

# SHEET INDEX

## SHEET DESCRIPTION

**ARCHITECTURAL DRAWINGS**  
 A00 COVER SHEET, SCHEDULE NOTES, REFERENCES  
 A1-2 SITE PLAN, TEMPORARY WORK  
 A3-2 COVER MATERIAL, SCHEDULE DOOR SCHEDULE  
 A4-1 PERMITTED FLOOR PLANS  
 A4-2 PERMITTED FLOOR PLANS  
 A4-3 PERMITTED FLOOR PLANS  
 A4-4 PERMITTED FLOOR PLANS  
 A4-5 PERMITTED FLOOR PLANS  
 A4-6 PERMITTED FLOOR PLANS  
 A4-7 PERMITTED FLOOR PLANS  
 A4-8 PERMITTED FLOOR PLANS  
 A4-9 PROPOSED FLOOR PLANS

**STRUCTURAL DRAWINGS**  
 S01 COVER GENERAL NOTES  
 S1-1 GENERAL NOTES  
 S1-2 FOUNDATION

**MECHANICAL DRAWINGS**  
 M1-2 GENERAL NOTES  
 M1-2-1 FLOOR PLANS  
 M1-2-2 FLOOR PLANS  
 M1-2-3 PIPING FLOW DIAGRAM  
 M1-2-4 PIPING FLOW DIAGRAM  
 M1-2-5 DETAILS

**PLUMBING DRAWINGS**  
 P1-2 SITE PLAN  
 P1-2-1 COVER PLANS  
 P1-2-2 RISER DIAGRAM  
 P1-2-3 PIPING FLOW DIAGRAM  
 P1-2-4 DETAILS

**ELECTRICAL DRAWINGS**  
 E1-0 FLOOR PLAN, LIGHTING  
 E1-0-1 FLOOR PLAN, LIGHTING

**NOTE: NOT ALL OF THE PAGES ARE NECESSARILY USED IN THIS WORK.**

# GENERAL NOTES

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- ALL INTERIOR FINISHES, PAINT, WALL COVERING, WALL PANELINGS ETC. TO HAVE A MINIMUM FLAME SPREAD CLASSIFICATION OF 1 1 1, AS PER TABLE 8-A, 8-B OF UBC 304 CODE, LATEST EDITION.
- GUTTERS, DOWNSPOUTS AND FLASHING TO BE .027 GALVANIZED SHEET METAL.
- ALL WORK SHALL CONFORM TO:  
 IBC CODE, 2021 EDITION  
 California Building Code 2019 Edition  
 California Mechanical Code 2019 Edition  
 California Plumbing Code 2019 Edition  
 California Fire Code 2019 Edition  
 California Electrical Code 2019 Edition  
 California Energy Code 2019 Edition  
 California Historic Code 2019 Edition  
 California Residential Code 2019 Edition  
 California Green Building Standards Code 2019 Edition  
 San Diego Building Regulations 2018
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN OPERABLE AREA OF 5.7SF
- 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM AT LAVATORY.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT EAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS , CEILING, POST & BEAM AT GARAGE - TAPE.

**NOTE: NOT ALL OF GENERAL NOTES ARE NECESSARILY USED IN THIS WORK.**

# GENERAL NOTES

**SCOPE OF WORK: CONVERT BLDG A UNIT B (ONE UNIT ONLY) PORTION OF GARAGE TO ADD 270.406 SQUARE FT., PERIMETER = 67'-6" CONVERT OTHER PORTION 283.797 SQUARE FT., PERIMETER = 70'-6" OF GARAGE TO STORAGE.**

**CEILING NOTES:**

**MECHANICAL NOTES:**

**FIRE NOTES:**  
 SPRINKLERS NOT INSTALLED

**GENERAL NOTES:**

1) A MINIMUM OF ONE PORTABLE FIRE EXTINGUISHER SHALL BE REQUIRED TO BE PROVIDED. THE RECOMMENDED TYPE AND SIZE IS: 2A:10B:C-DRY CHEMICAL. IT SHALL BE HUNG FROM A WALL BRACKET OR WITHIN AN APPROVED CABINET NOT MORE THAN FIVE FEET ABOVE THE SURROUNDING FLOOR LEVEL TO THE TOP OF THE FIRE EXTINGUISHER.  
 2) IN ACCORDANCE WITH CALIFORNIA BUILDING CODE 2021, THE EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.  
 EXIT DOORS SHALL NOT BE LOCKED OR OTHERWISE RENDERED INOPERABLE. ALL LOCKING DEVICES SHALL BE AN APPROVED TYPE.  
 LOCKING KEY-LOCKING DEVICES MAY BE USED ON THE MAIN EXIT ONLY IF A DURABLE SIGN ON OR ADJACENT TO THE FRONT DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". THE SIGN SHALL BE LOCKED OR OTHERWISE RENDERED INOPERABLE. THE LOCKING DEVICE MUST BE OF A TYPE THAT WILL BE RESISTANT TO BURGLARY AND THE SIGN SHALL BE REMOVED IMMEDIATELY UPON THE OCCURRENCE OF AN EMERGENCY.  
 3) A "KNOCK BOX" KEY SECURITY LOCK BOX IS REQUIRED FOR THIS PROJECT. FORMS FOR THE BOX MAY BE OBTAINED FROM THE MONTEREY FIRE DEPARTMENT. PRIOR TO FINAL OCCUPANCY SO THAT IT MAY BE INSTALLED IN TIME FOR FINAL INSPECTION OF THE COMPLEX.  
 ALL BUILDINGS SHALL HAVE A PERMANENTLY IDENTIFIED ADDRESS. WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE ROAD ON WHICH THE ADDRESS IS LOCATED.  
 4) SIZE OF LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 3/8" INCH LETTER HEIGHT, 3/8" INCH STROKE, CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN. FIRE SPRINKLERS REQUIRED: THE RESIDENCE(S) SHALL BE PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEM(S). FIRE SPRINKLERS ARE REQUIRED IN ATTACHED GARAGES. INSTALLATION, APPROVAL, AND MAINTENANCE BE IN COMPLIANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS, 32 AND LOCAL AMENDMENTS. THE EDITION(S) OF WHICH SHALL BE DETERMINED BY THE ENFORCING JURISDICTION. PLANS FOR FIRE SPRINKLER SYSTEM(S) MUST BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ROOM-IN-ROOM INSPECTIONS MUST BE COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION FROM THE BUILDING INSPECTION DEPARTMENT.  
 5) MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:  
 FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.  
 UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO PERCENT.  
 6) ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE I EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.  
 7) HEATING AND AIR CONDITIONERS SHALL BE SIZED, DESIGNED AND WARE WHEN EQUIPMENT SELECTED USING THE FOLLOWING METHODS: THE HEAT LOAD AND HEAT GAIN AS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2004 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 2 MANUAL D - 2009 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.  
 SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 2 MANUAL S - 2004 (RESIDENTIAL EQUIPMENT SELECTION).

**FIRE ALARM FLOW SWITCH:** SHALL BE WIRED TO THE KITCHEN REFRIGERATOR CIRCUIT. ANY DEVIATIONS REQUIRE APPROVAL FROM THE FIRE DEPARTMENT.

**ADDRESS NUMBERS TO BE POSTED:** BEFORE CONSTRUCTION BEGINS, TEMPORARY OR PERMANENT ADDRESS NUMBERS SHALL BE POSTED. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO THE REQUEST FOR FINAL INSPECTION. ALL ADDRESS NUMBERS (PERMANENT OR TEMPORARY) SHALL BE POSTED TO THE PROPERTY SO AS TO BE CLEARLY VISIBLE FROM THE ROAD, WHERE VISIBILITY CAN NOT BE PROVIDED, A POST OR SIGN BEARING THE ADDRESS NUMBERS SHALL BE SET ADJACENT TO THE DRIVEWAY OR ACCESS ROAD TO THE PROPERTY. ADDRESS NUMBERS POSTED SHALL BE "ARABIC" (1, 2, 3, ETC) NOT "ROMAN" (I, II, III, ETC) OR WRITTEN OUT IN WORDS. ADDRESS NUMBERS POSTED SHALL BE A MINIMUM NUMBER HEIGHT OF 7 INCHES, 3/8" HIGH STROKE, AND CONTRASTING WITH THE BACKGROUND COLORS OF THE SIGN. NOTE: IF THE NUMBERS ARE NOT POSTED, BUILDING/FIRE INSPECTORS WILL NOT GRANT A FINAL INSPECTION.

**SEPARATE ADDRESS REQUIRED:** CARETAKERS UNIT, SENIOR CITIZENS UNIT, AND "GRANNY HOUSES" SHALL BE ISSUED ADDRESSES SEPARATE FROM THE MAIN RESIDENCE. CONTACT THE SAN DIEGO BUILDING DEPARTMENT FOR MORE INFORMATION.

**ROOFING CLASS "A" OR "B" REQUIRED:** ROOF CONSTRUCTION SHALL BE CLASS "A" OR CLASS "B" BUILDUP, AS DEFINED BY UNIFORM BUILDING CODE STANDARD 15-2. THIS REQUIREMENT SHALL APPLY TO ALL NEW CONSTRUCTION AND WHEN 50 PERCENT OR MORE OF AN EXISTING ROOF IS REPLACED WITH A ONE-YEAR PERIOD.

**CLEAR VEGETATION:** ALL FLAMMABLE VEGETATION OTHER COMBUSTIBLE GROWTH SHALL AT ALL TIMES MAINTAIN CLEAR DISTANCE OF NOT LESS THAN 30 FEET ON EACH SIDE FROM STRUCTURES OR BUILDINGS. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO AN STRUCTURE. ADDITIONAL FIRE PROTECTION OR FIREBREAK MAY BE REQUIRED WHEN, BECAUSE OF EXTRA HAZARDOUS CONDITIONS, A FIREBREAK OF ONLY 30 FEET AROUND SUCH STRUCTURE IS NOT SUFFICIENT TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREA MAY REQUIRE ALTERNATIVE FIRE PROTECTION TO BE DETERMINED BY THE FIRE CHIEF AND DIRECTOR OF PLANNING AND BUILDING. THIS PROJECT REQUIRES \_\_\_\_\_ FEET CLEARANCE.

**ACCESS DRIVEWAYS/GENERAL:** ACCESS DRIVEWAYS SHALL BE ALL-WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS (22 TON) NOT LESS THAN 12" WIDE OF UNOBSTRUCTED WIDTH. A MINIMUM OF 12" VERTICAL CLEARANCE AND A MAXIMUM 10% GRADE ON DRIVEWAYS AND ACCESS ROADS HAVING A SLOPE OF 8% OR MORE. THE FINISH SURFACE SHALL BE ASPHALT PAVING OR CONCRETE. EXCEPTION: WHEN BUILDING ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, THE PROVISIONS OF THIS SECTION MAY BE MODIFIED, SUBJECT TO THE APPROVAL OF THE LOCAL JURISDICTION.

**DRIVEWAY TURNOUT REQUIRED:** DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY. WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400 FOOT INTERVALS. (SEE EXAMPLE A)

**ACCESS ROADSWAYS TURN AROUND REQUIRED:** ALL DEAD-END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE TURNING AROUND OF THE FIRE APPARATUS. (SEE EXAMPLE B)

**PRIVACY GATES:** ELECTRIC GATES SHALL BE PROVIDED WITH A KEYSWITCH MEETING FIRE DEPARTMENT SPECIFICATIONS. MANUAL GATES SHALL BE PROVIDED WITH FIRE DEPARTMENT PATDOCKS MEETING FIRE DEPARTMENT SPECIFICATIONS. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE, BUT IN CASE LESS THAN 12" WIDE, UNOBSTRUCTED VERTICAL CLEARANCE SHALL NOT BE LESS THAN 12".

**BRIDGES:** ALL NEW AND RECONSTRUCTED BRIDGES SHALL BE AT LEAST THE WIDTH OF THE EXISTING ROADWAY AND BERMS BUT IN NO CASE LESS THAN 12 FEET WIDE. BRIDGE WIDTH ON ALL ROADS EXCEEDING TERTIARY STANDARDS SHALL NOT BE LESS THAN THE WIDTH OF TWO LANES WITH BERMS. ALL BRIDGES SHALL BE DESIGNED FOR HS-20-44 LOADING (STANDARD SPECIFICATION FOR HIGHWAY BRIDGES) AND HAVE GUARDRAILS.

**SETBACK FOR STRUCTURE DEFENSIBLE SPACE (20 FOOT):** ALL PARCELS 1 ACRE AND LARGER SHALL PROVIDE A MINIMUM 30-FOOT SETBACK FOR BUILDINGS AND ACCESSORY BUILDINGS FROM ALL PROPERTY LINES AND/OR THE CENTER OF THE ROAD FOR PARCELS LESS THAN 1 ACRE, OR WHEN A 30 FOOT SETBACK CANNOT BE REACHED, ALTERNATE FUEL MODIFICATIONS STANDARDS MAY BE IMPOSED BY THE LOCAL FIRE JURISDICTION TO PROVIDE THE SAME PRACTICAL EFFECT.

**MEASUREMENTS:** ALL MEASUREMENTS PROVIDED BY OWNER, AS-BUILTS NOT

# CONDITIONS ADOPTED BY LOCAL GOVERNING AGENCIES.

# VICINITY MAP



# SYMBOLS

- WALL LINE NUMBERS HORIZONTAL LETTERS VERTICAL
- DOORS SYMBOL NUMBERS
- WINDOW TYPE-NUMBERS
- DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
- SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
- ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
- ROOM IDENTIFICATION ROOM NAME NUMBER
- REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL
- MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED
- WORK POINT CONTROL OR DATUM POINT
- GRADE NEW OR FINISHED GRADE AT EXTERIOR FINISH FLOOR ELEVATION AT INTERIOR (EXISTING GRADE)
- SECURITY IDENTIFICATION
- PROPERTY LINE
- CENTER LINE
- F.O.S FACE OF STUD OR FINISHED
- FLOOR ELEVATION
- H-WALL HARDY WALL

# MATERIALS

- EARTH
- SAND, MORTAR, PLASTER
- ROCK FILL
- CONCRETE
- BRICK
- CONCRETE BLOCK
- METAL
- WOOD, FINISH
- WOOD, FRAMING (THRU MEMBER)
- WOOD FRAMING (INTERRUPTED MEMBER)
- PLYWOOD
- GYPSTUM BOARD (OMIT DOUBLE)
- INSULATION, BATT
- INSULATION RIGID
- CERAMIC TILE TILE PROFILE ONLY SHOW

# PROJECT DIRECTORY

**ENGINEER / ARCHITECT / DESIGNER:**  
 Advanced Development  
 7877 Grand Ave Suite 106  
 La Jolla, CA 92037  
 Office: 858-367-9083  
 E-mail: info@advanceddevelopment.net  
 LinkedIn: https://www.linkedin.com/company/advanceddevelopment/  
 Web: www.advanceddevelopment.net

John Broadus  
 License# 905815

PE: Mario Perez  
 License# 76439

# TITLE 24

TITLE 24 ENERGY COMPLIANCE STANDARD DOCUMENTATION: MANDATORY MEASURES CHECKLIST MAY NOT APPLY TO ALL PROJECTS.

