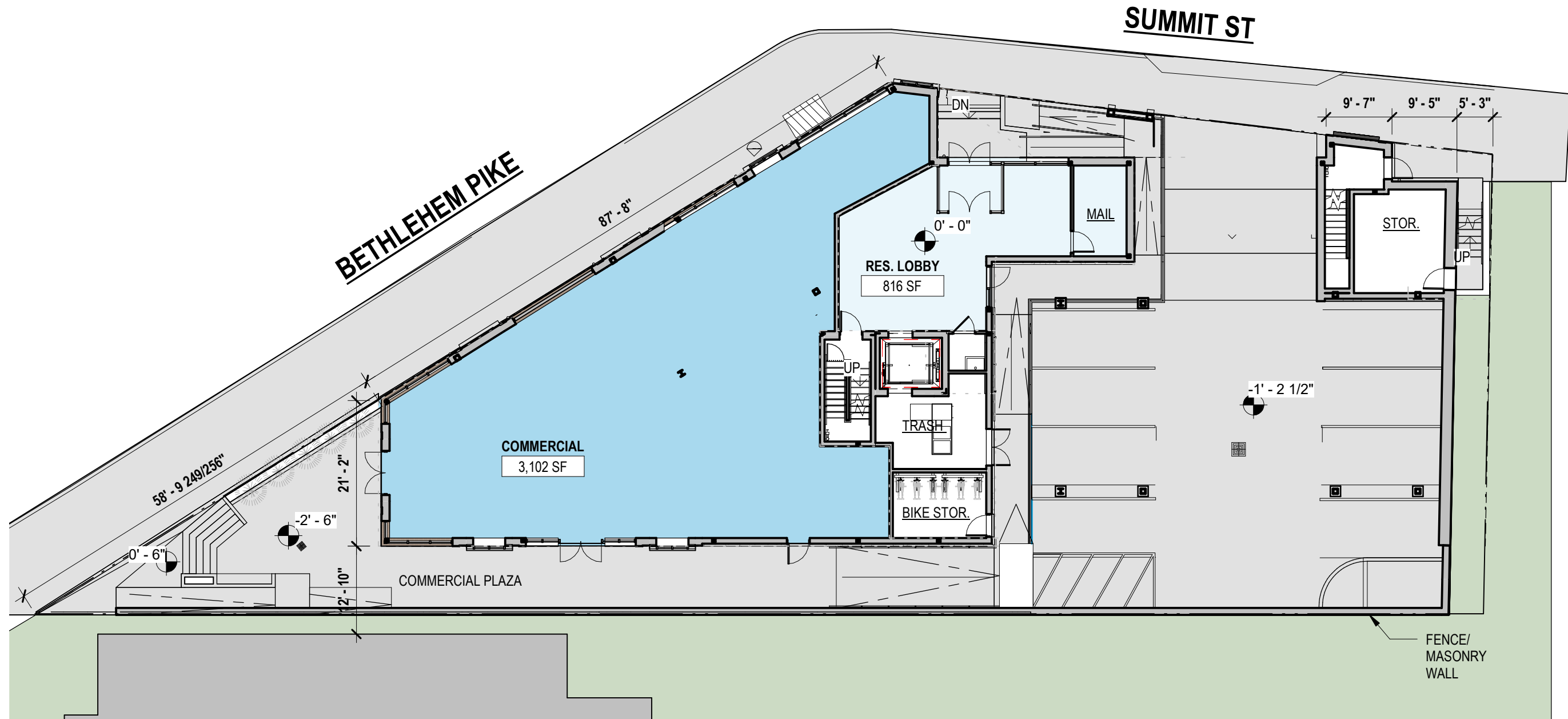


VIEW TOWARD BETHLEHEM PIKE (FROM SUMMIT ST)



