

D

D

2019 Low-Rise Residential Mandatory Measures Summary	
<p>Building Envelope Measures:</p> <p>Air Leakage: Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-40, ASTM E283 or ASTM E331, or ASHRAE 90.1-2010 § 5.4.1.1.1.</p> <p>Labeling: Fenestration products and exterior doors must have label meeting the requirements of § 110.11(a).</p> <p>Field Fabricated Exterior Doors and Fenestration Products: Must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6A, 110.6B, or A4.5 for exterior doors. They must be caulked and/or weatherstripped.</p> <p>Air Leakage: All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weatherstripped.</p> <p>Insulation Certification by Manufacturers: Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (§ 150.01).</p> <p>Insulation Requirements for Heated Slab Floors: Heated slab floors must be insulated per the requirements of § 110.8(a).</p> <p>Roofing Products Solar Reflectance and Thermal Emittance: The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(b) and be certified to § 10.13 when the installation of a cool roof is specified on the CFR.</p> <p>Radiant Barrier: When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs (§ 110.8(c)).</p> <p>Ceiling and Rafter Insulation: Minimum R-22 insulation in wood frame ceiling or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.</p> <p>Loose-Fill Insulation: Loose fill insulation must meet the manufacturer's required density for the labeled R-value.</p> <p>Wall Insulation: Minimum R-13 insulation in 2x4 inch wood framing wall or a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opened non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.</p> <p>Raised-Floor Insulation: Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.</p> <p>Slab Edge Insulation: Slab edge insulation must meet all of the following: have a water absorption rate for the insulation material alone without facing, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light degradation; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(d).</p> <p>Vapor Retarder: In climate zones 1 through 16, the earth floor or unvented crawlspace must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.01(d).</p> <p>Vapor Retarder: In climate zones 1 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.</p> <p>Fenestration Products: Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.36 or the weighted average U-factor of fenestration must not exceed 0.092.</p> <p>Floors, Decorative Gas Appliances, and Gas Log Measures:</p> <p>Pilot Light: Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.</p> <p>Closable Doors: Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.</p> <p>Combustion Intake: Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-fitting damper or combustion air control device.</p> <p>Flue Damper: Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.</p> <p>Space Conditioning, Water Heating, and Plumbing System Measures:</p> <p>Certification: Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.</p> <p>HVAC Efficiency: Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.</p> <p>Controls for Heat Pumps with Supplementary Electric Resistance Heaters: Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.</p> <p>Thermostats: All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.</p> <p>Water Heating Recirculation Loops Serving Multiple Dwelling Units: Water heating recirculation loops serving multiple dwelling units must meet the all release valve, backflow prevention, pump, pump, pump isolation valve, and recirculation loop connection requirements of § 110.3(a)(4).</p> <p>Isolation Valves: Instantaneous water heaters with an input rating greater than 6.8 BTU per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.</p> <p>Pilot Lights: Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooking appliances (except appliances without an electrical supply connection with pilot lights that consume less than 150 BTU per hour), and pool and spa heaters.</p> <p>Building Cooling and Heating Loads: Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Application Volume, and Fundamentals Volume, the 2004/2004 Residential Control System Installation Standards Manual, or the ACCA Manual - Using design conditions specified in § 150.01(d).</p>	

C

C

2019 Low-Rise Residential Mandatory Measures Summary	
<p>Clearances: An air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.</p> <p>Liquid Line Drain: Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.</p> <p>Storage Tank Insulation: Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water heating systems, must have a minimum R-12 external insulation or R-6 external insulation where the external insulation R-value is indicated on the exterior of the tank.</p> <p>Water Piping, Solar Water-Heating System Piping, and Space Conditioning System Line Insulation: All domestic hot water piping must be insulated as specified in Section 09311 of the California Plumbing Code. In addition, the following piping conditions must be met: a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7; the hot line feed of cold water pipes from the storage tank, all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch, all hot water piping with a nominal diameter less than 3/4 inch that is associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.</p> <p>Insulation Protection: Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water resistant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and noncombustible casing of steel.</p> <p>Gas or Propane Water-Heating Systems: Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125-volt, 20-amp electrical nonsplicing connected to the electric panel with a 120/240 volt 3-conductor, 10 AWG copper branch circuit, within three feet of the water heater water distribution. Both ends of the ungrounded conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Line", a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed, a condensate drain that is no more than two inches higher than the base of the water heater, and allowed natural draining without pump assistance, and a gas supply line with a capacity of at least 200,000 Btu per hour.</p> <p>Recirculating Loops: Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(a)(5).</p> <p>Solar Water-Heating Systems: Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (APMO RBT), or by a listing agency that is approved by the Executive Director.</p> <p>Ducts and Fans Measures:</p> <p>Ducts: Insulation installed on an existing space-conditioning duct must comply with § 094.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.</p> <p>CMC Compliance: All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 097.0, 092.0, 093.0, 094.0, 095.0 and ASHRAE 62.1-2009, 2008 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply air and return air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely unconditioned space as confirmed through field verification and diagnostic testing (RA3.1.3.9). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with metal, tape, or other duct closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must be protected to cause reduction in the cross-sectional area.</p> <p>Factory-Fabricated Duct Systems: Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures, joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tapes are used in combination with mastic and draw bands.</p> <p>Field-Fabricated Duct Systems: Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastic, sealants, and other materials specified for duct construction.</p> <p>Backdraft Damper: Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.</p> <p>Gravity Ventilation Dampers: Gravity ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to be closed, except combination inlet and outlet air openings and elevator shaft vents.</p> <p>Protection of Insulation: Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, steel, metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or paired with a coating that is water resistant and provides shielding from solar radiation.</p> <p>Porous Inner Core Fire Duct: Porous inner core fire ducts must have a non-porous layer between the inner core and outer vapor barrier.</p> <p>Duct System Sealing and Leakage Test: When space conditioning systems use forced air duct systems to supply conditioned air to an occupied space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.01(i) and Reference Residential Appendix RA3.</p> <p>Air Filtration: Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a low throw depth or can be one inch if it exceeds Equation 150.0-A. Pressure drops and labeling must meet the requirements in § 150.01(j). Filters must be accessible for regular service.</p> <p>Space Conditioning System Airflow Rate and Fan Efficiency: Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be 0.3 CFM per ton of nominal cooling capacity, and an air handling unit fan efficiency of 0.65 watts per CFM for gas furnace air handlers and 0.59 watts per CFM for all others. Small duct high velocity systems must provide an airflow > 250 CFM per ton of nominal cooling capacity, and an air handling unit fan efficiency > 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.</p>	

B

B

2019 Low-Rise Residential Mandatory Measures Summary	
<p>Requirements for Ventilation and Indoor Air Quality:</p> <p>Requirements for Ventilation and Indoor Air Quality: All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.01(i).</p> <p>Single Family Detached Dwelling Units: Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.01(i).</p> <p>Multifamily Attached Dwelling Units: Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, Units in the building must use the same system type and the dwelling unit envelope leakage must be 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.</p> <p>Multifamily Building Central Ventilation Systems: Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the rate with the lowest airflow rate as related to the individual unit's minimum required airflow rate needed for compliance.</p> <p>Kitchen Range Hoods: Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.</p> <p>Field Verification and Diagnostic Testing: Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4 to confirm it is electrically safe to comply with the airflow rates and sound requirements as specified in Sections 7.2 of ASHRAE 62.2.</p> <p>Pool and Spa Systems and Equipment Measures:</p> <p>Certification by Manufacturer: Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations, an on/off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting, a permanent weatherproof plate or card with operating instructions, and must not use electric resistive heating.</p> <p>Piping: Any pool or spa heating system or equipment must be installed with at least 3/8 inches of pipe between the filter and the heater, or de-aerated and return lines, or ball or ball connections to allow for future solar heating.</p> <p>Covers: Outdoor pools or spas that have a hot pump or gas heater must have a cover.</p> <p>Directional Inlets and Time Switches for Pools: Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to set or programmed to run only during off-peak electric demand periods.</p> <p>Pilot Light: Natural gas pool and spa heaters must not have a continuously burning pilot light.</p> <p>Pool Systems and Equipment Installation: Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.</p> <p>Lighting Measures:</p> <p>Lighting Controls and Components: All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.</p> <p>Luminaire Efficacy: All installed luminaires must meet the requirements in Table 150.0-A.</p> <p>Blank Electrical Boxes: The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.</p> <p>Recessed Downlight Luminaires in Ceilings: Luminaires recessed into ceilings as described in § 150.01(c) must comply with the following: labeling, air leakage, sealing, maintenance, and socket and light source as specified in § 150.01(c).</p> <p>Electronic Ballasts for Fluorescent Lamps: Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.</p> <p>Night Lights, Step Lights, and Path Lights: Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.</p> <p>Lighting Integral to Exhaust Fans: Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.01(i).</p> <p>Screen based Luminaires: Screen based luminaires must contain lamps that comply with Reference Joint Appendix JAB.</p> <p>Light Sources in Enclosed or Recessed Luminaires: Lamps and other separable light sources that are not compliant with the JAB elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.</p> <p>Light Sources in Drawers, Cabinets, and Linen Closets: Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.</p> <p>Interior Switches and Controls: All forward phase-out dimmers used with LED light sources must be compliant with NEMA SS-7A.</p> <p>Interior Switches and Controls: Exhaust fans must be controlled separately from lighting systems.</p> <p>Interior Switches and Controls: Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.</p> <p>Interior Switches and Controls: Controls and equipment must be installed in accordance with manufacturer's instructions.</p> <p>Interior Switches and Controls: Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.01(i).</p> <p>Interior Switches and Controls: Lighting controls must comply with the applicable requirements of § 110.9.</p>	

D

2019 Low-Rise Residential Mandatory Measures Summary	
<p>Interior Switches and Controls: An energy management control system (EMCS) may be used to comply with control requirements if it provides functionality of the specified management control system (§ 110.9), meets the Installation Certificate requirements of § 150.4, meets the EMCS requirements of § 150.01(i), and meets all other requirements in § 150.01(i).</p> <p>Interior Switches and Controls: A multiuse programmable controller may be used to comply with dimmer requirements in § 150.01(i) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.01(i).</p> <p>Interior Switches and Controls: In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic off functionality. If an occupant sensor is installed, it must be initially configured to manual operation using the manual control required under Section 150.01(i).</p> <p>Interior Switches and Controls: Luminaires that are or contain light sources that meet Reference Joint Appendix JAB requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.</p> <p>Interior Switches and Controls: Under cabinet lighting must be controlled separately from ceiling installed lighting systems.</p> <p>Residential Outdoor Lighting: For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirements in Table 150.01(a) (ON and OFF switch) and the requirements in either § 150.01(a)(3) (photocell) or § 150.01(a)(4) (motion sensor or automatic time switch control) or § 150.01(a)(5) (photocell or clock), or an EMCS.</p> <p>Residential Outdoor Lighting: For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches, and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.01(a) or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.0, 140.2, and 141.0.</p> <p>Residential Outdoor Lighting: For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with at least eight or more vehicles per site and any outdoor lighting not regulated by § 150.01(a)(3) or § 150.01(a)(5) must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.0, and 141.0.</p> <p>Internally Illuminated Address Signs: Internally illuminated address signs must comply with § 140.8 or must consume no more than 5 watts of power as determined according to § 130.0(c).</p> <p>Residential Garages for Eight or More Vehicles: Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for residential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.0, and 141.0.</p> <p>Interior Common Areas of Low-Rise Multifamily Residential Buildings: In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be compliant with Table 150.0-A and be controlled by an occupant sensor.</p> <p>Interior Common Areas of Low-Rise Multifamily Residential Buildings: In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must:</p> <ul style="list-style-type: none"> Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.0 and 141.0, and Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 20 percent. The occupant sensors must be capable of turning the light fully on and off from all designed points of ingress and egress. <p>Solar Ready Buildings:</p> <p>Single Family Residences: Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(a) through § 110.10(d).</p> <p>Low-rise Multifamily Buildings: Low-rise multifamily buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).</p> <p>Minimum Solar Zone Area: The solar zone must have a minimum total area as described below. The solar zone area must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Table 2A, Part 5 or other parts of Table 2A or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 60 square feet each for buildings with roof areas less than or equal to 10,000 square feet or less than 150 square feet each for buildings with roof areas greater than 10,000 square feet. For single-family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multifamily buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building including multi-occupancy.</p> <p>Azimuth: All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.</p> <p>Shading: The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof equipment.</p> <p>Shading: Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the highest point of the solar zone, measured in the vertical plane.</p> <p>Structural Design Loads on Construction Documents: For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.</p> <p>Interconnection Pathways: The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduct from the solar zone to the point of interconnection with the electrical service, and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.</p> <p>Documentation: A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(d) must be provided to the occupant.</p> <p>Main Electrical Service Panel: The main electrical service panel must have a minimum busbar rating of 200 amps.</p> <p>Main Electrical Service Panel: The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".</p>	

D

D

D

PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00

Project Name and Address
 From Name and Address

NO.	REVISION/ISSUE	DATE
1	CLIENT REVIEW	3/11/2022
2	A.P.L.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		
8		
9		
10		

LA
ADVANCED DEVELOPMENT
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BRARD AVE. SUITE 106
 LA JOLLA, CA 92037
 (619) 367-9015
 WWW.ADVANCEDDEVELOPMENT.NET
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815
 SCAN ME

Project: 39453018
 Date: 02/2022
 Scale:

Sheet: **LR-1**

A

A

SITE ABBREVIATIONS

1" WALL PROPOSED	2" WALL PROPOSED	3" WALL PROPOSED	4" WALL PROPOSED	5" WALL PROPOSED	6" WALL PROPOSED	7" WALL PROPOSED	8" WALL PROPOSED	9" WALL PROPOSED	10" WALL PROPOSED	12" WALL PROPOSED	14" WALL PROPOSED	16" WALL PROPOSED	18" WALL PROPOSED	20" WALL PROPOSED	24" WALL PROPOSED	30" WALL PROPOSED	36" WALL PROPOSED	42" WALL PROPOSED	48" WALL PROPOSED	60" WALL PROPOSED	72" WALL PROPOSED	90" WALL PROPOSED	108" WALL PROPOSED	126" WALL PROPOSED	144" WALL PROPOSED	162" WALL PROPOSED	180" WALL PROPOSED	216" WALL PROPOSED	252" WALL PROPOSED	288" WALL PROPOSED	324" WALL PROPOSED	360" WALL PROPOSED	432" WALL PROPOSED	504" WALL PROPOSED	576" WALL PROPOSED	648" WALL PROPOSED	720" WALL PROPOSED	864" WALL PROPOSED	1008" WALL PROPOSED	1152" WALL PROPOSED	1300" WALL PROPOSED	1450" WALL PROPOSED	1600" WALL PROPOSED	1750" WALL PROPOSED	1900" WALL PROPOSED	2050" WALL PROPOSED	2200" WALL PROPOSED	2350" WALL PROPOSED	2500" WALL PROPOSED	2650" WALL PROPOSED	2800" WALL PROPOSED	2950" WALL PROPOSED	3100" WALL PROPOSED	3250" WALL PROPOSED	3400" WALL PROPOSED	3550" WALL PROPOSED	3700" WALL PROPOSED	3850" WALL PROPOSED	4000" WALL PROPOSED	4150" WALL PROPOSED	4300" WALL PROPOSED	4450" WALL PROPOSED	4600" WALL PROPOSED	4750" WALL PROPOSED	4900" WALL PROPOSED	5050" WALL PROPOSED	5200" WALL PROPOSED	5350" WALL PROPOSED	5500" WALL PROPOSED	5650" WALL PROPOSED	5800" WALL PROPOSED	5950" WALL PROPOSED	6100" WALL PROPOSED	6250" WALL PROPOSED	6400" WALL PROPOSED	6550" WALL PROPOSED	6700" WALL PROPOSED	6850" WALL PROPOSED	7000" WALL PROPOSED	7150" WALL PROPOSED	7300" WALL PROPOSED	7450" WALL PROPOSED	7600" WALL PROPOSED	7750" WALL PROPOSED	7900" WALL PROPOSED	8050" WALL PROPOSED	8200" WALL PROPOSED	8350" WALL PROPOSED	8500" WALL PROPOSED	8650" WALL PROPOSED	8800" WALL PROPOSED	8950" WALL PROPOSED	9100" WALL PROPOSED	9250" WALL PROPOSED	9400" WALL PROPOSED	9550" WALL PROPOSED	9700" WALL PROPOSED	9850" WALL PROPOSED	10000" WALL PROPOSED
------------------	------------------	------------------	------------------	------------------	------------------	------------------	------------------	------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	----------------------

LEGEND

3" WALL PROPOSED	4" WALL PROPOSED	5" WALL PROPOSED	6" WALL PROPOSED	8" WALL PROPOSED	10" WALL PROPOSED	12" WALL PROPOSED	14" WALL PROPOSED	16" WALL PROPOSED	18" WALL PROPOSED	20" WALL PROPOSED	24" WALL PROPOSED	30" WALL PROPOSED	36" WALL PROPOSED	42" WALL PROPOSED	48" WALL PROPOSED	60" WALL PROPOSED	72" WALL PROPOSED	90" WALL PROPOSED	108" WALL PROPOSED	126" WALL PROPOSED	144" WALL PROPOSED	162" WALL PROPOSED	180" WALL PROPOSED	216" WALL PROPOSED	252" WALL PROPOSED	288" WALL PROPOSED	324" WALL PROPOSED	360" WALL PROPOSED	432" WALL PROPOSED	504" WALL PROPOSED	576" WALL PROPOSED	648" WALL PROPOSED	720" WALL PROPOSED	864" WALL PROPOSED	1008" WALL PROPOSED	1152" WALL PROPOSED	1300" WALL PROPOSED	1450" WALL PROPOSED	1600" WALL PROPOSED	1750" WALL PROPOSED	1900" WALL PROPOSED	2050" WALL PROPOSED	2200" WALL PROPOSED	2350" WALL PROPOSED	2500" WALL PROPOSED	2650" WALL PROPOSED	2800" WALL PROPOSED	2950" WALL PROPOSED	3100" WALL PROPOSED	3250" WALL PROPOSED	3400" WALL PROPOSED	3550" WALL PROPOSED	3700" WALL PROPOSED	3850" WALL PROPOSED	4000" WALL PROPOSED	4150" WALL PROPOSED	4300" WALL PROPOSED	4450" WALL PROPOSED	4600" WALL PROPOSED	4750" WALL PROPOSED	4900" WALL PROPOSED	5050" WALL PROPOSED	5200" WALL PROPOSED	5350" WALL PROPOSED	5500" WALL PROPOSED	5650" WALL PROPOSED	5800" WALL PROPOSED	5950" WALL PROPOSED	6100" WALL PROPOSED	6250" WALL PROPOSED	6400" WALL PROPOSED	6550" WALL PROPOSED	6700" WALL PROPOSED	6850" WALL PROPOSED	7000" WALL PROPOSED	7150" WALL PROPOSED	7300" WALL PROPOSED	7450" WALL PROPOSED	7600" WALL PROPOSED	7750" WALL PROPOSED	7900" WALL PROPOSED	8050" WALL PROPOSED	8200" WALL PROPOSED	8350" WALL PROPOSED	8500" WALL PROPOSED	8650" WALL PROPOSED	8800" WALL PROPOSED	8950" WALL PROPOSED	9100" WALL PROPOSED	9250" WALL PROPOSED	9400" WALL PROPOSED	9550" WALL PROPOSED	9700" WALL PROPOSED	9850" WALL PROPOSED	10000" WALL PROPOSED
------------------	------------------	------------------	------------------	------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	-------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	--------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	---------------------	----------------------