- MINIMUM R-10 CEILING INSULATION.
- LOOSE FILL INSULATION - MANUFACTURER'S LABELED R-VALUE.
- MINIMUM R-13 WALL INSULATION IN FRAMED WALLS (DOES NOT APPLY TO EXTERIOR MASS WALLS.)
- MINIMUM R-13 RAISED FLOOR INSULATION IN FRAMED FLOORS. MINIMUM R-8 IN CONCRETE RAISED FLOORS.
- S LAB EDGE: WATER ABSORPTION RATE NO GREATER THAN 0.3%; WATER VAPOR TRANSMISSION RATE NO GREATER THAN 2.0 PERM/INCH.
- INSULATION SPECIFIED OR INSTALLED MEETS CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS.
- FENESTRATION PRODUCTS, EXTERIOR DOORS AND INFILTRATION/EXFILTRATION CONTROLS: -DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES DESIGNED TO LIMIT AIR LEAKAGE. -MANUFACTURED FENESTRATION PRODUCTS HAVE LABEL WITH CERTIFIED R-VALUE, AND INFILTRATION CERTIFICATE. -EXTERIOR DOORS AND WINDOWS WEATHER STRIPPED, ALL JOINTS AND PENETRATIONS CALKED AND SEALED.
- VAPOR BARRIERS MANDATORY IN CLIMATE ZONES 14 AND 16 ONLY.
- SPECIAL INFILTRATION BARRIER INSTALLED TO COMPLY WITH #151 MEETS COMMISSION QUALITY STANDARDS.
- INSTALLATION OF FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: MASONRY AND FACTORY-BUILT FIREPLACES HAVE -CLOSEABLE METAL OR GLASS DOOR -OUTSIDE AIR INTAKE WITH DAMPER CONTROL -FLUE DAMPER AND CONTROL NO CONTINUOUS BURNING GAS PILOTS ALLOWED
- HVAC EQUIPMENT, WATER HEATERS, SHOWERHEADS AND FAUCETS CERTIFIED BY COMMISSION.
- SETBACK THERMOSTAT ON ALL APPLICABLE HEATING SYSTEMS.
- PIPE AND TANK INSULATION: -INDIRECT HOT WATER TANKS (E.G. UNFIRED STORAGE TANKS, OR BACKUP SOLAR HOT WATER TANKS) HAVE INSULATION (R-12 OR GREATER) OR COMBINED INTERIOREXTERIOR INSULATION OF R-16 OR GREATER. -FIRST 5' OF PIPES CLOSEST TO WATER HEATER TANK, NON-RECIRCULATING SYSTEMS, INSULATED WITH R-4 OR GREATER. -ALL BURIED OR EXPOSED PIPING INSULATED IN RECIRCULATING SECTIONS OF HOT WATER SYSTEM. -COOLING SYSTEM PIPING BELOW 55 DEGREES F TO BE INSULATED. -PIPING INSULATED BETWEEN HEATING SOURCE AND HOT WATER TANK.
- DUCTS CONSTRUCTED, INSTALLED AND SEALED TO COMPLY WITH UMC SECTIONS 1002 AND 1004; DUCTS INSULATED TO A MINIMUM INSTALLED VALUE OF R-4.2 OR DUCTS ENCLOSED ENTIRELY WITHIN CONDITIONED SPACE.
- EXHAUST FAN SYSTEMS HAVE BACKDRAFT OR AUTOMATIC DAMPERS.
- GRAVITY VENTILATING SYSTEMS SERVING CONDITIONED SPACES HAVE EITHER AUTOMATIC OR READILY ACCESSIBLE MANUALLY OPERATED DOORS.
- GAS FIRED CENTRAL FURNACE, POOL HEATER, SPA HEATER OR HOUSEHOLD COOKING APPLIANCE HAVE NO CONTINUOUSLY BURNING PILOT LIGHT. (EXCEPTION: NON-ELECTRICAL COOKING APPLIANCE WITH PILOT <150 BTU/HR.). 18. LIGHTING MEASURES: 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND ROOMS WITH WATER CLOSETS; RECESSED CEILING FIXTURES IC (INSULATION COVER) APPROVED.

# PROJECT DATA

**PROJECT OWNER:** OLEKSANDR STARTSEV  
**ADDRESS:** 2062 2ND AVE  
 SAN DIEGO, CALIFORNIA 92101

**LEGAL DESCRIPTION:** DB0013PG522 BLK 239'US 4 PER DOC06-06441R-3  
**OCCUPANCY (EXISTING):** RM-3-7  
**OCCUPANCY (PROPOSED):** RM-3-7  
**PROJECT DESCRIPTION:** RESIDENTIAL REMODEL  
**PARCEL # (APN):** 533-175-11-04  
**ZONING:** RM-3-7  
**TYPE:** RESIDENTIAL  
**LOT NUMBER:** 106  
**ZONING ORDINANCE:** 2006  
**CONSTRUCTION YEAR:** 11-B SPRINKLERED  
**EXISTING AREA CALCULATIONS:**  
**LOT SIZE:** 7685 SQUARE FT.  
**EXISTING RESIDENCE AREA:** 5096 SQUARE FT.  
**EXISTING GARAGE:** 7685 SQUARE FT.  
**EXISTING DECKING (COVERED):**  
**EXISTING OUTBUILDINGS:**  
**EXISTING LANDSCAPING:**  
**EXISTING F.A.R.:** 1.57  
**LOT COVERAGE:**

**EXISTING WALL CALCULATIONS:**  
**EXISTING EXTERIOR WALLS LENGTHS IN LINEAR FEET:**

**EXISTING CONCRETE CALCULATIONS:**  
**CONCRETE DRIVEWAY:**  
**CONCRETE WALKWAY:**

**PROPOSED AREA OF CONSTRUCTION CALCULATIONS:**  
**PROPOSED AREA STORAGE/BASEMENT LEVEL:** 270.406 SQUARE FT., PERIMETER = 67'-6"  
**PROPOSED AREA ADJ BASEMENT LEVEL:** 283.797 SQUARE FT., PERIMETER = 70'-6"  
**PROPOSED AREA MAIN LEVEL:**  
**PROPOSED AREA SECOND LEVEL:**  
**PROPOSED AREA THIRD LEVEL:**  
**PROPOSED OUTBUILDING:**  
**PROPOSED GARAGE:**  
**PROPOSED OUTBUILDING-LAUNDRY:**  
**PROPOSED TOTAL:**

**WALL CALCULATIONS** 12'-8 1/2"  
**PROPOSED WALLS LENGTHS IN LINEAR FEET:**

**PROPOSED LANDSCAPING:**  
**PROPOSED DECKING:**

**CONCRETE CALCULATIONS**  
**PROPOSED CONCRETE PATIO:**  
**PROPOSED CONCRETE WALKWAY:**

**F.A.R. CALCULATIONS**  
**PROPOSED LOT COVERAGE:** 1.8  
**PROPOSED F.A.R. MAX - FAR CALCULATION (IN SQ. FT.):** 1.51  
**PROPOSED F.A.R.:**

**REQUIRED SETBACKS**  
**FRONT REAR SIDE:**  
**STREET SIDE:**  
**CORNER:**

**LEGAL DATA**  
**ADDRESS:** 2064 2ND AVE  
**CITY:** SAN DIEGO  
**STATE:** CA  
**ZIP CODE:** 92101-2088  
**LEGAL DESCR.:** BLK 239'US 4 PER DOC06-0644162&UND INT IN LOT L1  
**ASSESSOR LAND:** 214831  
**ASSESSOR IMPROVEMENTS:** 592679  
**ASSESSOR TOTAL:** 809510  
**ACREAGE:**  
**BEDROOMS / BATHS:** 003 / 035  
**TAX STATUS:** T  
**TAX RATE AREA:** 08001  
**SUBMAP:** DB0013PG522  
**SUBNAME:** HORTONS ADD LOCKLING

# ABBREVIATIONS

- @ at
- L angle
- centerline
- channel
- # number
- d penny
- PL perpendicular
- PL plate
- property line
- round
- ACC access
- ADJ adjacent
- ADJT adjustable
- AGG aggregate
- AIC air conditioning
- ALT alternate
- AL aluminum
- AN anchor bolt
- ANOD anodized
- APX approximate
- ARCH architectural
- AD area drain
- ASB asbestos
- ASPH asphalt
- AT asphalt tile
- AUTO automatic
- BSMT basement
- BRG bearing
- BPL bearing plate
- BM bench mark
- BTM between
- BVL beveled
- BIT bituminous
- BLK block
- BLKG blocking
- BO board
- CB cabinet
- CPT carpet (ed)
- CSMT casement
- CL clear
- LEV level
- CB catch basin
- CK caulking
- CM ceiling
- CEM cement
- PCPL cement plaster (portland)
- CER ceramic
- CT ceramic tile
- CHBD chalkboard
- CHAM chamfer
- CM concrete
- CLR clear(ance)
- CLS closure
- CO column
- COMB combination
- COMPT compartment
- COMPO compo(sition) site
- CONC concrete
- CMU concrete masonry unit
- CONN connection
- CONST construction
- CONT continuous or continue
- CONTR contract(or)
- CLL contract limit line
- CJT control joint
- CORR corrugated
- out to fill
- CTR counter
- CFL counterflashing
- CS counter/sink
- CTS counter/sink screw
- CRS course(s)
- DPR damper
- NP natural
- DL dead load
- DEM demolish, demolition
- DMT demountable
- DEP depressed
- DET detail
- DIAG diagonal
- DIA diameter
- DIM dimension
- DISP dispenser
- DIV division
- DR door
- DH double hung
- DTA dovetail anchor
- DTS dovetail anchor slot
- DS downslope
- D drain
- DRB drain board
- DT drain tie
- DWR drawer
- DWG drawing
- DF drinking fountain
- EF each face
- E east
- ELEC electric(al)
- EP electric panel board
- EWV EWC electric water cooler
- EL elevation
- EMER emergency
- ENCL enclosure
- EQ equal
- EQPT equipment
- EST estimate
- EXCA excavate
- EXH exhaust
- EXT existing
- EB expansion bolt
- EXPO exposed
- EXT exterior
- FB face brock
- FOC face of concrete
- FOF face of finish
- FOM face of masonry
- FOS face of study
- FF factory finish
- FAS fasten, fastener
- FN fence
- FBD fiberboard
- FGL fiberglass
- FIN finish(ed)
- FFE finished floor elevation
- FFL finished floor line
- FA fire alarm
- FE fire extinguisher
- FEC fire extinguisher cabinet
- FHS fire hose station
- FP fireproof
- FRFC fire-resistant coating
- FRT fire retardant
- FL flashing
- FHMS flathead machine screw
- FLCO floor cleanup
- FD floor drain
- FLUR fluorescent
- FJT flush joint
- FTG footing
- FND foundation
- FR frame(d), (ing)
- FRA fresh air
- FS full size
- FBO furnished by others
- FUR furred(ing)
- FUT future
- GA gauge
- GALV galvanized
- GI galvanized iron
- GP galvanized pipe
- GSS galvanized steel sheet
- GKT gasket (ed)
- GC general contract(or)
- GL glass, glazing
- GB grab bar
- GD grade, grading
- GV gravel
- GPW gypsum drywall
- GPLL gypsum plaster
- HW handhole
- HBD hardboard
- HDW hardware
- HWD hardwood
- HJT heat joint
- HDR header
- HTG heating
- HVAC heating/ventilating/air conditioning
- HD heavy duty
- HGT height
- HK hexagonal
- HC hollow core
- HM hollow metal
- HK hook(s)
- HORIZ horizontal
- HB hose bibb
- HH hot water heater
- INCL include(d), (ing)
- ID inside diameter
- INT interior
- INTM intermediate
- INV invert
- IFS iron pipe size
- JF joint filler
- J joint
- JF joint
- KCPL Kaenel's cement plaster
- KPL kickplate
- KIT kitchen
- KO knockout
- LBL label
- LAB laboratory
- LAB locker
- LB lag bolt
- LAM laminate(d)
- CMC ceiling
- LH left hand
- L length
- LT light
- LWC lightweight
- LWC lightweight concrete
- LL lintel
- LL lead
- LVR louver
- LPT low point
- MC machine bolt
- MM manhole
- MFR manufacture(r)
- MAS masonry
- MO masonry opening
- MTL material(s)
- MAX maximum
- MECH mechanical(al)
- MC medicine cabinet
- MED medium
- MET metal
- MM minimum
- MIR mirror
- MISC miscellaneous
- MCD modular
- MLD molding
- MTD out(d), (ing)
- MOV movable
- MULL mullion
- NAT natural
- NP noise reduction
- NRC noise reduction coefficient
- NO nominal
- NIC not in contact
- NTS not to scale
- OBS obscure
- OC on center(s)
- OPG opening
- OPP opposite
- OPH opposite hand
- OD outside diameter
- OA overall
- OH overhead
- PNT paint (ed)
- PNL panel
- PS panic bar
- PAR parallel
- PK parking
- PTM partition
- PERF perforate(d)
- PERI perimeter
- PLAS plaster
- PLAM plastic laminate
- PL plate
- PG plate glass
- PWD plywood
- PT point
- PVC polyvinyl chloride
- PSF pounds per square foot
- PSI pounds per square inch
- PCC precast concrete
- PF prefabricate(d)
- PSC pre stressed concrete
- QR quarry tile
- RAD radius
- REF reference
- RLF reflect (ed), (ing)
- REFR refrigerator
- REG register
- REIN reinforce (d), (ing)
- RCP reinforced concrete pipe
- REM remove
- RESIL resilient
- RET return
- RA return air
- REV revision(s), revise(d)
- RH right hand
- R riser
- RD roof drain
- RHF roof hatch
- RFG roofing
- RO roof opening
- SFGL safety glass
- SCH schedule
- STG sealing
- SECT section
- SFU save for future
- SSK service sink
- SHTH sheathing
- SHT sheet
- SIM similar
- SKL skylight
- SI sleeve
- SC solid core
- SD slope to drain
- SP soundproof
- SPEC specification (s)
- SQ square
- SST stainless steel
- STD standard
- STL steel
- STOR storage
- SD storm drain
- STR structural
- SUSP suspended
- SYM symmetry(al)
- TKBD tackboard
- TEL telephone
- TV television
- TK thick(ness)
- TPTN toilet partition
- T&G tongue and groove
- TSL top of slab
- TST top of steel
- TW top of wall
- T tread
- TP typical
- TP toilet paper dispenser
- UNF unfinished
- UNO unless noted otherwise
- VJ v-joint(ed)
- VB vapor barrier
- VAR varnish
- VERT vertical
- VG vertical grain
- VAT vinyl asbestos tile
- VIF verify in field
- WC water closet
- WP waterproofing
- WR water repellent
- WS water stop
- WWF welded wire fabric
- W width, wide
- WIN window
- WG wired glass
- WM wire mesh
- WO without
- WD wood