VIEW FROM SUMMIT ST

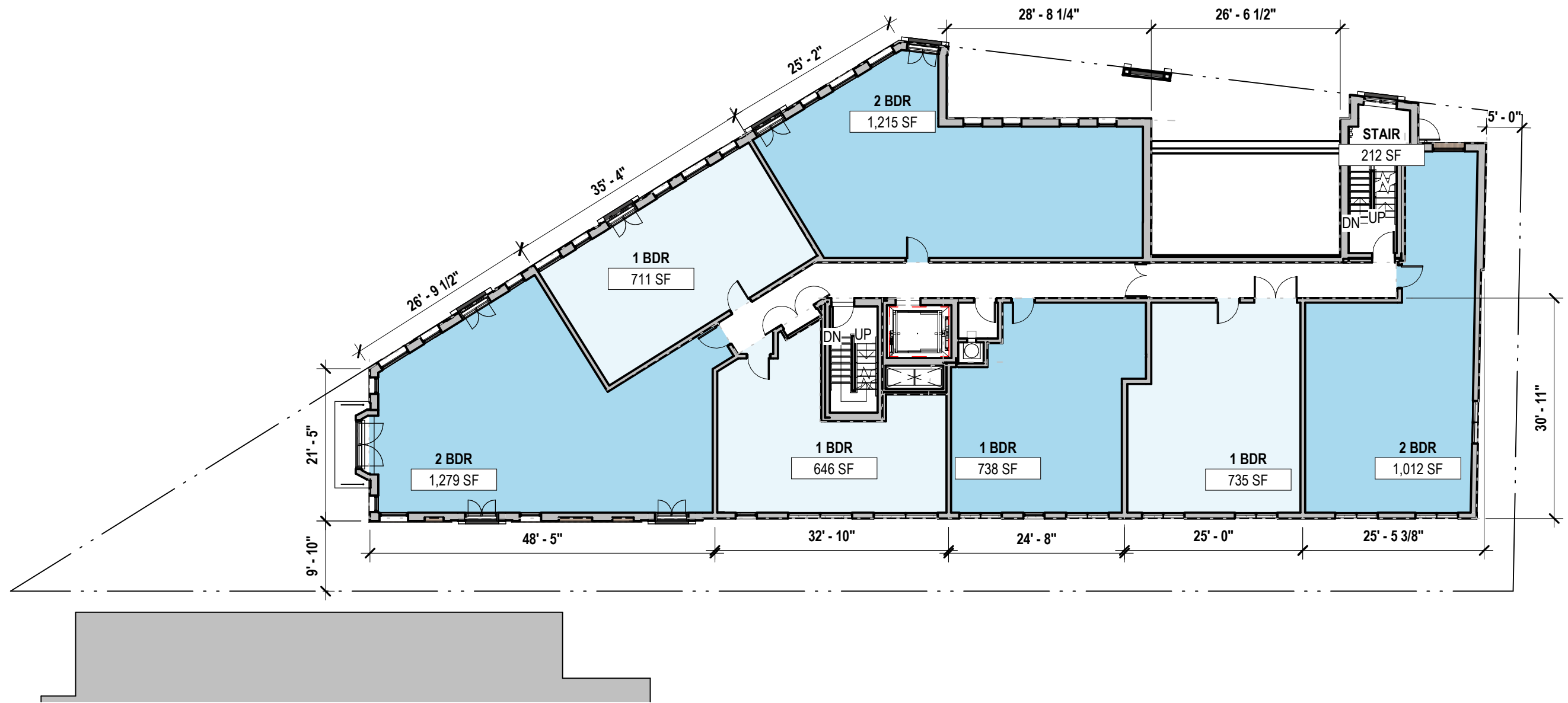






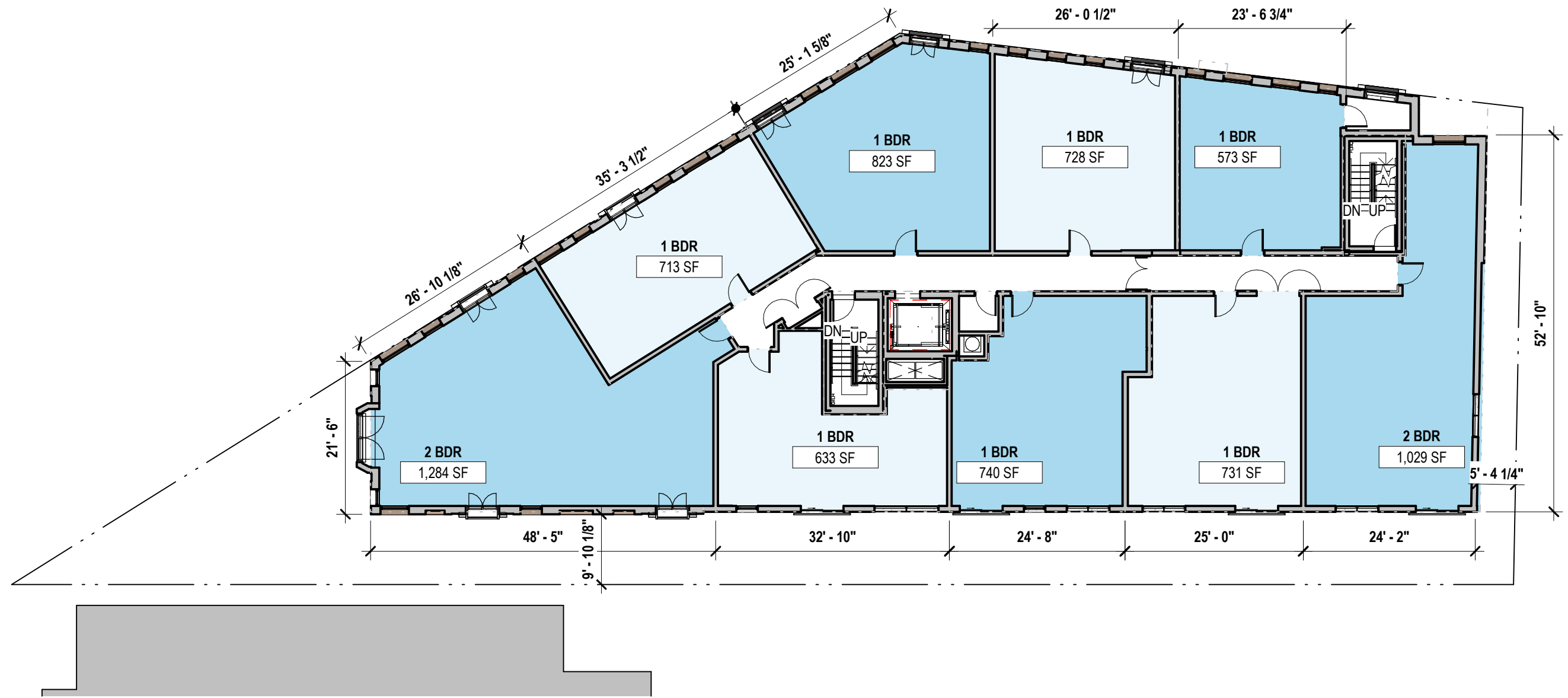
LEVEL 2 - APARTMENT MIX

|            |   |
|------------|---|
| 1 BDR      | 4 |
| 2 BDR      | 3 |
| UNIT TOTAL | 7 |



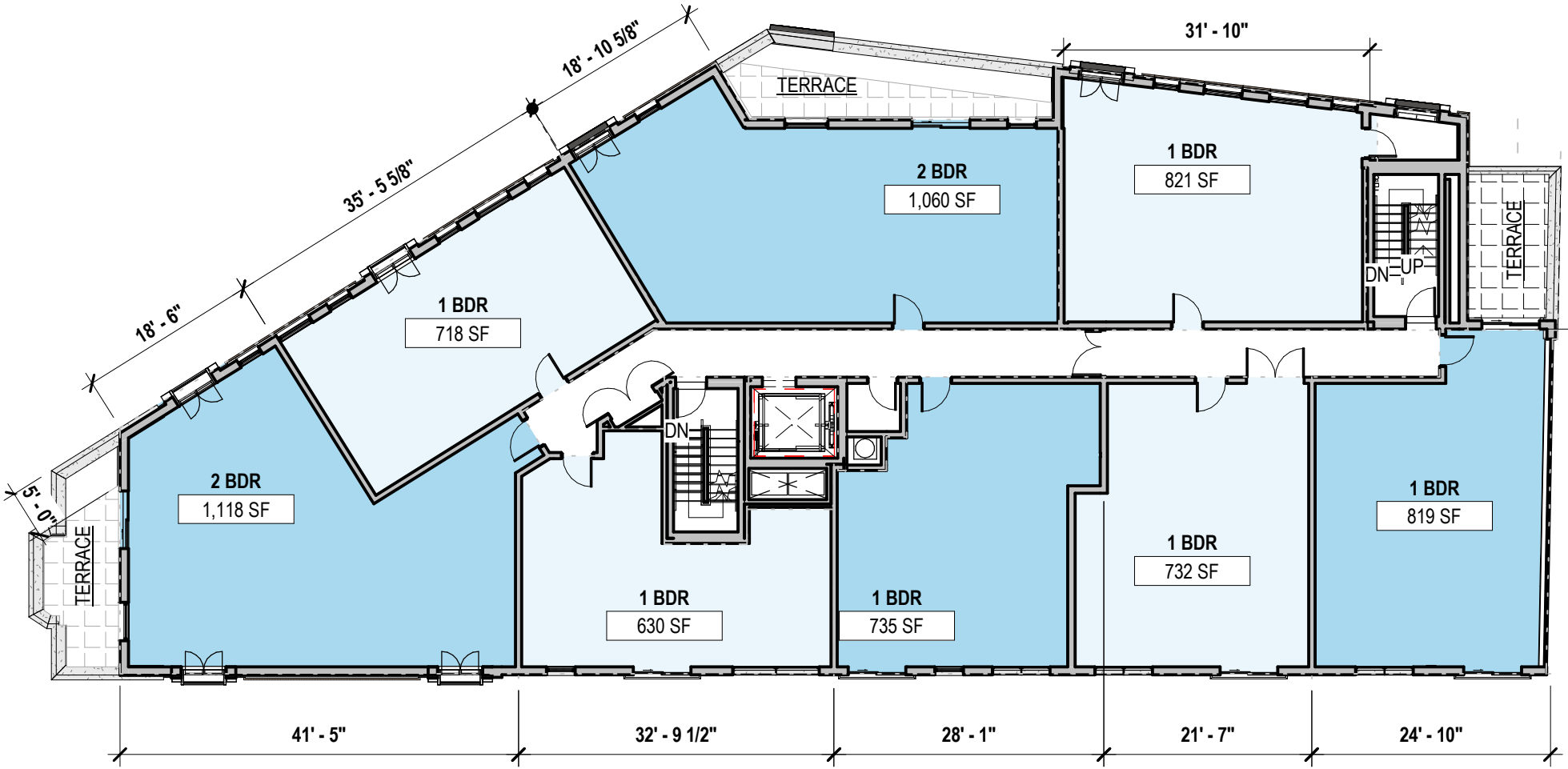
LEVEL 3&4 - APARTMENT MIX

|            |   |
|------------|---|
| 1 BDR      | 7 |
| 2 BDR      | 2 |
| UNIT TOTAL | 9 |

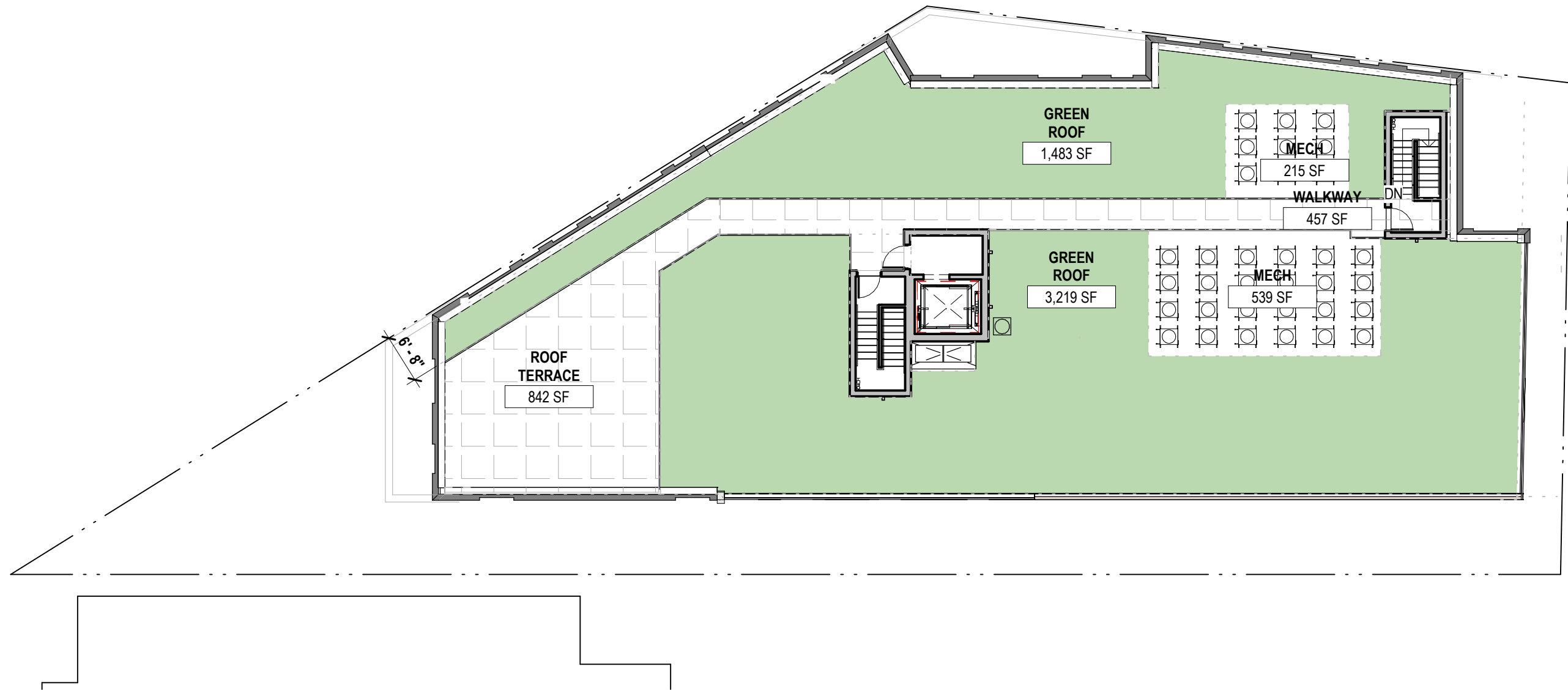


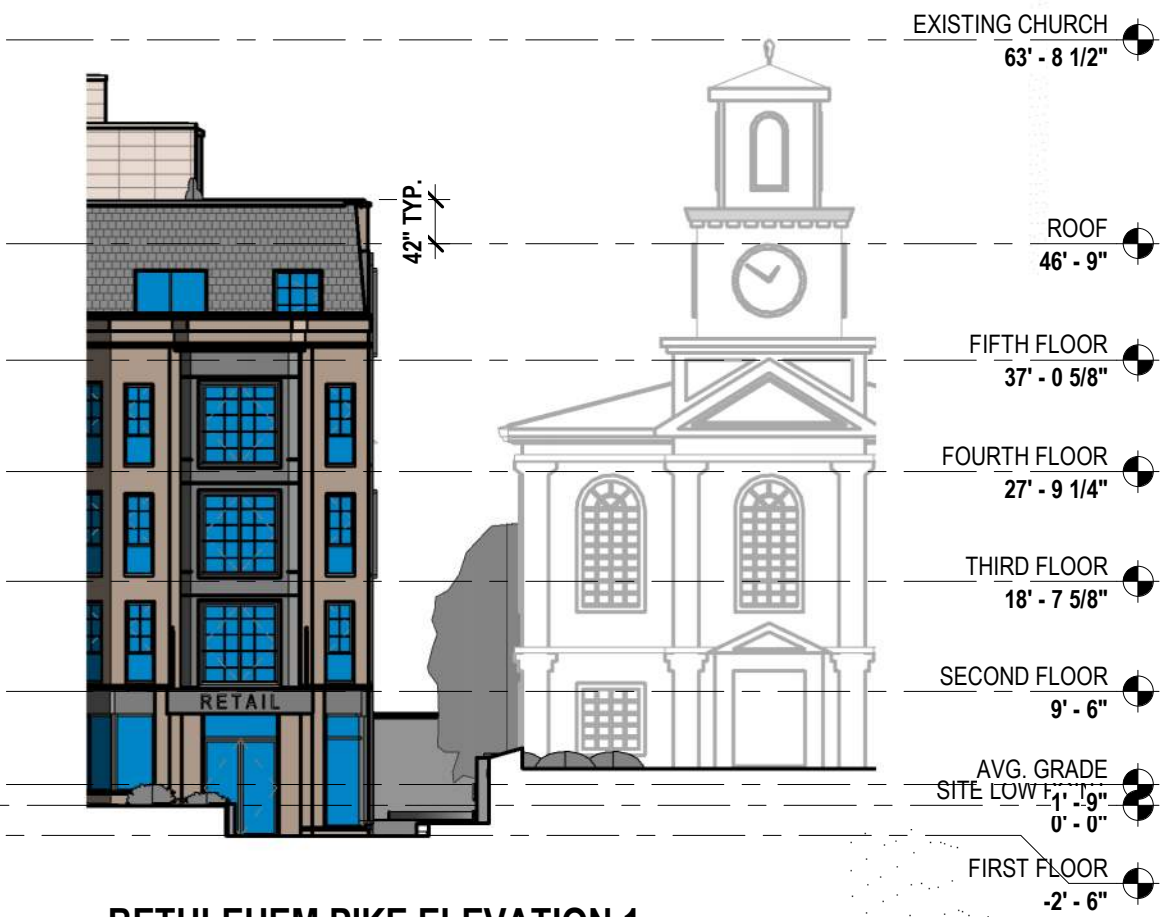
**LEVEL 5 - APARTMENT MIX**

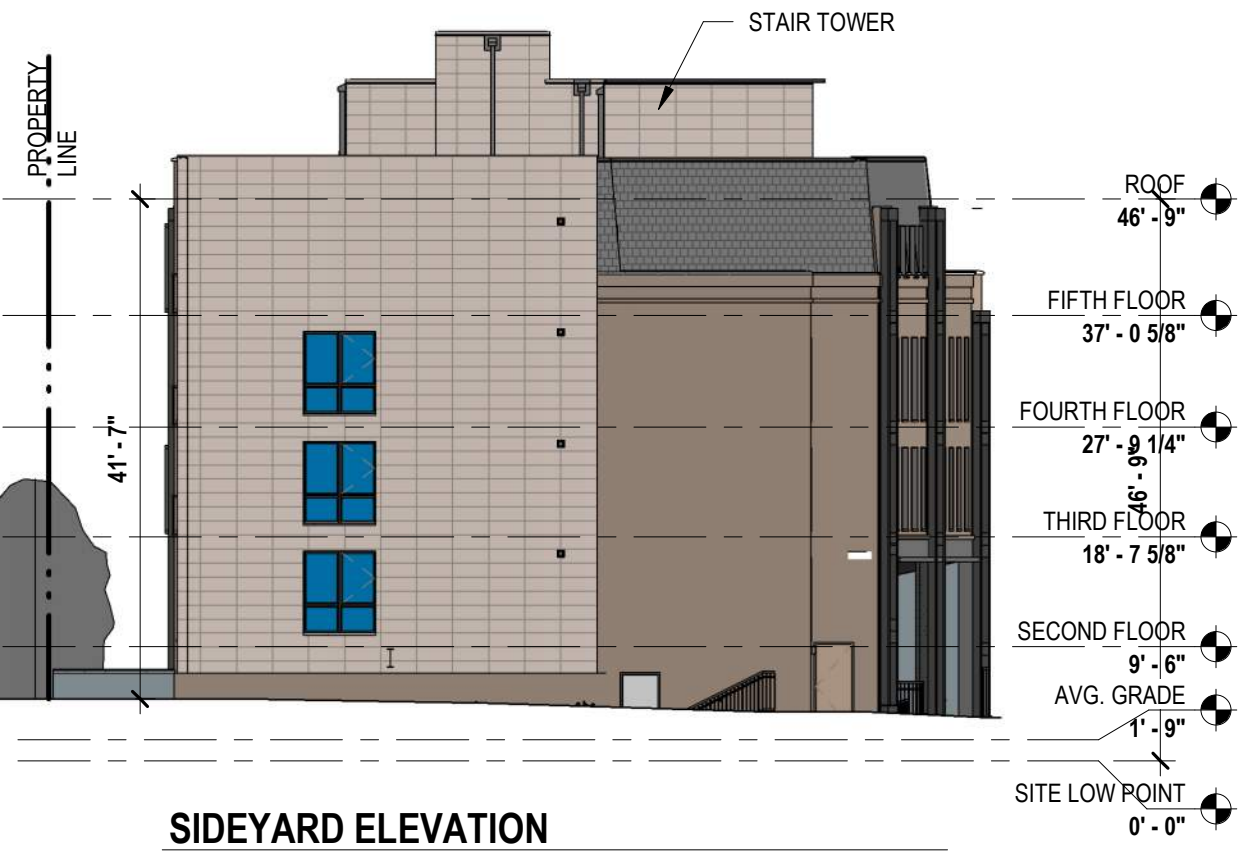
|                   |          |
|-------------------|----------|
| 1 BDR             | 6        |
| 2 BDR             | 2        |
| <b>UNIT TOTAL</b> | <b>8</b> |