STORM WATER

Storm Water Requirements Applicability Checklist

APN: 344-142-16-00

LOT 160

8958 LA JOLLA SCENIC DR N. LA JOLLA, CA 92037 (APN) 344-142-16-00

PERMITTED EXISTING SINGLE FAMILY RESIDENCE

F.F.L. 02'

CONCRETE DRIVEWAY

EDGE OF DRIVEWAY

SIDEWALK CONCRETE CURB

La Jolla Scenic Dr

PROPOSED SITE GRADING DRAINAGE BMP-PLAN

GRAPHIC SCALE

ENGINEERING SCALE: 1/16" = 1'

BMP LEGEND

PDS 659	BROW DITCH	→ → →
PDS 659	BERM	→ B →
DIRECTION OF LOT DRAINAGE → → →		
MATERIALS & WASTE MANAGEMENT BMPs:		
WM-1	MATERIAL DELIVERY & STORAGE	
WM-4	SPILL PREVENTION AND CONTROL	
WM-8	CONCRETE WASTE MANAGEMENT	
WM-5	SOLID WASTE MANAGEMENT	
WM-9	SANITARY WASTE MANAGEMENT	
WM-6	HAZARDOUS WASTE MANAGEMENT	
TEMPORARY RUNOFF CONTROL BMPs:		
SS-2	PRESERVATION OF EXISTING VEGETATION	~PEV~PEV~
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)	~M~M~M~
SS-4	HYDROSEEDING (SUMMER)	~TSP~TSP~
SS-6 / SS-8	STRAW OR WOOD MULCH	~S/W~S/W~
SS-7	PHYSICAL STABILIZATION (WINTER)	~EBM~EBM~
SS-10	ENERGY DISSIPATOR	
SC-1	SILT FENCE	■ ■ ■
SC-2	SEDIMENT / DESILTING BASIN	
SC-5	FIBER ROLLS	FR FR
SC-6 / SC-8	GRAVEL OR SAND BAGS	○ ○ ○
SC-7	STREET SWEEPING AND VACUUMING	
SC-10	STORM DRAIN INLET PROTECTION	
NS-2	DEWATERING FILTRATION	DW DW
TC-1	STABILIZED CONSTRUCTION ENTRANCE	
TC-2	CONSTRUCTION ROAD STABILIZATION	
TC-3	ENTRANCE / EXIT TIRE WASH	
POST-CONSTRUCTION SITE DESIGN BMPs		
4.3.1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	
4.3.2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	
4.3.3	MINIMIZE IMPERVIOUS AREA	
4.3.4	MINIMIZE SOIL COMPACTION	
4.3.5	IMPERVIOUS AREA DISPERSION	
4.3.6	RUNOFF COLLECTION	
4.3.7	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	
4.3.8	HARVESTING AND USING PRECIPITATION	
POST CONSTRUCTION SOURCE CONTROL BMPs		
4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	
4.2.2	STORM DRAIN STENCILING AND POSTING OF SIGNAGE	
4.2.3	PROTECTED OUTDOOR MATERIALS STORAGE AREAS	
4.2.4	PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS	
4.2.5	PROTECT TRASH STORAGE AREAS	
4.2.6	ADDNL BMPs BASED ON POTENTIAL RUNOFF POLLUTANTS:	
A	ON-SITE STORM DRAIN INLETS	
B	INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SUMPS	
C	INTERIOR PARKING GARAGES	
D	NEED FOR FUTURE INDOOR & STR. PEST CONTROL	
E	LANDSCAPE/OUTDOOR PESTICIDE USE	
F	POOLS, SPAS, PONDS, FOUNTAINS, & WATER FEATURES	
G	FOOD SERVICE	
H	TRASH OR REFUSE AREAS	
I	INDUSTRIAL PROCESSES	
J	OUTDOOR STORAGE OF EQUIP. OR MATERIALS	
K	VEHICLE AND EQUIPMENT CLEANING	
L	VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	
M	FUEL DISPENSING AREAS	
N	LOADING DOCKS	
O	FIRE SPRINKLER TEST WATER	
P	MISCELLANEOUS DRAIN OR WASH WATER	
Q	PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS	

SHEET INDEX

Sheet No.	SHEET NAME
SP-1	SITE PLAN
A1	FLOOR PLAN
A2	ELECTRICAL PLAN
A3	ELEVATIONS - FRONT & BACK
A4	ELEVATIONS - RIGHT & LEFT
A5	ROOF PLAN / TRUSS LAYOUT
A6	SECTIONS
S1	FOUNDATION PLAN
S2	ROOF FRAMING
CS-1	MIN. CONSTRUCTION SPECIFICATIONS

GENERAL CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED COUNTY OF SAN DIEGO AMENDMENTS:

- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

DESIGN BASIS

CONVENTIONAL LIGHT FRAME CONSTRUCTION

ROOF LIVE LOAD: 20 PSF
 ULTIMATE WIND SPEED: 110 MPH
 EXPOSURE CATEGORY: C
 SITE CLASS: D
 RISK CATEGORY: II
 S_{CS}: 1.25
 SEISMIC DESIGN CATEGORY: D₂
 ALLOW SOIL VERTICAL BEARING PRESSURE: 1500 PSF
 ALLOW SOIL LATERAL BEARING PRESSURE: 100 PSF/FT

ENERGY EFFICIENCY SPECIAL FEATURES

SPECIFY AS INDICATED IN CF-1R FORM (TITLE 24):

-
-
-

ENERGY EFFICIENCY HERS VERIFICATION

SPECIFY AS INDICATED IN CF-1R FORM (TITLE 24):

- DUCT SEALING (Y or N)
- REFRIGERANT CHARGE (Y or N)
- COOLING SYSTEM AIRFLOW (Y or N)
- COOLING SYSTEM UNIT FAN EFFICACY (Y or N)
- COOLING SYSTEM SEER AND/OR EER ABOVE MIN. (Y or N)
- WHOLE-BUILDING VENTILATION AIRFLOW (Y or N)
- BUILDING ENVELOPE AIR LEAKAGE (Y or N)
- QUALITY INSULATION INSTALLATION (Y or N)
- OTHER (SPECIFY BELOW)

PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR VERIFICATION. THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF2R FORMS ARE AVAILABLE AT [HTTP://WWW.SDCOUNTY.CA.GOV/PDS/BLDG/ENERGY-STDs.HTML](http://www.sdcountry.ca.gov/PDS/BLDG/ENERGY-STDs.HTML). (CBEEs 10-103)

PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR VERIFICATION. THE CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF3R FORMS ARE AVAILABLE AT [HTTP://WWW.SDCOUNTY.CA.GOV/PDS/BLDG/ENERGY-STDs.HTML](http://www.sdcountry.ca.gov/PDS/BLDG/ENERGY-STDs.HTML). (CBEEs 10-103)

APPROVED BY:

ENGINEER FOR THE COUNTY OR CITY OF SAN DIEGO

DATE

STORM WATER CONTROL NOTES

STORM WATER CONTROL NOTES

EROSION CONTROL RECOMMENDATIONS:

P-4000 PERMA PANEL

GENERAL NOTES

GENERAL NOTES

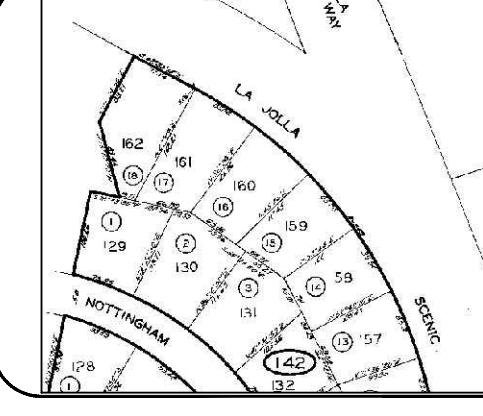
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE COUNTY OF SAN DIEGO SPECIFICATIONS.

THE CONTRACTOR SHALL NOTIFY THE COUNTY OF SAN DIEGO AS SOON AS POSSIBLE OF ANY CHANGES TO THE INTENT OF THE ORIGINAL PLAN.

THE CONTRACTOR SHALL MAINTAIN CONTINUOUS BARRIAGES SPACED AT APPROXIMATELY 50 FOOT INTERVALS, 10 FEET FROM THE EDGE OF THE EXCAVATION OR ELEVATION TO BE CONSTRUCTED. THE BARRIAGES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

THE CONTRACTOR SHALL MAINTAIN CONTINUOUS BARRIAGES SPACED AT APPROXIMATELY 50 FOOT INTERVALS, 10 FEET FROM THE EDGE OF THE EXCAVATION OR ELEVATION TO BE CONSTRUCTED. THE BARRIAGES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

PARCEL MAP



VICINITY MAP



VICINITY MAP	OWNER INFORMATION	CONTACT INFORMATION	PARCEL INFORMATION	PROJECT SCOPE	PERVIOUS AREA INFORMATION	IMPERVIOUS AREA INFORMATION	SHEET TITLE																																			
	<p>ROBERT BOOKSTEIN 8958 LA JOLLA SCENIC DR N. LA JOLLA, CA 92037 (858) 736-6581 EMAIL: ROB.BOOKSTEIN@GMAIL.COM</p>	<p>ROBERT BOOKSTEIN 8958 LA JOLLA SCENIC DR N. LA JOLLA, CA 92037 (858) 736-6581 EMAIL: ROB.BOOKSTEIN@GMAIL.COM</p>	<p>APN: 344-142-16-00</p> <p>SITE ADDRESS: 8958 LA JOLLA SCENIC DR N. LA JOLLA, CA 92037</p> <p>PROPERTY CONNECTED TO THE ELECTRICAL GRID (Y or N)</p> <p>PROPERTY SERVICED BY PROPANE (Y or N) IF YES, SHOW TANK ON PLOT PLAN</p> <p>PROPERTY SERVICED BY NATURAL GAS (Y or N)</p> <p>ENTIRE LOT IS FUEL MODIFIED (Y or N) IF NO, DIMENSION 100' FUEL MODIFICATION ZONE</p>	<p>PROPOSED 830 SF DETACHED ACCESSORY DWELLING UNIT</p>	<p>PERVIOUS SURFACE AREA TABLE</p> <table border="1"> <thead> <tr> <th>SITE ID</th> <th>PERVIOUS ITEM</th> <th>DIMENSIONS</th> <th>AREA (sf)</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>PERVIOUS ELEMENT MANUFACTURER: _____ PERVIOUS ELEMENT SLOPE AND DIRECTION OF SLOPE: _____ MAINTENANCE PROGRAM: _____ PERVIOUS ELEMENT CROSS SECTION LOCATED IN SHEET: _____</p> <p>CONSTRUCTED PERVIOUS SURFACES SHALL NOT BE SEALED</p>	SITE ID	PERVIOUS ITEM	DIMENSIONS	AREA (sf)	NOTES						<p>IMPERVIOUS SURFACE AREA TABLE</p> <table border="1"> <thead> <tr> <th>SITE ID</th> <th>IMPERVIOUS ITEM</th> <th>DIMENSIONS</th> <th>NEW OR REPLACED AREA (sf)</th> <th>EXISTING AREA (sf)</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ADU + OVERHANGS</td> <td>43'-0" x 34'-0"</td> <td>1462 SF</td> <td> </td> </tr> <tr> <td>2</td> <td>SFD</td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td>3</td> <td>DRIVEWAY</td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td>4</td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>LAND DISTURBANCE: _____ SF</p>	SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)	1	ADU + OVERHANGS	43'-0" x 34'-0"	1462 SF		2	SFD				3	DRIVEWAY				4					<p>SITE PLAN</p> <p>SHEET NUMBER</p> <p>SP-1</p>
SITE ID	PERVIOUS ITEM	DIMENSIONS	AREA (sf)	NOTES																																						
SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)																																						
1	ADU + OVERHANGS	43'-0" x 34'-0"	1462 SF																																							
2	SFD																																									
3	DRIVEWAY																																									
4																																										

ELECTRICAL LEGEND

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / CO DETECTOR INTERCONNECTED SO ANY ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL. PROVIDE UPPER GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN. WIRE SWITCH/LIGHT SEPARATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 3-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3-WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET (EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		

ELECTRICAL NOTES

PLAN DESIGN NOTES
 ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH ES TABLE 150.0-A. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR CLOSETS UNDER 70 SQUARE FEET. RECESSED CAN LIGHT HIGH EFFICACY FIXTURES SHALL BE IC LISTED, AIR-TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SHELL LAMP HOLDER. ES 150.0(K) LIGHT SOURCES THAT ARE NOT MARKED "JAS-2016-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES. ES 150.0(K) OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO A BUILDING ARE REQUIRED TO BE HIGH EFFICACY. BE MANUALLY ON/OFF SWITCH CONTROLLED AND HAVE BOTH MOTION SENSOR AND PHOTOCELL CONTROL. SEE ES 150.0(K) 3 FOR ADDITIONAL CONTROL OPTIONS. ELECTRIC VEHICLE CHARGING: NOTE ON THE PLANS THAT ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) ROUGH-IN ONLY IS REQUIRED IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. THE EVSE ROUGH-IN CONSISTS OF A MINIMUM 1" CONDUIT EXTENDING FROM THE MAIN PANEL TO A JUNCTION BOX WHERE THE EVSE RECEPTACLE BOX WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE A FUTURE 200/240 VOLT 40 AMPERE DEDICATED BRANCH CIRCUIT. CALIFORNIA GREEN CODE 4.10.6A. CURRENTLY THERE IS NO PMA SCHEDULE AND/OR LOAD CALCULATION PROVIDED TO CONFIRM COMPLIANCE.

MANDATORY (CBES 150.0(K)) - PROVIDE ON UTILITY PLANS A COMPLETE LIGHTING FIXTURE SCHEDULE. - ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBES TABLE 150.0-A - ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED JAS-2016 AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERT/APPLIANCESEARCH.ASPX](https://cacert.appliances.energy.ca.gov/PAGES/APPLIANCESEARCH.ASPX) - ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED JAS-2016-E AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERT/APPLIANCESEARCH.ASPX](https://cacert.appliances.energy.ca.gov/PAGES/APPLIANCESEARCH.ASPX) - RECESSED DOWNLIGHT LUMINAIRES IN CEILING SHALL NOT BE SCREW-BASED. - BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR. - ALL LUMINAIRES REQUIRING JAS-2016 OR JAS-2016-E MARKING SHALL BE CONTROLLED BY A DIMMER OR PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL. - ASTRONOMICAL TIME CLOCK.

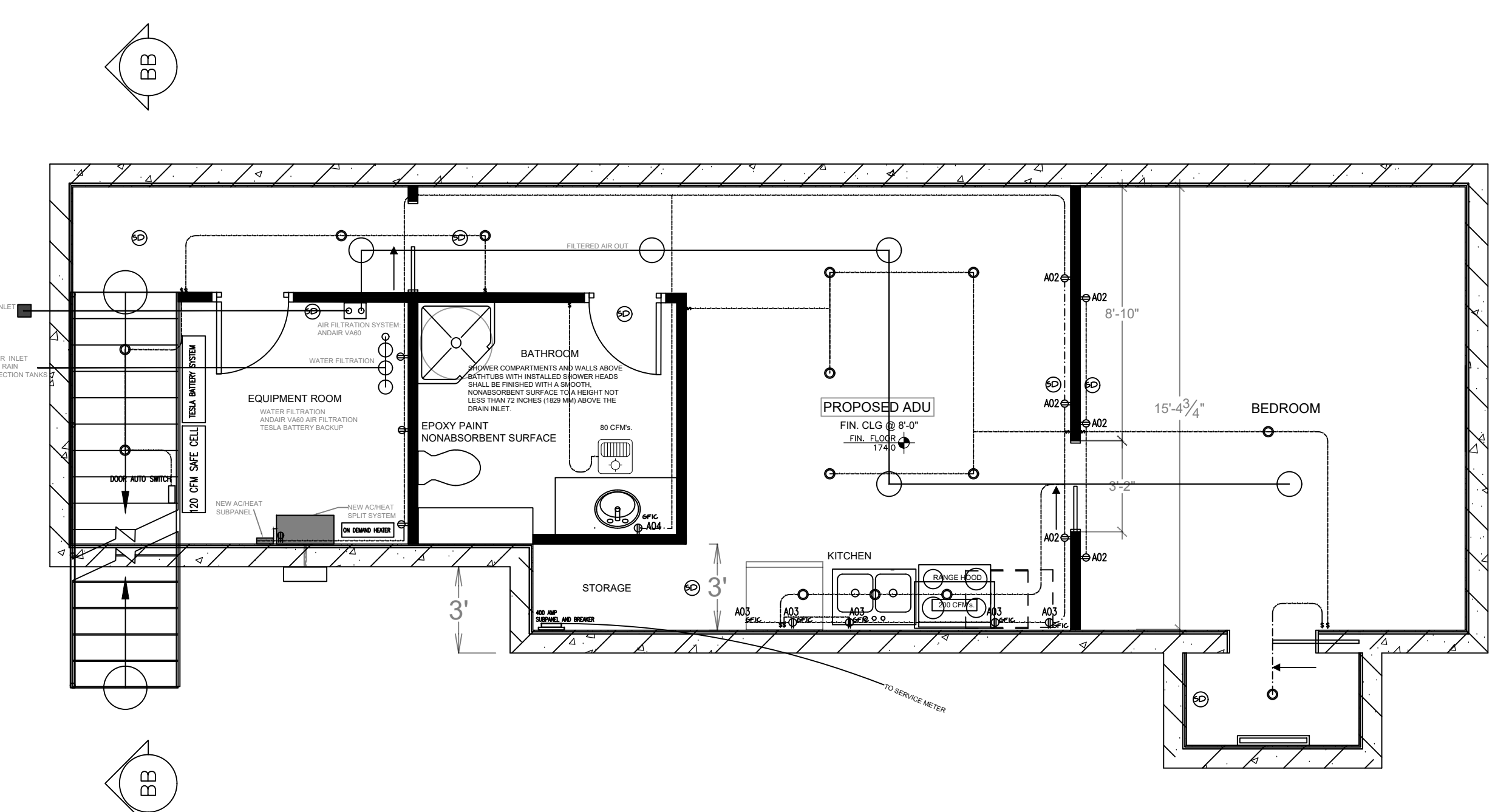
PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS IN DWELLING AS DESCRIBED IN CEC 210.52

ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(D): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.

GAS FIRED TANKLESS WATER HEATER - THERMOPERFORMANCE PLATINUM 8.5 GPM LPG HIGH EFFICIENCY OUTDOOR TANKLESS WATER HEATER ECD000R00-2 OR EQ.