**PROPOSED REMODEL FOR OLEKSANDR STARTSEV**  
**2062 2ND AVE SAN DIEGO, CALIFORNIA 92101**  
**(APN): 533-175-1104**

# COVER SHEET

NO.	REVISION/ISSUE	DATE
1	CLIENT REVIEW	8/25/2021
2	A.R.L.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GRAND AVE SUITE 106  
 LA JOLLA, CA 92037  
 (619) 367-9083  
 WWW.ADVANCEDDEVELOPMENT.NET

Project	123456789	Sheet	A00
Date	08/2021		
Scale			



# FINISH SCHEDULE

## BLDG A UNIT A

### FINISH SCHEDULE

ROOM	FLOOR	MAT'L	BASE	FINISH	REMARKS	WALLS	FINISH	REMARKS	Ceilings	FINISH	REMARKS	OTHER
GARAGE		CONC	VB			GB	PC-3		PTD	PC-1		
ENTRY		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
STAIRS LEVEL 1		CONC	VB			GB	PC-3		PTD	PC-1		
POWDER ROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
DINING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
LIVING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
KITCHEN		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - GRANITE
STAIRS LEVEL 2-4		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
HALL		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BEDROOM 1		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BATHROOM 1		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
BEDROOM 2		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BATHROOM 2		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
MASTER CLOSET		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
MASTER BATHROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
MASTER BEDROOM		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		

### PLUMBING SCHEDULE

NAME	AMT	UNF#	COLOR	OTHER	REMARKS
KITCHEN SINK	1	AMERICAN STANDARD 7510.103	SS		CULINAIRE DUAL LEVEL W/ DRAIN BOARD
KITCHEN SINK FIXTURE	1	AMERICAN STANDARD 4147.001	SS		CULINAIRE H-FLOW FAUCET
GARBAGE DISPOSAL	1	GE #17775S (T7)			
LAVATORY	5	AMERICAN STANDARD 0630.000	WHITE		ORBIT UNDERCOUNTER, 15 1/2", VITREOUS CHINA
LAVATORY FIXTURES	5	AMERICAN STANDARD 781.732	CHROME		HAMPTON WIDE SPREAD W/ LEVER HANDLE
WATER CLOSET	4	KOHLER #3241	WHITE		HAMPTON WIDE SPREAD W/ LEVER HANDLE
BATH TUB	2	AMERICAN STANDARD, PRINCETON	WHITE		
BATH TUB FIXTURE	2	AMERICAN STANDARD 1215.720	CHROME		HAMPTON W/POLISHED CHROME LEVER HANDLE
MASTER BATH TUB	1	AMERICAN STANDARD, PRINCETON	WHITE		
MASTER BATH TUB FIXTURE	1	AMERICAN STANDARD 1980.732	CHROME		HAMPTON DECK MOUNT
MASTER SHOWER FIXTURE	1	AMERICAN STANDARD 1215.720	CHROME		HAMPTON W/LEVER HANDLE, SHOWER ONLY

### ELECTRICAL/FIXTURE SCHEDULE

NAME	AMT	UNF#	COLOR	WATTS	REMARKS
CAN LIGHT	46				SUB TO FURNISH AND INSTALL
HANGING FIXTURE	3	HAMPTON BAY PENDANT #27049			SUB TO FURNISH AND INSTALL
FLUORESCENT	7				SUB TO FURNISH AND INSTALL
SURFACE MOUNT - INTERIOR	5	KOHLER #3241			
CEILING LIGHT/FAN	2	HARBOR BREEZE AERO #A9328P5L9K	WH/BL		52"
SURFACE MOUNT - EXTERIOR	5	LIGHTOLIER OPALX #5776			MAT BLACK LEXAN

### APPLIANCE SCHEDULE

APPLIANCES SUPPLIED AND INSTALLED BY CONTRACTOR

NAME	AMT	UNF#	COLOR	WATTS	REMARKS
REFRIGERATOR	1	GE #PSS26GRSS	SS		ARCTICA SIDE-BY-SIDE
MICROWAVE	1	GE #E81095SB	SS		BUILT-IN
RANGE	1	GE #A20948HSS	SS		30" GAS
HOOD	1	FABER ISOLA ISLAND	SS		
DISHWASHER	1	GE #PWH820JSS	SS		
WASHING MACHINE	1	GE #FWRH2200VWV	WH		
DRYER	1	GE #FPSR6200CVW	WH		

## BLDG A UNIT B

### FINISH SCHEDULE

ROOM	FLOOR	MAT'L	BASE	FINISH	REMARKS	WALLS	FINISH	REMARKS	Ceilings	FINISH	REMARKS	OTHER
GARAGE		CONC	VB			GB	PC-3		PTD	PC-1		
ENTRY		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
STAIRS LEVEL 1		CONC	VB			GB	PC-3		PTD	PC-1		
POWDER ROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
DINING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
LIVING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
KITCHEN		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - GRANITE
STAIRS LEVEL 2-4		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
HALL		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BEDROOM 1		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BATHROOM 1		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
BEDROOM 2		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BATHROOM 2		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
MASTER CLOSET		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
MASTER BATHROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
MASTER BEDROOM		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		

### PLUMBING SCHEDULE

NAME	AMT	UNF#	COLOR	OTHER	REMARKS
KITCHEN SINK	1	AMERICAN STANDARD 7510.103	SS		CULINAIRE DUAL LEVEL W/ DRAIN BOARD
KITCHEN SINK FIXTURE	1	AMERICAN STANDARD 4147.001	SS		CULINAIRE H-FLOW FAUCET
GARBAGE DISPOSAL	1	GE #17775S (T7)			
LAVATORY	5	AMERICAN STANDARD 0630.000	WHITE		ORBIT UNDERCOUNTER, 15 1/2", VITREOUS CHINA
LAVATORY FIXTURES	5	AMERICAN STANDARD 781.732	CHROME		HAMPTON WIDE SPREAD W/ LEVER HANDLE
WATER CLOSET	4	KOHLER #3241	WHITE		HAMPTON WIDE SPREAD W/ LEVER HANDLE
BATH TUB	2	AMERICAN STANDARD, PRINCETON	WHITE		
BATH TUB FIXTURE	2	AMERICAN STANDARD 1215.720	CHROME		HAMPTON W/POLISHED CHROME LEVER HANDLE
MASTER BATH TUB	1	AMERICAN STANDARD, PRINCETON	WHITE		
MASTER BATH TUB FIXTURE	1	AMERICAN STANDARD 1980.732	CHROME		HAMPTON DECK MOUNT
MASTER SHOWER FIXTURE	1	AMERICAN STANDARD 1215.720	CHROME		HAMPTON W/LEVER HANDLE, SHOWER ONLY

### ELECTRICAL/FIXTURE SCHEDULE

NAME	AMT	UNF#	COLOR	WATTS	REMARKS
CAN LIGHT	46				SUB TO FURNISH AND INSTALL
HANGING FIXTURE	3	HAMPTON BAY PENDANT #27049			SUB TO FURNISH AND INSTALL
FLUORESCENT	7				SUB TO FURNISH AND INSTALL
SURFACE MOUNT - INTERIOR	5	KOHLER #3241			
CEILING LIGHT/FAN	2	HARBOR BREEZE AERO #A9328P5L9K	WH/BL		52"
SURFACE MOUNT - EXTERIOR	5	LIGHTOLIER OPALX #5776			MAT BLACK LEXAN

### APPLIANCE SCHEDULE

APPLIANCES SUPPLIED AND INSTALLED BY CONTRACTOR

NAME	AMT	UNF#	COLOR	WATTS	REMARKS
REFRIGERATOR	1	GE #PSS26GRSS	SS		ARCTICA SIDE-BY-SIDE
MICROWAVE	1	GE #E81095SB	SS		BUILT-IN
RANGE	1	GE #A20948HSS	SS		30" GAS
HOOD	1	FABER ISOLA ISLAND	SS		
DISHWASHER	1	GE #PWH820JSS	SS		
WASHING MACHINE	1	GE #FWRH2200VWV	WH		
DRYER	1	GE #FPSR6200CVW	WH		

# FINISH SCHEDULE

## BLDG B UNIT C

### FINISH SCHEDULE

ROOM	FLOOR	MAT'L	BASE	FINISH	REMARKS	WALLS	FINISH	REMARKS	Ceilings	FINISH	REMARKS	OTHER
GARAGE		CONC	VB			GB	PC-3		PTD	PC-1		
ENTRY		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
STAIRS LEVEL 1		CONC	VB			GB	PC-3		PTD	PC-1		
POWDER ROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
DINING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
LIVING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
KITCHEN		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - GRANITE
STAIRS LEVEL 2-4		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
HALL		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BEDROOM 1		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BATHROOM 1		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
BEDROOM 2		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
BATHROOM 2		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
MASTER CLOSET		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		
MASTER BATHROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
MASTER BEDROOM		CPT	WB	CPT-1		GB	PC-2		PTD	PC-1		

### PLUMBING SCHEDULE

NAME	AMT	UNF#	COLOR	OTHER	REMARKS
KITCHEN SINK	1	AMERICAN STANDARD 7510.103	SS		CULINAIRE DUAL LEVEL W/ DRAIN BOARD
KITCHEN SINK FIXTURE	1	AMERICAN STANDARD 4147.001	SS		CULINAIRE H-FLOW FAUCET
GARBAGE DISPOSAL	1	GE #17775S (T7)			
LAVATORY	5	AMERICAN STANDARD 0630.000	WHITE		ORBIT UNDERCOUNTER, 15 1/2", VITREOUS CHINA
LAVATORY FIXTURES	5	AMERICAN STANDARD 781.732	CHROME		HAMPTON WIDE SPREAD W/ LEVER HANDLE
WATER CLOSET	4	KOHLER #3241	WHITE		HAMPTON WIDE SPREAD W/ LEVER HANDLE
BATH TUB	2	AMERICAN STANDARD, PRINCETON	WHITE		
BATH TUB FIXTURE	2	AMERICAN STANDARD 1215.720	CHROME		HAMPTON W/POLISHED CHROME LEVER HANDLE
MASTER BATH TUB	1	AMERICAN STANDARD, PRINCETON	WHITE		
MASTER BATH TUB FIXTURE	1	AMERICAN STANDARD	CHROME		HAMPTON

### ELECTRICAL/FIXTURE SCHEDULE

NAME	AMT	UNF#	COLOR	WATTS	REMARKS
CAN LIGHT	41				SUB TO FURNISH AND INSTALL
HANGING FIXTURE	3	HAMPTON BAY PENDANT #27049			SUB TO FURNISH AND INSTALL
FLUORESCENT	7				SUB TO FURNISH AND INSTALL
SURFACE MOUNT - INTERIOR	5	KOHLER #3241			
CEILING LIGHT/FAN	2	HARBOR BREEZE AERO #A9328P5L9K	WH/BL		52"
SURFACE MOUNT - EXTERIOR	5	LIGHTOLIER OPALX #5776			MAT BLACK LEXAN

### APPLIANCE SCHEDULE

APPLIANCES SUPPLIED AND INSTALLED BY CONTRACTOR

NAME	AMT	UNF#	COLOR	WATTS	REMARKS
REFRIGERATOR	1	GE #PSS26GRSS	SS		ARCTICA SIDE-BY-SIDE
MICROWAVE	1	GE #E81095SB	SS		BUILT-IN
RANGE	1	GE #A20948HSS	SS		30" GAS
HOOD	1	FABER ISOLA ISLAND	SS		
DISHWASHER	1	GE #PWH820JSS	SS		
WASHING MACHINE	1	GE #FWRH2200VWV	WH		
DRYER	1	GE #FPSR6200CVW	WH		

## BLDG B UNIT D

### FINISH SCHEDULE

ROOM	FLOOR	MAT'L	BASE	FINISH	REMARKS	WALLS	FINISH	REMARKS	Ceilings	FINISH	REMARKS	OTHER
GARAGE		CONC	VB			GB	PC-3		PTD	PC-1		
ENTRY		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
STAIRS LEVEL 1		CONC	VB			GB	PC-3		PTD	PC-1		
POWDER ROOM		CT	WB	CT-1		GB	PC-3		PTD	PC-1		CTR - SEALED Limestone
DINING ROOM		WD	WB	WD-1		GB	PC-2		PTD	PC-1		
LIVING ROOM		WD	WB	WD-1								



# FLOOR PLAN NOTES

1. EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16"O.C. U.N.O. (UNLESS NOTED OTHERWISE)
2. FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
3. DHW (DOMESTIC WATER HEATER); INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
4. DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL. WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
5. GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);
6. PROVIDE MINIMUM 22"X30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
7. ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
8. ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
3. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER
4. PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.