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7/16/2021 1:49:56 PM





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# **Exhibit 4**



**KLEHR HARRISON  
HARVEY BRANZBURG LLP**

Carl S. Primavera  
Direct Dial: (215) 569-1663  
Email: [cprimavera@klehr.com](mailto:cprimavera@klehr.com)

October 5, 2021

**VIA ELECTRONIC MAIL**

Frank DiCicco, Chairman  
c/o Sharon Suleto, Esquire  
Zoning Board of Adjustment  
City of Philadelphia  
1515 Arch Street, 18<sup>th</sup> Floor  
Philadelphia, PA 19102  
[suletozba@gmail.com](mailto:suletozba@gmail.com)

**Re: 10 Bethlehem Pike (the "Property")  
Application No. ZP-2021-002274 (the "Application")**

Dear Chairman DiCicco,

This law firm represents the Applicant of ZP-2021-002274 who is also the owner of the Property (the "Owner or Applicant") in the above referenced Appeal. A third-party appeal of the by-right issuance of the Application's Issued Zoning Permit was filed on behalf of the Chestnut Hill Civic Association and additional neighbors (the "Appellants") on May 25, 2021 (the "Appeal").

As outlined below, all the Appellants' claims have either been rendered moot by the issued permit or is a clear misinterpretation of the code. Therefore, we respectfully request that the Zoning Board of Adjustment ("ZBA") deny the Appeal. Below will find an outline each of the Appellant's claims and our subsequent responses.

**Claim #1: The proposed project does not meet the dimensional standards o the Zoning Code at Phila. Code. §14-701(1)(c).**

Appellant is attempting conflate zoning provisions to create non-existent restriction at the primary frontage on Bethlehem Pike. They are relying on the incorrect interpretation of the cited Code provisions. Appellant appeal relies heavily on Section §14-701(1)(c) of the Philadelphia Zoning Code (the "Code"), which states the following:

Where any **block frontage** on one side of a street is divided into two or more districts, no structure shall be erected nearer to the street line than is permitted under the regulations for the district that covers the largest percentage of the street frontage on that block face;



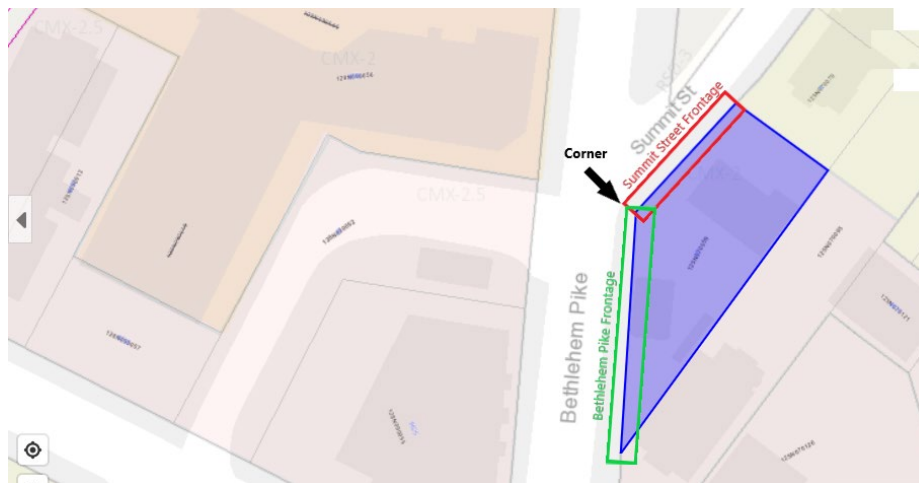
provided, however, that, when residential districts are included, the front yard depth shall be the highest required of the applicable residential districts.

Appellants go on to explain that the RSD-1 zoning district covers the highest percentage of parcels on the Summit Street Block Face thus subjecting the frontages on that block frontage to a 35 feet setback. Appellants erroneously ignores that fact that the subject property sits on more than one block frontage and thus subject to two separate analysis under §14-701(1)(c.) of the Code.

The Code defines block frontage as “The distance along any street line between the nearest streets intersecting it.” See *Phila. Code §14-203(40)*. As such, the block frontage along Summit Street stretches along Summit Steet from the intersection of Bethlehem Pike and Summit Street to the intersection of Prospect Ave and Summit Street (the Summer Street Frontage. but the property is not subject to the summer St frontage only (the “Summit Street Frontage”).

The Property is also subject to the street frontage that stretches along Bethlehem Pike from the intersection of Summit St and Bethlehem Pike to the intersection of Bethlehem Pike and Germantown Ave (the “Bethlehem Pike Frontage”).

It is clear from the arial map below that the Property is a corner lot that sits at the intersection of Bethlehem Pike and Summit Street.



The appellant acknowledges this fact multiple time within their own appeal exhibit. See below:



The Block<sup>2</sup> containing the Property is bounded by Bethlehem Pike, Summit Street, Prospect Avenue, Evergreen Avenue, and Evergreen Place. The Block is depicted on the below portion of the zoning map from ATLAS (the Property is right on the corner of Bethlehem Pike and Summit Street, and is depicted in red with blue shading below):

The Property in this case is a corner lot fronting on two streets. § 14-701(1)(d) of the Phila. Code (“Requirements for Lots with Multiple Street Frontages.”) states:

The CMX-2 zoning district covers the 100% of the Bethlehem Pike Frontage. Therefore, the CMX-2 setback requirement controls when applying §14-701(1)(c) of the Code to the Bethlehem Pike Frontage. CMX-2 zoning district does not require any front yard setback. The Commercial Dimensional Standards table below clearly shows that:

Table 14-701-3: Dimensional Standards for Commercial Districts<sup>581</sup>

| Previous District Name  | C1     | C2/RC2                                   | Commercial Corridor Overlays             | C3/RC3  | C4 C5  | C7/NSC    | ASC    |
|---|--------|--|--|---|--|-----------|--------|
| District Name   | CMX-1  | CMX-2                                    | CMX-2.5                                  | CMX-3   | CMX-4/CMX-5  | CA-1      | CA-2   |
| See § 14-701(3)(a) (Notes for Table 14-701-3) for information pertaining to bracketed numbers (e.g., “[2]”) in table cells. |        |  |  |   |  |           |        |
| Denotes zoning requirements not applicable  |        |  |  |   |  |           |        |
| <b>District and Lot Dimensions</b>  |        |  |  |   |  |           |        |
| Min. District Area (sq. ft.)  |        |  |  |   |  |           | 80,000 |
| Min. Street Frontage as taken from the front lot line (ft.)   | [1]    |  |  |   |  | 50        | 100    |
| Min. Lot Width (ft.)  | [1]    |  |  |   |  |           |        |
| Min. Lot Area (sq. ft.)   | [1]    |  |  |   |  | 5,000     | 15,000 |
| Max. Occupied Area (% of lot)   | [1]    | Intermediate: 75<br>Corner: 80           | Intermediate: 75<br>Corner: 80           | Intermediate: 75<br>Corner: 80                    | Buildings ≤ 5 stories<br>with 1 or more<br>dwelling units: 90;<br>Others: 100                          | 60        | 100    |
| <b>Yards</b>  |        |  |  |   |  |           |        |
| Min. Front Yard Depth (ft.)   | [1][3] |  | Must be built to front lot line          |   |  |           |        |
| Min. Side Yard Width, Each (ft.)  | [1]    | 5 if used                                | 5 if used                                | 8 if used for buildings containing dwelling units | If used: Buildings ≤ 4 stories with three or fewer dwelling units = 5; Others = 8                      | 5 if used |        |
| Min. Rear Yard Depth (ft.)  | [1]    | The greater of 9 ft. or 10% of lot depth | The greater of 9 ft. or 10% of lot depth |   |  | 5 if used |        |
| <b>Height</b>   |        |  |  |   |  |           |        |
| Max. Height (ft.)   | [1]    | 38                                       | 55                                       |   |  | 38        | 38     |
| Min. Cornice Height (ft.)   | [1]    |  | 25                                       |   |  |           |        |
| <b>Floor Area Ratio</b>   |        |  |  |   |  |           |        |
| Max. Floor Area (% of lot area)   | [1]    |  |  | 500   | CMX-4: 500<br>CMX-5: 1,200 [2]<br><br>See also § 14-701(5) (CMX-4 and CMX-5 Bulk and Massing Controls) |           |        |

Additionally, the Appellants challenges to the Summit Street Frontage setback is rendered moot by the current language of § 14-701(1)(c) of the code. Both the legislative history and the facial language of the Code makes it clear that the § 14-701(1)(c) applies only to Front Yard Depths. The section is unambiguously titled “**Front Yard Depths for Zone Blocks with More than One Zone**” obviously intending the restrictions to apply to Front Yards. See table below:





(c) **Front Yard Depths for Zone Blocks with More than One Zone.** 556.1

Where any block frontage on one side of a street is divided into two or more districts, no structure shall be erected nearer to the street line than is permitted under the regulations for the district that covers the largest percentage of the street frontage on that block face.

Furthermore, the Legislative history shows that the Philadelphia City Council (“City Council”), clearly intended to clarify that § 14-701(1)(c) applies ONLY to front yards in Bill No. 210075 (the “Bill”). The Bill, passed on March 29, 2021, swapped out the term “Setbacks” for “Front Yard Depth” in both the title and body of § 14-701(1)(c).

- Pre-Bill Language:

**[Setbacks]** for Zone Blocks with More than One Zone.

Where any block frontage on one side of a street is divided into two or more districts, no structure shall be erected nearer to the street line than is permitted under the regulations for the district that covers the largest percentage of the street frontage on that block face; provided, however, **[that]** when residential districts are **[included]** the **[setback]** shall be the highest required of the applicable residential districts.

- Post-Bill Language:

**Front Yard Depths** for Zone Blocks with More than One Zone.

Where any block frontage on one side of a street is divided into two or more districts, no structure shall be erected nearer to the street line than is permitted under the regulations for the district that covers the largest percentage of the street frontage on that block face; provided, however, **that**, when residential districts are **included**, the **front yard depth** shall be the highest required of the applicable residential districts.

Plainly put, the Summit Street frontage is not the “front yard” or the “front” of the Property. The Planning Commission has determined the Bethlehem Pike Frontage is the front of this property.<sup>1</sup> As such, the Summit Street is not subject to §14-701(1)(c). Therefore, this Project is in full compliance with the Code and the ZBA should dismiss this appeal.