EQUIPMENT LIST

ABC AIR FILTRATION SYSTEM: ANDAR V40 (F40) - 12X 8X10 COOLING + HEATING - LPAS WALL MOUNTED AIR CONDITIONING SYSTEM - 20.0 SEER MODEL: 12LP4ST1
 WATER FILTRATION: DOW-WAG NM-10SC-105A
 WATER HEATER: TESLA TANKLESS WATER - TEMPERA 12 PLUS - ELECTRIC, ON DEMAND HOT WATER
 STORAGE BATTERIES: TESLA POWERWALL OR COMPARABLE, X 2



FIRST LEVEL - ELECTRICAL AND EQUIPMENT PLAN GRAPHIC SCALE 3/8" = 1'-0"

UTILITY PLAN NOTES

- LOCAL EXHAUST FANS TO EXTERIOR TO PROVIDE MINIMUM 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
- SMOKE DETECTORS TO BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
- CARBON MONOXIDE ALARMS TO BE INTERCONNECTED PER CRC R315.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
- 4" Ø DRYER VENT WITH MAXIMUM 14 FOOT COMBINED HORIZONTAL AND VERTICAL LENGTH WITH TWO 90 DEGREE ELBOWS.
- A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
- WATER HEATER OR FURNACE SHALL BE A DIRECT-VENT APPLIANCE
- LISTED GASKETED SELF CLOSING DOOR REQUIRED FOR GAS FAU

LIGHTING PLAN NOTES

- ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBES TABLE 150.0-A
- ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED "JAS-2016" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERT/APPLIANCESEARCH.ASPX](https://cacert.appliances.energy.ca.gov/PAGES/APPLIANCESEARCH.ASPX)
- ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED "JAS-2016-E" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERT/APPLIANCESEARCH.ASPX](https://cacert.appliances.energy.ca.gov/PAGES/APPLIANCESEARCH.ASPX)
- RECESSED DOWNLIGHT LUMINAIRES IN CEILING SHALL NOT BE SCREW-BASED
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
- ALL LUMINAIRES REQUIRING "JAS-2016" OR "JAS-2016-E" MARKING SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR
 EXCEPTION: CLOSETS LESS THAN 70 S.F. & HALLWAYS
- OUTDOOR LIGHTING PERMANENTLY MOUNTED TO BUILDINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING:
 - PHOTOCONTROL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM PER CBES 150.0(K)3A11C

SOLAR READY KEY NOTES

- THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC"
- APPROVED MINIMUM 4-INCH SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICAL OF MAIN ELECTRICAL SERVICE PANEL
- MINIMUM 1 INCH DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX
- MINIMUM 1 INCH DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL
- ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC"

PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00

SHEET TITLE

ELECTRICAL PLAN

	CLIENT REVIEW	3/11/2022
	A.R.S.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
	REVISION	
	DATE	

ADVANCED DEVELOPMENT
 RESIDENTIAL COMMERCIAL INDUSTRIAL

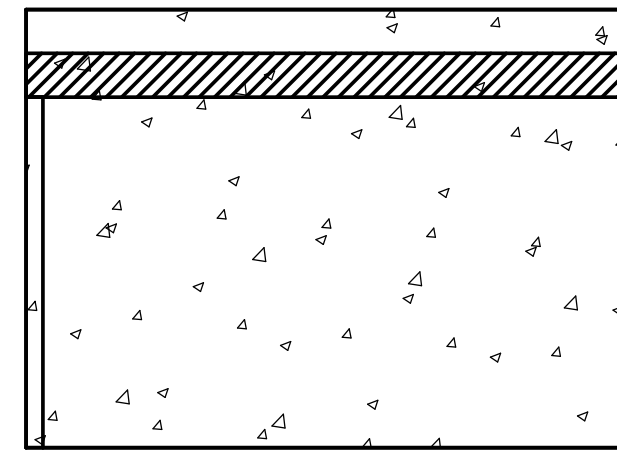
7877 BRASARD AVE. SUITE 106
 LA JOLLA, CA 92037
 (619) 367-9089
 WWW.ADVANCEDDEVELOPMENT.COM

License# 906615

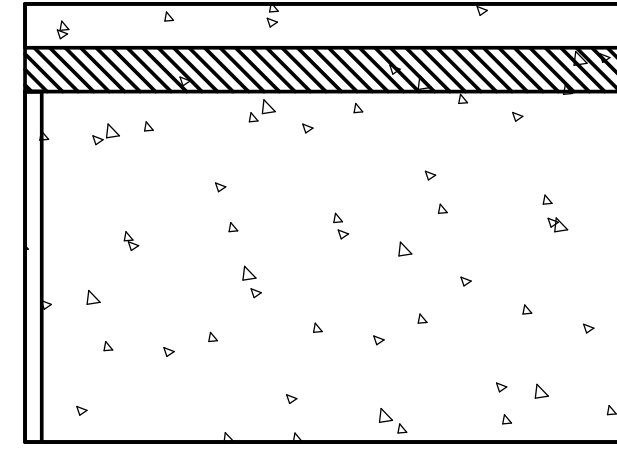
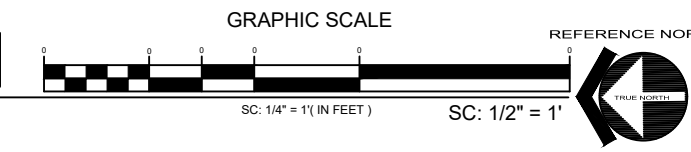
Project	39453018	Sheet	
Date	02/2022	A2	
Scale			

EXTERIOR FINISH LEGEND

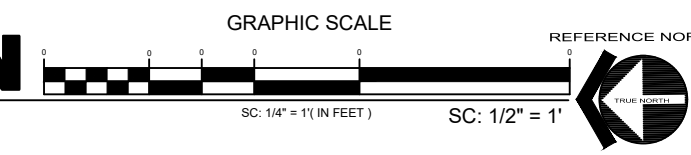
1.) EXTERIOR WALL-POUR IN PLACE CONCRETE



EAST ELEVATION

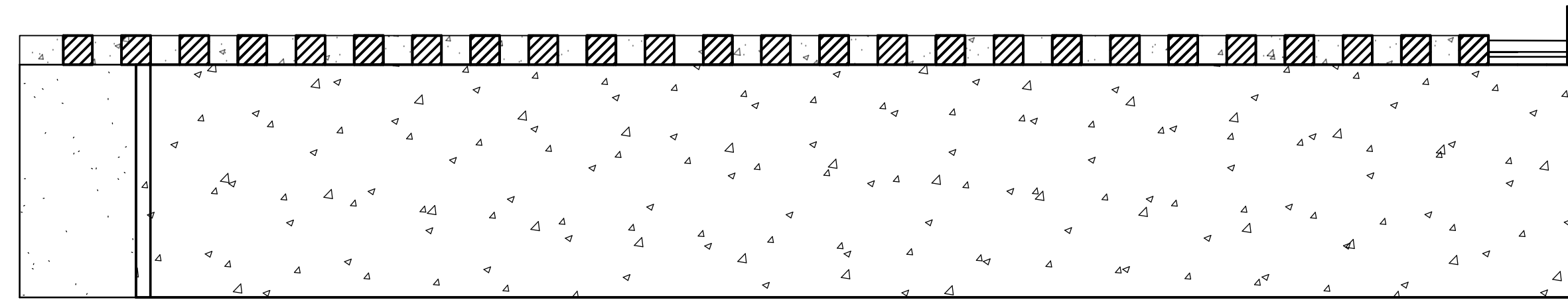


WEST ELEVATION

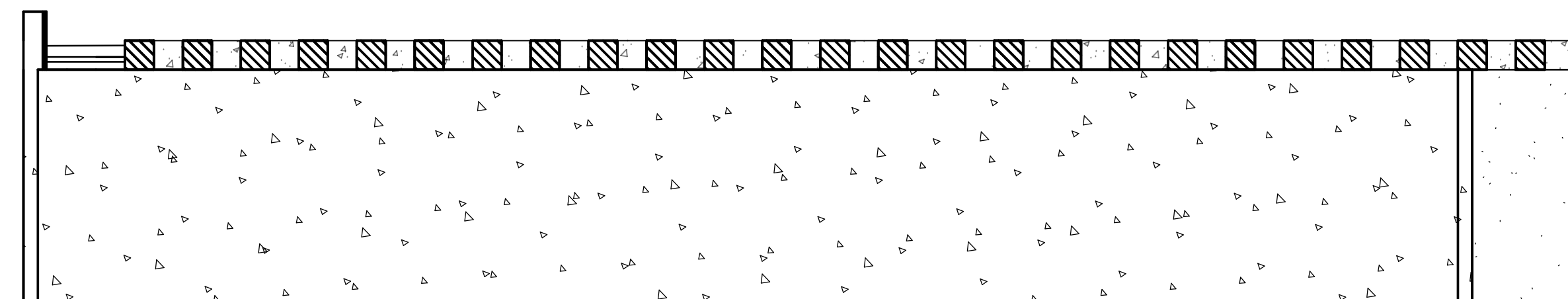
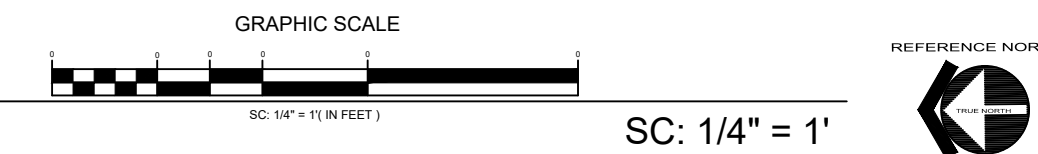


EXTERIOR FINISH LEGEND

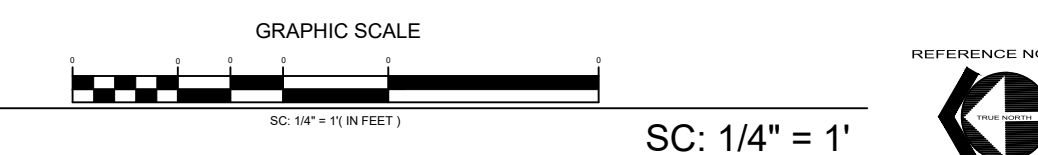
1.) EXTERIOR WALL-POUR IN PLACE CONCRETE



NORTH ELEVATION



SOUTH ELEVATION



ELEVATIONS

1/2" = 1'-0"

ELEVATION KEY NOTES

1. ROOF: CLASS 'A' FIRE RATING -
ROOF MATERIAL: _____
UNDERLAYMENT: _____
LISTING REPORT #: _____
2. EXTERIOR WALL FINISH: _____ (SEE NOTE 7 BELOW)
3. ROOF PITCH: 4:12
4. RADIANT BARRIER IS REQUIRED
5. GABLE VENT (SEE NOTE 5 & 6 BELOW)
MANUFACTURER: _____
MODEL: _____
NFVA: _____ (MIN 115 in²)
6. EAVE VENT (SEE NOTE 5 & 6 BELOW)
MANUFACTURER: _____
MODEL: _____
NFVA: _____ (MIN 36 in²)

WILDFIRE ZONE PLAN NOTES

1. IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, SPECIFY ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVES ENDS.
 - a. FIRE-STOPPING WITH APPROVED MATERIALS
 - b. ONE LAYER OF 72 POUND (32.4 KG) MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909 INSTALLED OVER THE COMBUSTIBLE DECKING
 - c. OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS
2. EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
3. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
4. SKYLIGHTS SHALL BE TEMPERED GLASS.
5. ALL VENTS (ROOF, FOUNDATION, COMBUSTION-AIR, ETC) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS
6. VENTILATION OPENINGS FOR ENCLOSED ATTICS, EAWE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, UNDERFLOOR VENTILATION OPENINGS, AND VENT OPENINGS IN EXTERIOR WALLS AND EXTERIOR DOORS SHALL BE LISTED TO ASTM E 2886 AND COMPLY WITH ALL OF THE FOLLOWING:
 - a. THERE SHALL BE NO FLAMING IGNITION OF THE COTTON MATERIAL DURING THE EMBER INTRUSION TEST
 - b. THERE SHALL BE NO FLAMING IGNITION DURING THE INTEGRITY TEST PORTION OF THE FLAME INTRUSION TEST
 - c. THE MAXIMUM TEMPERATURE OF THE UNEXPOSED SIDE OF THE VENT SHALL NOT EXCEED 662 DEGREES FAHRENHEIT (350 DEGREES CELSIUS)
7. EXTERIOR WALL FINISH SHALL COMPLY WITH ONE OF THE FOLLOWING:
 - a. NON-COMBUSTIBLE MATERIAL (STUCCO, CEMENT FIBER BOARD, ETC)
 - STUCCO AND CEMENT PLASTER USED AS AN EXTERIOR WALL COVERING SHALL BE 7/8-INCH THICK
 - NONCOMBUSTIBLE OR FIRE-RETARDANT-TREATED WOOD SHAKE USED AS AN EXTERIOR WALL COVERING SHALL HAVE AN UNDERLAYMENT OF MINIMUM 1/2-INCH FIRE-RATED GYPSUM SHEATHING THAT IS TIGHTLY BUTTED, OR TAPED AND MUDDED, OR AN UNDERLAYMENT OF OTHER IGNITION-RESISTANT MATERIAL APPROVED BY THE BUILDING OFFICIAL.
 - b. IGNITION-RESISTANT MATERIAL
8. PATIO COVER, CARPORT AND TRELLIS CONSTRUCTION WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH ANY OF THE FOLLOWING:
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 2X TONGUE-AND-GROOVE SHEATHING, 4X6 RAFTERS/BEAMS, 6X6 POSTS)
9. DECK, BALCONY, AND EXTERIOR STAIR CONSTRUCTION, WITH ALL EXPOSED ELEMENTS SHALL COMPLY WITH THE FOLLOWING:
 - a. FRAMING
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - MODIFIED HEAVY TIMBER (MIN 4X8 JOISTS, 4X10 OR 6X8 BEAMS, 6X6 POSTS)
 - b. DECKING AND TREAD MATERIAL (ANY OF THE FOLLOWING):
 - NON-COMBUSTIBLE MATERIAL
 - 1-HOUR FIRE-RESISTANT-RATED MATERIAL
 - APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - APPROVED ALTERNATIVE DECKING MATERIAL MEETING TESTS REQUIREMENTS OF COUNTY BUILDING CODE 92.1.709A.1.4)
10. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS
 - a. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4
 - b. DOOR OVERLAPS ONTO JAMBS AND HEADERS
 - c. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
11. PAPER-FACED INSULATION PROHIBITED IN ATTICS OR OTHER VENTILATED SPACES.
12. FENCES OR ANY STRUCTURE WITHIN 5 FEET OF BUILDING SHALL BE CONSTRUCTED PER ONE OF THE FOLLOWING:
 - a. NON-COMBUSTIBLE MATERIAL
 - b. APPROVED EXTERIOR FIRE-RETARDANT TREATED WOOD
 - c. MATERIAL MEETING SAME FIRE-RESISTIVE STANDARDS AS EXTERIOR WALLS OF BUILDINGS

Project Name and Address

**PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00**

SHEET TITLE
ELEVATIONS

Symbol	CLIENT REVIEW	3/11/2022
▲	CLIENT REVIEW	3/11/2022
▲	APR.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		
No.	Revised/Issue	Date

ADVANCED DEVELOPMENT
RESIDENTIAL COMMERCIAL INDUSTRIAL

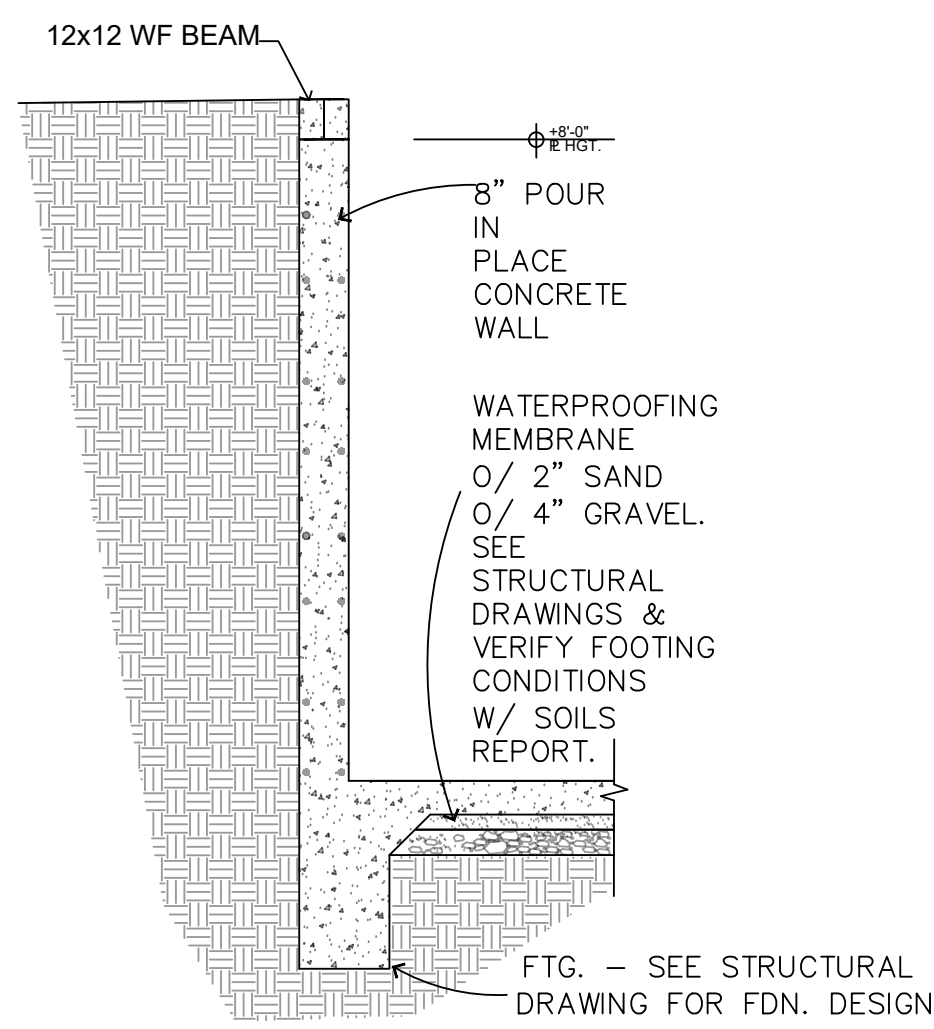


7877 BROAD AVE SUITE 106
LA JOLLA, CA 92037 License# 906815
(858) 367-9085
WWW.ADVANCEDDEVELOPMENT.COM

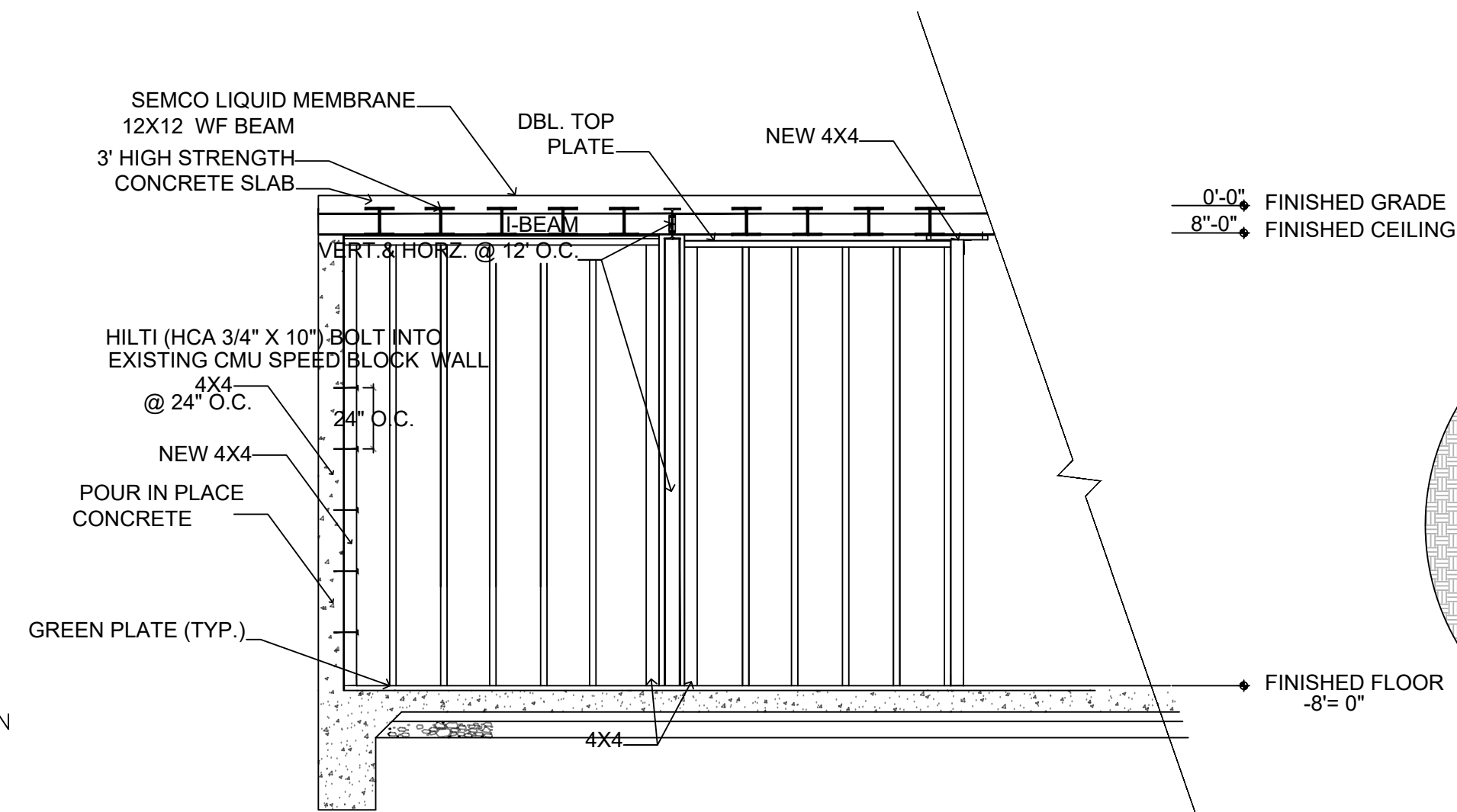
Project	39453018	Sheet	
Date	02/2022	A3	
Scale			