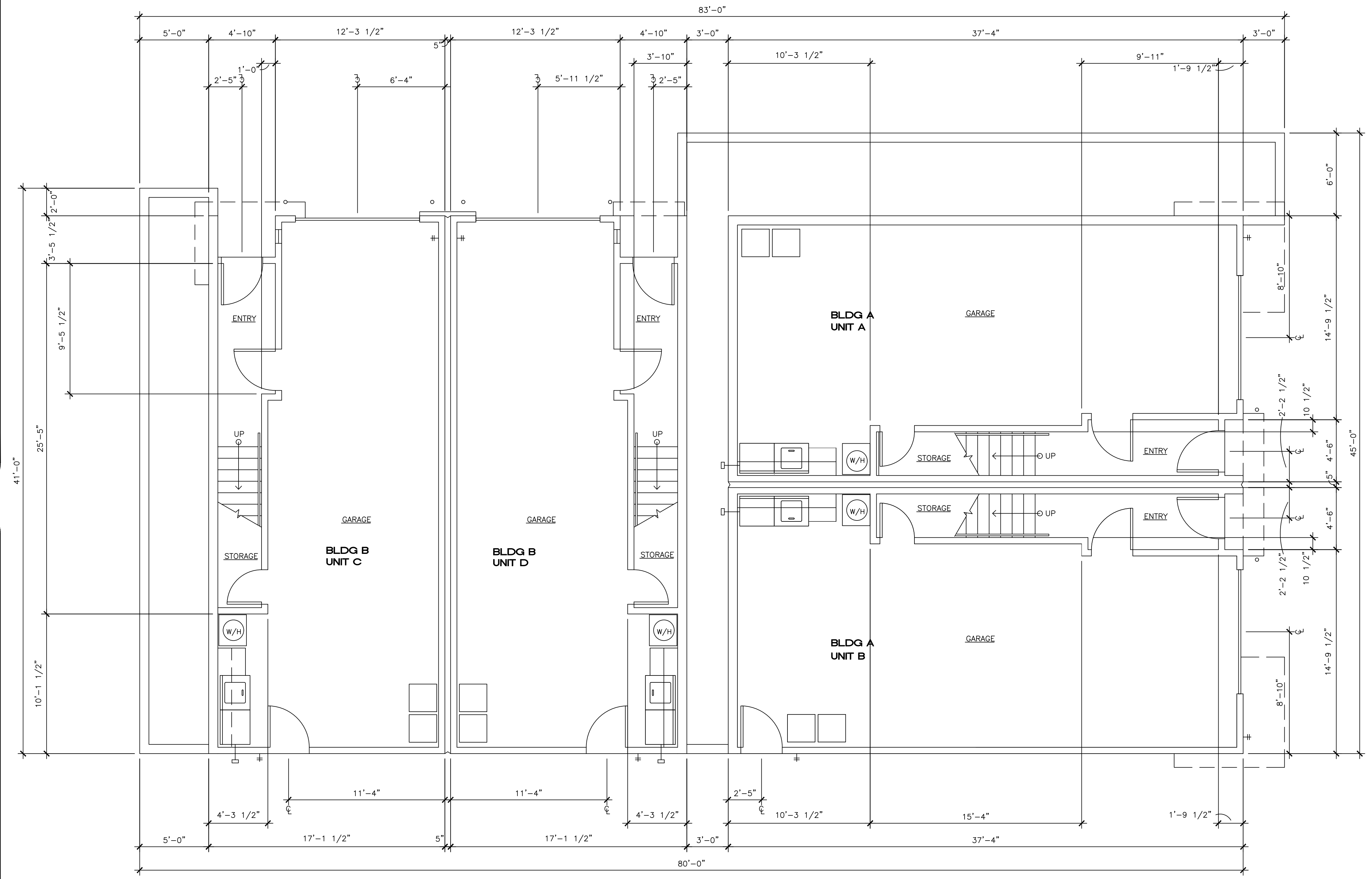
**WALL LEGEND**

	2 x 4 WALL WOOD FRAMED WALL
	2 x 6 WALL WOOD FRAMED WALL
	2 X 8 WALL WOOD FRAMED WALL
	EXISTING WALL
	TO BE REMOVED
	8" CONCRETE
	CMU WALL

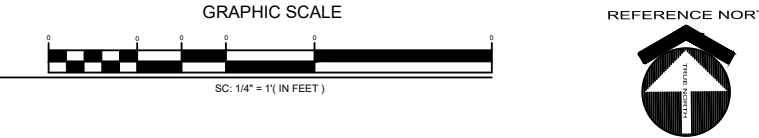
NOTE: (T) = TEMPERED GLAZING  
SEE ALSO WINDOW SCHEDULE

SEE STRUCTURAL DRAWINGS FOR ACTUAL SIZE AND SPACING

1. ELECTRIC METER AND PANEL: 200 AMP SERVICE
2. INDICATES NEW GAS METER W/ SEISMIC SHUTOFF VALVE
3. NEW 4" REIN. CONCRETE SLAB PER STRUCTURAL PLANS.
4. PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS.
5. PROVIDE 5/8" TYPE 'X' GYP. BD. UNDER STAIRS AT WALLS AND CEILING
6. +48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLEX VALVE
7. 12"X12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUBWALLS OVER DENS SHIELD OR CEMENT BD. (TILE STYLE BY OWNER)
8. WATER HEATER: GAS ON-DEMAND WALL MOUNTED INSTANT WATER HEATER
9. PROVIDE 15" MIN. CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET AND MIN. 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE
10. INSTALL AS A GAS BURNING FIREPLACE ONLY PER MANUFACTURER'S SPECS. PROVIDE APPROVED GAS LOG ASSEMBLY W/ ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL. PROVIDE BLACK CHAIN MESH SCREEN THAT PULLS OPEN TO BOTH SIDES EQUALLY.
11. PROVIDE 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH THIN SET OVER CONC. SLAB OR MIN. 3/4" T&G PLYWOOD FLOOR SHEATING.
12. 3/4" (OWNER) PRE-FINISHED HARDWOOD FLOORING. FLOORING TO BE GLUED DIRECTLY TO CONC. SLAB AT LOWEST FLOOR AND NAILED TO PLYWOOD SHGT. AT UPPER FLOOR. PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE.
13. PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAILS.
14. SHOWERS AND SHOWER TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALED AND THERMAL SHOCK PROTECTION.
15. PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE TEMPERED GLASS DOORS OR ENCLOSURE AROUND SHOWER.
16. SHADOW LEDGE STONE KANELLA - MODEL # 97618 HOME DEPOT - MORTARED, DRY STACK APPLICATION.
17. INDICATES SOFFIT ABOVE FOR MECHANICAL DUCTS.
18. INDICATES RETURN AIR GRILL.
19. PROVIDE 18" HIGH PLATFORM AT FAU FOR RETURN AIR UNDERNEATH.
20. TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN (OPTIONAL)
21. 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING, OPTIONAL).
22. INDICATES LINE OF ROOF ABOVE.
23. INDICATES LINE OF SECOND FLOOR ABOVE.
24. PROVIDE EXTERIOR HEAT PUMP W/ INTERIOR FAU FORCED AIR HANDLER AS SHOWN PER TITLE-24 ENERGY COMPLIANCE REPORT.
25. CLOTHES CLOSET SHELF AND POLE.
26. INDICATES LINE OF FIRST FLOOR BELOW.
27. INDICATES STANDARD ARCH QUONSET METAL ROOF PANELS FROM STEELMASTER (24" WIDE PANELS X 7 1/2" DEEP).
28. PROVIDE GRANITE, QUARTZITE OR MARBLE LAVATORY TOPS WITH VESSEL OR OTHER STYLE SINKS AS SHOWN PER PLANS
29. PROVIDE GRANITE OR QUARTZITE OR MARBLE COUNTERTOPS IN KITCHEN.
30. PROVIDE 6' HIGH WOOD FENCE PER PLANS AND DETAILS FOR EXTERIOR RADIUS PRIVACY WALL.
31. MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME. (CLIENT TO DECIDE)
32. WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME. (CLIENT TO DECIDE)
33. 30" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE. (OPTIONAL GLASS DOOR)
34. PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK. (OPTIONAL)
35. MIN. ATTIC ACCESS 30"X30" WITH F.A.U. IN ATTIC OR 22"X30" WITH NO MECHANICAL EQUIP. IN ATTIC. PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING.
36. 5 1/2" METAL STUDS AT 24" O.C. PER STRUCTURAL W/R-21 FIBERGLASS BATT INSUL. PROVIDE 2 3/4" ROK-ON R-10.5 STRUCTURAL INSULATED SHEATHING AT EXTERIOR.
37. PROVIDE FORCED AIR UNIT IN ATTIC PER TITLE-24 COMPLIANCE REQUIREMENTS.
38. 5 1/2" CLOSED CELL SPRAY-ON FOAM INSULATION (MIN. R-38).
39. CARPET AND PAD (COLOR & STYLE BY OWNER). (OPTIONAL)
40. 4" CONCRETE WALKWAY OR PATIO W/ 4" WIDE PEA GRAVEL OR LARGER SMOOTH STONE BORDERS. TYPICAL POURED CONC. PAVERS TO BE 48" X 48" AND HAVE A NATURAL CONC. COLOR W/ A ROCK SALT TEXTURED FINISH.



## PERMITTED BASEMENT GARAGE DIMENSION PLAN



Project Name and Address

**PROPOSED REMODEL FOR  
OLEKSANDR STARTSEV  
2062 2ND AVE SAN DIEGO,  
CALIFORNIA 92101  
(APN: 633-175-1104**

**CLIENT REVIEW**  
**BASEMENT LEVEL**  
**FLOOR PLAN**

	CLIENT REVIEW	8/25/2021
	A.R.L.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	

No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BIRARD AVE SUITE 106  
LA JOLLA, CA 92037  
PH: 619-451-7800  
WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	123456789	Sheet	A4.2
Date	08/2021	Scale	

# FLOOR PLAN NOTES

- EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16"O.C. U.N.O. (UNLESS NOTED OTHERWISE)
- FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
- DHW (DOMESTIC WATER HEATER): INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
- DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL. GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE "MASONITE" OR "EQ". DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
- GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF 44". PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLANS;
- PROVIDE MINIMUM 22"x30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
- ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL. MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.

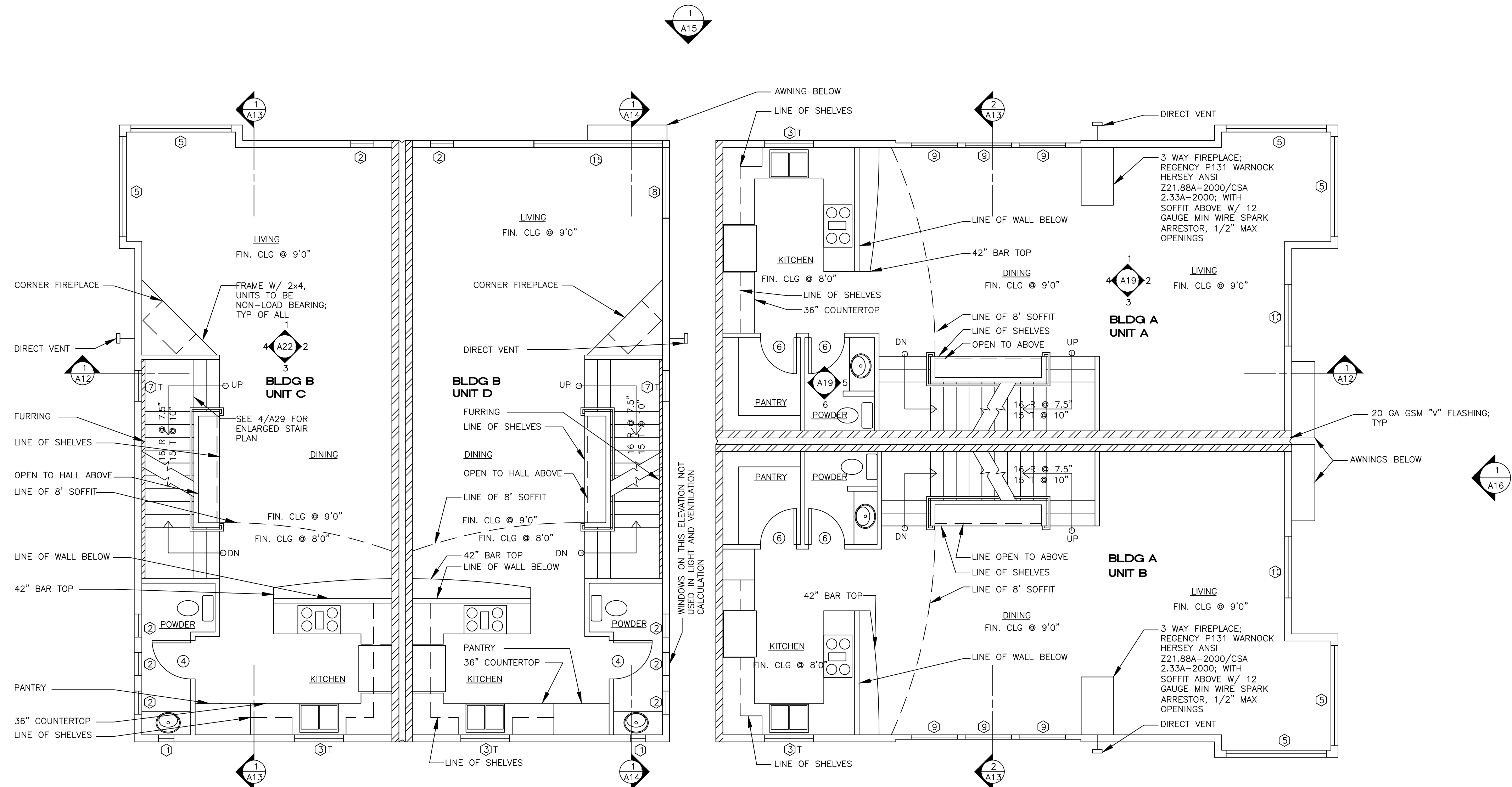
**WALL LEGEND**

	2 x 4 WALL WOOD FRAMED WALL
	2 x 6 WALL WOOD FRAMED WALL
	2 x 8 WALL WOOD FRAMED WALL
	EXISTING WALL
	TO BE REMOVED
	8" CONCRETE
	CMU WALL