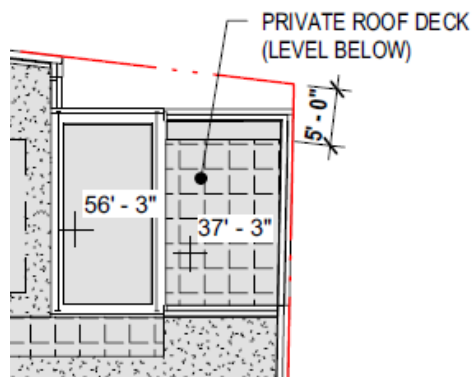
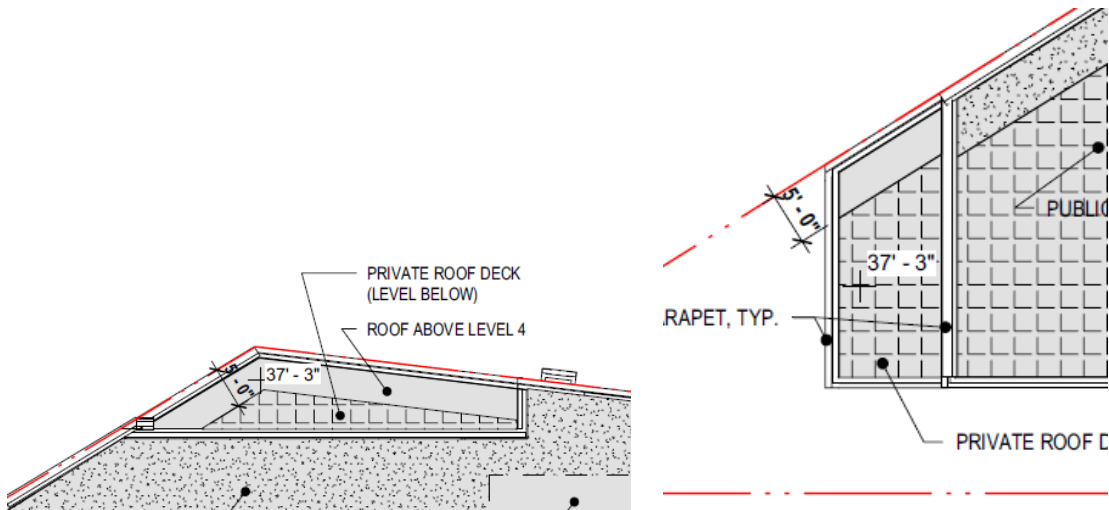
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<sup>1</sup> Bethlehem Pike Frontage is the logical choice for the front of the property for the following reasons: (1) The Address of the Property is 10 Bethlehem Pike, (2) Bethlehem Pike is the largest frontage on the proper (144 feet), (3) The proposed building is oriented toward Bethlehem Pike, (4) All other properties on Bethlehem Pike Block face are CMX-2.



**Claim #2: One of more of the Roof Decks of the proposed project do not meet the dimensional standards of the Zoning Code at Phila. Code. 14-604 (5).**

Appellants' claims have no basis in fact. All roof decks in the proposed project have at least a 5 ft minimum from all building lines on a street frontage. As we established above, the building frontages for the Project are on Bethlehem Pike and Summit Street. As you can see from below the proposed roof decks both the deck circled by the Appellant in their appeal is set back from Summit Street Frontage 5 feet and 5 inches:



**Claim #3: An Outdoor Lighting Plan was required and must be submitted in order for the proposed project to meet the standards of the Zoning Code at Phila. Code. 14-707.**

Although separate lighting plans are rarely submitted for zoning permits that are not proposing an athletic field, we do have a lighting plan the reflects and incorporates the over-all proposal



that was reviewed and approved by L&I. We can provide it to the Board should they deem it necessary. As such, the Appellant's claim is moot.

### **Conclusion**

The Appellants' claims have either been rendered moot or is clearly erroneous under the Code. As such this project is clearly by-right and L&I was correct in issuing the Zoning Permit. Therefore, the ZBA must dismiss Appellants' appeal and reject this attempt to delay the Applicants project. Any other decision would be a miscarriage of justice and severely prejudice the Applicant.

Thank you for your time and attention to this request. Please do not hesitate to contact me with any questions.

Very truly yours,

Carl S. Primavera

cc: Tanya Sunkett (ZBA Administrator)

# Exhibit 5

# City of Philadelphia

\* \* \*

(e) *Zoning Permits Not Required.*

(.1) *Existing permits for roof decks and roof deck access structures may be modified by L&I prior to the issuance of a building permit to allow for one or more of the following modifications, provided the roof deck and the roof deck access structure remain in compliance with the provisions of this § 14-604(5):*

(.a) *A relocation of the roof deck or roof deck access structure to a different location on the roof;*

(.b) *A reduction in the area of the roof deck or the roof deck access structure; or*

(.c) *A reduction in the height of the roof deck access structure.*

(.2) *Modifications allowed under this subsection (e) will not require new zoning permits or Zoning Board of Adjustment hearings. This subsection (e) does not apply to any other modifications to a zoning permit.*

\* \* \*

(11) *Accessory Dwelling Units.*

\* \* \*

(h) *Location of Entrances.*

Only one entrance to a [detached or semi-detached house] *building* containing an accessory dwelling unit may be located on the front facade that faces a street, unless the [house] *building* contained an additional street-facing entrance before the accessory dwelling unit was created.

\* \* \*

## CHAPTER 14-700. DEVELOPMENT STANDARDS

### § 14-701. Dimensional Standards.

(1) *General Provisions.*

\* \* \*

(c) [Setbacks] *Front Yard Depths* for Zone Blocks with More than One Zone.

Where any block frontage on one side of a street is divided into two or more districts, no structure shall be erected nearer to the street line than is permitted under the regulations for the district that covers the largest percentage of the street frontage on that block face; provided, however, [that] *that*, when residential districts are [included] *included*, the [setback] *front yard depth* shall be the highest required of the applicable residential districts.

\* \* \*

(2) *Residential District Dimensional Tables.*

# City of Philadelphia

\*            \*            \*

(b) Notes for Table 14-701-1.

\*            \*            \*

[3] In the RSA-5 district, buildings on lots equal to or less than 45 ft. in depth are exempt from the {minimum open} *maximum occupied* area requirement.

[4] If abutting lots on both sides of an attached building contain only two stories of enclosed area, the stories above the second story of the attached house shall be set back an additional eight ft. from the minimum {setback} *distance between the front facades and the front lot line required by § 14-701(2)(b)[5] below*; {shown in this table;} except this requirement shall not apply to corner lots.

[5] In the RSA-5 district, front [setbacks] *facades* shall comply with the following:

(a) On any given street, the *distance between the front* {setback} *facade and the front lot line* shall be no {deeper} *greater* than the *distance between the front* {setback} *facade and the front lot line* of the principal building on the immediately adjacent lot on such street with the {deepest} *greater distance between its front [setback] facade and its front lot line*; and shall be no {shallower} *less* than the *distance between the front* {setback} *facade and the front lot line* of the principal building on the immediately adjacent lot on such street with the {shallowest} *lesser distance between its front* {setback.} *facade and its front lot line*.

(b) On any given street, if there is no principal building on an immediately adjacent lot, then the *distance between the front* {setback} *facade and the front lot line* shall match the *distance between the front* {setback} *facade and the front lot line* on the closest building to the subject property that is on the same blockface. If there is no such building, the minimum *distance between the front* {setback} *facade and the front lot line* shall be zero.

(c) If the property is bounded by two or more streets, only the primary frontages as designated in § 14-701(1)(d)(4) (Primary Frontage) shall be subject to the front {setback} *facade* requirements of (.a) and (.b) above.

\*            \*            \*

[8] In the RSA-1, RSA-2, and RSA-3 districts, side yards {for} shall comply with the following:

# City of Philadelphia

BILL NO. 210075 continued

Certified Copy

|   | Minimum Required Parking Spaces<br>(spaces per unit/sq. ft. of gross floor area/beds/seats/room) |  |   |
|---|--|--|---|
|   | IRMX   | ICMX<br>I-1  | I-2/3<br>I-P  |
| *   | *  | *  | *   |
| Libraries and Cultural Exhibits                   | None for the first 4,000 sq. ft.,<br>then 1/1,000 sq. ft.  | <i>None for the first 4,000 sq. ft.,<br/>then 1/1000 sq. ft.</i> | None for the first 4,000 sq. ft.,<br>then 1/1,000 sq. ft. |
| *   | *  | *  | *   |
| <b>Retail Sales Use Category (as noted below)</b> |  |  |   |
| *   | *  | *  | *   |
| All Other Retail Sales Uses                       | 0  | None for first 2,500 sq. ft., then<br>1/1,000 sq. ft.            | None for first 2,500 sq. ft., then<br>1/1,000 sq. ft.     |
| *   | *  | *  | *   |

\* \* \*

(8) Adjustments and Alternatives.

The minimum parking requirements listed in this Chapter 14-800 may be adjusted as follows:

\* \* \*

(c) Reduced Need Populations.

(.1) The required minimum number of off-street parking spaces may be reduced by 33% for any group living use or multi-family use in which occupancy of at least 80% of the units is restricted for use by those 60 years of age or older. *In making the determination as to whether this reduction is available, L&I may rely on an affidavit from the applicant as presumptive evidence, absent evidence to the contrary.*

\* \* \*

(9) Off-Site Parking.

Required accessory parking in an RMX-1, RMX-2, RMX-3, CMX-3, CMX-4, or CMX-5 zoning district may be provided on a lot separate from the lot on which the principal use is located; provided that the parking complies with all of the following standards.

\* \* \*

(e) If any parking is provided on-site, it shall include required accessory parking for persons with [disabilities] *disabilities, in accordance with § 14-802(5)*, before providing other parking spaces.

**§ 14-803. Motor Vehicle Parking Standards.**

(1) Accessory Parking Standards.

\* \* \*

(b) Location of Accessory Parking.

(.1) Residential and Commercial Districts.

\* \* \*

(.b) Exceptions.

# Exhibit 6



**(1) General Provisions.**

**(a) Applicability.**

All primary and accessory structures must comply with the dimensional standards in this (§ 14-701). These dimensional standards may be further limited or modified by other applicable sections of this Zoning Code. General rules for measurement are in § 14-202 (Rules of Measurement).

**(b) Dimensional Tables.**

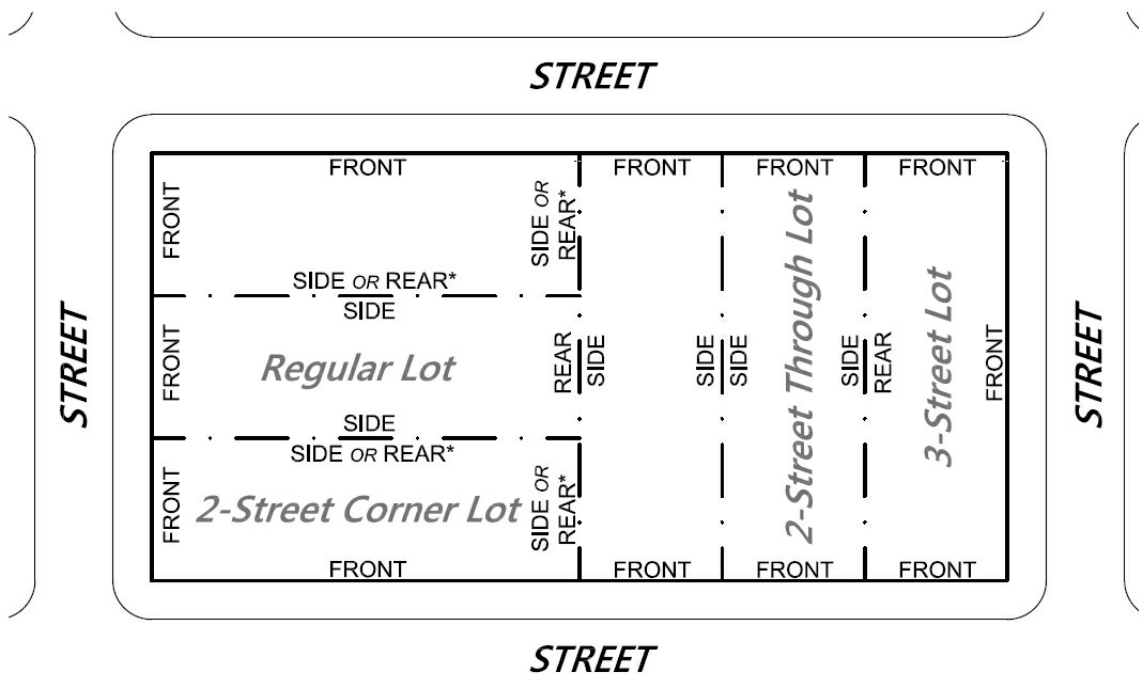
Basic dimensional standards for Residential, Commercial, and Industrial districts are listed in Tables 14-701-1 through 14-701-4. Dimensional standards for special purpose districts are included in § 14-404 (SP-INS, Institutional (Special Purpose) District) through § 14-408 (SP-AIR, Airport (Special Purpose) District).