SECTION KEY NOTES

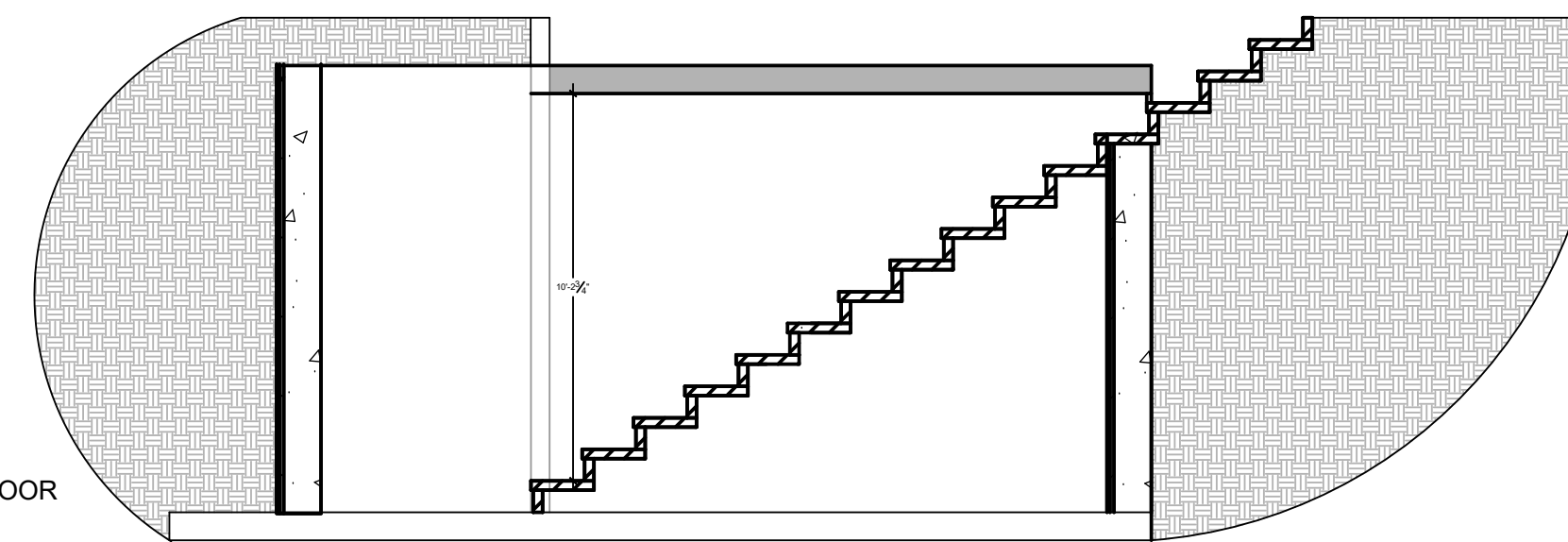
1. WALL INSULATION: _____
2. CEILING INSULATION: _____
3. ROOF (TOP CHORD) INSULATION: _____
4. INTERIOR FINISH: ½" GYPSUM BOARD
5. EXTERIOR WALL/PLUMBING WALL: 2X6 STUD WALL
6. INTERIOR WALL: 2X4 STUD WALL
7. RADIANT BARRIER IS REQUIRED
8. CLIMATE ZONE 14 PROJECT (Y or N) if yes, see below:
 A CLASS I OR II VAPOR RETARDER SHALL BE INSTALLED ON THE CONDITIONED SPACE SIDE OF ALL INSULATION IN ALL EXTERIOR WALLS AND VENTED ATTICS
9. MANUFACTURED TRUSSES



TYPICAL WALL SECTION
NTS



SECTION AA



SECTION BB

Project Name and Address

**PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00**

SECTIONS

No.	Revision/Issue	Date
▲	CLIENT REVIEW	3/11/2022
▲	AJLB	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		

ADVANCED DEVELOPMENT
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BIRDWOOD AVE SUITE 106
LA JOLLA, CA 92037 License# 906615
(858) 567-9088
WWW.ADVANCEDDEVELOPMENT.COM



SCAN ME

Project 39453018

Date 02/2022

Scale

A6

SECTIONS
1/2" = 1'-0"

GENERAL ELECTRICAL NOTES

Table with 2 columns: #, DESCRIPTION. Contains 33 numbered notes regarding electrical work, materials, and safety.

GENERAL ELECTRICAL NOTES

Table with 2 columns: #, DESCRIPTION. Contains 33 numbered notes regarding electrical work, materials, and safety.

ELECTRICAL LEGEND

Table with 2 columns: SYMBOL, DESCRIPTION. Lists various electrical symbols and their corresponding components like switches, outlets, and receptacles.

WIRE SCHEDULE AND NOTES

Table with columns: LOAD PER PH (KVA), WIRE SIZE (AWG), MAXIMUM LENGTH OF BRANCH CIRCUIT PER UTILIZATION VOLTAGE, NOTES AND REMARKS. Lists wire sizes and lengths for different load categories.

ABBREVIATIONS AND TAGS

Table with 4 columns: ABB., DESCRIPTION, ABB., DESCRIPTION. Lists abbreviations for electrical components like water heaters, transformers, and ground fault interrupters.

SHEET INDEX

Table with 2 columns: ELECTRICAL DRAWINGS, E0 - COVER, E1.0 - FLOOR PLANS, LIGHTING. Lists the sheets included in the drawing set.

NOTE: NOT ALL OF THE PAGES ARE NECESSARILY USED IN THIS WORK.

NOTE: NOT ALL OF THE PAGES ARE NECESSARILY USED IN THIS WORK. LEGEND NOTES: 1. MOUNTING HEIGHT INDICATED ARE AFF TO CENTER OF PLATE. IN CASE OF CONFLICT, GENERAL NOTES #1 & #2 SHALL PREVAIL. 2. NOT ALL SYMBOLS AND ABBREVIATIONS ARE NECESSARILY USED IN THIS PROJECT.

PLAN DESIGN NOTES

PLAN DESIGN NOTES. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH ES TABLE 150.0-A. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE DIMMER OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR CLOSETS UNDER 70 SQUARE FEET. RECESSED CAN LIGHT HIGH EFFICIENCY FIXTURES SHALL BE IC LISTED, AIR-TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SHELL LAMP (E17).

SPECIFIC PLAN NOTES

SPECIFIC PLAN NOTES. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH ES TABLE 150.0-A. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE DIMMER OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR CLOSETS UNDER 70 SQUARE FEET. RECESSED CAN LIGHT HIGH EFFICIENCY FIXTURES SHALL BE IC LISTED, AIR-TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SHELL LAMP (E17).

Project Name and Address: PROPOSED ADU FOR ROBERT BOOKSTEIN, 8958 LA JOLLA SCENIC DR N. LA JOLLA, CA 92037 (APN): 344-142-16-00. SHEET TITLE: STRUCTURAL COVER SHEET. Includes a revision table and project information.

D

D

C

C

B

B

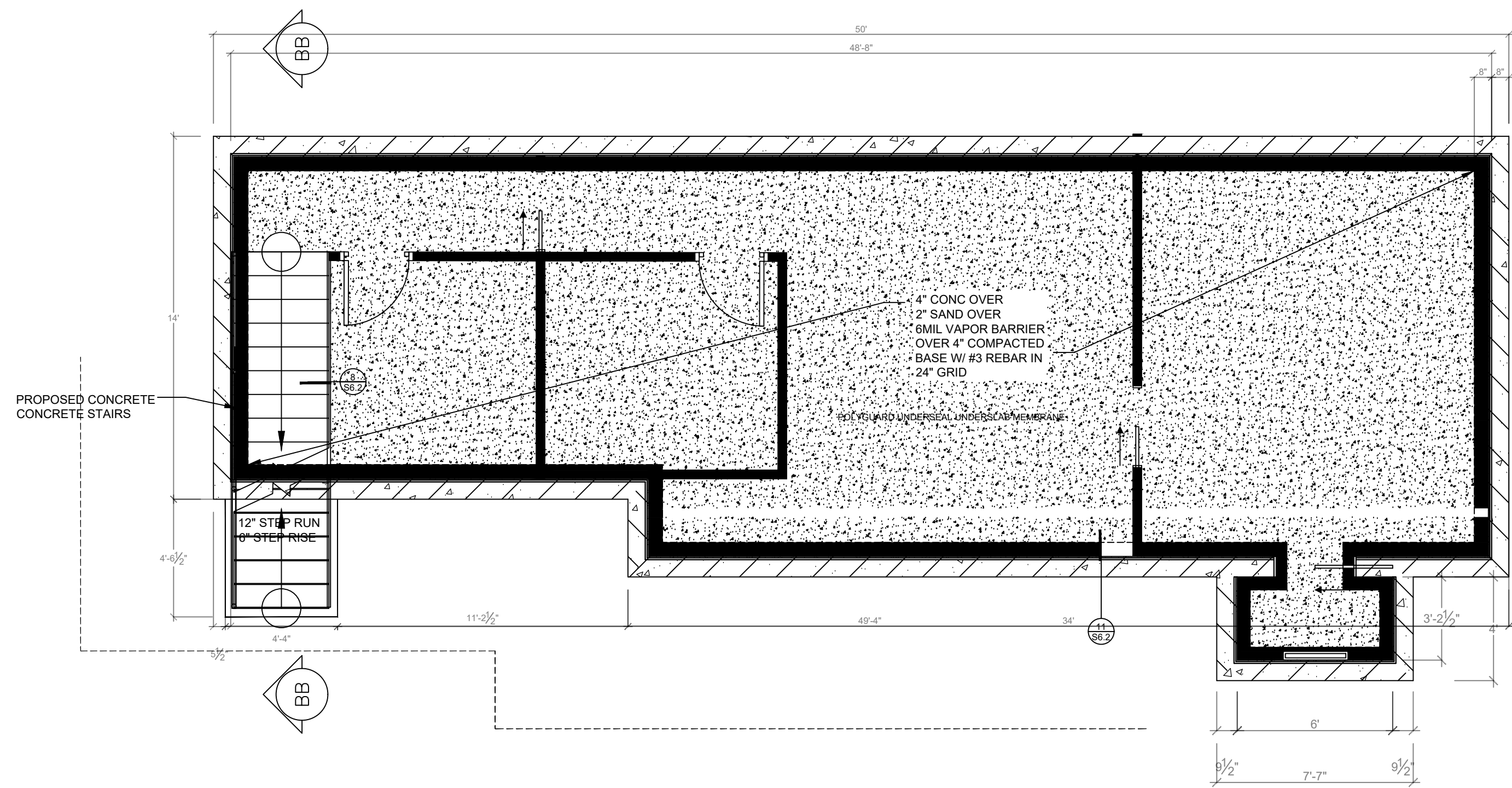
A

A

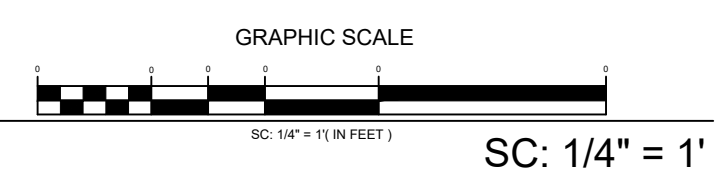


78777 BIRARD AVE SUITE 106 LA JOLLA, CA 92037 (657) 367-9083 WWW.ADVANCEDDEVELOPMENT.NET

Project Information Table: Project: 39453018, Date: 02/2022, Scale: SCO.

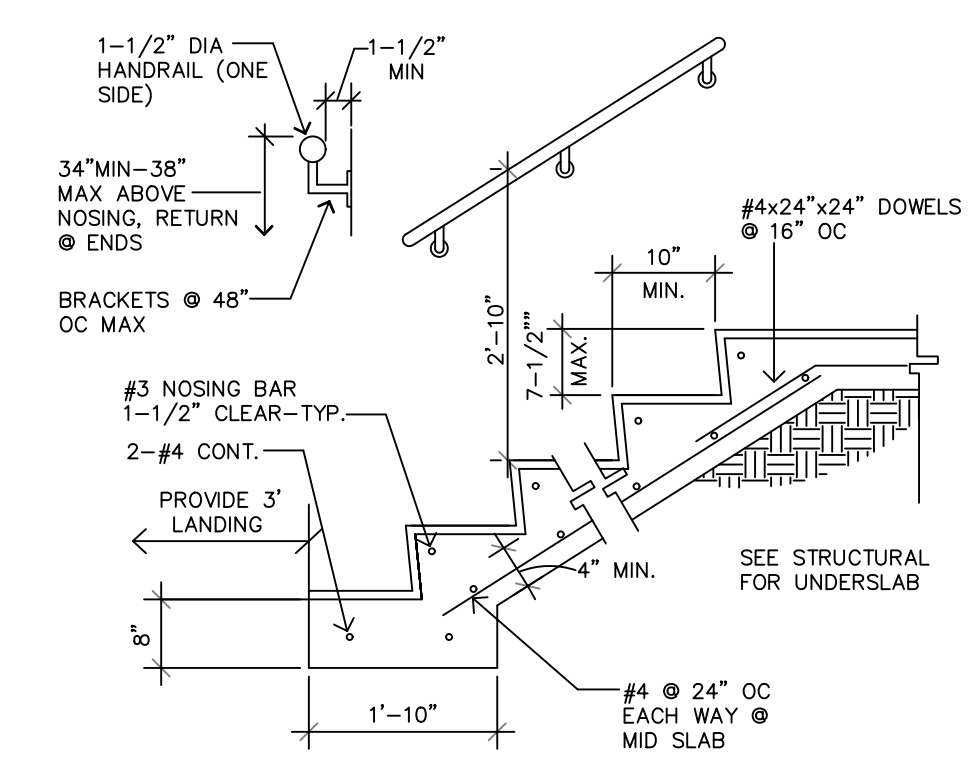


FIRST LEVEL-FOUNDATION PLAN



LEGEND

BRACED WALL LINE



**CONCRETE STAIR
DETAIL 1
(NTS)**

**DETAIL 2
(NTS)**

FOUNDATION PLAN NOTES

1. ALL ANCHORS BOLTS SHALL BE $\frac{3}{8}$ " DIAMETER AND HAVE A MINIMUM EMBEDMENT OF 7 INCHES INTO CONCRETE (UNO) AND NOT SPACED MORE THAN 6 FEET APART
2. 3"x3"x0.229" PLATE WASHERS SHALL BE USED ON EACH SILL PLATE ANCHOR BOLT
3. FOR STANDARD CUT WASHERS PLACED BETWEEN PLATE WASHER AND NUT, HOLE IN PLATE WASHER MAY BE DIAGONALLY SLOTTED WITH MAXIMUM $\frac{3}{8}$ " LARGER WIDTH THAN BOLT DIAMETER AND MAXIMUM 1-3/4" SLOT LENGTH
4. PROVIDE A MINIMUM OF TWO ANCHOR BOLTS PER SILL PLATE WITH ONE BOLT LOCATED MAXIMUM 12" AND MINIMUM 7 BOLT DIAMETERS FROM EACH END OF EACH SECTION.
5. BOLTS LOCATED IN THE MIDDLE THIRD OF THE SILL PLATE WIDTH
6. FASTENERS FOR PRESSURE-PRESERVATIVE TREATED AND FIRE RETARDANT TREATED WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED, STAINLESS STEEL OR COPPER
7. NO LPG PIPING ASSEMBLIES ALLOWED IN OR BENEATH SLABS WITHIN THE STRUCTURE

FOUNDATION PLAN
3/8" = 1'-0"

PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00

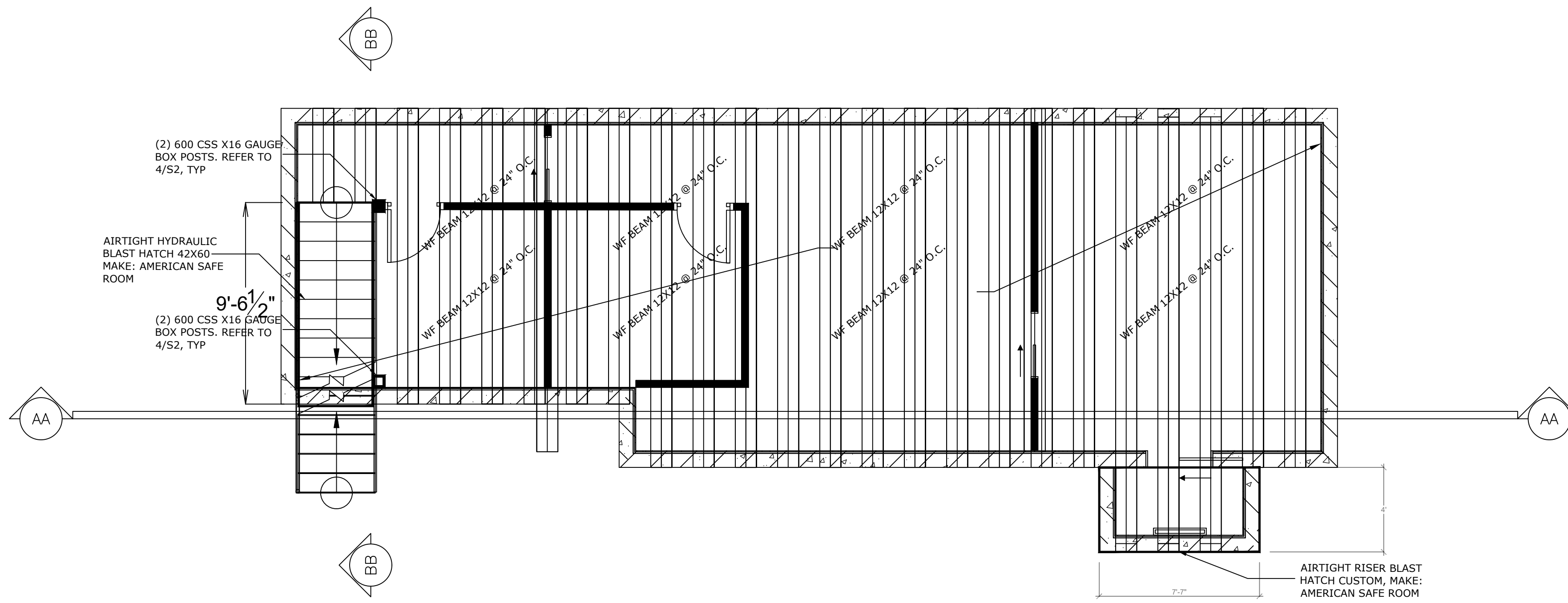
REVISIONS		
No.	Revised/Issue	Date

ADVANCED DEVELOPMENT
RESIDENTIAL COMMERCIAL INDUSTRIAL

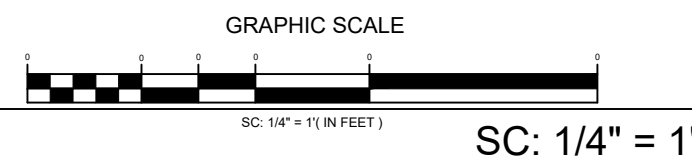
7877 BIRCH AVE SUITE 106
LA JOLLA, CA 92037
(858) 567-9888
WWW.ADVANCEDDEVELOPMENT.COM

License# 906615

Project	39453018	Sheet	S1
Date	02/2022	Scale	
Scale			



ROOF FRAMING PLAN



SC: 1/4" = 1'

LEGEND

BRACED WALL LINE

ROOF FRAMING PLAN
3/8" = 1'-0"

DETAIL 1
(NTS)

DETAIL 4
(NTS)

DETAIL 2
(NTS)

DETAIL 5
(NTS)

DETAIL 3
(NTS)

PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00

Project Name and Address

ROOF FRAMING

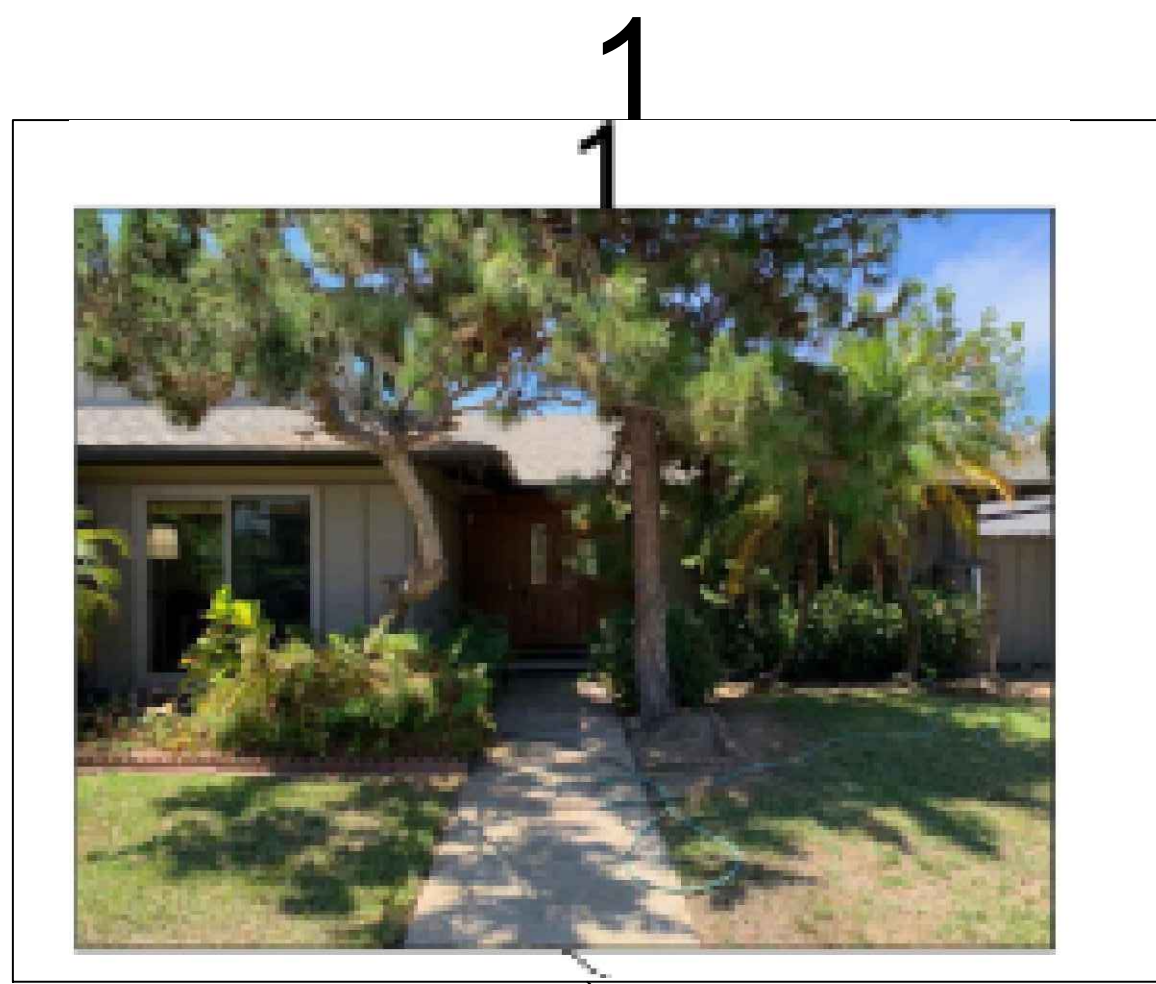
No.	Revisions/Issues	Date
1	CLIENT REVIEW	3/11/2022
2	A.J.R.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

ADVANCED DEVELOPMENT
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GRAND AVE. SUITE 106
LA JOLLA, CA 92037
(858) 267-2083
WWW.ADVANCEDDEVELOPMENT.COM

License# 905815

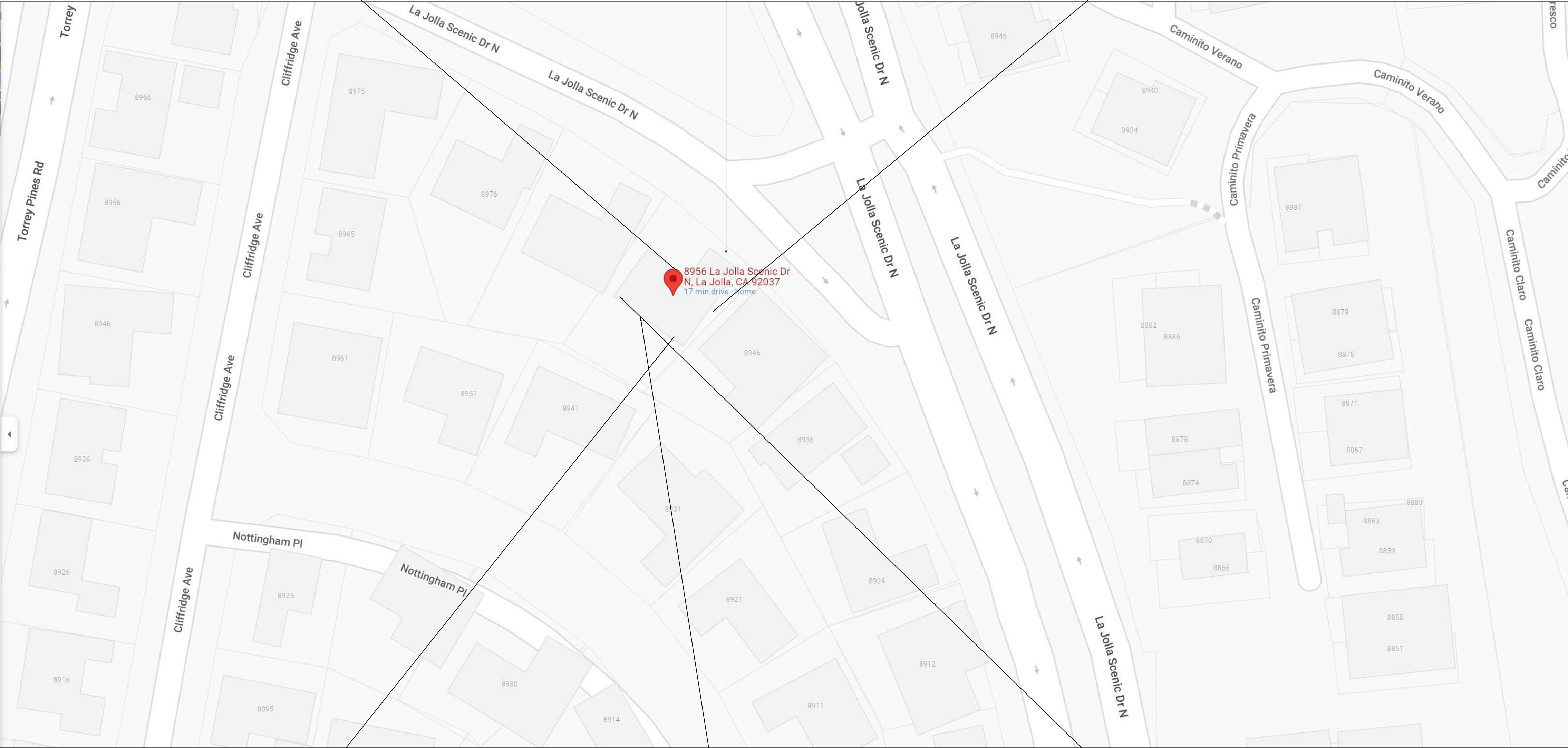
Project	39453018	Sheet	S2
Date	02/2022		
Scale			



8956 La Jolla Scenic Dr N
Building

- Directions
- Save
- Nearby
- Send to phone
- Share

- You visited in March
- 8956 La Jolla Scenic Dr N, La Jolla, CA 92037
- Suggest an edit on 8956 La Jolla Scenic Dr N
- Add a missing place
- Add your business
- Add a label



PROPOSED ADU FOR ROBERT BOOKSTEIN
8958 LA JOLLA SCENIC DR N. LA JOLLA,
CA 92037 (APN): 344-142-16-00

PHOTOGRAPHIC SURVEY

	CLIENT REVIEW	3/11/2022
	A.A.L.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

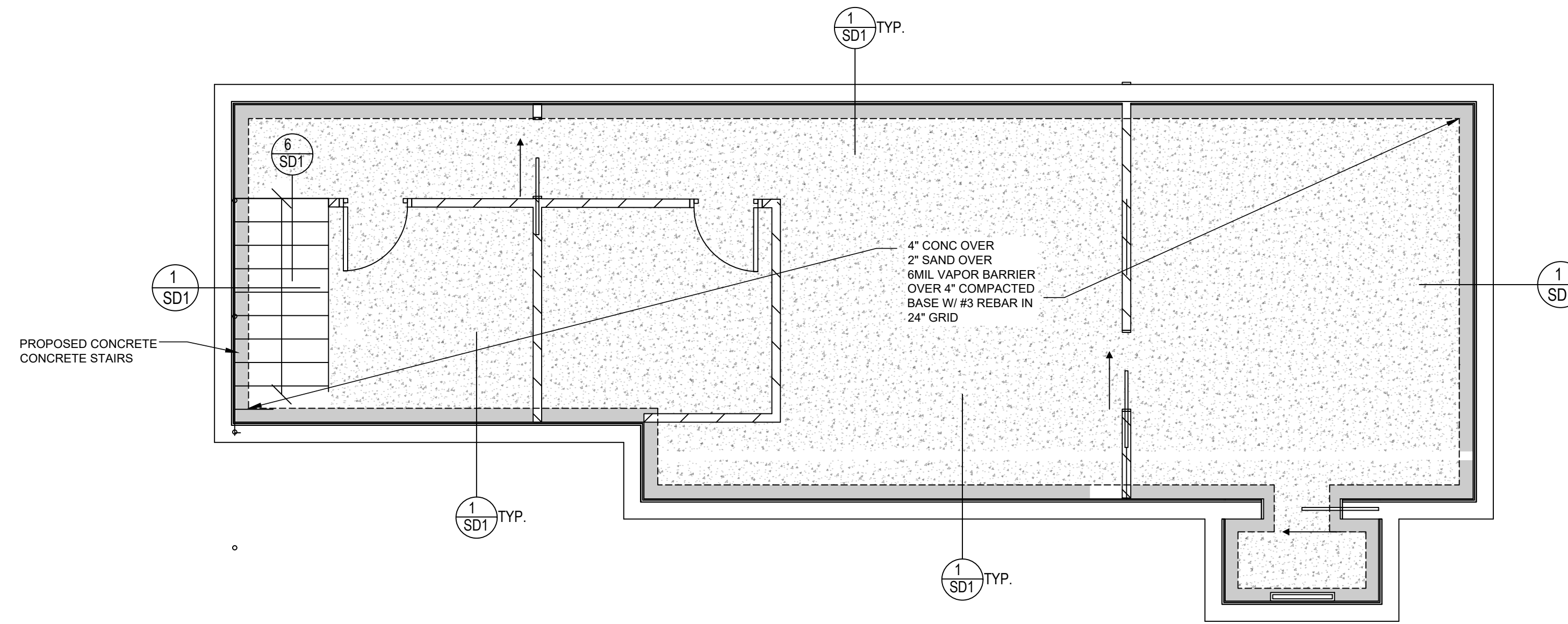
ADVANCED DEVELOPMENT
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BRARD AVE SUITE 106
 LA JOLLA, CA 92037
 (651) 367-9083
 WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

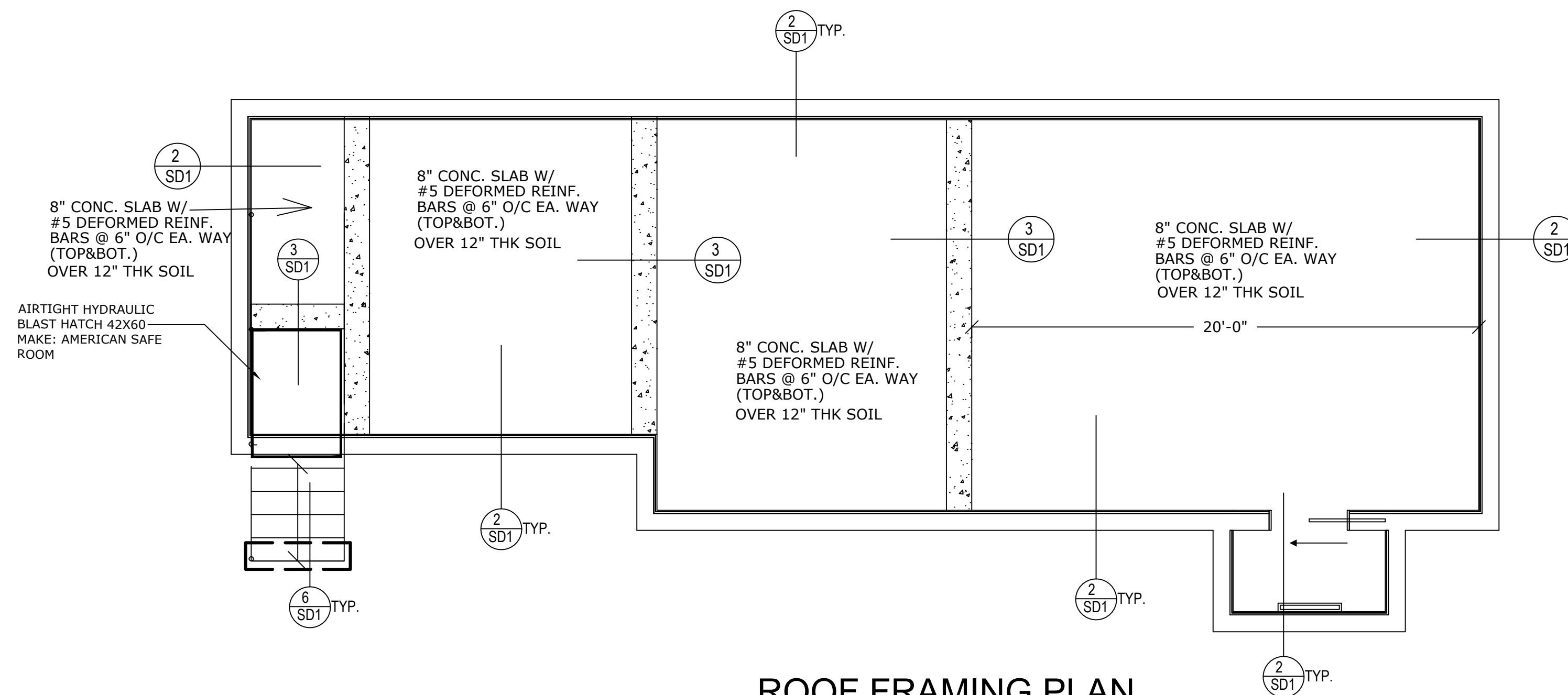
Project: 39453018
 Date: 02/2022
 Scale:

Sheet: **PS1**



FOUNDATION PLAN

SCALE: 1/4" = 1'



ROOF FRAMING PLAN

SCALE: 1/4" = 1'

Stamp:



REVISIONS:

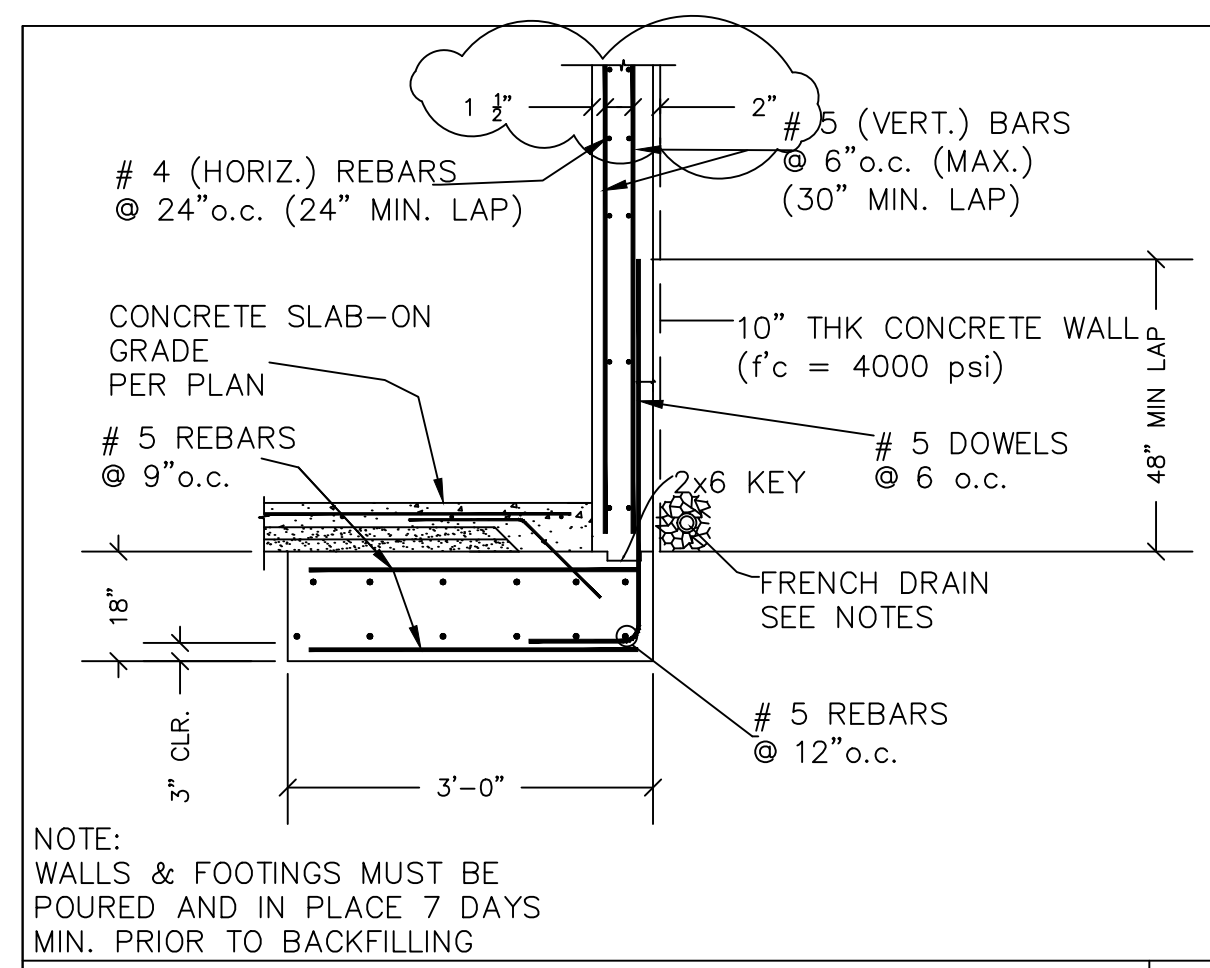
MARK	DATE	DES.	BY:

DRAWN BY: M.R.
DESIGN BY: M.R.
CHECK BY: M.R.