NOTE: (T) = TEMPERED GLAZING  
SEE ALSO WINDOW SCHEDULES

SEE STRUCTURAL DRAWINGS FOR ACTUAL SIZE AND SPACING

- ELECTRIC METER AND PANEL: 200 AMP SERVICE
- INDICATES NEW GAS METER W/ SEISMIC SHUTOFF VALVE
- NEW 4" REIN. CONCRETE SLAB PER STRUCTURAL PLANS.
- PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS.
- PROVIDE 5/8" TYPE 'X' GYP. BD. UNDER STAIRS AT WALLS AND CEILING
- +48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLEX VALVE
- 12"x12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUBWALLS OVER DENS SHIELD OR CEMENT BD. (TILE STYLE BY OWNER)
- WATER HEATER: GAS ON-DEMAND WALL MOUNTED INSTANT WATER HEATER
- PROVIDE 15" MIN. CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET AND MIN. 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE
- INSTALL AS A GAS BURNING FIREPLACE ONLY PER MANUFACTURER'S SPECS. PROVIDE APPROVED GAS LOG ASSEMBLY W/ ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL. PROVIDE BLACK CHAIN MESH SCREEN THAT PULLS OPEN TO BOTH SIDES EQUALLY.
- PROVIDE 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH THIN SET OVER CONC. SLAB OR MIN. 3/4" T&G PLYWOOD FLOOR SHEATING.
- 3/4" (OWNER) PRE-FINISHED HARDWOOD FLOORING. FLOORING TO BE GLUED DIRECTLY TO CONC. SLAB AT LOWEST FLOOR AND NAILED TO PLYWOOD SHGT. AT UPPER FLOOR. PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE.
- PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAILS.
- SHOWERS AND SHOWER TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALED AND THERMAL SHOCK PROTECTION.
- PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE TEMPERED GLASS DOORS OR ENCLOSURE AROUND SHOWER.
- SHADOW LEDGE STONE KANELLA - MODEL # 97618 HOME DEPOT - MORTARED, DRY STACK APPLICATION.
- INDICATES SOFFIT ABOVE FOR MECHANICAL DUCTS.
- INDICATES RETURN AIR GRILL.
- PROVIDE 18" HIGH PLATFORM AT FAU FOR RETURN AIR UNDERNEATH.
- TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN (OPTIONAL)
- 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING, OPTIONAL).
- INDICATES LINE OF ROOF ABOVE.
- INDICATES LINE OF SECOND FLOOR ABOVE.
- PROVIDE EXTERIOR HEAT PUMP W/ INTERIOR FAU FORCED AIR HANDLER AS SHOWN PER TITLE-24 ENERGY COMPLIANCE REPORT.
- CLOTHES CLOSET SHELF AND POLE.
- INDICATES LINE OF FIRST FLOOR BELOW.
- INDICATES STANDARD ARCH QUONSET METAL ROOF PANELS FROM STEELMASTER (24" WIDE PANELS X 7 1/2" DEEP).
- PROVIDE GRANITE, QUARTZITE OR MARBLE LAVATORY TOPS WITH VESSEL OR OTHER STYLE SINKS AS SHOWN PER PLANS.
- PROVIDE GRANITE OR QUARTZITE OR MARBLE COUNTERTOPS IN KITCHEN.
- PROVIDE 6' HIGH WOOD FENCE PER PLANS AND DETAILS FOR EXTERIOR RADIUS PRIVACY WALL.
- MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME. (CLIENT TO DECIDE)
- WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME. (CLIENT TO DECIDE)
- 30" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE. (OPTIONAL GLASS DOOR)
- PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK. (OPTIONAL)
- MIN. ATTIC ACCESS 30"x30" WITH F.A.U. IN ATTIC OR 22"x30" WITH NO MECHANICAL EQUIP. IN ATTIC. PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING.
- 5 1/2" METAL STUDS AT 24" O.C. PER STRUCTURAL W/R-21 FIBERGLASS BATT INSUL. PROVIDE 2 3/4" ROK-ON R-10.5 STRUCTURAL INSULATED SHEATHING AT EXTERIOR.
- PROVIDE FORCED AIR UNIT IN ATTIC PER TITLE-24 COMPLIANCE REQUIREMENTS.
- 5 1/2" CLOSED CELL SPRAY-ON FOAM INSULATION (MIN. R-38).
- CARPET AND PAD (COLOR & STYLE BY OWNER). (OPTIONAL)
- 4" CONCRETE WALKWAY OR PATIO W/ 4" WIDE PEA GRAVEL OR LARGER SMOOTH STONE BORDERS. TYPICAL POURED CONC. PAVERS TO BE 48" X 48" AND HAVE A NATURAL CONC. COLOR W/ A ROCK SALT TEXTURED FINISH

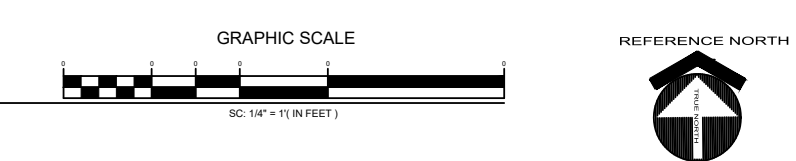


**WALL LEGEND**

	EXTERIOR WALL: 8" WIDTH, STANDARD BLOCK CMU WALL
	INTERIOR 1-HOUR FIRE-RESISTIVE WALL: 2x WOOD STUDS @ 16" O/C W/ 5/8" TYPE X GWB EA. SIDE
	EXTERIOR 1-HOUR FIRE-RESISTIVE WALL: 2x WOOD STUDS @ 16" O/C W/ 5/8" TYPE X GWB (INT) AND 7/8" STUCCO
	RETAINING WALL: 8" WIDE STANDARD BLOCK CMU WALL, 3' HT MAX

NOTE: ALL WALLS AND CEILINGS TO BE 1-HOUR CONSTRUCTION AT BASEMENT; TYPE X

## PERMITTED FIRST LEVEL FLOOR PLAN



**PROPOSED REMODEL FOR  
OLEKSANDR STARTSEV  
2062 2ND AVE SAN DIEGO,  
CALIFORNIA 92101  
(APN: 533-175-1104)**

**CLIENT TITLE**

**MAIN LEVEL FLOOR PLAN**

	CLIENT REVIEW	8/25/2021
	A.R.L.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BRARD AVE SUITE 106  
LA JOLLA, CA 92037  
TEL: 619-451-1111  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	123456789	Sheet	A4.3
Date	08/2021		
Scale			

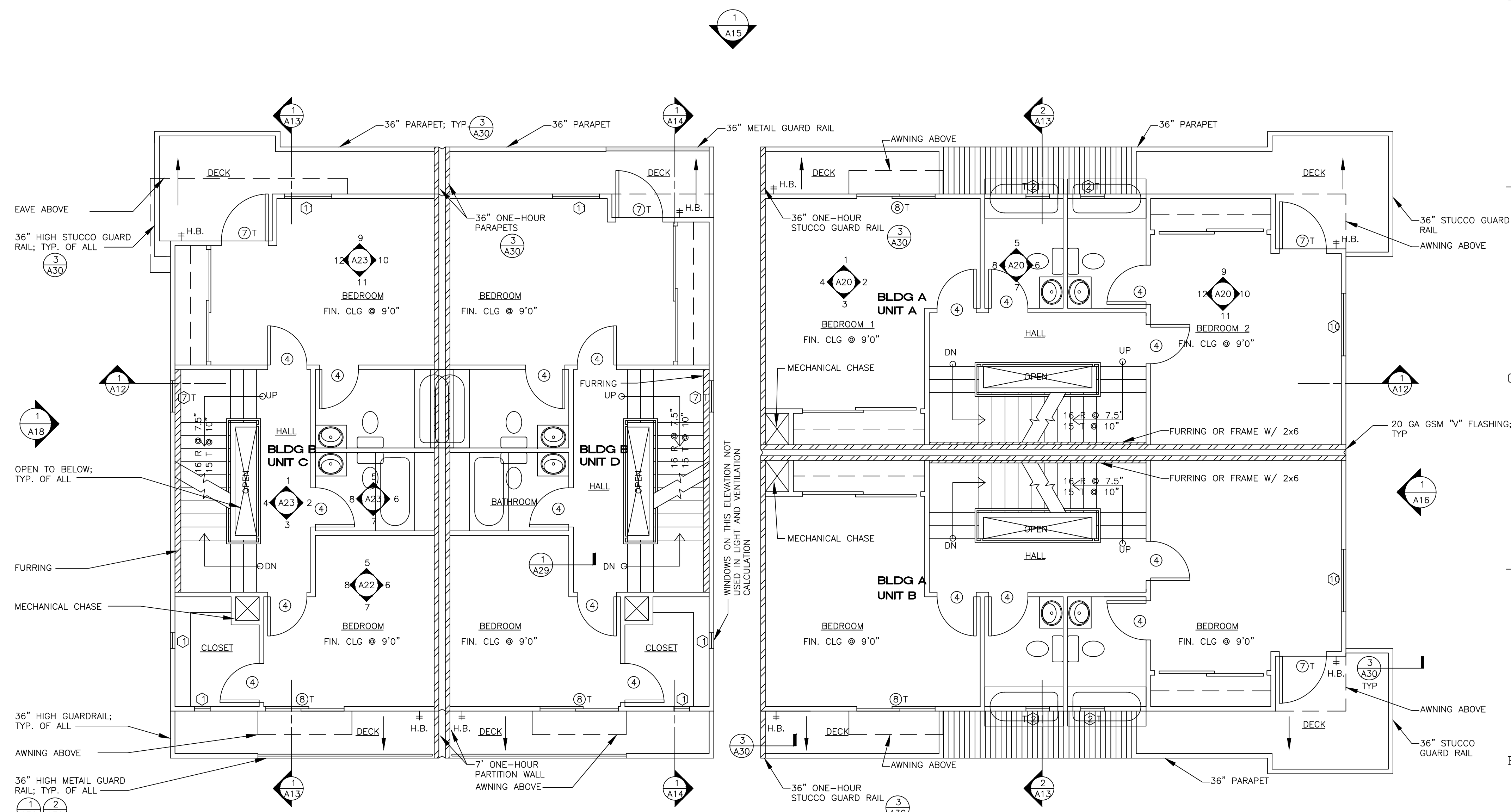


# FLOOR PLAN NOTES

- EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16" O.C. U.N.O. (UNLESS NOTED OTHERWISE)
- FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
- DHW (DOMESTIC WATER HEATER): INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
- DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
- GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);
- PROVIDE MINIMUM 22"X30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
- ABOVE ACCESS: 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2.15 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.

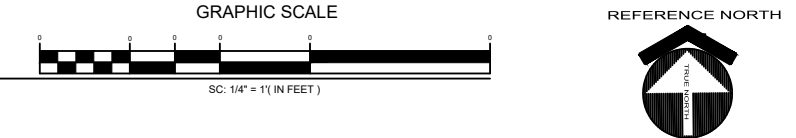
- WALL LEGEND**
- 2 x 4 WALL WOOD FRAMED WALL
  - 2 x 6 WALL WOOD FRAMED WALL
  - 2 x 8 WALL WOOD FRAMED WALL
  - EXISTING WALL
  - TO BE REMOVED
  - 8" CONCRETE
  - CMU WALL
- NOTE: (T) = TEMPERED GLAZING  
SEE ALSO WINDOW SCHEDULE

- ELECTRIC METER AND PANEL: 200 AMP SERVICE
- INDICATES NEW GAS METER W/ SEISMIC SHUTOFF VALVE
- NEW 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS.
- PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS.
- PROVIDE 5/8" TYPE 'X' GYP. BD. UNDER STAIRS AT WALLS AND CEILING
- +48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLEX VALVE
- 12"X12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUBWALLS OVER DENS SHIELD OR CEMENT BD. (TILE STYLE BY OWNER)
- WATER HEATER: GAS ON-DEMAND WALL MOUNTED INSTANT WATER HEATER
- PROVIDE 15" MIN. CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET AND MIN. 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE.
- INSTALL AS A GAS BURNING FIREPLACE ONLY PER MANUFACTURER'S SPECS. PROVIDE APPROVED GAS LOG ASSEMBLY W/ ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL. PROVIDE BLACK CHAIN MESH SCREEN THAT PULLS OPEN TO BOTH SIDES EQUALLY.
- PROVIDE 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH THIN SET OVER CONC. SLAB OR MIN. 3/4" T&G PLYWOOD FLOOR SHEATING.
- 3/4" (OWNER) PRE-FINISHED HARDWOOD FLOORING. FLOORING TO BE GLUED DIRECTLY TO CONC. SLAB AT LOWEST FLOOR AND NAILED TO PLYWOOD SHGT. AT UPPER FLOOR. PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE.
- PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAILS.
- SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALED AND THERMAL SHOCK PROTECTION.
- PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE TEMPERED GLASS DOORS OR ENCLOSURE AROUND SHOWER.
- SHADOW LEDGE STONE KANELLA - MODEL # 97618 HOME DEPOT - MORTARED, DRY STACK APPLICATION.
- INDICATES SOFFIT ABOVE FOR MECHANICAL DUCTS.
- INDICATES RETURN AIR GRILL.
- PROVIDE 18" HIGH PLATFORM AT FAU FOR RETURN AIR UNDERNEATH.
- TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN. (OPTIONAL)
- 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING, OPTIONAL).
- INDICATES LINE OF ROOF ABOVE.
- INDICATES LINE OF SECOND FLOOR ABOVE.
- PROVIDE EXTERIOR HEAT PUMP W/ INTERIOR FAU FORCED AIR HANDLER AS SHOWN PER TITLE-24 ENERGY COMPLIANCE REPORT.
- CLOTHES CLOSET SHELF AND POLE.
- INDICATES LINE OF FIRST FLOOR BELOW.
- INDICATES STANDARD ARCH QUONSET METAL ROOF PANELS FROM STEELMASTER (24" WIDE PANELS X 7 1/2" DEEP).
- PROVIDE GRANITE, QUARTZITE OR MARBLE LAVATORY TOPS WITH VESSEL OR OTHER STYLE SINKS AS SHOWN PER PLANS.
- PROVIDE GRANITE OR QUARTZITE OR MARBLE COUNTERTOPS IN KITCHEN.
- PROVIDE 6" HIGH WOOD FENCE PER PLANS AND DETAILS FOR EXTERIOR RADIUS PRIVACY WALL.
- MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME. (CLIENT TO DECIDE)
- WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME. (CLIENT TO DECIDE)
- 30" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE. (OPTIONAL GLASS DOOR)
- PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK. (OPTIONAL)
- MIN. ATTIC ACCESS 30" X 30" WITH F.A.U. IN ATTIC OR 22" X 30" WITH NO MECHANICAL EQUIP. IN ATTIC. PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING.
- 5 1/2" METAL STUDS AT 24" O.C. PER STRUCTURAL W/R-21 FIBERGLASS BATT INSUL PROVIDE 2 3/4" ROK-ON R-10-S STRUCTURAL INSULATED SHEATHING AT EXTERIOR.
- PROVIDE FORCED AIR UNIT IN ATTIC PER TITLE-24 COMPLIANCE REQUIREMENTS.
- 5 1/2" CLOSED CELL SPRAY-ON FOAM INSULATION (MIN. R-38).
- CARPET AND PAD (COLOR & STYLE BY OWNER). (OPTIONAL)
- 4" CONCRETE WALKWAY OR PATIO W/ 4" WIDE PEA GRAVEL OR LARGER SMOOTH STONE BORDERS. TYPICAL POURED CONC. PAVERS TO BE 48" X 48" AND HAVE A NATURAL CONC. COLOR W/ A ROCK SALT TEXTURED FINISH.