**(c) Front Yard Depths for Zone Blocks with More than One Zone. 556.1**

Where any block frontage on one side of a street is divided into two or more districts, no structure shall be erected nearer to the street line than is permitted under the regulations for the district that covers the largest percentage of the street frontage on that block face.

**(d) Requirements for Lots with Multiple Street Frontages. 557**

For a lot fronting on more than one street, each street frontage shall be considered a front. The front yard requirements of the zoning district shall apply to those street frontages and the following side yard, rear yard, and primary frontage requirements shall apply. In all circumstances, the requirements for minimum open area and maximum occupied area remain the same. (See figure below for illustrative purposes only).



\* Determination made by Commission. See § 14-701(1)(d)(.1)(.a)

*{{}}For printable PDF version of image, click [HERE](#){{}}*

**(1) Properties Bounded by Two Streets.**

When a property is bounded by two streets:

(a) That constitute a corner, one of the remaining lot lines shall be deemed a side and the other remaining lot line shall be deemed a rear. Where the determination of side and rear lot lines is necessary for L&I to approve or deny a zoning permit application, the Commission shall determine the side and rear lot lines based on the orientation of the lot, orientation of the primary structure, orientation of the structures on adjacent lots, orientation of structures with frontage on the same blockface, the street type designation of the bounding streets, or any additional criteria stated in the regulations of the Commission for the purposes of clarifying or implementing this determination. 558

(b) That are opposite each other, the remaining two property lines shall be considered sides and the side yard requirements of the zoning district shall apply to the remaining lot lines. The rear yard requirements of the zoning district shall not apply.

**(2) Properties Bounded by Three or More Streets.**

When a property is bounded by three or more streets, the remaining lot line shall be considered a rear. The rear yard requirements of the zoning district shall apply to that lot line, except a rear yard is not required for attached buildings or semi-detached buildings but the requirements for lot coverage and open space remain the same. The side yard requirements of the zoning district shall not apply.

**(.3) Properties Completely Surrounded By Streets.**

When a property is completely surrounded by streets, only the front yard requirements of the zoning district shall apply.

**(.4) Primary Frontage.**

(.a) When necessary to apply certain provisions of this Zoning Code, properties bounded by two or more streets shall have at least one street frontage designated as a primary frontage by the Commission.

(.b) The Commission shall determine which street frontages shall be designated as a primary frontage based on the orientation of the primary structure, the orientation of the structures on adjacent lots, the orientation of other structures with frontage on same block face, the street type designation of the bounding street, or any additional criteria stated in the regulations of the Commission for the purposes of clarifying or implementing this determination.

(.c) The primary frontage designation shall only apply to those provisions of this Zoning Code where specified, otherwise the front yard and front setback requirements of this Zoning Code shall apply.

**(e) Using the Dimensional Tables.** <sup>559</sup>

All primary and accessory structures are subject to the dimensional standards set forth in the following tables.

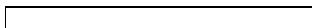
(.1) "Y" indicates that the building type is permitted, subject to compliance with the dimensional standards set forth in the table.

(.2) "N" indicates that the building type is prohibited.

(.3) "S" indicates that the building type may be allowed if reviewed and approved in accordance with the special exception procedures of § 14-303(7) (Special Exception Approval).

(.4) A number in brackets (e.g., "[2]") is a reference to a table note that contains supplemental standards or other explanatory information. Table notes are found in § 14-701(2)(b) (Notes for Table 14-701-1); § 14-701(2)(c) (Notes for Table 14-701-2); § 14-701(3)(a) (Notes for Table 14-701-3); and § 14-701(4)(a) (Notes for Table 14-701-4).

(.5) Cross-references to other sections of this Zoning Code are indicated by the word "see" and a specific section number.



Notes

<sup>556.1</sup> Amended, Bill No. [210075](#) (approved March 29, 2021); amended, Bill No. [210078-A](#) (approved April 28, 2021).

<sup>557</sup> Added, Bill No. [150766](#) (approved December 8, 2015); amended, Bill No. [161003-A](#) (approved May 8, 2017).

<sup>558</sup> Amended, Bill No. [180346-A](#) (approved July 18, 2018).

<sup>559</sup> Renumbered, Bill No. [150766](#) (approved December 8, 2015).

# Exhibit 7

OCTOBER 7, 2021

**REBUTTAL TO  
AN APPEAL TO THE ZONING BOARD OF  
ADJUSTMENT FOR PERMIT NO.  
ZP 2021-002274**

FOR THE PROPOSED DEVELOPMENT  
LOCATED AT:

**10 BETHLEHEM PIKE**  
PHILADELPHIA, PA 19118



**TO:  
THE ZONING BOARD  
OF ADJUSTMENT**

1515 ARCH STREET  
PHILADELPHIA, PA 19102

**OWNER:  
10 BETHLEHEM  
PIKE PROPERTY OWNER LLC**  
10 BETHLEHEM PIKE  
PHILADELPHIA, PA 19118

**ARCHITECT:  
COSCIA MOOS ARCHITECTURE**  
1616 WALNUT ST STE 101  
PHILADELPHIA, PA 19103  
267-761-9416

**PREPARED BY:  
WOODCOCK DESIGN**  
1518 WALNUT ST STE 303  
PHILADELPHIA, PA 19103  
267-738-0956



*Proposed Project by Coscia Moos Architecture*



*Proposed Project by Coscia Moos Architecture*

### SUMMARY

On April 26, 2021 the City of Philadelphia issued zoning permit #2021-002274 for 10 Bethlehem Pike. The project includes 33 residential units and eight underground parking spaces. The project was designed to be as-of-right.

On May 25th, 2021 a group of near neighbors located on Summit Street, Evergreen Place, Germantown Avenue, and Bethlehem Pike filed an appeal to the Zoning Board of Adjustment to request that the permit be revoked.

The appeal presents several reasons why the project is not in compliance with the zoning code and that a refusal should have been issued, generating a variance.

The appeal states that, because of this as-of right-permit,

*“...the proposed building will adversely impact the appellants adjacent single-family homes on Summit Street, ...2 Bethlehem Pike, and the Chestnut Hill Baptist Church.”* ENDNOTE 1

This report presents a rebuttal of the appeal in three sections.

#### **SECTION 01: LAND USE + DESIGN OVERVIEW**

Reviews how the proposed project fulfils the land use policy as implemented by the City’s comprehensive plan and zoning for the area, and how the City applied the rules to the site to carry out this policy.

#### **SECTION 02: ZONING TECHINALITIES**

Reviews the regulatory arguments put forth by the appellants showing how their analysis of the City’s zoning regulations and process is incorrect.

#### **SECTION 03: REVIEW OF ADVERSE IMPACTS**

Discusses whether the project has the adverse impacts on the area that the appellants represent in their opening charge. We will demonstrate that features of the design respond to the context and will not have an adverse impact the appellants.

# FOCUS AREAS AND PRIORITY RECOMMENDATIONS

A focus area is a place within the district that offers multiple opportunities for transformation: economic development, appearance, and function. A long-term vision can provide inspiration and a framework for achieving targeted objectives over time.



## CENTRAL GERMANTOWN FOCUS AREA

### JOINING NEIGHBORHOOD RESOURCES

Central Germantown has a remarkable amount of physical resources: public transit, landmark buildings, and vibrant open spaces. Equally notable are its social resources that include renowned cultural and educational institutions, neighborhood commercial and community services, and a rich history.

As Central Germantown rises from a period of disinvestment, the timing is right for reimagining how these assets, both old and new, can be woven together to create a strong neighborhood center and visitor destination. A handful of key revitalization projects are underway that will improve the area's built environment. This focus area illustrates how public and private investment can combine to produce public spaces and buildings that renew the neighborhood's traditional role as a pedestrian-friendly commercial center.

## 1 PROPOSED MIXED USE DEVELOPMENT ALONG VERNON WALK



### GOALS

- Connect Germantown Station with adjacent shops, community services, and public spaces
- Support commercial and residential growth on the corridors
- Improve street safety for all users
- Increase tourism to the area

### OPPORTUNITIES

- Bring new uses to anchor buildings such as the Pickett School campus, the former Germantown Town Hall, and the former Germantown High School
- Redesign vacant rail right-of-way for use as a pedestrian walkway
- Improve facilities for City services such as the 19th Police District, L&N North District, and Health Center 9

## PLANNING FOR GROWTH

As the Upper Northwest continues to attract new residents, development will be guided by a general growth strategy. The strategy encourages housing and commercial development in **core growth areas**, found along major avenues and near train stations. **Infill areas** will be encouraged to grow through small-scale development and conversion of large homes to two-unit structures. And in **limited growth areas**, where low transit access and environmental conditions make development less desirable, subdivision and new development will be discouraged. This strategy informs proposed zoning changes.

## 2 PROPOSED WINDRIM AVENUE IMPROVEMENTS



## WAYNE JUNCTION FOCUS AREA

### BUILDING AN INDUSTRIAL LEGACY

Wayne Junction was established as a manufacturing district shortly after the Reading Railroad opened a rail station here in 1881. Many factories in the area produced textiles, industrial machinery, pencils, photographic equipment, and even pushpins. Following a nationwide pattern, industry began to relocate to suburban sites following World War II. However, railroad services remain in place, making Wayne Junction accessible and an appropriate place for development of commercial and residential uses. The Wayne Junction Focus Area builds on the 2008 *Germantown and Nicetown Transit-Oriented Plan*, which identified Wayne Junction as a strong potential transit node featuring adaptive reuse of historic industrial buildings.

### GOALS

- Preserve and showcase industrial history
- Redevelop vacant land and buildings
- Improve the condition of public streets and plazas
- Increase connections between Germantown, Nicetown, public parks and recreation sites
- Increase public transit ridership

### OPPORTUNITIES

- Regional Rail and bus access
- Large, sturdy buildings with potential for reuse
- Recent/planned public investment in transit and streets



|        |
|--------|
| UNW 5  |
| UNW 6  |
| UNW 30 |
| UNW 33 |
| UNW 37 |

|        |                                    |      |                     |
|--------|------------------------------------|------|---------------------|
| UNW 00 | THRIVE priority recommendation     | ———— | Railways            |
| UNW 01 | CONNECT priority recommendation    | ———— | Streets             |
| UNW 02 | RENEW priority recommendation      | ●    | Growth Area         |
| UNW 03 | Major streets with recommendations | ■    | Infill Area         |
|        |                                    | □    | Limited Growth Area |
|        |                                    | ■    | Focus Area          |

\*Priority Recommendations can be found in multiple locations. The map displays some of these locations.



## SECTION 01: LAND USE + DESIGN OVERVIEW

The City of Philadelphia regulates land use and urban design through its comprehensive plan and zoning code, [14-105(1)] as well as through project reviews undertaken by the city's regulatory agencies [14-105.(3)]. ENDNOTE 2

The city recently replaced its outdated zoning code with a new set of regulations, transferring the old, mapped parcels into new categories.

To guide this process and to assist in adjustments to the map, the Philadelphia City Planning Commission published Philadelphia 2035, a comprehensive plan followed by 18 District Plans.