DATE: 06-20-2023

TITLE:
FOUNDATION PLAN

PAGE NO:

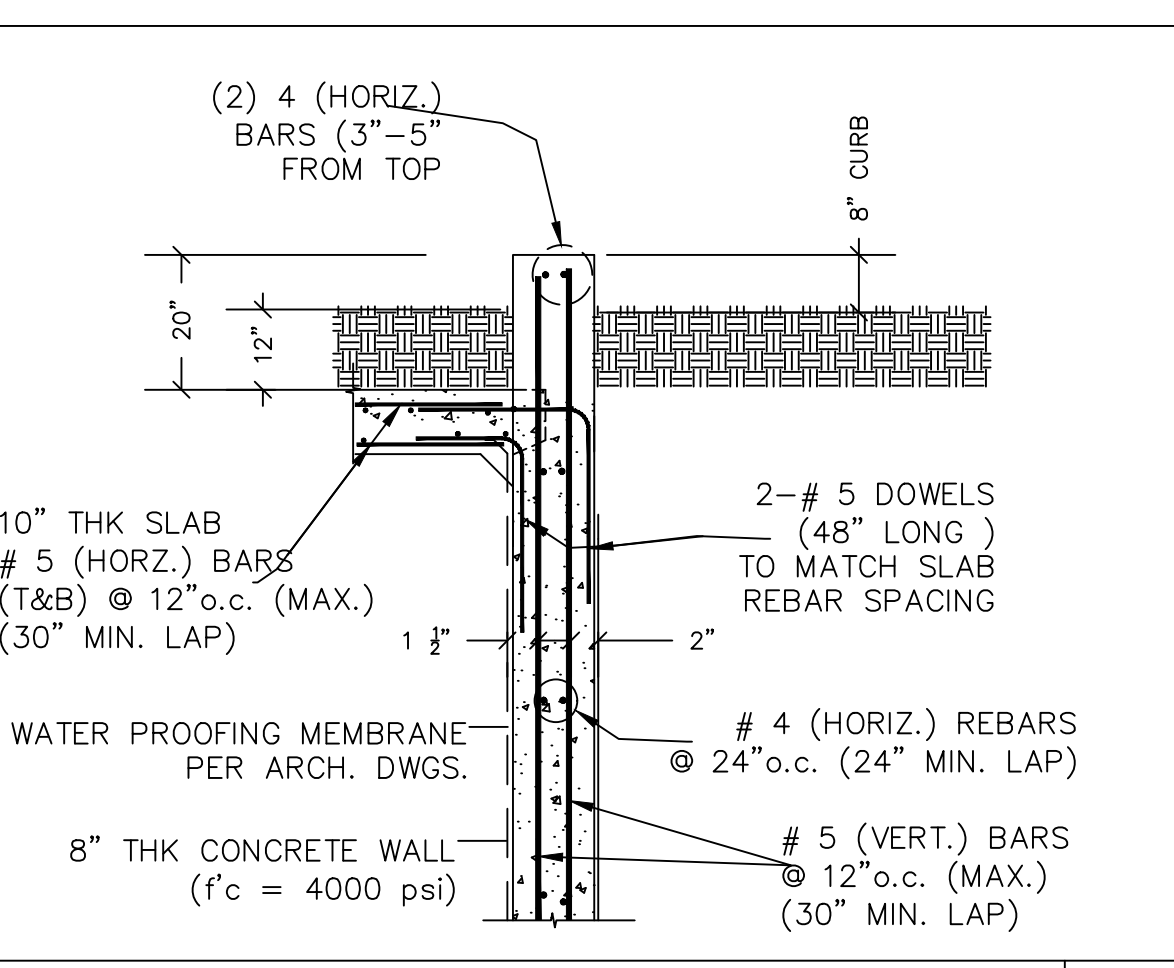


NOTE:
 BASEMENT WALLS DESIGNED AS RESTRAINED AT THE TOP OF WALL, BASEMENT WALLS CANNOT BE BACKFILLED UNTIL ROOF SLAB HAS BEEN BUILT AND REACHED THE CONCRETE DESIGN STRENGTH NOTED ON PLAN.

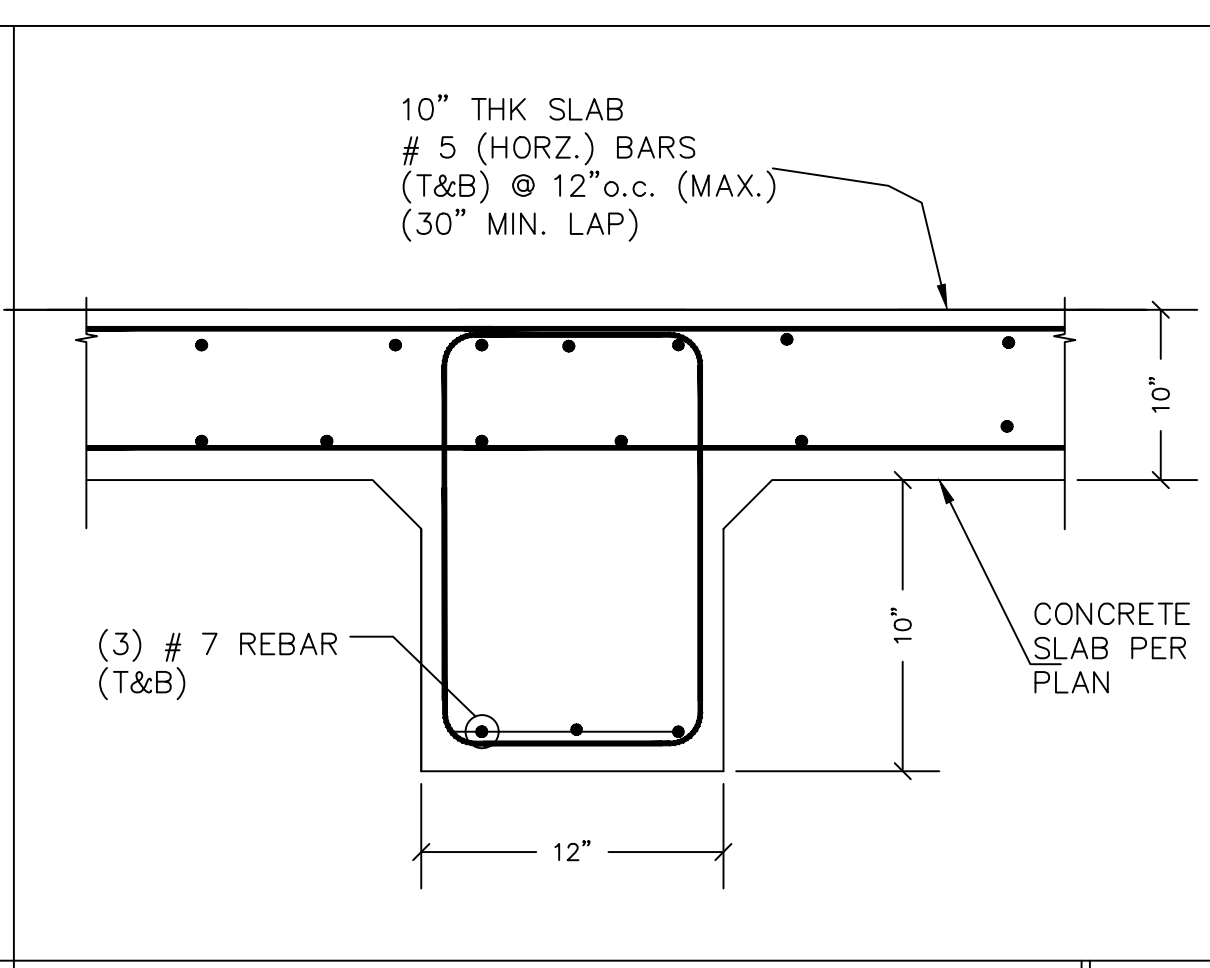
NOTE:
 1) FRENCH DRAIN:
 4-INCH PERFORATED (HOLES FACING DOWNWARD) SCHED.-40 PVC PIPE COVERED IN A MIN. OF TWO CUBIC FOOT PER LINEAR FOOT OF FILTER ROCK AND WRAPPED IN MIRAFI 140N. FILTER FABRIC SHOULD BE PROVIDED BEHIND RETAINING WALLS (SEE SECTION 5.5 OF SOILS REPORT)

2) WATER PROOFING:
 THOROSEAL OR APPROVED EQUAL APPLIED BY A LICENSED WATERPROOFING APPLICATOR W/ GUARANTEE

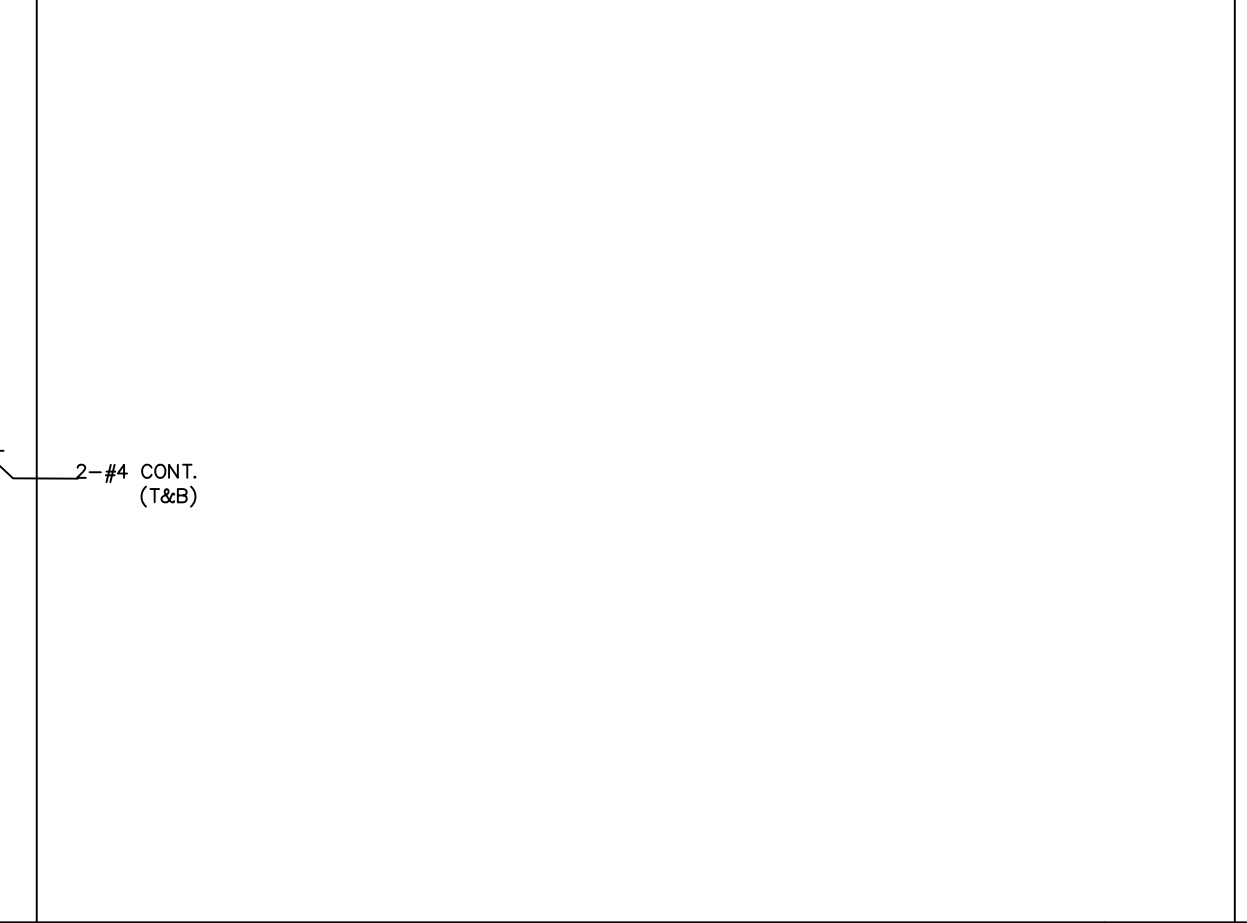
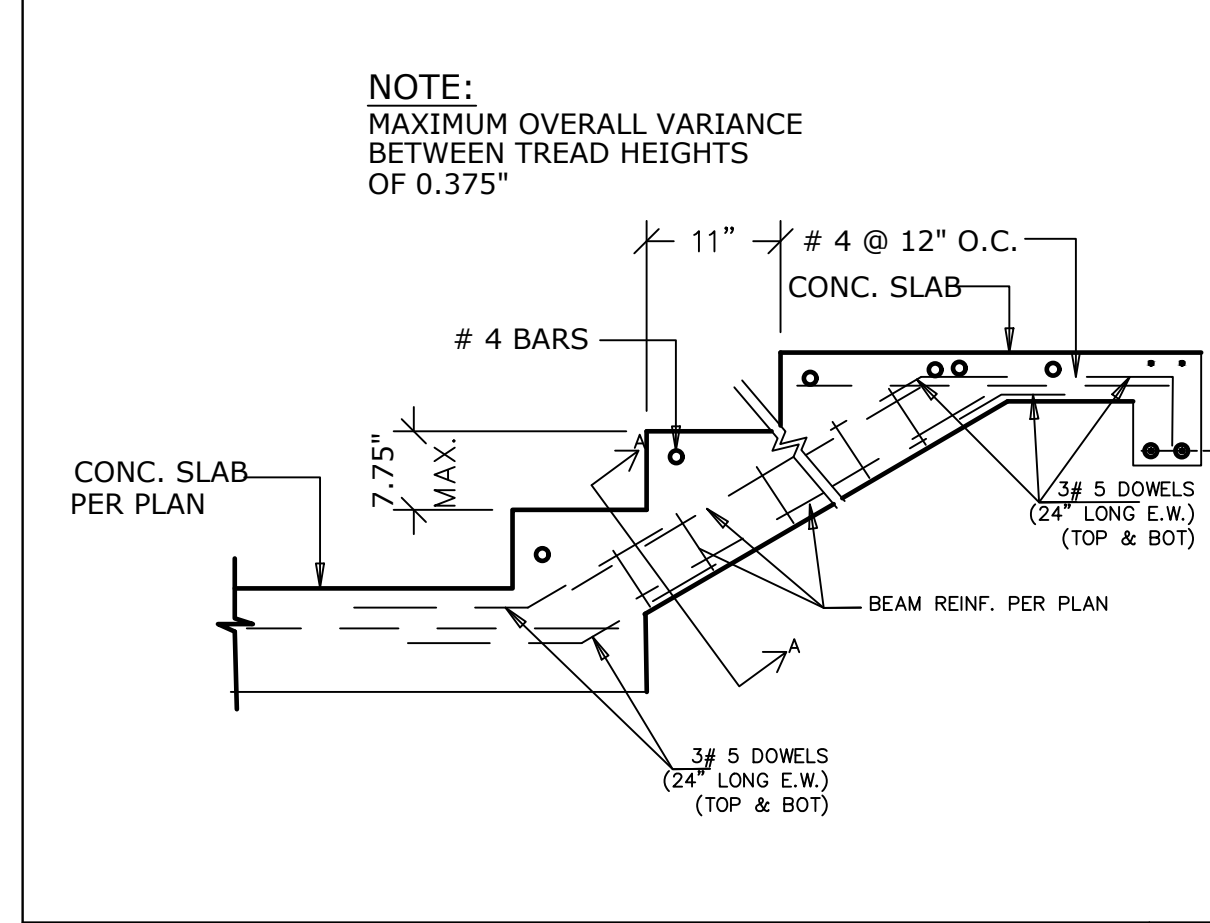
EXT. BASEMENT WALL DETAIL 1