- WALL LEGEND**
- EXTERIOR WALL: 8" WIDTH, STANDARD BLOCK CMU WALL
  - INTERIOR 1-HOUR FIRE-RESISTIVE WALL: 2x WOOD STUDS @ 16" O/C W/ 5/8" TYPE 'X' GWB EA. SIDE
  - EXTERIOR 1-HOUR FIRE-RESISTIVE WALL: 2x WOOD STUDS @ 16" O/C W/ 5/8" TYPE 'X' GWB (INT) AND 7/8" STUCCO
  - RETAINING WALL: 8" WIDE STANDARD BLOCK CMU WALL, 3' HT MAX
- NOTE: ALL WALLS AND CEILINGS TO BE 1-HOUR CONSTRUCTION AT BASEMENT; TYPE 'X'

# PERMITTED SECOND LEVEL FLOOR PLAN



**PROPOSED REMODEL FOR  
OLEKSANDR STARTSEV  
2062 2ND AVE SAN DIEGO,  
CALIFORNIA 92101  
(APN: 533-175-1104)**

**SHEET TITLE**

**SECOND LEVEL FLOOR PLAN**

No.	Revision/Issue	Date
1	CLIENT REVIEW	8/25/2021
2	A.R.L.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BIRARD AVE SUITE 106  
LA JOLLA, CA 92037  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

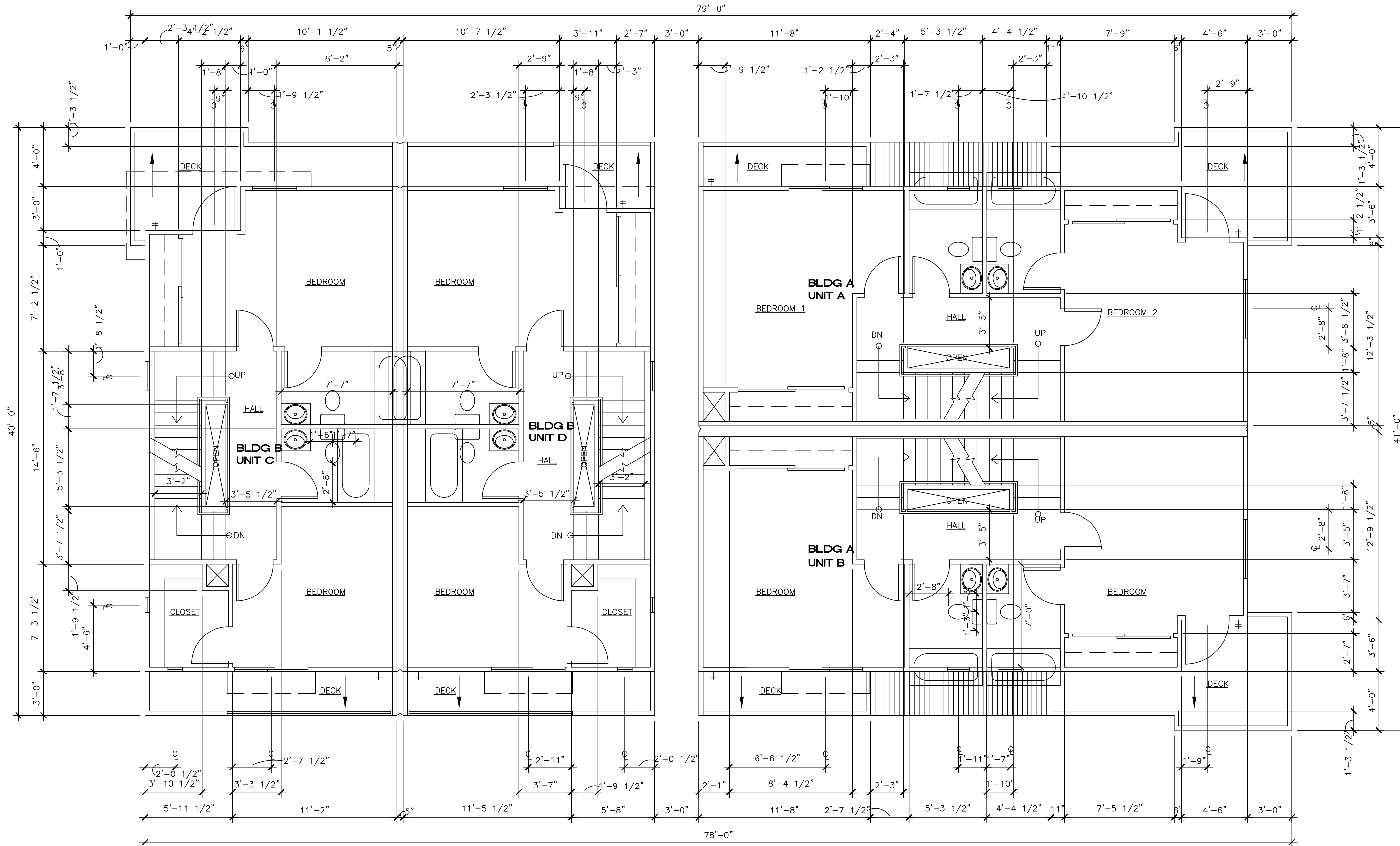
Project: 123456789  
Date: 08/2021  
Scale: **A4.5**

# FLOOR PLAN NOTES

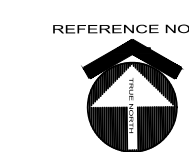
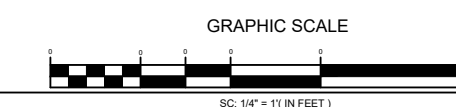
- EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16" O.C. U.N.O. (UNLESS NOTED OTHERWISE)
- FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
- DHW (DOMESTIC WATER HEATER): INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
- DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL. GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ. DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
- GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);
- PROVIDE MINIMUM 22"X30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
- ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2.16 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER
- PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.

- WALL LEGEND**
- 2 x 4 WALL WOOD FRAMED WALL
  - 2 x 6 WALL WOOD FRAMED WALL
  - 2 X 8 WALL WOOD FRAMED WALL
  - EXISTING WALL
  - TO BE REMOVED
  - 8" CONCRETE
  - CMU WALL
- NOTE: (T) = TEMPERED GLAZING  
SEE ALSO WINDOW SCHEDULE

- ELECTRIC METER AND PANEL: 200 AMP SERVICE
- INDICATES NEW GAS METER W/ SEISMIC SHUTOFF VALVE
- NEW 4" REIN. CONCRETE SLAB PER STRUCTURAL PLANS.
- PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS.
- PROVIDE 5/8" TYPE 'X' GYP. BD. UNDER STAIRS AT WALLS AND CEILING
- +48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLEX VALVE
- 12"X12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUB/WALLS OVER DENS SHIELD OR CEMENT BD. (TILE STYLE BY OWNER)
- WATER HEATER: GAS ON-DEMAND WALL MOUNTED INSTANT WATER HEATER
- PROVIDE 15" MIN. CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET AND MIN. 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE
- INSTALL AS A GAS BURNING FIREPLACE ONLY PER MANUFACTURE'S SPECS. PROVIDE APPROVED GAS LOG ASSEMBLY W/ ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL. PROVIDE BLACK CHAIN MESH SCREEN THAT PULLS OPEN TO BOTH SIDES EQUALLY.
- PROVIDE 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH THIN SET OVER CONC. SLAB OR MIN. 3/4" T&G PLYWOOD FLOOR SHEATING.
- 3/4" (OWNER) PRE-FINISHED HARDWOOD FLOORING. FLOORING TO BE GLUED DIRECTLY TO CONC. SLAB AT LOWEST FLOOR AND NAILED TO PLYWOOD SHTG. AT UPPER FLOOR. PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE.
- PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAILS.
- SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALED AND THERMAL SHOCK PROTECTION.
- PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE TEMPERED GLASS DOORS OR ENCLOSURE AROUND SHOWER.
- SHADOW LEDGE STONE KANELLA - MODEL # 97618 HOME DEPOT - MORTARED, DRY STACK APPLICATION.
- INDICATES SOFFIT ABOVE FOR MECHANICAL DUCTS.
- INDICATES RETURN AIR GRILL.
- PROVIDE 18" HIGH PLATFORM AT FAU FOR RETURN AIR UNDERNEATH.
- TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN. (OPTIONAL)
- 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING, OPTIONAL).
- INDICATES LINE OF ROOF ABOVE.
- INDICATES LINE OF SECOND FLOOR ABOVE.
- PROVIDE EXTERIOR HEAT PUMP W/ INTERIOR FAU FORCED AIR HANDLER AS SHOWN PER TITLE-24 ENERGY COMPLIANCE REPORT.
- CLOTHES CLOSET SHELF AND POLE.
- INDICATES LINE OF FIRST FLOOR BELOW.
- INDICATES STANDARD ARCH QUONSET METAL ROOF PANELS FROM STEELMASTER (24" WIDE PANELS X 7 1/2" DEEP).
- PROVIDE GRANITE, QUARTZITE OR MARBLE LAVATORY TOPS WITH VESSEL OR OTHER SINK SINKS AS SHOWN PER PLANS.
- PROVIDE GRANITE OR QUARTZITE OR MARBLE COUNTERTOPS IN KITCHEN.
- PROVIDE 6' HIGH WOOD FENCE PER PLANS AND DETAILS FOR EXTERIOR RADIUS PRIVACY WALL.
- MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME. (CLIENT TO DECIDE)
- WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME. (CLIENT TO DECIDE)
- 30" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE. (OPTIONAL GLASS DOOR)
- PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK. (OPTIONAL)
- MIN. ATTIC ACCESS 30"X 30" WITH F.A.U. IN ATTIC OR 22"X 30" WITH NO MECHANICAL EQUIP. IN ATTIC. PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING.
- 5 1/2" METAL STUDS AT 24" O.C. PER STRUCTURAL W/R-21 FIBERGLASS BATT INSUL. PROVIDE 2 3/4" ROK-ON R-10.5 STRUCTURAL INSULATED SHEATHING AT EXTERIOR.
- PROVIDE FORCED AIR UNIT IN ATTIC PER TITLE-24 COMPLIANCE REQUIREMENTS.
- 5 1/2" CLOSED CELL SPRAY-ON FOAM INSULATION (MIN. R-38).
- CARPET AND PAD (COLOR & STYLE BY OWNER). (OPTIONAL)
- 4" CONCRETE WALKWAY OR PATIO W/ 4" WIDE PEA GRAVEL OR LARGER SMOOTH STONE BORDERS. TYPICAL POURED CONC. PAVERS TO BE 48" X 48" AND HAVE A NATURAL CONC. COLOR W/ A ROCK SALT TEXTURED FINISH.



## PERMITTED SECOND LEVEL DIMENSION PLAN



Project Name and Address

**PROPOSED REMODEL FOR  
OLEKSANDR STARTSEV  
2062 2ND AVE SAN DIEGO,  
CALIFORNIA 92101  
(APN: 533-175-1104**

**CLIENT TITLE**  
**SECOND LEVEL**  
**FLOOR PLAN**

Symbol	Item	Date
	CLIENT REVIEW	8/25/2021
	A.R.L.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	

No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BIRARD AVE SUITE 106  
LA JOLLA, CA 92037  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	123456789	Sheet	A4.6
Date	08/2021	Scale	

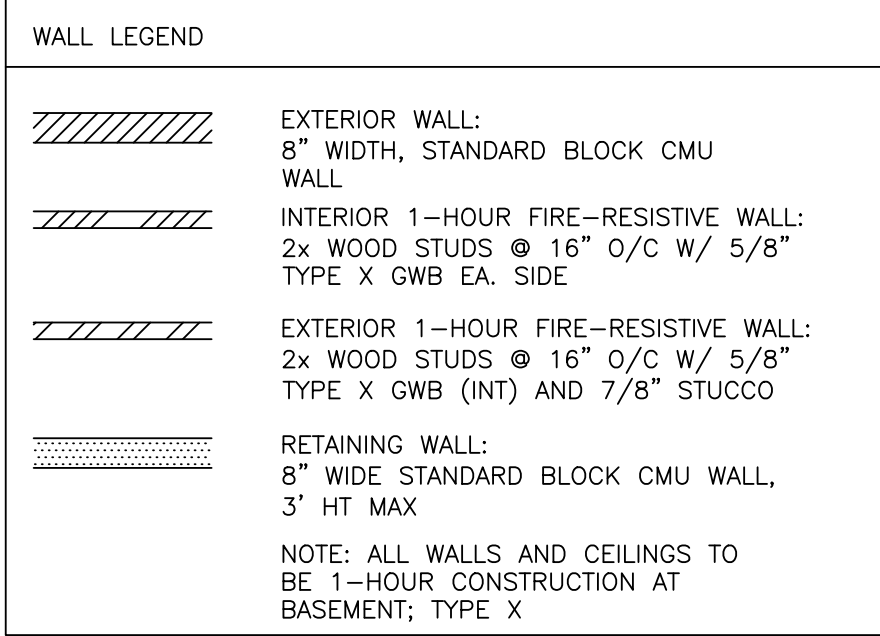
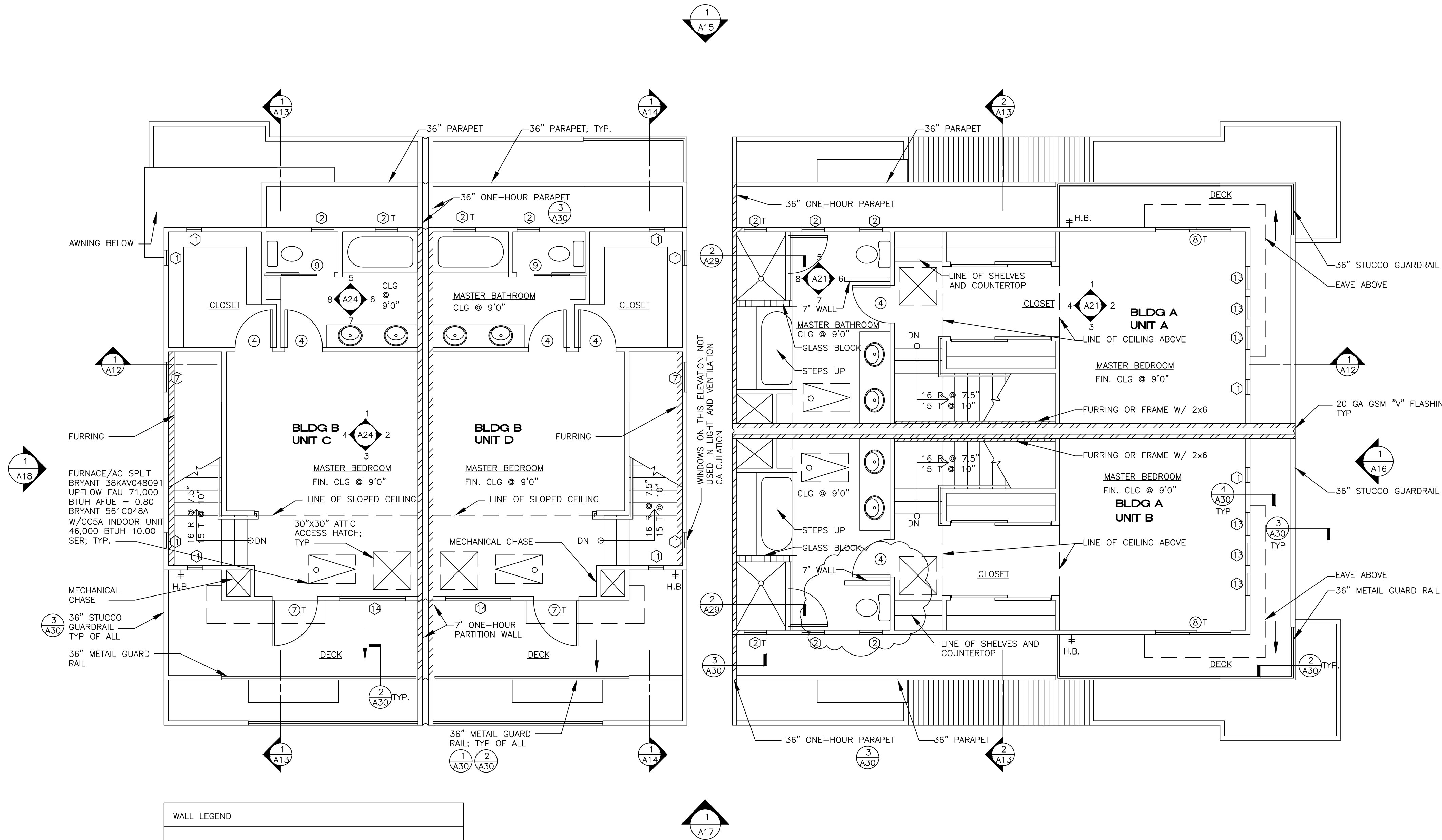
# FLOOR PLAN NOTES

- EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16" O.C. U.N.O. (UNLESS NOTED OTHERWISE)
- FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
- DHW (DOMESTIC WATER HEATER); INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
- DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ. DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
- GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);
- PROVIDE MINIMUM 22"x30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
- ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER PROVIDE 58" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.

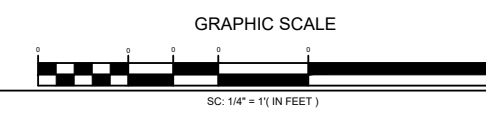
### WALL LEGEND

- 2 x 4 WALL WOOD FRAMED WALL
  - 2 x 6 WALL WOOD FRAMED WALL
  - 2 X 8 WALL WOOD FRAMED WALL
  - EXISTING WALL
  - TO BE REMOVED
  - 8" CONCRETE
  - CMU WALL
- NOTE: (T) = TEMPERED GLAZING SEE ALSO WINDOW SCHEDULE

- ELECTRIC METER AND PANEL: 200 AMP SERVICE
- INDICATES NEW GAS METER W/ SEISMIC SHUTOFF VALVE
- NEW 4" REINF. CONCRETE SLAB PER STRUCTURAL PLANS.
- PROVIDE MINIMUM 12" X 12" PLUMBERS ACCESS.
- PROVIDE 5/8" TYPE 'X' GYP. BD. UNDER STAIRS AT WALLS AND CEILING
- 48" RECESSED WASH MACHINE BOX HOOK-UP W/ SIMPLE VALVE
- 12"x12" PORCELAIN OR MARBLE WALL TILE AT SHOWER AND TUBWALLS OVER DENS SHIELD OR CEMENT BD. (TILE STYLE BY OWNER)
- WATER HEATER: GAS ON-DEMAND WALL MOUNTED INSTANT WATER HEATER
- PROVIDE 15" MIN. CLEARANCE FROM FACE OF WALL TO CENTER LINE OF TOILET AND MIN. 24" CLEARANCE IN FRONT OF TOILET PER PLUMBING CODE
- INSTALL AS A GAS BURNING FIREPLACE ONLY PER MANUFACTURER'S SPECS. PROVIDE APPROVED GAS LOG ASSEMBLY W/ ELECTRONIC START PUSH BUTTON CONTROL AND HANDHELD REMOTE CONTROL. PROVIDE BLACK CHAIN MESH SCREEN THAT PULLS OPEN TO BOTH SIDES EQUALLY.
- PROVIDE 18" OR 24" PORCELAIN OR MARBLE TILE FLOOR FINISH THIN SET OVER CONC. SLAB OR MIN. 3/4" T&G PLYWOOD FLOOR SHEATING.
- 3/4" (OWNER) PRE-FINISHED HARDWOOD FLOORING. FLOORING TO BE GLUED DIRECTLY TO CONC. SLAB AT LOWEST FLOOR AND NAILED TO PLYWOOD SHTG. AT UPPER FLOOR. PROVIDE OPTIONAL BID FOR FINISHING FLOOR ON SITE.
- PROVIDE 4" DRYER EXHAUST DUCT TO THE OUTSIDE PER DETAILS.
- SHOWERS AND SHOWER-TUBS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDES SCALED AND THERMAL SHOCK PROTECTION.
- PROVIDE WALL TILE TO MIN. 72" ABOVE DRAIN. PROVIDE TEMPERED GLASS DOORS OR ENCLOSURE AROUND SHOWER.
- SHADOW LEDGE STONE KANELLA - MODEL # 97618 HOME DEPOT - MORTARED, DRY STACK APPLICATION.
- INDICATES SOFFIT ABOVE FOR MECHANICAL DUCTS.
- INDICATES RETURN AIR GRILL
- PROVIDE 18" HIGH PLATFORM AT FAU FOR RETURN AIR UNDERNEATH.
- TAN COLORED ROCK SALT FINISHED CONCRETE WALKWAY W/ 8" WIDE NATURAL CONC. BORDERS WHERE SHOWN. (OPTIONAL)
- 3X OR 4X ARCHITECTURAL GRADE WOOD STAIR (SELF-SUPPORTING, OPTIONAL).
- INDICATES LINE OF ROOF ABOVE.
- INDICATES LINE OF SECOND FLOOR ABOVE.
- PROVIDE EXTERIOR HEAT PUMP W/ INTERIOR FAU FORCED AIR HANDLER AS SHOWN PER TITLE-24 ENERGY COMPLIANCE REPORT.
- CLOTHES CLOSET SHELF AND POLE.
- INDICATES LINE OF FIRST FLOOR BELOW.
- INDICATES STANDARD ARCH QUONSET METAL ROOF PANELS FROM STEELMASTER (24" WIDE PANELS X 7 1/2" DEEP).
- PROVIDE GRANITE, QUARTZITE OR MARBLE LAVATORY TOPS WITH VESSEL OR OTHER STYLE SINKS AS SHOWN PER PLANS.
- PROVIDE GRANITE OR QUARTZITE OR MARBLE COUNTERTOPS IN KITCHEN.
- PROVIDE 6' HIGH WOOD FENCE PER PLANS AND DETAILS FOR EXTERIOR RADIUS PRIVACY WALL.
- MIRROR FACED RECESSED MEDICINE CABINET W/ WOOD FRAME. (CLIENT TO DECIDE)
- WALL MOUNTED PLATE GLASS MIRROR IN WOOD FRAME. (CLIENT TO DECIDE)
- 30" HIGH BASE CAB. W/ GLASS DOOR UPPER CABINETS ABOVE. (OPTIONAL GLASS DOOR)
- PROVIDE LARGE FARMHOUSE STYLE CAST OR S.S. KITCHEN SINK. (OPTIONAL)
- MIN. ATTIC ACCESS 30"x 30" WITH F.A.U. IN ATTIC OR 22"x 30" WITH NO MECHANICAL EQUIP. IN ATTIC. PROVIDE MIN. 30" OF HEADROOM ABOVE OPENING.
- 5 1/2" METAL STUDS AT 24" O.C. PER STRUCTURAL W/ R-21 FIBERGLASS BATT INSUL. PROVIDE 2 3/4" ROK-ON R-10.5 STRUCTURAL INSULATED SHEATHING AT EXTERIOR.
- PROVIDE FORCED AIR UNIT IN ATTIC PER TITLE-24 COMPLIANCE REQUIREMENTS.
- 5 1/2" CLOSED CELL SPRAY-ON FOAM INSULATION (MIN. R-38).
- CARPET AND PAD (COLOR & STYLE BY OWNER). (OPTIONAL)
- 4" CONCRETE WALKWAY OR PATIO W/ 4" WIDE PEA GRAVEL OR LARGER SMOOTH STONE BORDERS. TYPICAL POURED CONC. PAVERS TO BE 48" X 48" AND HAVE A NATURAL CONC. COLOR W/ A ROCK SALT TEXTURED FINISH.



## PERMITTED THIRD LEVEL FLOOR PLAN



**PROPOSED REMODEL FOR**  
**OLEKSANDR STARTSEV**  
**2062 2ND AVE SAN DIEGO,**  
**CALIFORNIA 92101**  
**(APN: 533-175-1104)**

SHEET TITLE		
THIRD LEVEL FLOOR PLAN		
No.	Revision/Issue	Date
1	CLIENT REVIEW	8/25/2021
2	A.R.L.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BIRARD AVE SUITE 106  
 LA JOLLA, CA 92037  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project: 123456789  
 Date: 08/2021  
 Scale: **A4.7**



# FLOOR PLAN NOTES

- EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16"O.C. U.N.O. (UNLESS NOTED OTHERWISE)
- FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
- DHW (DOMESTIC WATER HEATER): INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
- DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
- GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);
- PROVIDE MINIMUM 22"x30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
- ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2.16 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER
- PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.

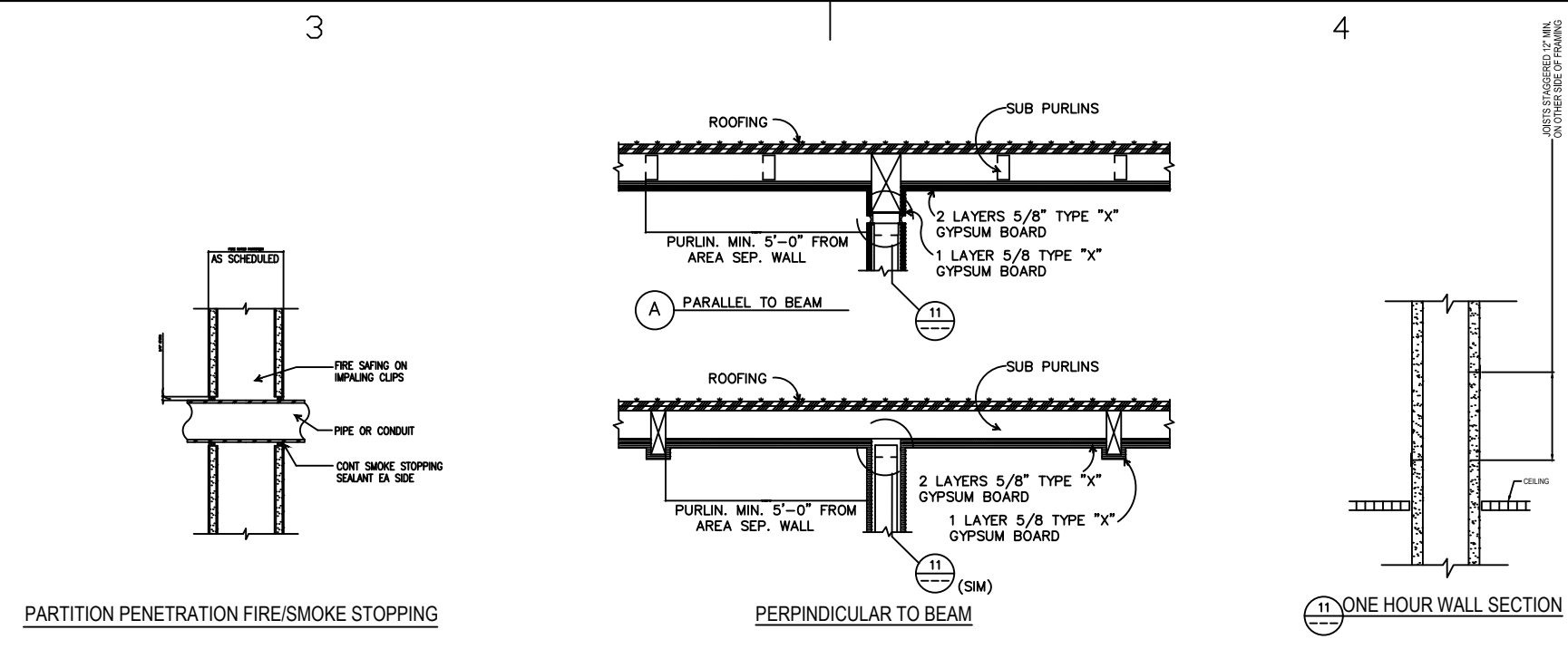
**WALL LEGEND**

	2 x 4 WALL WOOD FRAMED WALL
	2 x 6 WALL WOOD FRAMED WALL
	2 X 8 WALL WOOD FRAMED WALL
	EXISTING WALL
	TO BE REMOVED
	8" CONCRETE
	CMU WALL

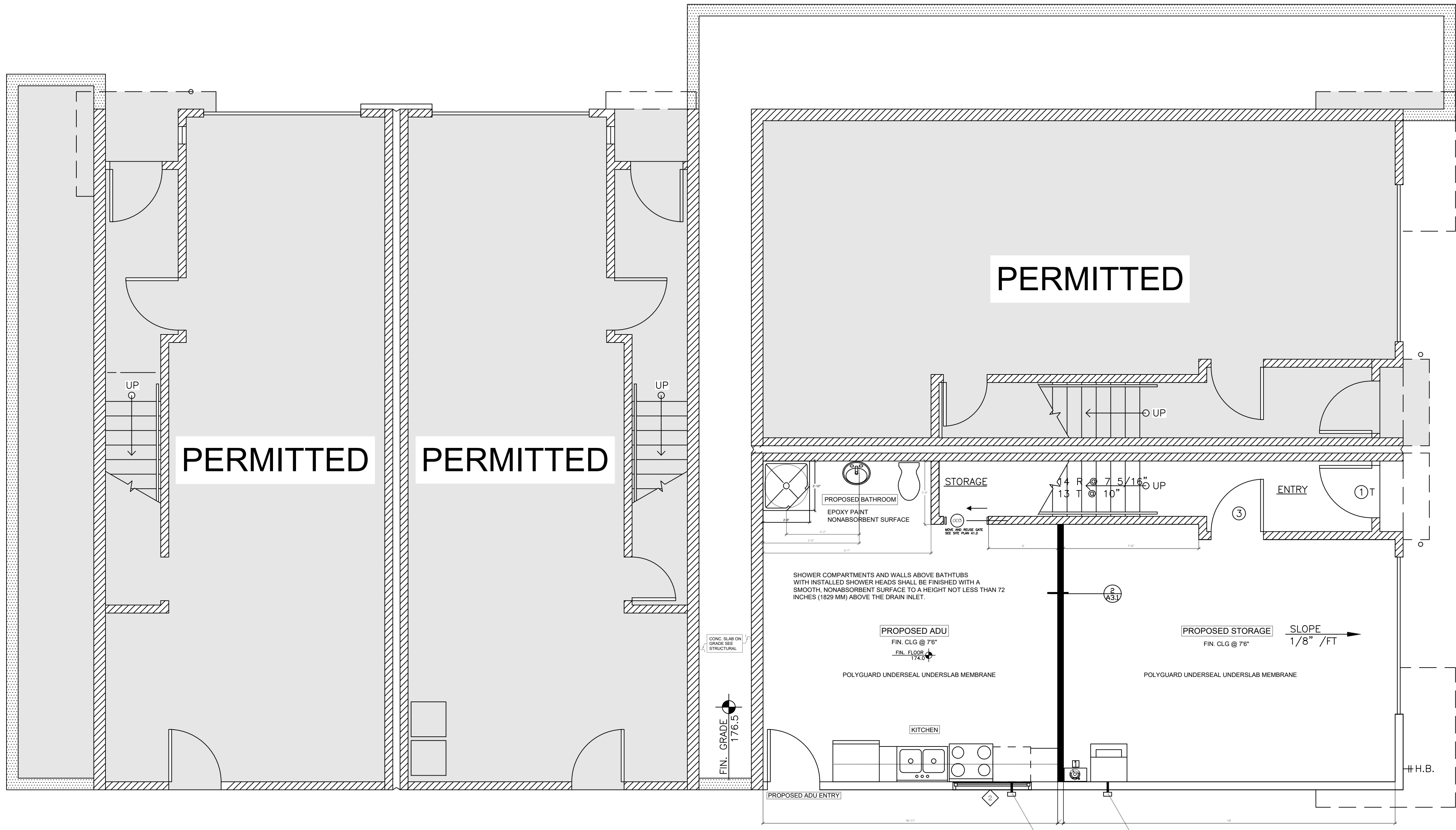
NOTE: (T) = TEMPERED GLAZING  
SEE ALSO WINDOW SCHEDULE

# SCHEDULES

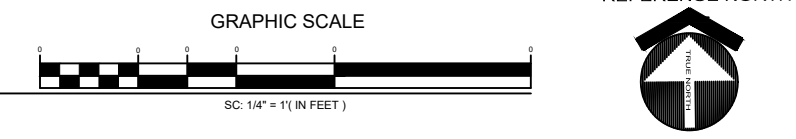
- TANKLESS WATER HEATER - RHEEM PERFORMANCE PLATINUM 9.5 GPM LPG HIGH EFFICIENCY OUTDOOR TANKLESS WATER HEATER ECO200XP-2 OR EQ.
- 4060 CASEMENT
- 2468 POCKET DOOR



# 1-HOUR FIRE RATING



# PROPOSED ADU / BASEMENT/GARAGE



**PROPOSED REMODEL FOR  
OLEKSANDR STARTSEV  
2062 2ND AVE SAN DIEGO,  
CALIFORNIA 92101  
(APN: 533-175-1104)**

**SHEET TITLE**  
**BASEMENT LEVEL  
FLOOR PLAN**

	CLIENT REVIEW	8/25/2021
	A.R.S.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 BIRARD AVE SUITE 106  
LA JOLLA, CA 92037  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET





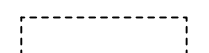
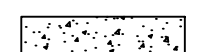
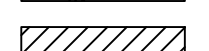
License# 905815

Project	123456789	Sheet	A4.9
Date	08/2021		
Scale			

## FLOOR PLAN NOTES

- EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16"O.C. U.N.O. (UNLESS NOTED OTHERWISE)
- FIREPLACE/WOOD STOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES;
- DHW (DOMESTIC WATER HEATER): INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.
- DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARAGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.
- GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);
- PROVIDE MINIMUM 22"x30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE
- ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER
- PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.




### WALL LEGEND

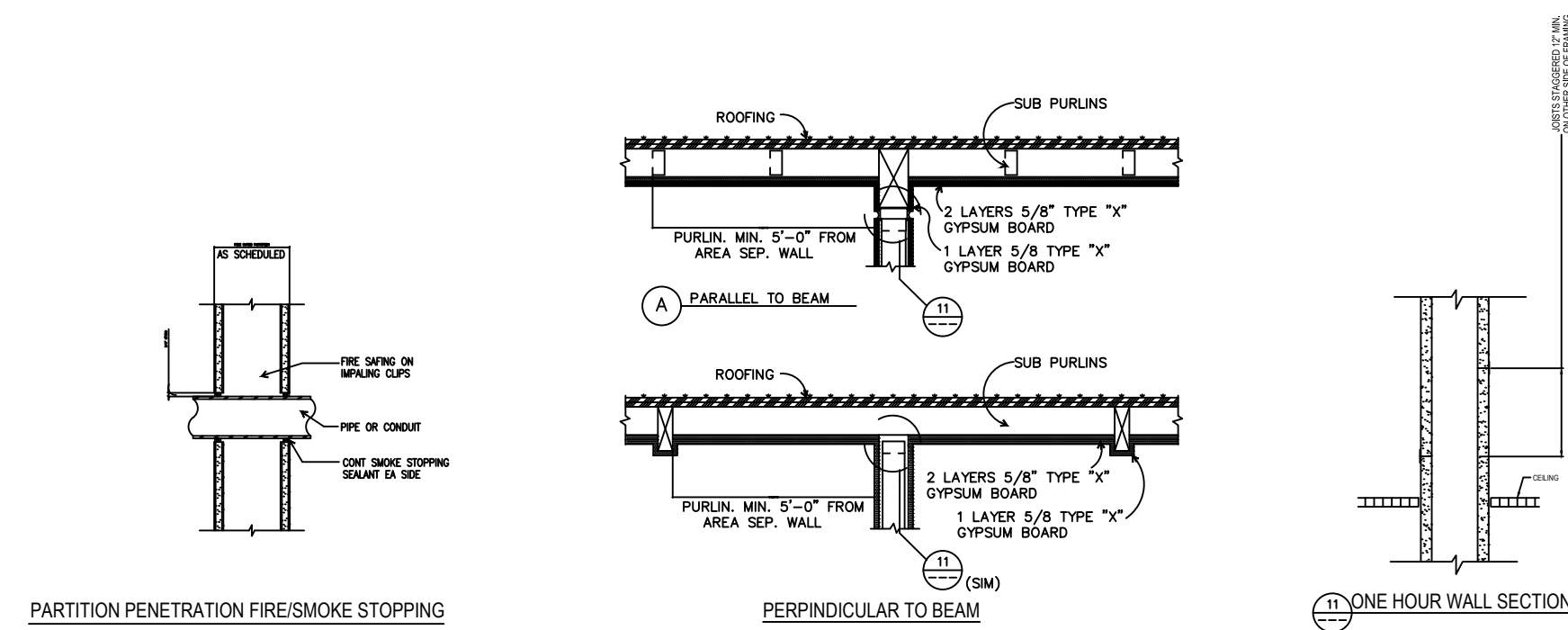
-  2 x 4 WALL WOOD FRAMED WALL
-  2 x 6 WALL WOOD FRAMED WALL
-  2 X 8 WALL WOOD FRAMED WALL
-  EXISTING WALL
-  TO BE REMOVED
-  8" CONCRETE
-  CMU WALL

NOTE: (T) = TEMPERED GLAZING  
SEE ALSO WINDOW SCHEDULE

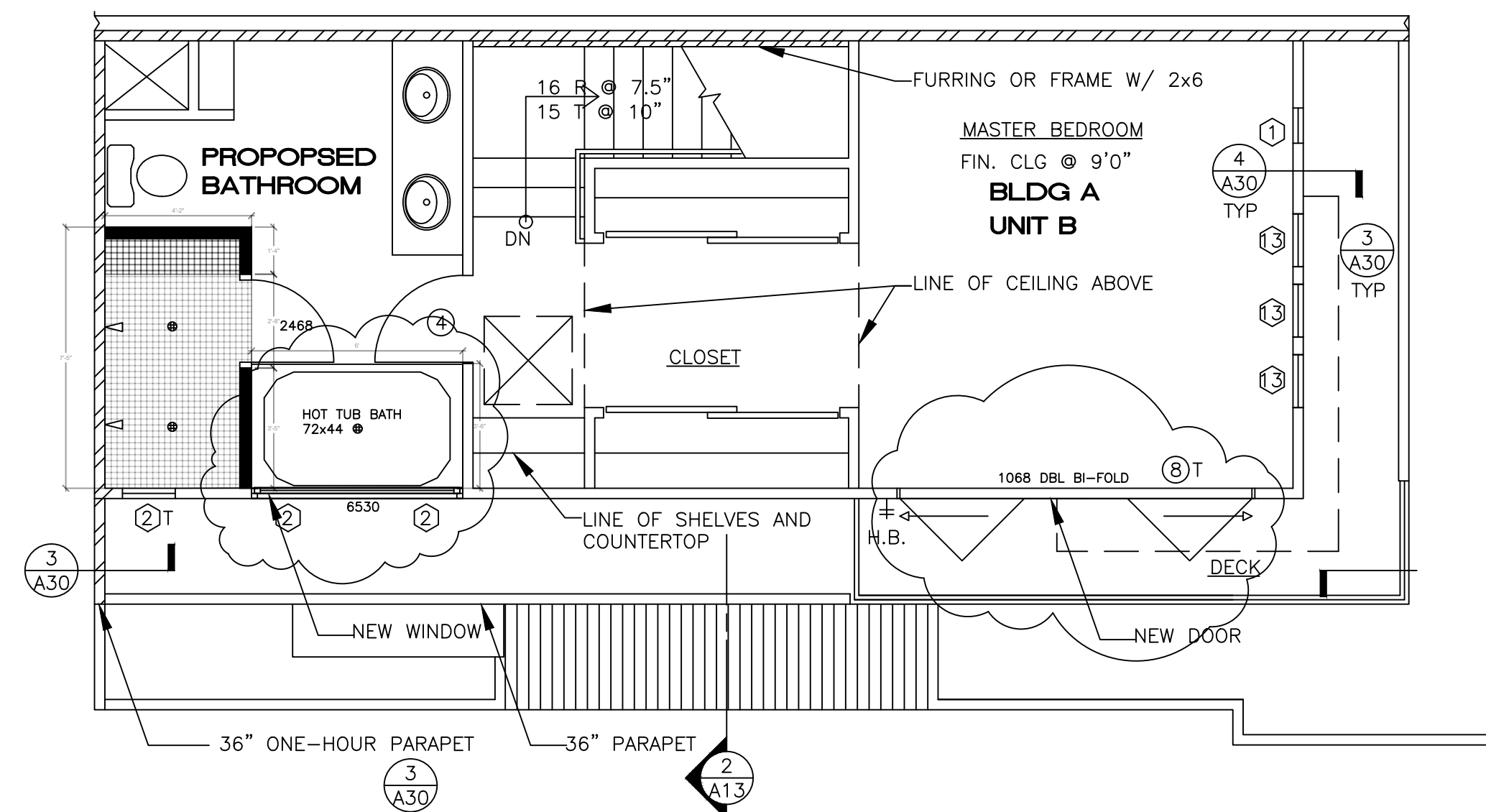
SEE STRUCTURAL DRAWINGS FOR ACTUAL SIZE AND SPACING

## SCHEDULES

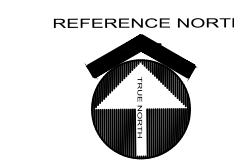
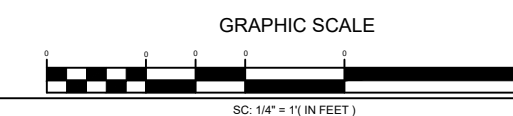
-  TANKLESS WATER HEATER - RHEEM PERFORMANCE PLATINUM 9.5 GPM LPG HIGH EFFICIENCY OUTDOOR TANKLESS WATERHEATER ECO200XLP-2 OR EQ.
-  4060 CASEMENT
-  2468 POCKET DOOR



## 1-HOUR FIRE RATING



## PROPOSED BATHROOM THIRD LEVEL




Project Name and Address  
**PROPOSED REMODEL FOR  
 OLEKSANDR STARTSEV  
 2062 2ND AVE SAN DIEGO,  
 CALIFORNIA 92101  
 (APN): 533-175-1104**

### SHEET TITLE BASEMENT LEVEL FLOOR PLAN

No.	Revision/Issue	Date
1	CLIENT REVIEW	8/25/2021
2	A.R.L.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		

Project Name and Address  
**ADVANCED DEVELOPMENT  
 RESIDENTIAL COMMERCIAL INDUSTRIAL**

7877 BIRARD AVE SUITE 106  
 LA JOLLA, CA 92037  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815  


Project	123456789	Sheet	<b>A4.9</b>
Date	08/2021		
Scale			