The District Plans are used by the Commission to guide zoning remapping and project reviews.

The District Plan applicable to the 10 Bethlehem site is the Upper Northeast Plan, summarized in the diagram far left.

A core element of the Northwest District Plan is to attract new residents. The plan states, "development will be guided by a general growth strategy... encouraging housing and commercial development in core growth areas, found along major avenues and near train stations [see pink box below]." The red shading shown below clearly designates the 10 Bethlehem site as a "growth area."







## SECTION 01: LAND USE + DESIGN OVERVIEW

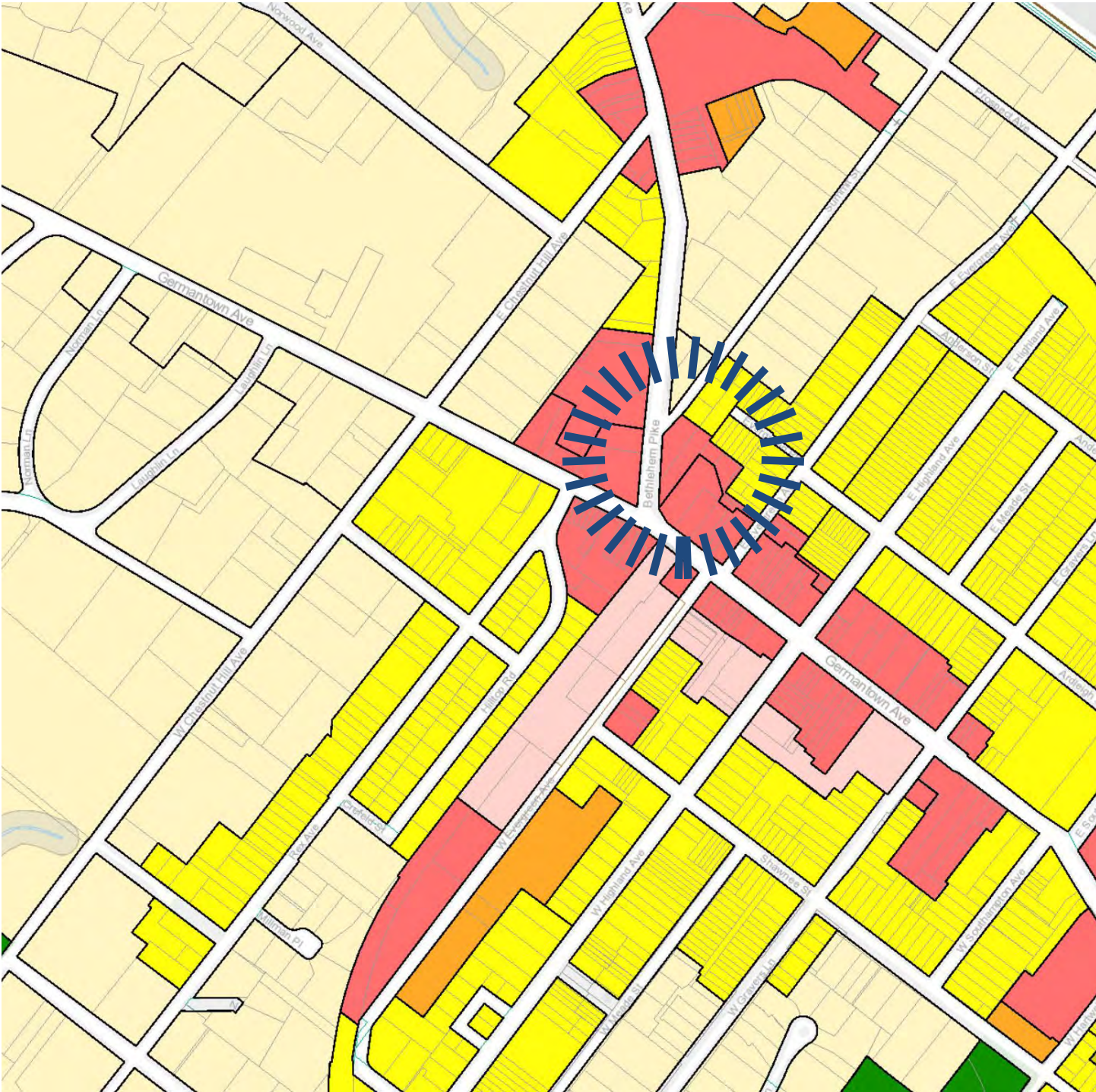
Another excerpt from the plan below, clearly demonstrates the rationale for designating the site as a growth area. The 10 Bethlehem Site, adjacent to the yellow tag on the map, is located across the street from the Chestnut Hill bus loop (bus transit station), the Chestnut Hill West (light rail) Station and the Chestnut Hill East (light rail) Station.



Chestnut Hill Bus Loop



Graphic from Northwest District Plan, 2018



Zoning Map from City of Philadelphia

## SECTION 01: LAND USE + DESIGN OVERVIEW

The Northwest District Plan, completed in 2018, involved extensive public input and citizen participation. Using the plan as a guide, the Planning Commission made adjustments to the zoning maps to implement the desired land use policy.

The 10 Bethlehem Pike site remained zoned as a commercial parcel, reflecting both its former use as a gas station and the goal to promote higher density growth around Germantown Avenue.

There are eight commercial zoning classifications developed to establish the correct size, density and degree of auto-dependency for commercial sites. The 10 Bethlehem Pike site is zoned Commercial Mixed Use 2, (CMX 2) at the lower end of the scale. The purpose of this classification is,

*“.... to accommodate active commercial and mixed-use development, including neighborhood-serving retail and service uses. [14-402-1].*

The Philadelphia Zoning Code gives the Planning Commission the authority to apply zoning standards to a site using the mapped zoning regulations [14-105.(3)].

Specifically, the code gives the Planning Commission the authority to designate the front, sides, and rear lot lines of a property as set forth in Section 14-301(3). ENDNOTE 2

In doing so, they must make a judgement as to what best accomplishes the goals of the comprehensive plan. [14-105.(1)].

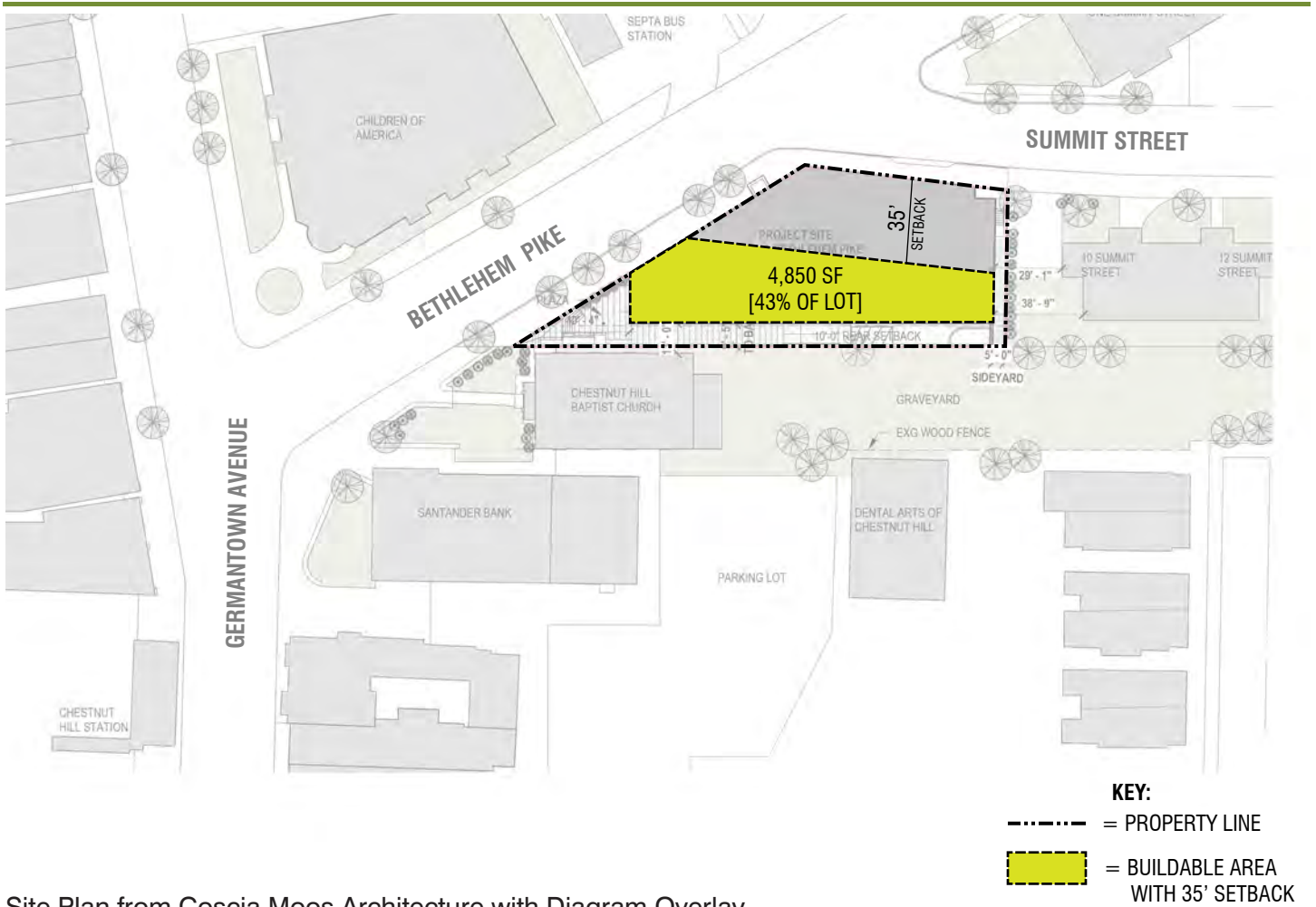
This responsibility is clearly stated in the Zoning code in the following section:

*“The Comprehensive Plan that is adopted by the Planning Commission (“the Commission”) serves as the statement of goals, recommendations, and policies guiding the development of the physical environment of the City[14-105(1)].* ENDNOTE 3

In the case of 10 Bethlehem Pike, the Planning Commission designated the “front” of the parcel as Bethlehem Pike. The rationale to designate Bethlehem Pike as the Front can be seen by looking at the development patterns as one travels down the arterial. At the corners of blocks you see commercial properties built up to the front lot line. The underlying commercial zoning clearly supports this pattern (see photos below and zoning map of vicinity, far left).

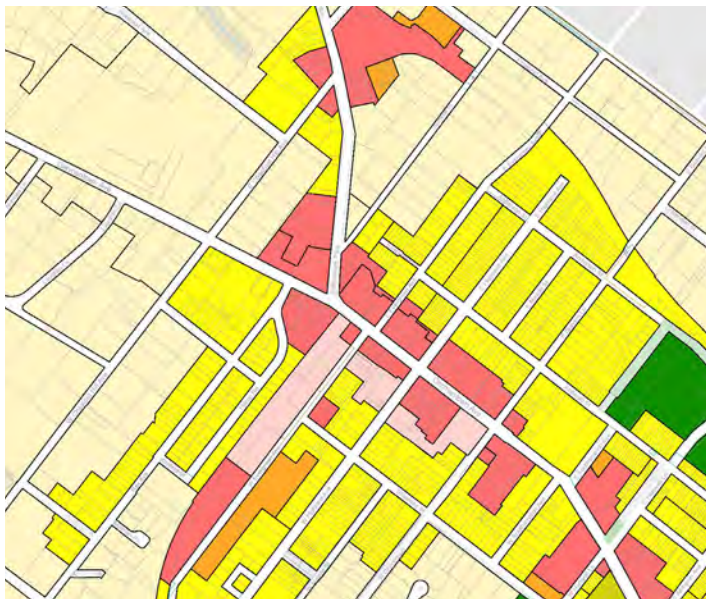
To summarize, the City of Philadelphia conducted a review of this site and came to the conclusion that a) properly determined that the frontage of the property was Bethlehem Pike, and b) correctly applied the dimensional standards of the applicable zoning regulations for CMX-2 to the site and most importantly, was c) consistent with the citizen-driven District Plan for the Upper Northwest.





Site Plan from Coscia Moos Architecture with Diagram Overlay

The above illustration shows the resulting buildable area when the requirements of the adjacent residential zoning classification is applied to the site. Instead of supporting the goal of increased growth near commercial streets and transit, only 43% of the site would be buildable. If the provision the appellants say applied to the site, the resulting development would conflict with the city's stated land use policy.



Zoning Map from City of Philadelphia

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## SECTION 02: ZONING TECHNICALITIES

The appeal of permit ZP 2021-002274 for the 10 Bethlehem Site seeks to disqualify the issued zoning permit for the following reasons:

- Decks must be set back from the front property line five feet,
- There is no lighting plan, and
- A thirty-five foot setback from adjoining residentially zoned sites applies to the commercial site because it is a corner lot with four front yards.

Each of these objections will be reviewed in turn.

**Deck Setback:** The deck as designed by Coscia Moos Architecture is set back a minimum of 5 feet from the street and is therefore in compliance. The graphics shown in the appeal do not include dimensions, and as a result, the observation is unsubstantiated at best.

**Lighting Plan:** The appeal states that Section 14-707(2) requires a lighting plan. Instead, the code says that outdoor lighting standards apply to lighting installed on private lots. This provision protects adjoining properties from light and glare. The lighting for this lot is installed on the underside of the structure above, below grade. It is within the jurisdiction of the city's review agencies to refrain from asking for materials irrelevant to the review of a project. In this case, the lighting impacts are not significant and therefore a lighting plan was not required by they City.

**Setbacks from Adjacent Lots:** The appeal of permit ZP 2021-002274 seeks to apply Chapter 14-700 (1) (a) to the site, selecting what appears to be the most favorable combination of provisions to support the revocation of the permit. The zoning code is quite clear at the beginning of the referenced section 14-700 on how the regulations should be used:

*“[14-701 (1)(a) All primary and accessory structures **must comply** ( emphasis added) with the dimensional standards in this [chapter]. These dimensional standards **may** (emphasis added) be further limited or modified by other applicable sections of this Zoning Code.”*

In other words, is not within the purview of appellants, neighbors, or any other individual to select the provisions of the zoning code to apply to a project, it is instead the purview and responsibility

of the Planning Commission. This point appears throughout the Zoning code but clearly evident the following sections of Chapter 14-701.

*14-701 (1) (a)(.1) (.4) Primary Frontage. (.a) When necessary to apply certain provisions of this Zoning Code, properties bounded by two or more streets shall have at least one street frontage designated as a primary frontage **by the Commission** (emphasis added).*

*(.b) The **Commission** (emphasis added) shall determine which street frontages shall be designated as a primary frontage based on the orientation of the primary structure, the orientation of the structures on adjacent lots, the orientation of other structures with frontage on same block face, the street type designation of the bounding street, **or any additional criteria stated in the regulations of the Commission for the purposes of clarifying or implementing this determination.***

It is clear from the language above that it is the Planning Commission's duty to interpret the Code and do decide whether or not to apply a specific section in the dimensional standards.

It is worthwhile to discuss whether the Planning Commission's rationale in selecting Bethlehem Pike as the "front" of the lot was correct. It appears so: 1) the address names the lot. 2) the lot line running along Bethlehem Pike is longer than that of Summit Street and 3) the front door of the proposed commercial space opens onto Bethlehem Pike, reinforcing the main commercial street. By contrast, the diagram at far left shows the absurd result of cherry picking zoning provisions that the code indicates "may" or may not be applied.

To Summarize, the objections in the appeal to the issuance of a zoning permit are invalid as follows:

- The first objection relative to the deck location is dimensionally incorrect.
- The second objection relative to the lack of a lighting plan cites a requirement not applicable to the architectural design.
- The third objection appears to replace the authority and judgement of the Planning Commission with those of the appellants and their attorney.



*Front View of Church will be Unchanged*



*Map showing appellant addresses*



*Proposed Building is Set Back to Reveal Church*

## SECTION 03: REVIEW OF ADVERSE IMPACTS

The appeal of permit ZP 2021-002274 for the 10 Bethlehem Site states that the project will have adverse impacts on the surrounding neighbors. This section presents the qualities of the design that respond to the context of the site and the city's land use policy.

The appeal has been filed by individuals who are indicated as near neighbors. The location of the near neighbors is indicated on the map at left, with a green dot for each appellant. The near neighbors are also mapped on an aerial photograph to demonstrate their spatial relationship to the property.

As can be seen by the diagram and photographs, the proposed project is not visible to the individuals on Evergreen Street because there is a large grove of trees between the proposed property and these homes. Likewise, the residents located on Summit Street except for the next-door neighbor, will not be able to see the property as the topography slopes down and away from the proposed project.

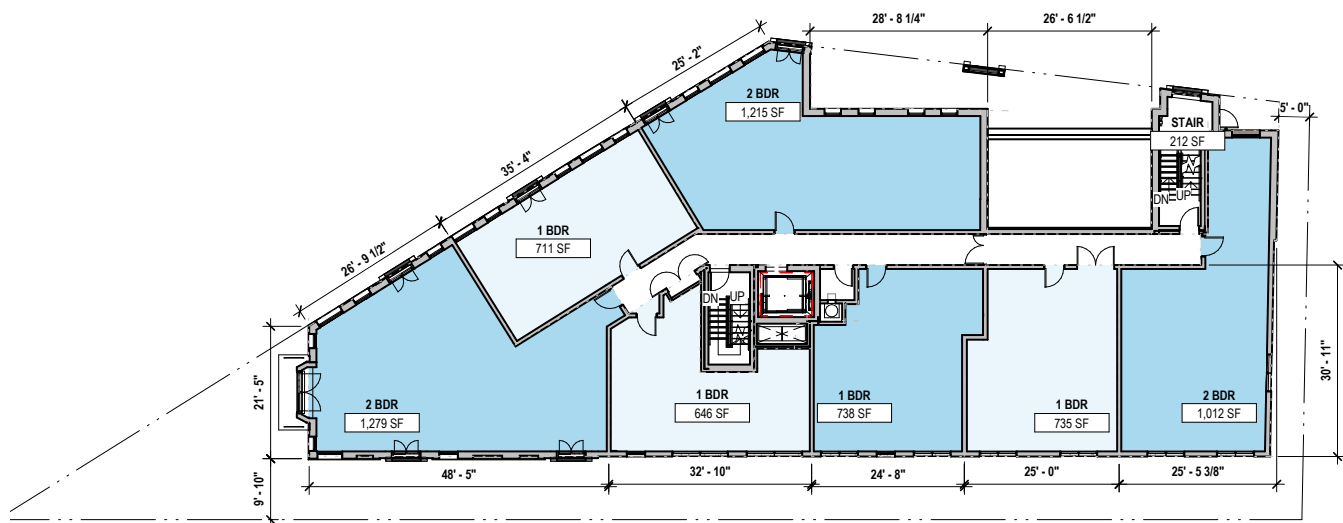
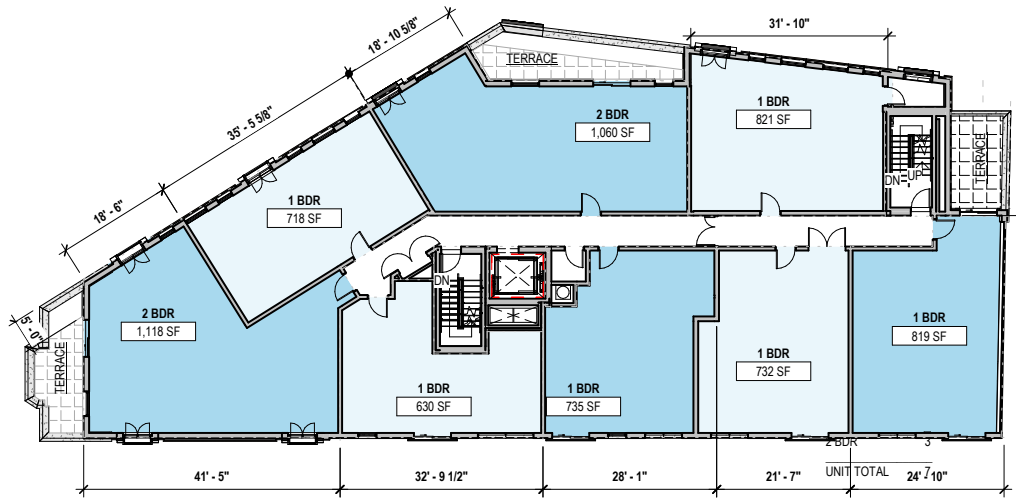
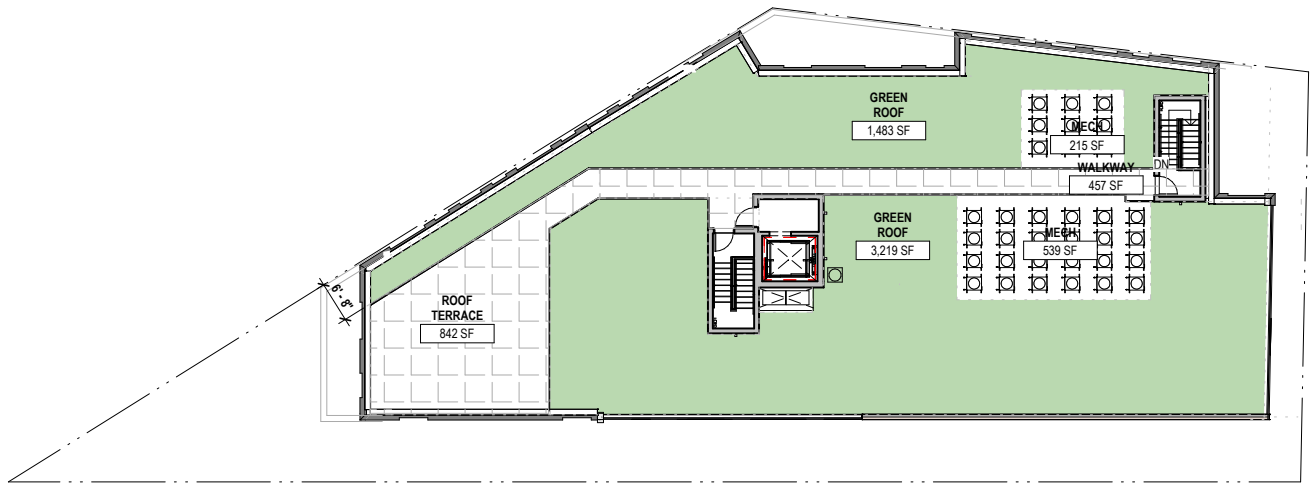
The proposed project will be constructed very close to the historic church but in this case the designers have made an open space at the west end of the lot to allow a side view of the church building. The front of the church, which is most prominent on Germantown Ave, will remain as is, a highly visible landmark (see rendering, left and photo above rendering).

The appeal does not list the specific adverse impacts on the neighbors, but from conversations with the community the designers have understood that there was a concern for parking. Therefore parking, which was not required by the CMX 2 zoning classification has been added to the project at the ground level and hidden by the building to minimize the impact of the surface lot on the surroundings.

For the above reasons, the adverse impacts alluded to by the appellants are not substantiated when their location relative to the site is considered. For this reason, the appeal should be denied.

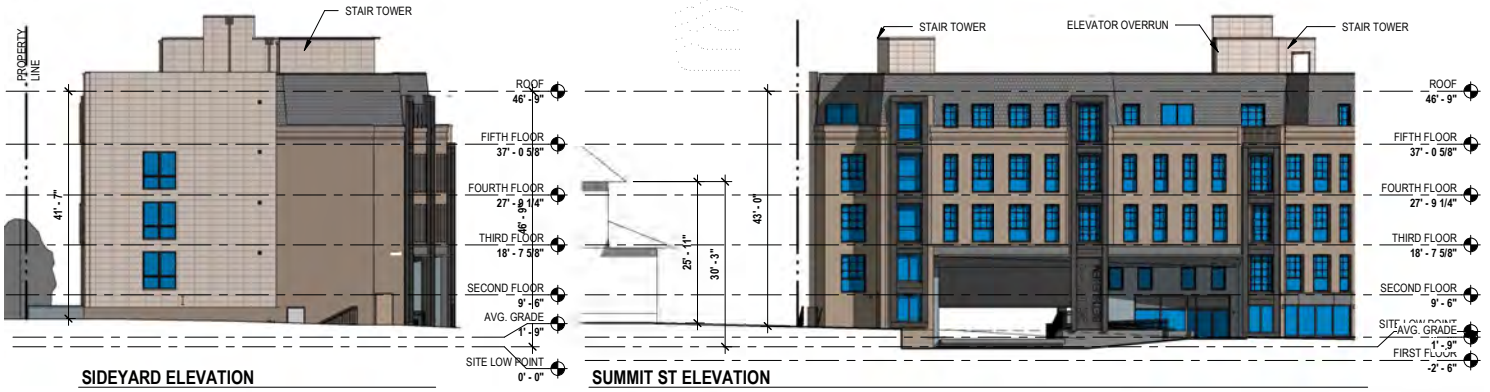






Floor Plans from Coscia Moos

# SECTION 03: REVIEW OF ADVERSE IMPACTS

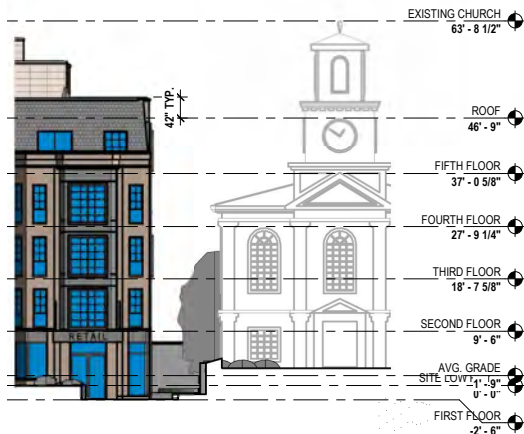


**SIDEYARD ELEVATION**

**SUMMIT ST ELEVATION**



**REAR ELEVATION**



**BETHLEHEM PIKE ELEVATION 1**



**BETHLEHEM PIKE ELEVATION 2**

Elevations from Coscia Moos



*Rendering from Coscia Moos Architecture*



*Rendering from Coscia Moos Architecture*

## SECTION 03: REVIEW OF ADVERSE IMPACTS



*Rendering from Coscia Moos Architecture*

## ENDNOTES

Endnote 1: Appeal dated May 25, 2021 sent by the firm of Fineman Krekstein & Harris to the City of Philadelphia, Exhibit C Page 1.

Endnote 2: See Also the following excerpt: Where a Comprehensive Plan or an amendment to the Comprehensive Plan has been adopted pursuant to § 14-304(2) (Comprehensive and Other Plan Adoption), the recommendations of that plan shall be considered by the Commission and Zoning Board as a factor in making any decision on a zoning permit application on a topic or area covered by the adopted plan.” [14-105.(3)]

Endnote 3: See also: Review and Prerequisite Approval Authority. (.1) The Commission provides prerequisite approvals for: Zoning permits regarding properties bounded by two streets where the determination of primary frontage(s) or side and rear lot lines is necessary for L&I to approve or deny an application. [14-301(3)(c)(.o)]



**WOODCOCK DESIGN**

1518 WALNUT ST. SUITE 303  
PHILADELPHIA, PA 19102  
+1 267 738 0956  
WOODCOCK-DESIGN.COM



# **Exhibit 8**

# JANICE WOODCOCK, AIA, LEED-AP

## BIOGRAPHY

Janice Woodcock is an urban planner and architect with over 30 years experience working in the Philadelphia area. Woodcock successfully ran her own design practice before her appointment to the City of Philadelphia's Capital Program Office, where she administered the \$3.6 million annual capital budget for Fairmount Park, overseeing the preservation and restoration of historic sites and recreational facilities. She introduced LEED training to City Staff and served on the Mayor's advisory committee for the President's House on Independence Mall.

From there she was appointed Executive Director for Philadelphia's City Planning Commission; chairing the Zoning Code Commission, Central Delaware River Advisory Group, and "Imagine Philadelphia" a study to update Philadelphia's Comprehensive Plan. Her work formed one basis for the City's Comprehensive Plan and Philadelphia 2535 District Plans, a framework that had not been updated since the 1960s.

Woodcock resumed her practice, Woodcock Design, Inc. in 2009. Recent projects include a Master Plan for Germantown High School, the conversion of two waterfront warehouses into 224 apartments, a Master Plan for the Penn Dental School, a Plan of Development for the Central Delaware, the design of the Fillmore Theater, Fabrika Dinner Theater, and renovations for Frankford Friends Lower School. The firm prides itself in creating beautiful spaces at every scale; along the way employing teamwork, follow-through, and attention to clients' goals.

**REGISTRATION**      **Registered Architect**, NJ, PA, VA  
**LEED Accredited Professional**, US Green Building Council

**EDUCATION**      **M-Arch**, University of Washington College of Architecture and Urban Planning, Seattle, WA  
**Certificate in Urban Design**, University of Washington, Seattle, WA  
**Bachelor of Arts**, Sociology/Economics, St. Lawrence University, NY

|                       |   |                |
|-----------------------|---|----------------|
| <b>CAREER HISTORY</b> | <b>President</b> , Woodcock Design, Inc; Philadelphia, PA               | 2009 - Present |
|                       | <b>Project Architect</b> , KieranTimberlake                             | 2008-2009      |
|                       | <b>Executive Director</b> , Philadelphia City Planning Commission       | 2006-2008      |
|                       | <b>Project Director</b> , City of Philadelphia Capital Program Office   | 2004-2006      |
|                       | <b>President</b> , Woodcock Design, Inc; Philadelphia, PA               | 2000-2005      |
|                       | <b>Associate</b> , Cecil Baker & Partners; Philadelphia, PA             | 1993-2000      |
|                       | <b>Architect</b> , Ewing Cole; Philadelphia, PA                         | 1992-1993      |
|                       | <b>Urban Planner, Intern Architect</b> , Seattle, Boston, various firms | 1985-1992      |

**PROFESSIONAL HONORS**      **Preservation Achievement Award**, Preservation Alliance of Greater Philadelphia, For the Ajax Building and Fillmore Theater, Woodcock Design Inc.  
**National AIA Design Award**, AIA's Top 10 Green Buildings, Police Forensic Science Center, City of Philadelphia; with Cecil Baker & Partners  
**National Design Award from HUD**, HUD Section 811 Housing, Inglis Gardens Accessible Housing, Philadelphia; with Cecil Baker & Partners  
**Design Awards**, AIA Philadelphia and AIA Pennsylvania, "Turning on the Lights Upstairs," Study for Converting Philadelphia's Vacant Commercial Buildings to Residential Use; for the Center City District; with Cecil Baker & Partners  
**Design Awards**, AIA Philadelphia and AIA Pennsylvania, Addition to the Railroad Museum of Pennsylvania; with Cecil Baker & Partners

|                          |  |              |
|--------------------------|--|--------------|
| <b>COMMUNITY SERVICE</b> | <b>Member</b> , The Carpenter's Company                                | 2019-Present |
|                          | <b>Secretary</b> , Christ Church Preservation Trust, Philadelphia      | 2016-Present |
|                          | <b>Board Member, Secretary</b> , American Communities Trust, Baltimore | 2015-Present |
|                          | <b>Board Member</b> , The Neighborhood Center, Camden New Jersey       | 2008 - 2019  |
|                          | <b>Vice Chair, Board Member</b> , Philadelphia Art Alliance            | 2005-2013    |
|                          | <b>Vestry &amp; Property Chair</b> , Christ Church, Philadelphia       | 2009-2013    |
|                          | <b>Board Member</b> , Delaware Valley Green Building Council           | 2005-2008    |
|                          | <b>President</b> , AIA Philadelphia                                    | 2001-2002    |

# Exhibit 9



## **List of Meetings with Community Stakes Holders**

- January 7, 2021 – CHCA LUPZ Meeting
- February 16, 2021 – CHCA Community Meeting (Development Review)
- February 24, 2021 – Phone call with David Mercuris (representing near neighbors and Summit Street Neighbors)
- March 9, 2021 – Zoom meeting with Summit Street Neighbors (was blindly presented their letter)
- July 15, 2021 – Community Meeting at Church

# **Exhibit 10**

July 27<sup>th</sup>, 2021

Dear Neighbors,

Thank you for taking the time to meet with us on July 15<sup>th</sup>. For the past seven months we have engaged with our neighbors and the Chestnut Hill Community Association in order to ensure that the development of 10 Bethlehem Pike adds the greatest possible value to the neighborhood while respecting the rich history of Chestnut Hill. Over the course of our many meetings the ideas of the community have been heard and discussed, and we have made great strides towards reaching this goal.

Over the course of our latest meeting, we directly addressed several questions that have been brought to our attention regarding the project. A list of concerns and our mitigants are as follows:

Concern: The height and scale of the proposed building, as well as the number of set-backs, terraces, or other relief from the street

- Despite the height of the proposed building as well as proposed unit count conforming to code, we have taken measures throughout the plan to address any perception of the scale in comparison to surrounding structures. Our building still remains significantly shorter than the adjacent church building, and from our initial design we have set back the footprint of the building as far as possible from the intersection of Germanton Avenue, revealing the majority of the adjacent church.

Additionally, we have included significant setbacks and terraces on the top floor of the three outward-facing sides of the building. We have also included a mansard roof on the highest floor, the angle and material of which reduces the perceived scale from the street level.

Concern: The materials proposed to be used for the building, are not typical in Chestnut Hill

- Through several alterations of massings and materials we have devised a façade that is constructed of design components that are typical of Chestnut Hill architecture and seen throughout the neighborhood. Our building includes brick and stone that are seen throughout the surrounding community, as well as window fenestrations and a mansard roof that are exemplified throughout the neighborhood.

Concern: Lack of parking proposed

- Our building plan has been altered to include parking on-site, despite the fact that we are not required to do so by the zoning code. Additionally, we have approached neighboring sites to provide parking for ancillary vehicles.

Concern: Potential for the structure to further exacerbate problems with stormwater runoff currently affecting the Baptist church graveyard and some houses on the south side of Summit Street

- Our project includes a green roof, which will substantially improve stormwater runoff in the immediate area. The site is currently asphalt, which does not absorb and drain stormwater and impacts neighboring sites. Our green roof system will help mitigate this issue by providing absorbent vegetative surface on the majority of the roof.

Additionally, we understand that there are concerns over the low water pressure on Summit St. This concern arises from very low pressure at the nearby valves, and while our project will not worsen this, we are committed to working with the Philadelphia Water Department and the Councilwoman's office to improve this for our neighbors.

Concern: Impacts of construction activities on nearby residents

- We are committed to minimizing the impact of the construction activity of the project on the neighborhood and to informing our neighbors of activity on site. We hope to reduce sidewalk re-direction as best as possible and maintain normal daytime working hours. We will establish a constant dialogue with the community regarding weekly construction processes.

Concern: Privacy and light effects on adjacent/near-adjacent residential neighbors

- Our project is setback 10 feet from the property line of the adjacent church and 5 feet from the adjacent property line on Summit Street. Given the setback of these neighboring homes, there will be nominal effect on the privacy and light of the adjacent neighbors.

We share the same goals of responsible development and the desire to work in good faith with the community. We also foresee the redevelopment of 10 Bethlehem Pike as an opportunity to enhance the beauty and livability Chestnut Hill. At this point we believe that our development at 10 Bethlehem Pike has evolved significantly from its original design to address the concerns that the community presented to us. We are hopeful that we can work together to ensure that this project maximizes utility to for the community.

Sincerely,



Zachary Frankel  
Principal  
Frankel Enterprises