EXT. BASEMENT WALL DETAIL 2



CONCRETE BEAM DETAIL 3



CONCRETE STAIR DETAIL 6

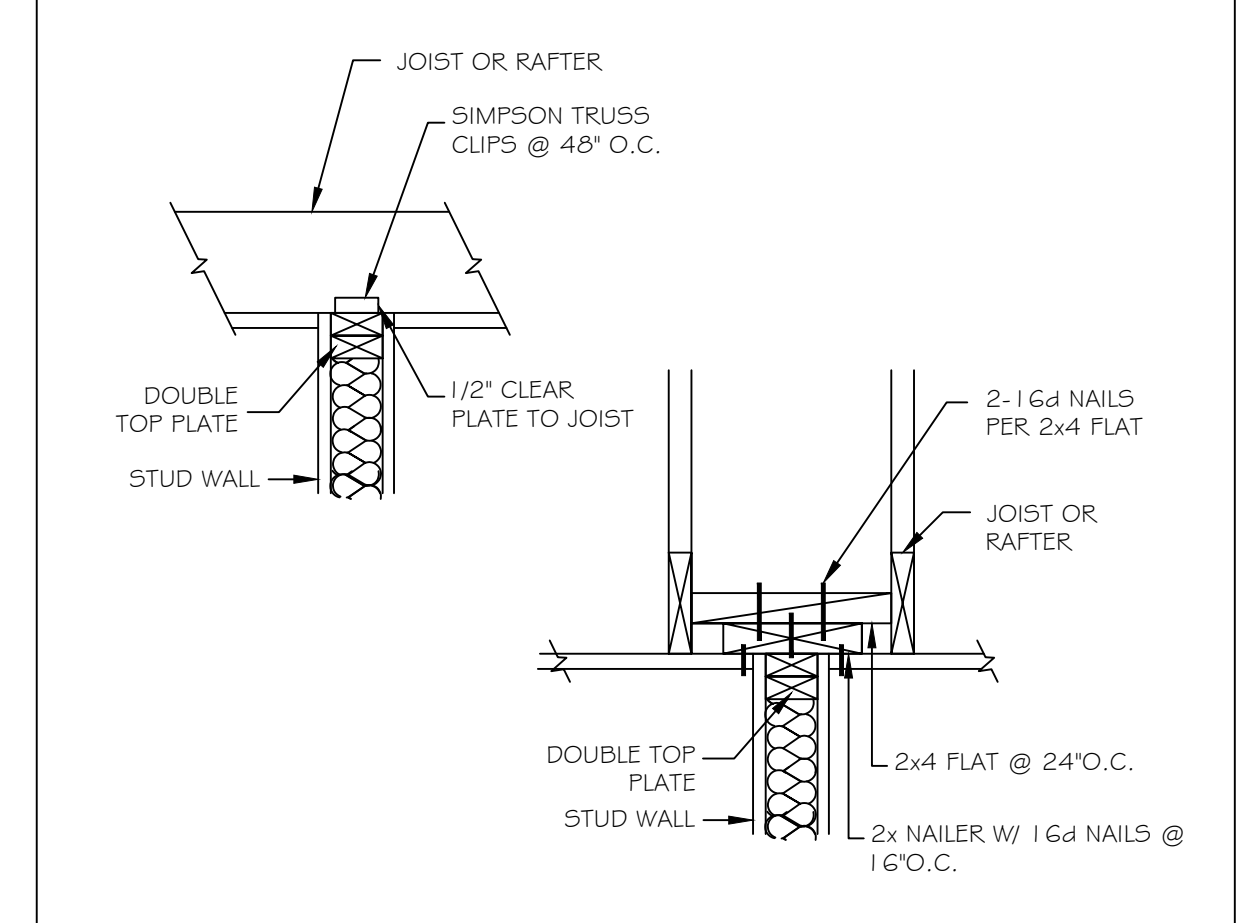
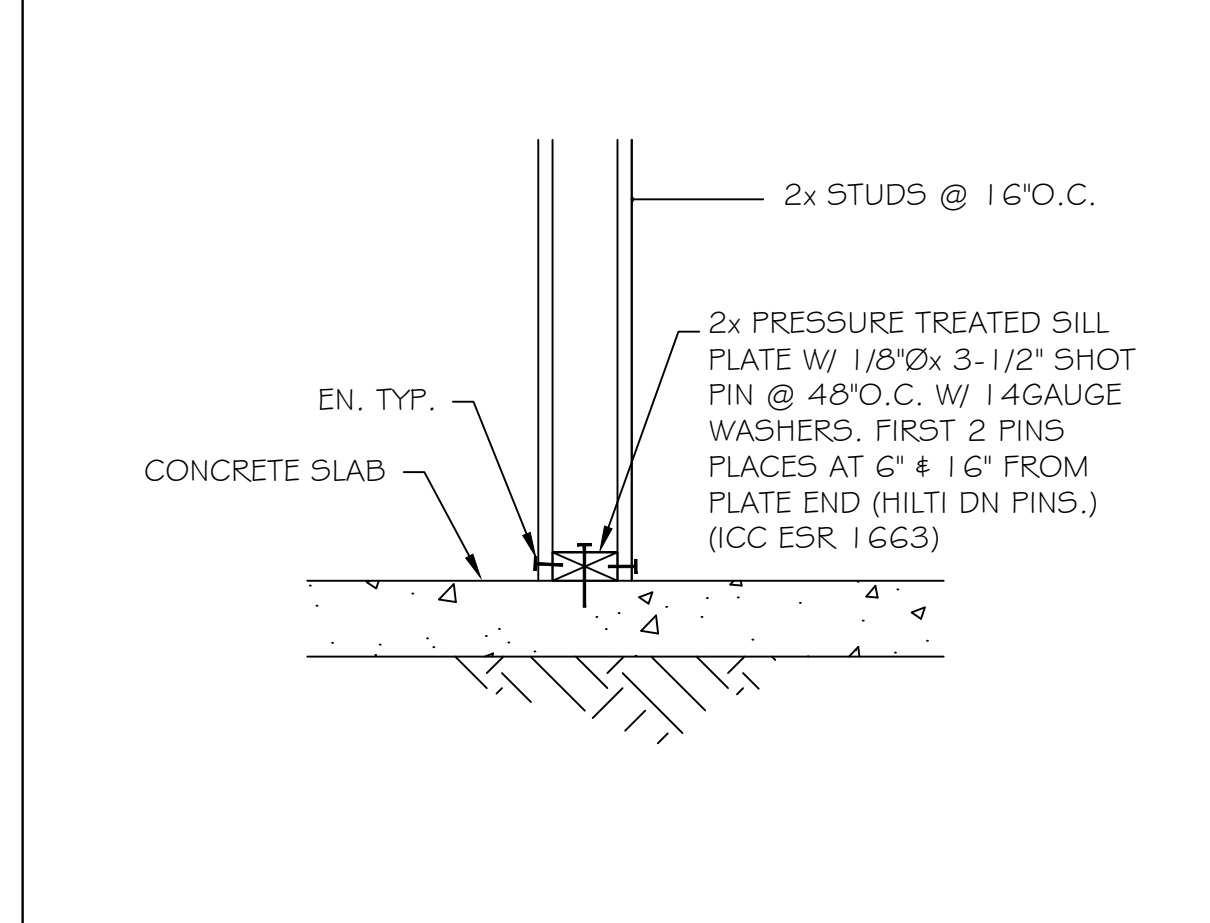
NON-LOAD BEARING WALL 7



NON-LOAD BEARING WALL 8



NON-LOAD BEARING WALL 9



NON-LOAD BEARING WALL 11

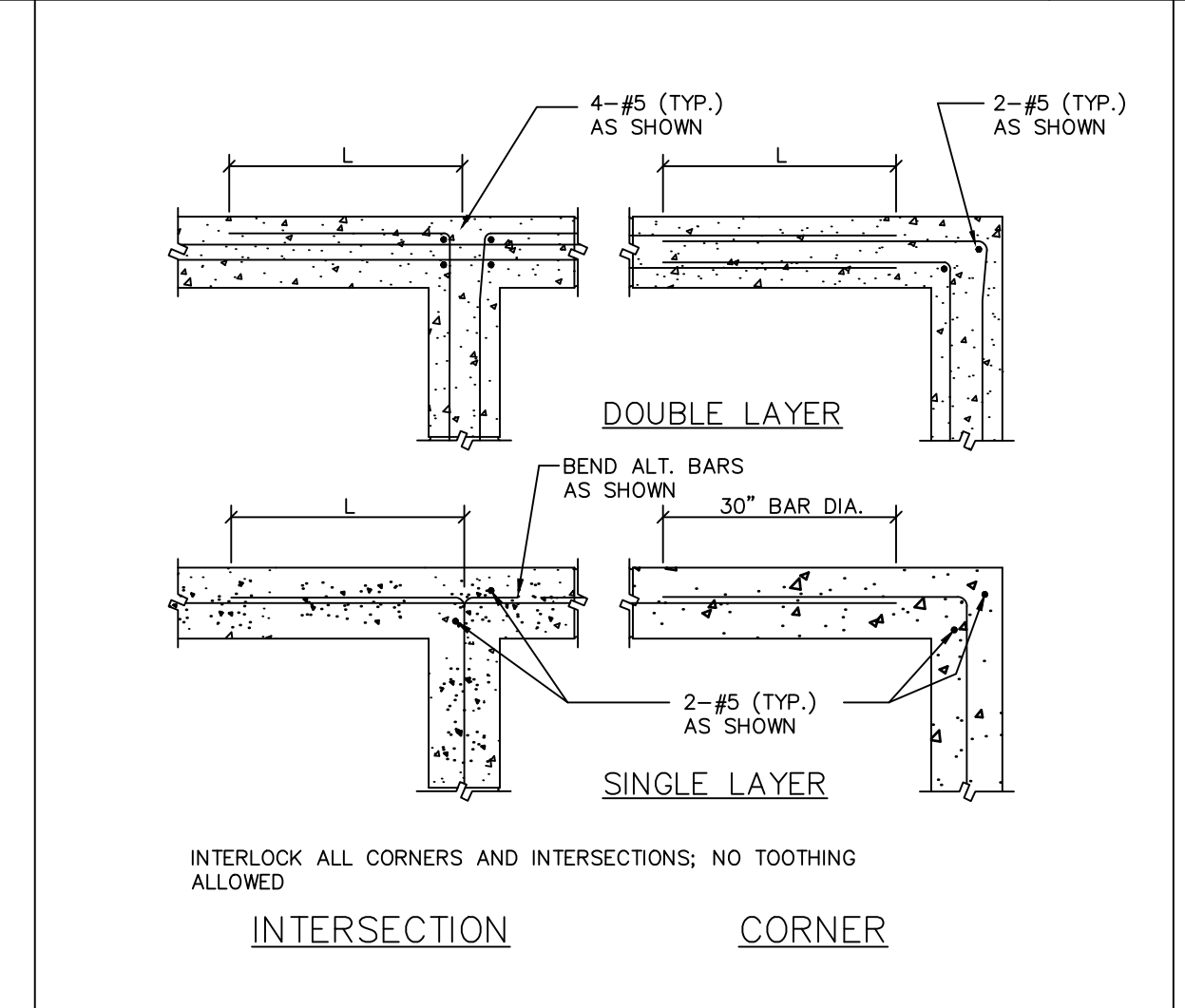
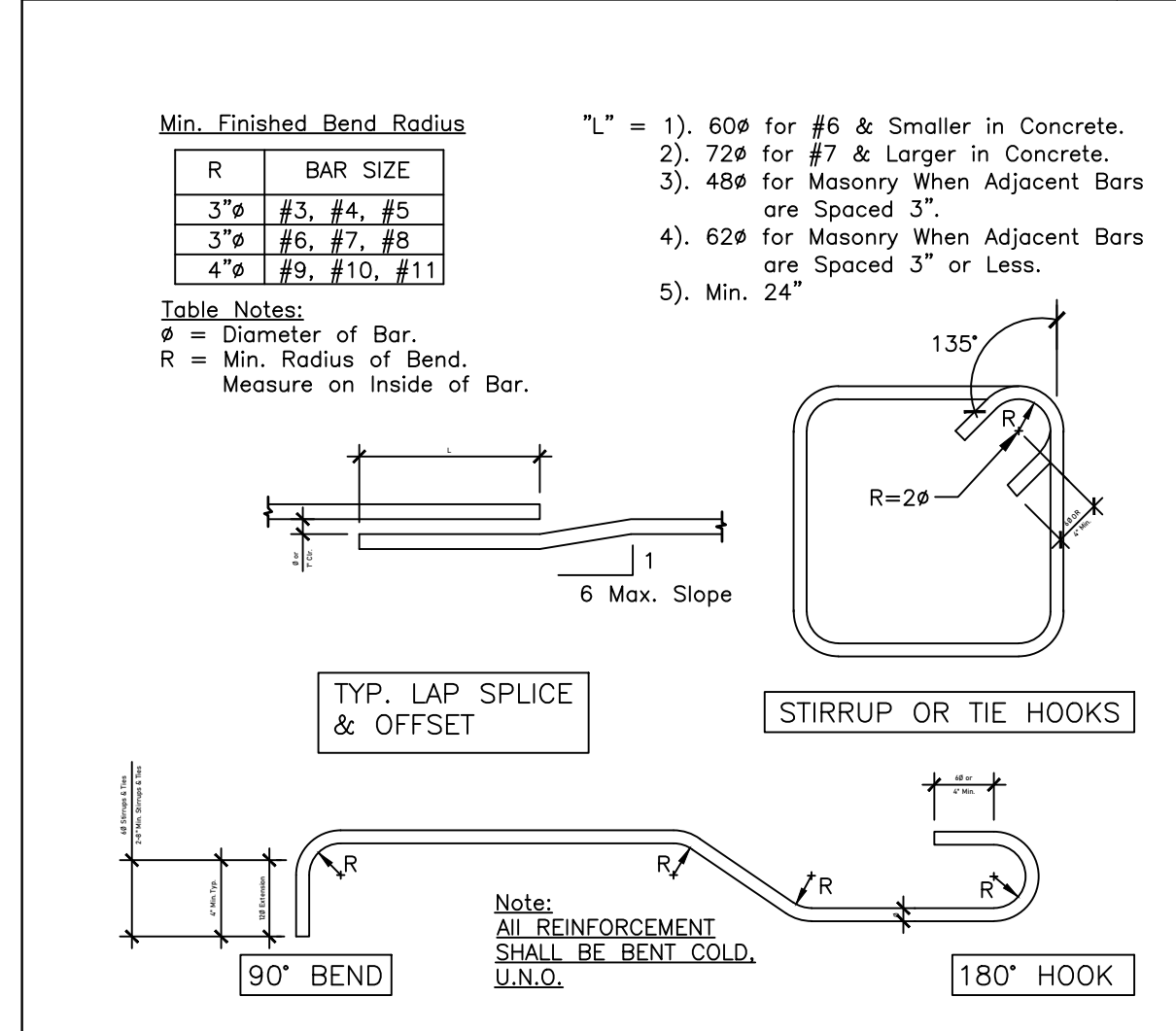
NON-LOAD BEARING WALL 12



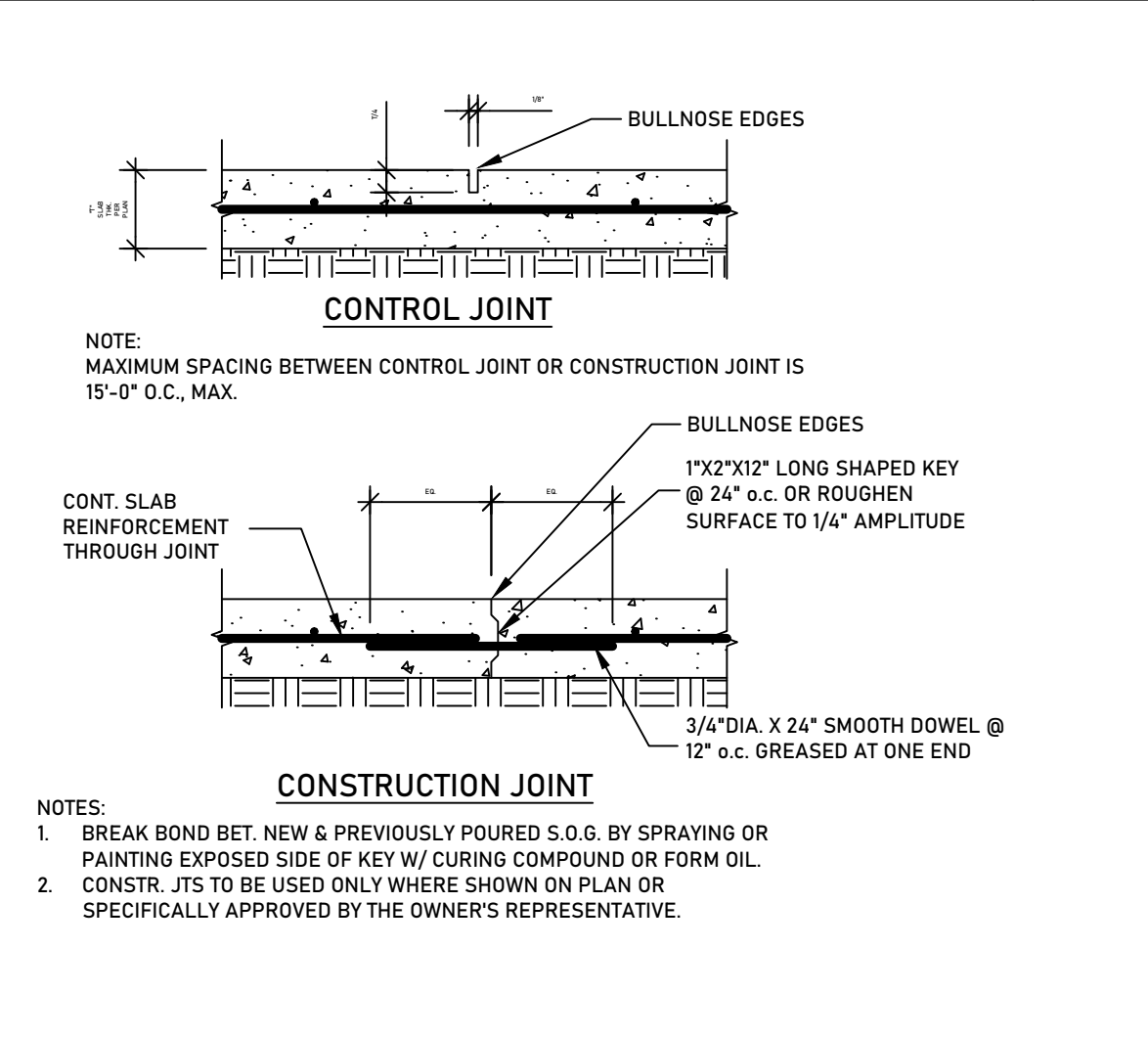
CONTROL JOINT 13



CONSTRUCTION JOINT 14



FOOTING DETAIL AT CORNER 17



CONTROL JOINT 18



CONSTRUCTION JOINT 19

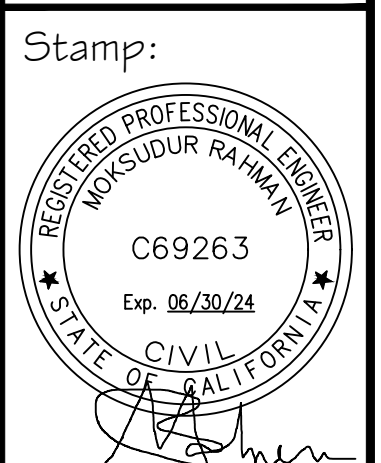
BAR BENDING 16

FOOTING DETAIL AT CORNER 17

CONTROL JOINT 18

CONSTRUCTION JOINT 19

BASEMENT WALL - NOTES 20



REVISIONS:

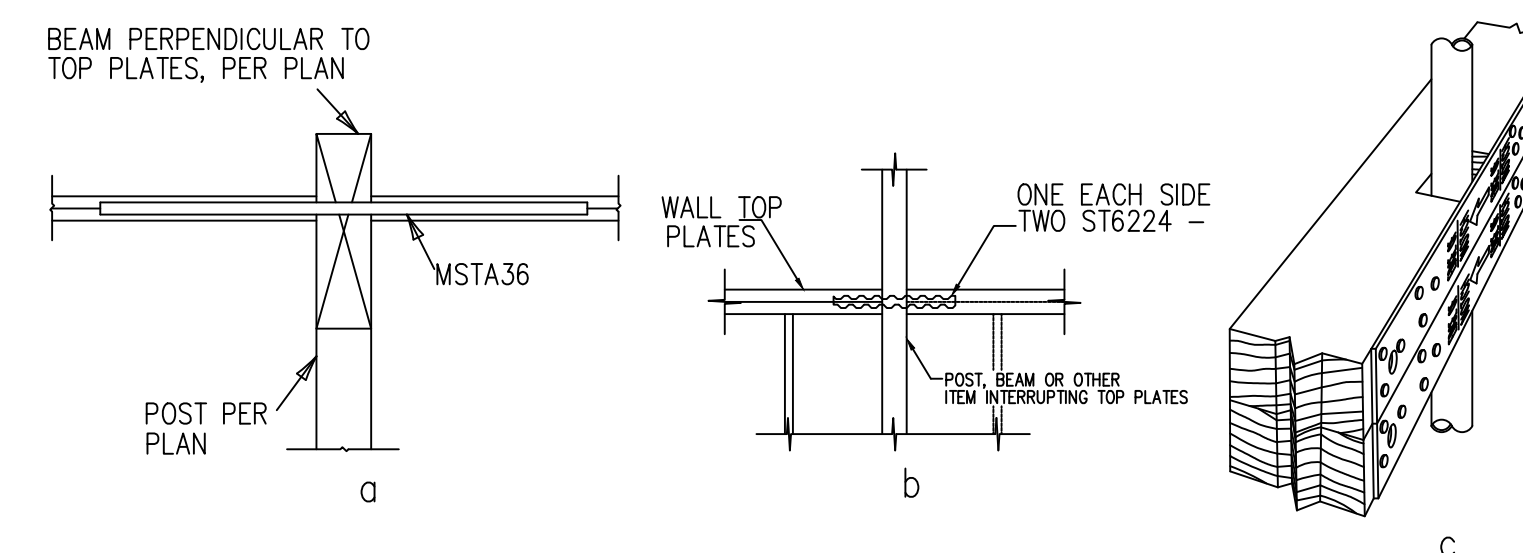
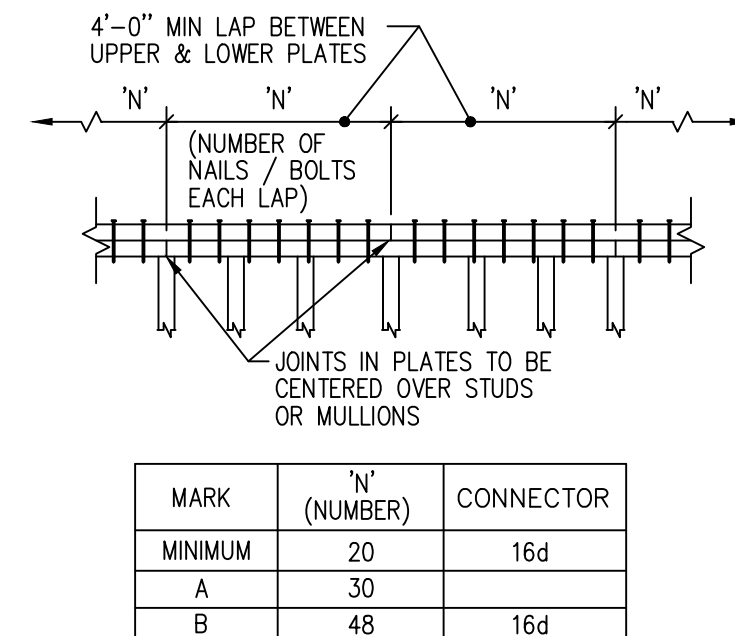
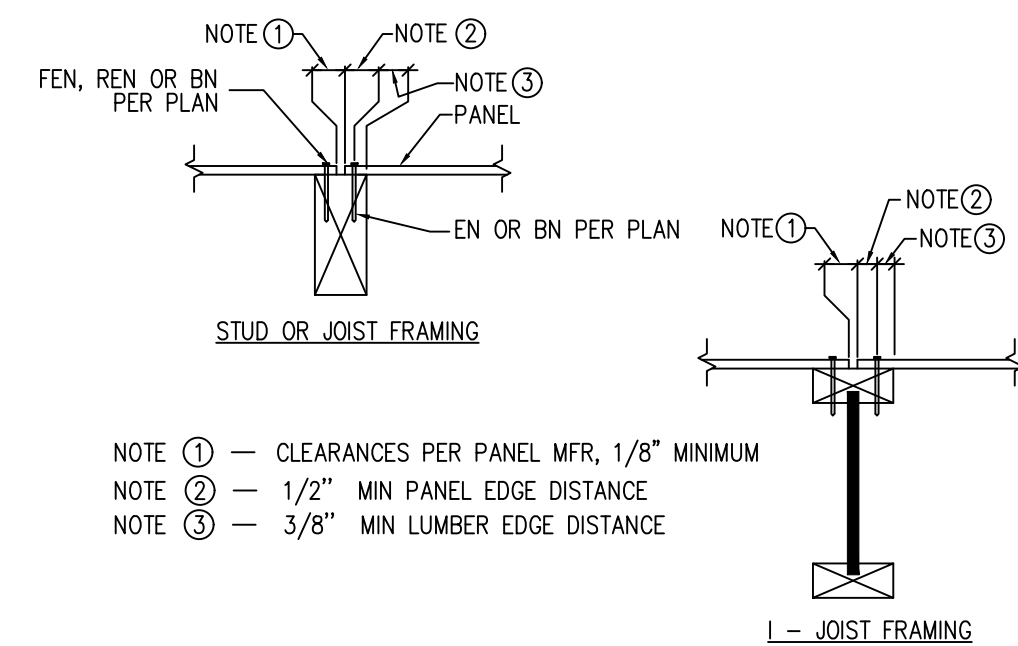
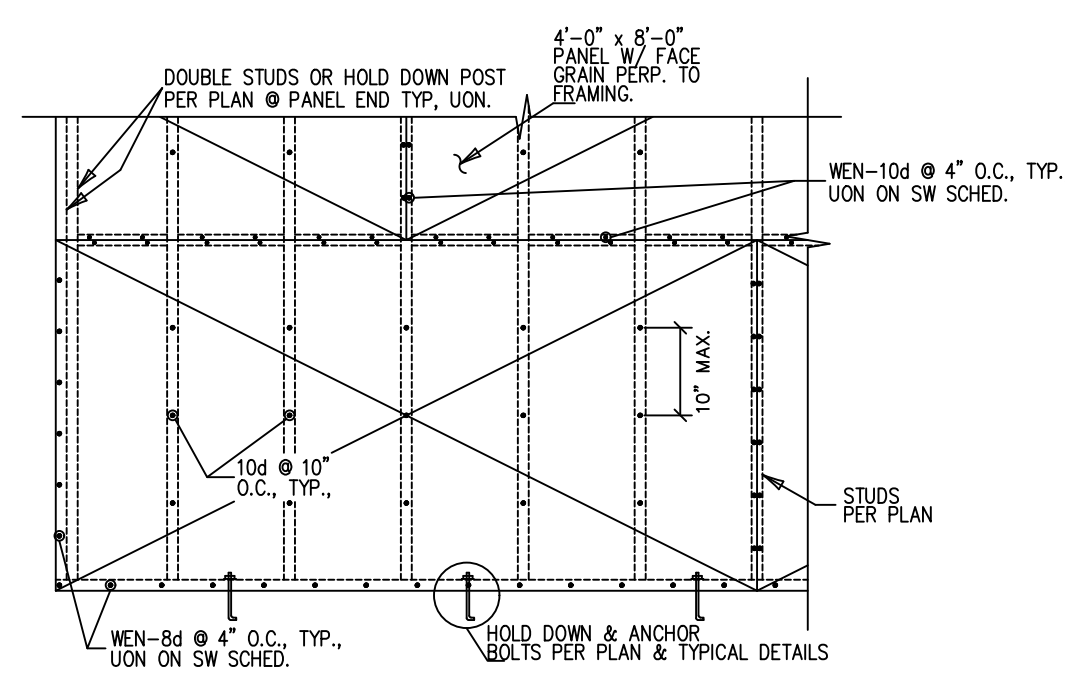
MARK	DATE	DES.	BY:

DRAWN BY: M.R.
 DESIGN BY: M.R.
 CHECK BY: M.R.

DATE: 06-20-2023

TITLE:
CONSTRUCTION DETAILS

PAGE NO:



TYPICAL SHEAR WALL ELEVATION, UON

1

PANEL NAILING FOR WALL, FLOOR AND ROOF

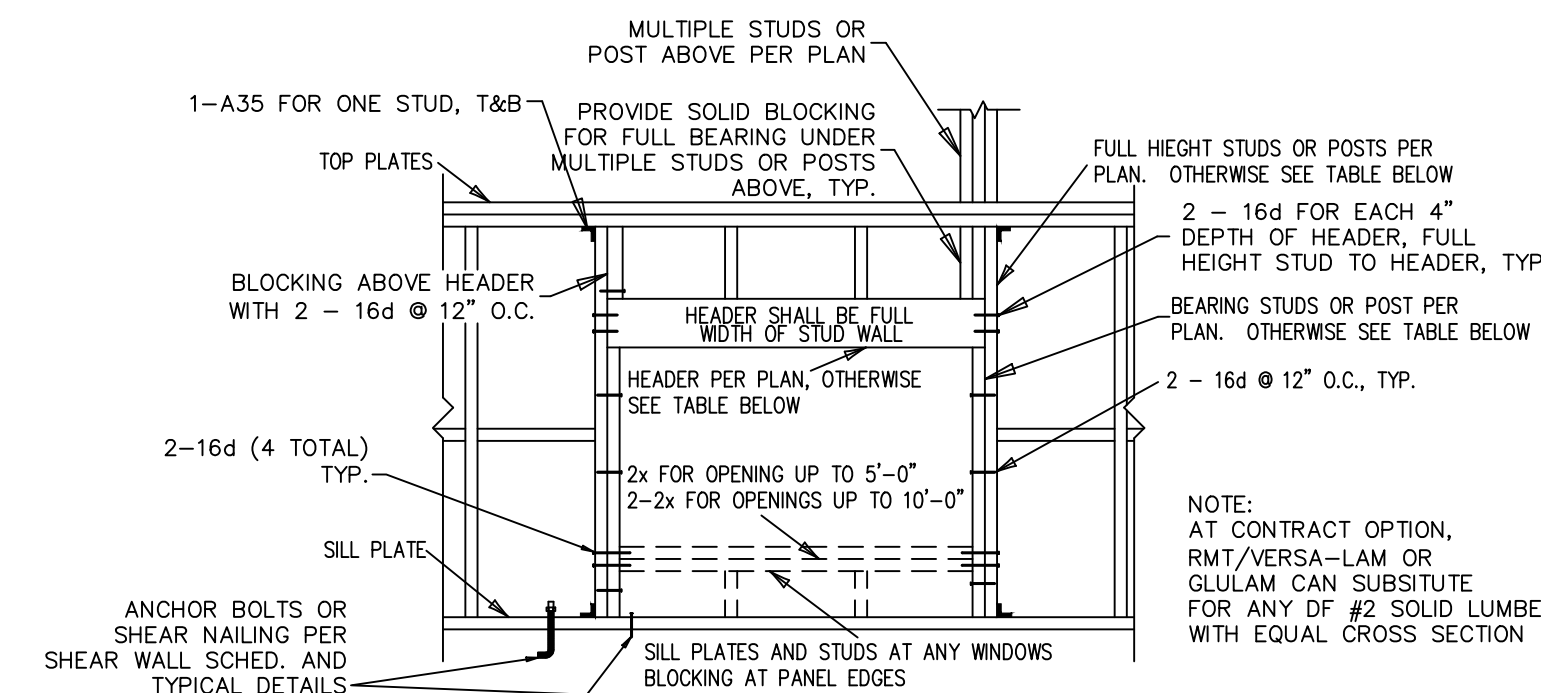
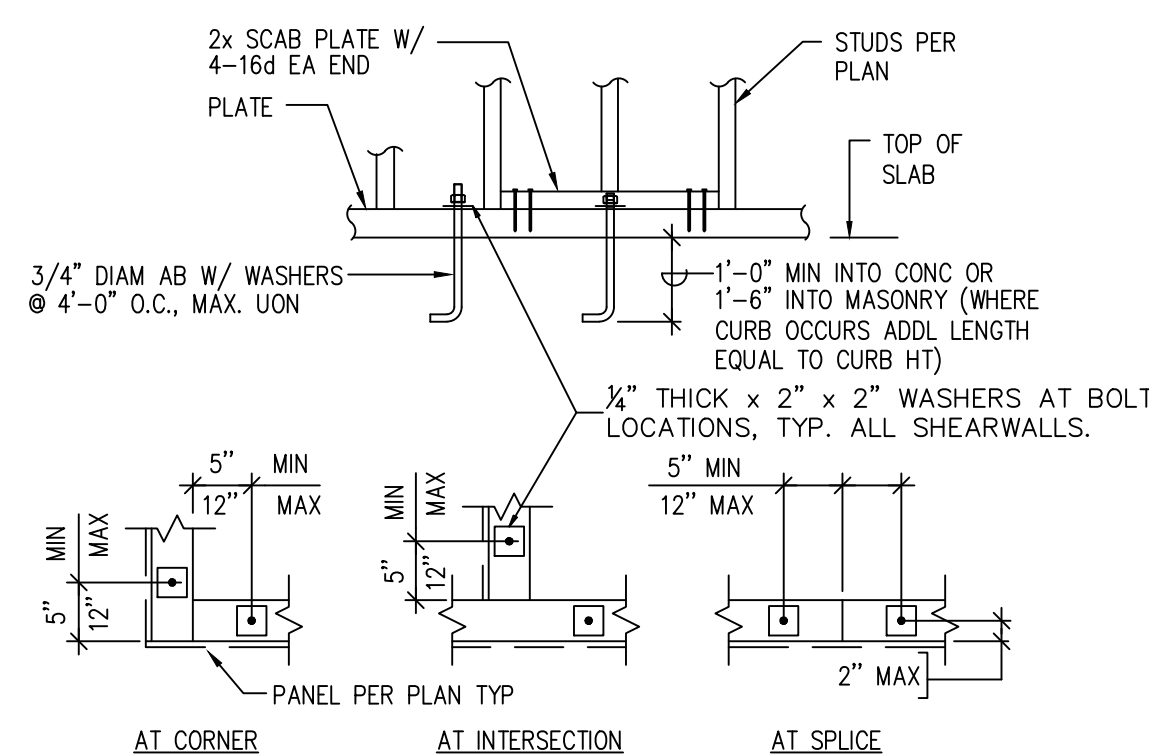
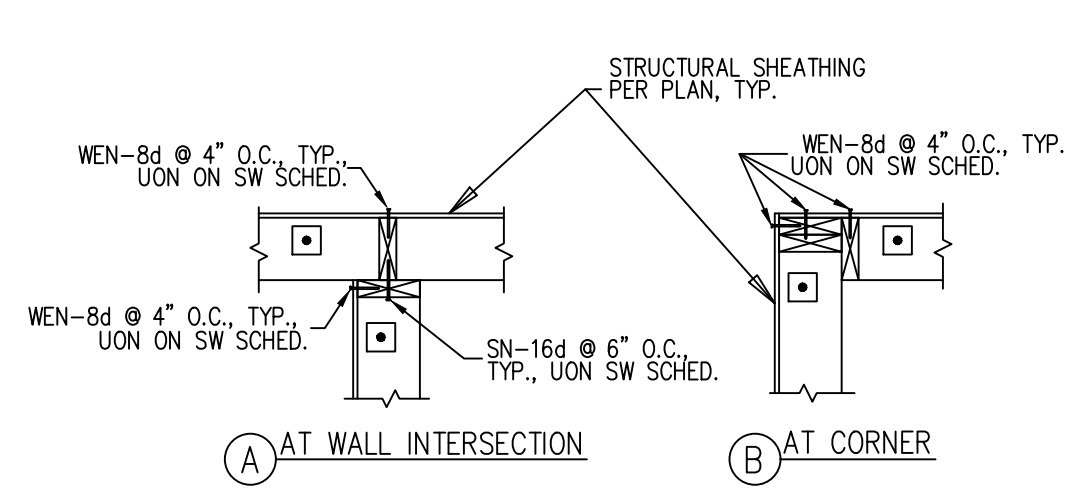
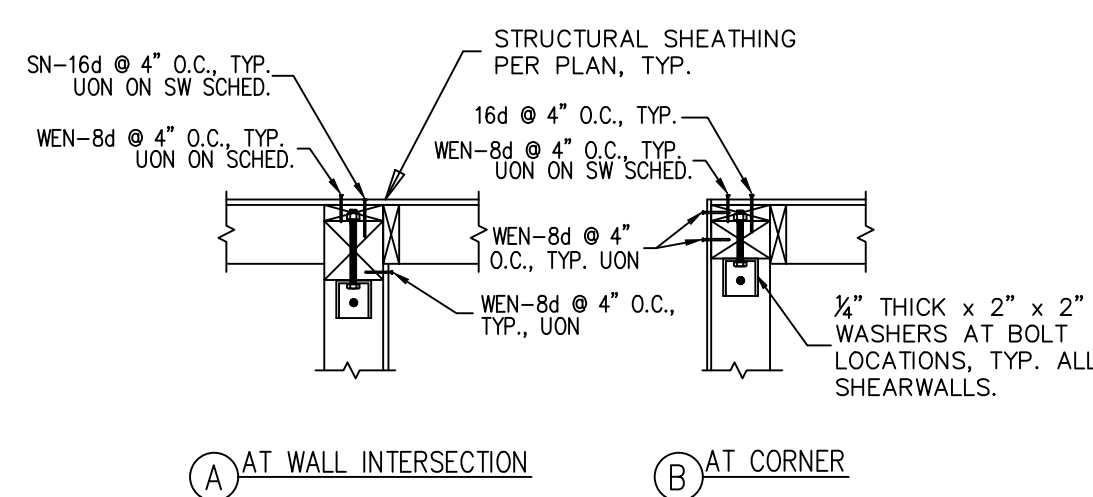
2

TYPICAL TOP PLATE SPLICE DETAILS, UON

3

TOP PLATE REINFORCEMENT AT DISCONTINUITIES

5



TYP. SHEARWALL INTERSECTIONS W/ HOLDDOWNS

6

TYP. SHEARWALL INTERSECTIONS, NO HOLDDOWN

7

TYP. PLATE ANCHOR BOLTS

8

TYP. HEADER DETAILS, UON

10

11

12

13

14

15

16

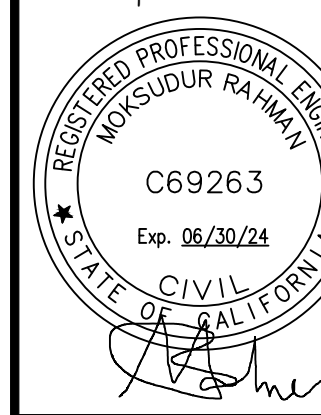
17

18

19

20

Stamp:



REVISIONS:

MARK: DATE: DES. BY:

DRAWN BY: M.R.

DESIGN BY: M.R.

CHECK BY: M.R.

DATE: 06-20-2023

TITLE:

TYPICAL DETAILS

PAGE NO: