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GENERAL NOTES

- ALL EXTERIOR DOORS TO BE WEATHER STRIPPED.
- ALL INTERIOR FINISHES, PAINT, WALL COVERING, WALL PANELING ETC. TO HAVE A MINIMUM FLAME SPREAD CLASSIFICATION OF 1 1 1, AS PER TABLE 8-A, 8-B OF UBC 804 CODE, LATEST EDITION.
- GUTTERS, DOWNSPOUTS AND FLASHING TO BE .027 GALVANIZED SHEET METAL.
- ALL WORK SHALL CONFORM TO:
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - CALIFORNIA BUILDING CODE 2019 EDITION
 - CALIFORNIA MECHANICAL CODE 2019 EDITION
 - CALIFORNIA PLUMBING CODE 2019 EDITION
 - CALIFORNIA FIRE CODE 2019 EDITION
 - CALIFORNIA ELECTRICAL CODE 2019 EDITION
 - CALIFORNIA ENERGY CODE 2019 EDITION
 - CALIFORNIA HISTORIC CODE 2019 EDITION
 - CALIFORNIA RESIDENTIAL CODE 2019 EDITION
 - CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 EDITION
 - CALIFORNIA GREEN BUILDING STANDARDS CODE 2016 (CALGREEN)
 - SAN DIEGO BUILDING REGULATIONS 2016
- ALL APPLICABLE REGULATIONS, ORDINANCES, OR SPECIAL PROVISIONS.
- ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN OPERABLE AREA OF 5.7SF
- 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM AT LAVATORY.
- BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT EAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- PROVIDE 5/8" TYPE "X" GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE

SYMBOLS

	WALL LINE NUMBERS VERTICAL LETTERS HORIZONTAL
	DOORS SYMBOL NUMBERS
	WINDOW TYPE-NUMBERS
	DETAIL DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
	SECTION SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
	ELEVATION ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
	ROOM IDENTIFICATION ROOM NAME NUMBER
	REVISIONS-NUMBERS CLOUD AROUND REVISION OPTIONAL
	MATCH LINE SHADED PORTION IS THE SIDE CONSIDERED
	WORK POINT CONTROL OR DATUM POINT
	GRADE NEW OR FINISHED GRADE AT EXTERIOR FINISH FLOOR ELEVATION AT INTERIOR (EXISTING GRADE)
	SECURITY IDENTIFICATION
	PROPERTY LINE
	CENTER LINE
	F.O.S FACE OF STUD OR FINISHED
	FLOOR ELEVATION
	H-WALL HARDY WALL

TITLE 24

- TITLE 24 ENERGY COMPLIANCE STANDARD DOCUMENTATION: MANDATORY MEASURES CHECKLIST MAY NOT APPLY TO ALL PROJECTS.
- MINIMUM R19 CEILING INSULATION.
 - LOOSE FILL INSULATION - MANUFACTURER'S LABELED R-VALUE.
 - MINIMUM R-13 WALL INSULATION IN FRAMED WALLS (DOES NOT APPLY TO EXTERIOR MASS WALLS.)
 - MINIMUM R-13 RAISED FLOOR INSULATION IN FRAMED FLOORS. MINIMUM R-8 IN CONCRETE RAISED FLOORS.
 - SLAB EDGE: WATER ABSORPTION RATE NO GREATER THAN 0.3%; WATER VAPOR TRANSMISSION RATE NO GREATER THAN 2.0 PERM INCH.
 - INSULATION SPECIFIED OR INSTALLED MEETS CALIFORNIA ENERGY COMMISSION QUALITY STANDARDS.
 - FENESTRATION PRODUCTS, EXTERIOR DOORS AND INFILTRATION/ EXFILTRATION CONTROLS: -DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES DESIGNED TO LIMIT AIR LEAKAGE. -MANUFACTURED FENESTRATION PRODUCTS HAVE LABEL WITH CERTIFIED U-VALUE, AND INFILTRATION CERTIFICATE. -EXTERIOR DOORS AND WINDOWS WEATHER STRIPPED; ALL JOINTS AND PENETRATIONS CAULKED AND SEALED.
 - VAPOR BARRIERS MANDATORY IN CLIMATE ZONES 14 AND 16 ONLY.
 - SPECIAL INFILTRATION BARRIER INSTALLED TO COMPLY WITH #11 MEETS COMMISSION QUALITY STANDARDS.
 - INSTALLATION OF FIREPLACES, DECORATIVE GAS APPLIANCES AND GAS LOGS: -MASONRY AND FACTORY-BUILT FIREPLACES HAVE -CLOSEABLE METAL OR GLASS DOOR -OUTSIDE AIR INTAKE WITH DAMPER CONTROL -FLUE DAMPER AND CONTROL NO CONTINUOUS BURNING GAS PILOTS ALLOWED.
 - HVAC EQUIPMENT, WATER HEATERS, SHOWERHEADS AND FAUCETS CERTIFIED BY COMMISSION.
 - SETBACK THERMOSTAT ON ALL APPLICABLE HEATING SYSTEMS.
 - PIPE AND TANK INSULATION -INDIRECT HOT WATER TANKS (E.G. UNFIRED STORAGE TANKS, OR BACKUP SOLAR HOT WATER TANKS) HAVE INSULATION (R-12 OR GREATER) OR COMBINED INTERIOR/EXTERIOR INSULATION OF R-16 OR GREATER. -FIRST 5' OF PIPES CLOSEST TO WATER HEATER TANK, NON-RECIRCULATING SYSTEMS, INSULATED WITH R-4 OR GREATER. -ALL BURIED OR EXPOSED PIPING INSULATED IN RECIRCULATING SECTIONS OF HOT WATER SYSTEM. -COOLING SYSTEM PIPING BELOW 55 DEGREES F TO BE INSULATED. -PIPING INSULATED BETWEEN HEATING SOURCE AND HOT WATER TANK.
 - DUCTS CONSTRUCTED, INSTALLED AND SEALED TO COMPLY WITH UMC SECTIONS 1002 AND 1004; DUCTS INSULATED TO A MINIMUM INSTALLED VALUE OF R-4.2 OR DUCTS ENCLOSED ENTIRELY WITHIN CONDITIONED SPACE.
 - EXHAUST FAN SYSTEMS HAVE BACKDRAFT OR AUTOMATIC DAMPERS.
 - GRAVITY VENTILATING SYSTEMS SERVING CONDITIONED SPACE HAVE EITHER AUTOMATIC OR READILY ACCESSIBLE MANUALLY OPERATED DOORS.
 - GAS FIRED CENTRAL FURNACE, POOL HEATER, SPA HEATER OR HOUSEHOLD COOKING APPLIANCE HAVE NO CONTINUOUSLY BURNING PILOT LIGHT. (EXCEPTION; NON-ELECTRICAL COOKING APPLIANCE WITH PILOT <150 BTU/HR.) 18. LIGHTING MEASURES: 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN KITCHENS AND ROOMS WITH WATER CLOSETS; RECESSED CEILING FIXTURES IC (INSULATION COVER) APPROVED.

ABBREVIATIONS

@ at	FBO furnished by others	SST stainless steel
L angle	FUR furred(ing)	STD standard
channel	FUT future	STP steel
# number	GALV galvanized	STOR storage
J perpendicular	GI galvanized iron	SD storm drain
PL plate	GP galvanized pipe	STR structural
property line	GSS galvanized steel sheet	SUSP suspended
ACG access	GT gasket (ed)	SYM symmetry(ical)
AP access panel	GC general contractor	TEL telephone
ACR acoustic	GL glass, glazing	TKB tackboard
ACT acoustical tile	GD grab bar	THK thick(ness)
AGR acrylic plastic	GD grade, grading	TPTN toilet partition
ADD addendum	GVL gravel	TSK torque and groove
ADH adhesive	GPWV gypsum drywall	TSL top of slab
ADJ adjacent	HPW gypsum plaster	TP typical
ADJ adjustable	HVL handhole	TP toilet paper dispenser
AGG aggregate	HWD hardwood	UNF unfinished
A/C air conditioning	HWD hardware	UNO unless noted otherwise
ALT alternate	HWT head joint	VJ v-joint(ed)
AL aluminum	HDR header	VB vapor barrier
AN anchor bolt	HTG heating	VAR varnish
ANDR androzed	HVAC heating/ventilating/air conditioning	VERT vertical
APX approximate	HD heavy duty	VC vertical grain
ARCH architect(ural)	HST height	VAT vinyl asbestos tile
AD auto drain	HX hexagonal	VIF verify in field
ASB asbestos	HC hollow core	WC water closet
ASPH asphalt	HM hollow metal	WP waterproofing
AT asphalt tile	HK hook(s)	WR water repellent
AUTO automatic	HCRZ horizontal	WS water stop
BSMT basement	HB hose bibb	WVF welded wire fabric
BRG bearing	HWH hot water heater	W width, wide
BRG heating plate	INCL include(d), (ing)	WIN window
BM bench mark	IN inside diameter	WG wired glass
BCT between	INW intermediate	WM wire mesh
BVL beveled	IPS iron pipe size	WO without
BLK black	IPB iron pipe	
BLKG blocking		
BO bottom		
BRK brick		
BLD building		
BUR built up roofing		
BUD bulletin board		
CAB cabinet		
CBT carpet (ed)		
CSMT casement		
C cast iron		
CIP-C cast-in-place concrete		
CB catch basin		
CK caulking		
CLG ceiling		
CEM cement		
PCPL cement plaster (portland)		
CER ceramic		
CT ceramic tile		
CHBD chalkboard		
CHAM chamber		
CR circle		
CLR clear (ance)		
CR column		
COMB combination		
COMT compartment		
COMPO composition(s) (site)		
CONC concrete		
CMU concrete masonry unit		
CONN connection		
CONTR contractor		
CONT continuous or continue		
CONTR contractor		
CLL contract limit line		
CJT control joint		
CON corrugated		
CTF cut to fit		
CTR counter		
CFL counterflashing		
CS countersink		
CRS countersunk screw		
CRS course(s)		
DPR damper		
DP dampproofing		
DL dead lead		
DMT demolition, demolition		
DEP depressed		
DEP depression		
DIAG diagonal		
DIA diameter		
DM dimension		
DISP dispenser		
DISP dispenser		
DR door		
DR double hung		
DT dovetail anchor		
DTIS dovetail anchor slot		
DS downslope		
D drain		
DRB drain board		
DWR drawer		
DWG drawing		
PTN partition		
DR drinking fountain		
EF each face		
E east		
ELEC electric(al)		
EP electric panel board		
EWG EWG electric water cooler		
EL elevation		
EMER emergency		
ENCL enclosure(ure)		
EQ equal		
EQPT equipment		
EST estimate		
EXCA excavate		
EXH exhaust		
EXGT existing		
FB expansion bolt		
EXPO exposed		
EXT exterior		
FB face brook		
FOC face of concrete		
FOF face of fresh		
FOM face of masonry		
FOS face of study		
FF factory finish		
FAS fasten, fastener		
FB force		
FBD fiberboard		
FGL fiberglass		
FIN finish(ed)		
FFE finished floor elevation		
FL finished floor line		
FA fire alarm		
FG fire extinguisher		
FEC fire extinguisher cabinet		
FHS fire hose station		
FP fireproof		
FRC fire-resistant coating		
FRT fire retardant		
FLG flashing		
FHMS fathhead machine screw		
FLOD floor cleanup		
FD floor drain		
FLUR fluorescent		
FLUJ flue joint		
FTG footing		
FND foundation		
FR frame(d), (ing)		
FRA fresh air		
FS full size		
NAT natural		
NR noise reduction		
NRC noise reduction coefficient		
NOM nominal		
NIC not in contract		
NTS not to scale		
OBS obscure		
OC on center(s)		
OPG opening		
OSF opposite		
OPH opposite hand		
OD outside diameter		
PERI perimeter		
PLAS plaster		
PLAM plastic laminate		
PERI perimeter		
PG plate glass		
PWD plywood		
PT point		
PVC poly(vinyl chloride)		
PSF pounds per square foot		
PSI pounds per square inch		
PROCC precast concrete		
PFB prefabricate(d)		
PSC pre stressed concrete		
QR quarry tile		
RAD radius		
REF reference		
RLF reflect (ed), (ing)		
REFR refrigerator		
REG register		
REIN reinforcement (d), (ing)		
RCP reinforced concrete pipe		
REM remove		
RESIL resilient		
RET return		
RA return air		
REV revision(s), revise(d)		
RH right hand		
R riser		
RD roof drain		
RFH roof hatch		
FRG roofing		
RM room		
RO rough opening		
SFG safety glass		
SCH schedule		
STG seating		
SSK service sink		
SFU save for future		
SHT sheath		
SIM similar		
SKY skylight		
SL sleeve		
SC solid core		
SD slope to drain		
SP soundproof		
SPEC specification (s)		
SQ square		

PROJECT NOTES

- PROPOSED WORK:
 - REMOVE DECK ON 2ND LEVEL
 - REMOVE UNPERMITTED STAIRS AND RAILING
 - REMOVE UNPERMITTED PORCH AND RAILING ON 1ST LEVEL
 - ADDITION OF (N) BEDROOM TO THE (E) SINGLE FAMILY RESIDENCE ON THE 1ST LEVEL 147 SQ.FT.
 - ADDITION OF (N) CONCRETE STAIRS ON GRADE AT (E) ENTRANCES EXTERIOR STAIR ON GRADE ON 1ST FLOOR APPROXIMATELY 50 SQ.FT.
 - ADDITION OF (N) 2ND FLOOR DECK 10' X 14' 408 SQ.FT.
 - ADDITION OF EXISTING ROOM
 - NEW 408 SQ.FT. DECK ON SECOND LEVEL
 - NEW 1ST FLOOR PORCH (UNDER 2ND FLOOR DECK) 259 SQ.FT.
 - NEW PERIMETER BASKET BALL COURT CHAIN LINK FENCE - PERMITTING OF NON-PERMITTED CHAIN LINK FENCE APPROXIMATELY 6' LONG 10' HIGH
 - REMOVE EXTERIOR STAIRS ON SOUTH SIDE OF BUILDING (E) PERMITTED.
- NOTES:
 - "DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL OF EACH STAIRWAY. IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 331.1."
 - BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35."
 - IN ACCORDANCE WITH CALIFORNIA BUILDING CODE 2021, THE EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXIT DOORS SHALL NOT BE LOCKED, OR OTHERWISE RENDERED UNUSABLE. ALL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. THE EXCEPTION: KEY LOCKING DEVICES MAY BE USED ON THE MAIN EXIT ONLY IF A DURABLE SIGN ON OR ADJACENT TO THE FRONT DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE-INCH HIGH ON A CONTRASTING BACKGROUND, THE LOCKING DEVICE MUST BE OF A TYPE THAT WILL BE READILY DISTINGUISHABLE AS LOCKED NO THUMB TURN LATCH OR KEYED CYLINDER LOCKS ARE ALLOWED ON ANY OTHER DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER ACTION.
 - A "NOX-BOX" KEY SECURITY LOCK BOX IS REQUIRED FOR THIS PROJECT. FORMS FOR THE BOX MAY BE OBTAINED FROM THE MONTEREY FIRE DEPARTMENT PRIOR TO FINAL OCCUPANCY SO THAT IT MAY BE INSTALLED IN TIME FOR FINAL INSPECTION OF THE COMPLEX. ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS, WHICH SHALL BE PLACED AT EACH DRIVEWAY ENTRANCE AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD. IN ALL CASES, THE ADDRESS SHALL BE POSTED AT THE BEGINNING OF CONSTRUCTION AND SHALL BE MAINTAINED THEREAFTER, AND THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE ROAD ON WHICH THE ADDRESS IS LOCATED.
 - SIZE OF LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE A MINIMUM OF 3 INCH LETTER HEIGHT, 3/8 INCH STROKE. CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN FIRE SPRINKLERS REQUIRED: THE RESIDENCES SHALL BE PROTECTED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS. FIRE SPRINKLERS ARE REQUIRED IN ATTACHED GARAGES. INSTALLATION, APPROVAL, AND MAINTENANCE BE IN COMPLIANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS 130 AND LOCAL AMENDMENTS, THE EDITIONS OF WHICH SHALL BE DETERMINED BY THE ENFORCING JURISDICTION. PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. ROUGH-IN INSPECTIONS MUST BE COMPLETED PRIOR TO REQUESTING A FRAMING INSPECTION FROM THE BUILDING INSPECTION DEPARTMENT.
 - FIRE ALARM FLOOR SWITCHES SHALL BE WIRED TO THE KITCHEN REFRIGERATOR CIRCUIT. ANY DEVIATIONS REQUIRE APPROVAL FROM THE FIRE DEPARTMENT.
 - ADDRESSES NUMBERS TO BE POSTED: BEFORE CONSTRUCTION BEGINS, TEMPORARY OR PERMANENT ADDRESS NUMBERS SHALL BE POSTED. PERMANENT ADDRESS NUMBERS SHALL BE POSTED PRIOR TO THE REQUEST FOR FINAL INSPECTION. ALL ADDRESS NUMBERS (PERMANENT OR TEMPORARY) SHALL BE POSTED ON THE PROPERTY 50 AS TO BE CLEARLY VISIBLE FROM THE ROAD, WHERE VISIBILITY CAN NOT BE PROVIDED, A POST OR SIGN BEARING THE ADDRESS NUMBERS SHALL BE SET ADJACENT TO THE DRIVEWAY OR ACCESS ROAD TO THE PROPERTY. ADDRESS NUMBERS POSTED SHALL BE "ARABIC" (1,2,3 ETC NOT "ROMAN" (I,II,III ETC) OR WRITTEN OUT IN WORDS. ADDRESS NUMBERS POSTED SHALL BE A MINIMUM NUMBER HEIGHT OF 3 INCHES, 3/8" INCH WIDE STROKE, AND CONTRASTING WITH THE BACKGROUND COLORS OF THE SIGN. NOTE: IF THE NUMBERS ARE NOT POSTED, BUILDING/FIRE INSPECTORS WILL NOT GRANT A FINAL INSPECTION.
 - ROOFING CLASS "A" OR "B" REQUIRED: ROOF CONSTRUCTION SHALL BE CLASS "A" OR CLASS "B" BUILDUP, AS DEFINED BY UNIFORM BUILDING CODE STANDARD 15-2. THIS REQUIREMENT SHALL APPLY TO ALL NEW CONSTRUCTION AND WHEN SO PERCENT OR MORE OF AN EXISTING ROOF IS REPLACED WITHIN A ONE-YEAR PERIOD.
 - CLEAR VEGETATION: ALL FLAMMABLE VEGETATION OTHER COMBUSTIBLE GROWTH SHALL AT ALL TIMES MAINTAIN CLEAR DISTANCE OF NOT LESS THAN 30 FEET ON EACH SIDE FROM STRUCTURES OR BUILDINGS. THIS SHALL NOT APPLY TO SINGLE SPECIMENS OF TREES, ORNAMENTAL SHRUBBERY OR SIMILAR PLANTS USED AS GROUND COVERS, PROVIDED THAT THEY DO NOT FORM A MEANS OF RAPIDLY TRANSMITTING FIRE FROM THE NATIVE GROWTH TO AN STRUCTURE. ADDITIONAL FIRE PROTECTION OR FIREBREAK MAY BE REQUIRED WHEN, BECAUSE OF EXTRA HAZARDOUS CONDITIONS, A FIREBREAK OF ONLY 30 FEET IS NOT SUFFICIENT TO PROVIDE REASONABLE FIRE SAFETY. ENVIRONMENTALLY SENSITIVE AREA MAY REQUIRE ALTERNATIVE FIRE PROTECTION. TO BE DETERMINED BY THE FIRE CHIEF AND DIRECTOR OF PLANNING AND BUILDING. THIS PROJECT REQUIRES ___ FEET CLEARANCE.
 - ACCESS DRIVEWAYS-GENERAL: ACCESS DRIVEWAYS SHALL BE ALL-WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS (2 TON) NOT LESS THAN 12 WIDE OF UNOBSTRUCTED WITH A MINIMUM OF 13' OR 10' VERTICAL CLEARANCE. ON DRIVEWAYS AND ACCESS ROADS HAVING A SLOPE OF 8% OR MORE THE TWIN DRIVEWAYS SHALL BE AC PAVING OR CONCRETE. EXCEPTION: WHEN BUILDINGS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, THE PROVISIONS OF THIS SECTION MAY BE MODIFIED, SUBJECT TO THE APPROVAL OF THE LOCAL JURISDICTION.
 - DRIVEWAY TURNOUT REQUIRED: DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNOBSTRUCTED. ALL DRIVEWAYS EXCEEDING 150 FEET IN LENGTH, BUT LESS THAN 800 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDPOINT OF THE DRIVEWAY, WHERE THE DRIVEWAY EXCEEDS 800 FEET, TURNOUTS SHALL BE PROVIDED AT NO GREATER THAN 400 FOOT INTERVALS. (SEE EXAMPLE A)
 - ACCESS ROADSWAYS TURN AROUND REQUIRED: ALL DEAD-END ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE TURNING AROUND OF THE FIRE APPARATUS. (SEE EXAMPLE B)
 - PRINACY GATES: ELECTRIC GATES SHALL BE PROVIDED WITH A KEYED SWITCHED MEETING FIRE DEPARTMENT SPECIFICATIONS. MANUAL GATES SHALL BE PROVIDED WITH FIRE DEPARTMENT PADLOCKS MEETING FIRE DEPARTMENT SPECIFICATIONS. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE, BUT IN CASE LESS THAN 12' WIDE UNOBSTRUCTED VERTICAL CLEARANCE SHALL NOT BE LESS THAN 10'.
 - BRIDGES: ALL NEW AND RECONSTRUCTED BRIDGES SHALL BE AT LEAST THE WIDTH OF THE EXISTING ROADBED AND BERMS BUT IN NO CASE LESS THAN 12 FEET WIDE. BRIDGE WIDTH ON ALL ROADS EXCEEDING TERTIARY STANDARDS SHALL NOT BE LESS THAN THE WIDTH OF TWO LANES WITH BERMS. ALL BRIDGES SHALL BE DESIGNED FOR HS 20-44 LOADINGS (STANDARD SPECIFICATION FOR HIGHWAY BRIDGES) AND HAVE GUARDRAILS.
 - SETBACK FOR STRUCTURE DEFENSIBLE SPACE (NO FLOOD): ALL PARCELS 1 ACRE AND LARGER SHALL PROVIDE A MINIMUM 30-FOOT SETBACK FOR BUILDINGS AND ACCESSORY BUILDINGS FROM ALL PROPERTY LINES AND/OR THE CENTER OF THE ROAD FOR PARCELS LESS THAN 1 ACRE. ON PARCELS A 30 FOOT MINIMUM SETBACK CANNOT BE REACHED, ALTERNATE FUEL MODIFICATIONS STANDARDS MAY BE IMPOSED BY THE LOCAL FIRE JURISDICTION TO PROVIDE THE SAME PRACTICAL EFFECT.
- MEASUREMENTS: ALL MEASUREMENTS PROVIDED BY OWNER

CONDITIONS ADOPTED BY LOCAL GOVERNING AGENCIES.

VICINITY MAP



PROJECT DIRECTORY

ENGINEER / ARCHITECT / DESIGNER:
 Advanced Development
 7877 Grand Ave Suite 106
 La Jolla, CA 92037
 Office: 858-367-9083
 E-mail: info@advanceddevelopment.net
 LinkedIn: https://www.linkedin.com/in/advanceddevelopment/
 Web: www.advanceddevelopment.net

John Broadus
 License# 905815
 PE: Mario Perez
 License# 76349

PROPOSED AREA CALCULATIONS:

PROPOSED AREA FIRST LEVEL:	152 SQ.FT.
PROPOSED AREA MAIN LEVEL:	152 SQ.FT.
PROPOSED AREA SECOND LEVEL:	
PROPOSED GARAGE:	
PROPOSED 1ST FLOOR PORCH (UNDER 2ND FLOOR DECK):	152 SQ.FT.
PROPOSED 2ND FLOOR DECKING:	406 SQ.FT.
PROPOSED FENCING:	80 SQ.FT.
PROPOSED OUTBUILDINGS, LAUNDRY:	44% OF MAX FAR (IN SQ. FT.): .17
PROPOSED F.A.R. MAX - FAR CALCULATION (IN SQ. FT.):	
PROPOSED LOT COVERAGE:	

PROPOSED WALL CALCULATIONS:
 PROPOSED WALLS LENGTHS IN LINEAR FEET: 22'-4"

PROPOSED CONCRETE CALCULATIONS:

CONCRETE PATIO:	NA
CONCRETE WALKWAY:	NA
PARKING-TREE REMOVAL:	NA
PARKING:	NA
TREE REMOVAL:	NA

APPROVED BY: _____ DATE: _____

LEGEND

WALL LEGEND	
	2 X 4 WALL PROPOSED
	2 X 6 WALL PROPOSED
	2 X 8 WALL PROPOSED
	2 X 4 WALL EXISTING
	2 X 6 WALL EXISTING
	2 X 8 WALL EXISTING
	CONCRETE
	TO BE REMOVED
	DECK
	PAVING/CONCRETE
	ASPHALT

MAILED
 NOV 12 2020
 CODE ENFORCEMENT
 DIVISION

November 12, 2020

CIVIL PENALTY NOTICE AND ORDER

Location: 3671 Curlew Street, San Diego, CA 92103
APN No: 453-354-13-00
Property Owner/ Address: Christopher J & Shaina L. Eulau, 3671 Curlew Street, San Diego, CA 92103
Zoning Designation: RM-1-1

You are hereby notified that the property identified above is in violation of the San Diego Municipal Code (SDMC). On October 2, 2020 the following violations were observed at the property and must be corrected:

- Construction of new concrete masonry unit retaining wall over 3' in height and new landing and stair unit without the required approval(s), permit(s) and inspection(s).
- Construction on new hillside retaining wall over 3' height without the required approval(s), permit(s) and inspection(s).
- Over height chain link fence.

This is a violation of the following code section(s):

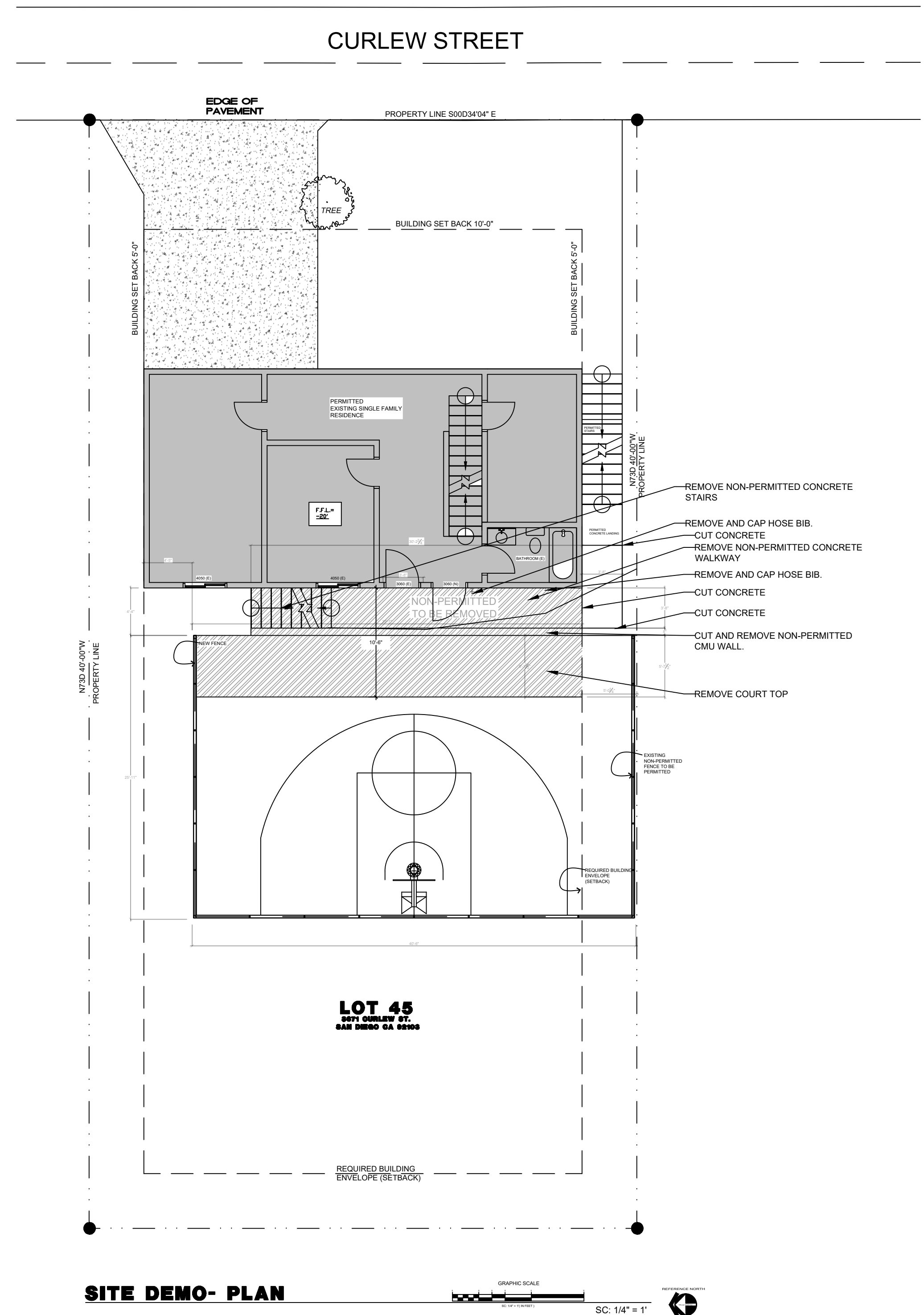
Code Section	Violation Description
SDMC §129.0202	When a Building Permit is Required
SDMC §142.0305	Fence Regulations
SDMC §811.0203-111.0203	provides the authority regarding enforcement of the Land Development Code.
SDMC §121.0302	requires compliance with the Land Development Code, specifies these violations are not permitted, and provides authority for the abatement of public nuisances.

If you correct the above violations as identified below, you will not be subject to any administrative civil penalties.

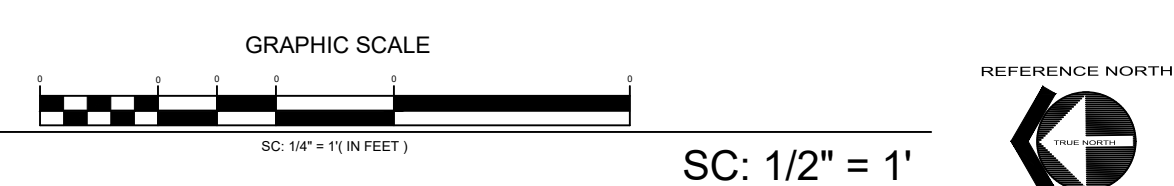


- REMOVE DECK AND RAILING
- REMOVE SIDING
- REMOVE WINDOW
- REMOVE NON-PERMITTED DECK STAIR RAILING
- REMOVE NON-PERMITTED CMU
- REMOVE COURT TOP

DEMOLITION PLAN



SITE DEMO- PLAN SC: 1/4" = 1'



PROPOSED REMODEL FOR CHRIS EULAU
 3671 CURLEW ST
 SAN DIEGO CA 92103
 PARCEL # (APN): 452-254-13-00

Project Name and Address

SHEET TITLE
DEMO PLAN

	CLIENT REVIEW	6/5/2021
	A.U.B.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	

No.	Revision/Issue	Date

ADVANCED DEVELOPMENT

RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GIRARD AVE SUITE 106
 (438) 367-9083
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

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Project EULAU	Sheet
Date 05/2021	A1.1
Scale 1/4" = 1-0"	

FINISH SCHEDULE

DESCRIPTION	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	NOTES
	3/4" Limestone					
	Ceramic Tile					
	Sealed Concrete					
	Quarry Tile					
	Wood					
	Marble Tile					
	Carpet					
	Linoleum					
	6" Wood					
	8" Ceramic Tile					
	8" Marble Tile					
	8" Quarry Tile					
	1/2" GMB w/ Thinset Plas.					
	1/2" Gypsum Board					
	5/8" Type 'X' Gyp. Bd.					
	Ceramic Tile					
	Stucco					
	Corian Counter Tops					
	1/2" GMB w/ Thinset Plas.					
	1/2" Gypsum Board					
	Exposed Beam					
	Exposed Beam w/ Thinset Plaster					
	5/8" Type 'X' Gyp. Bd.					
MAIN LEVEL						
	FOYER/GALLERY					
	DINING ROOM					
	STUDY					
	LIVING ROOM					
	MASTER BEDROOM					
	MASTER BATH					
	MASTER CLOSET					
	BATH					
	KITCHEN					
	FAMILY ROOM					
	BRKFST. ROOM					
	PANTRY					
	UTILITY					
	GARAGE					
	NEW ROOM					
UPPER LEVEL						
	BEDROOM #1					
	BEDROOM #2					
	BEDROOM #3					
	BATH					
	STAIRS					
	HALL					

FINISH NOTES

- INTERIOR WALLS/PARTITIONS SHALL BE 1/8" THINWALL PLASTER.
- ALL EXPOSED WOOD BEAMS, TRUSSES RAFTER TAILS ETC... SHOULD BE FREE OF HEART REDWOOD.
- ALL INTERIOR WALLS TO BE SMOOTH & PREPARED FOR PAINT OR WALL PAPER FINISH.
- ALL INTERIOR WOOD BEAMS SHOULD BE D.F.
- GRANITE AND MARBLE COUNTERTOPS TO HAVE THICKENED EDGE.
- ALL FINISHED CONCRETE SURFACES (E.G. GARAGE SLAB AND PATIOS) SHALL BE COVERED WITH PLYWOOD OR HARD BOARD IN TRAFFIC AREAS OR KRAFT PAPER IN NON-TRAFFIC AREAS TO PROTECT DURING THE CONSTRUCTION PERIOD. PROVIDE JOINTS AS NECESSARY TO MINIMIZE CRACKING.
- CONTRACTOR TO VERIFY ALL ASPECTS OF FINISHES WITH OWNER PRIOR TO ORDERING.

- Masonry units shall be hollow core concrete units, Grade N, conforming to ASTM C-90 and shall have a minimum compressive strength of 1900 PSI. Masonry units must have been cured for not less than 28 days.
- Mortar shall be Type M or S freshly prepared and uniformly mixed.
- Grout shall be proportioned to give a minimum 28-day compressive strength of 2000 PSI.
- Reinforcing - See Section III-Concrete/Reinforcing Steel.
- Units shall be placed in running bond unless otherwise indicated.
- All reinforcing steel shall be accurately placed and secured to prevent movement. All horizontal reinforcement shall be placed in bond beam units.
- All embeds shall be accurately placed according to the drawing and shall be secured in place to prevent movement. No other items shall be placed in masonry walls.
- All wall cells shall be grouted solid. Grout shall be placed evenly and in lifts "N/A" to exceed 4'-0" high, unless cleanouts of adequate size are provided.
- Horizontal construction joints shall be formed by stopping the grout pour a minimum of one and one-half inch below the top of the masonry units. Construction joints shall be used at top of lifts or when grouting operations are suspended for a period longer than 45 minutes.
- The contractor shall adequately support all masonry walls until the walls have been built, cured and properly attached to the supporting structure.

DOOR SCHEDULE

Door No.	Door Size			Material	Core	Finish	Action	Remarks
	Width	Height	Thick					
1	3'-0"	5'-0"	1-3/4"	WD	SC	TO BE D	SWING	
2	3'-0"	6'-8"	1-3/4"	WD	SC	TO BE D	SWING	
2	8'-0"	6'-8"	1-3/4"	WD	SC	TO BE D	SLIDER	

DOOR NOTES

- ALL GLAZING IN DOORS SHALL BE TEMP. GLASS.
- DOOR SIZES SHOWN ARE PROPOSED ROUGH OPENING SIZES. GENERAL CONTRACTOR TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES FOR DESIGNER/OWNER TO REVIEW AND APPROVE.
- SPECIALTY DOORS SHALL BE COORDINATED WITH GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL EXTERIOR DOORS SHALL HAVE A COPPER PAN, 1" MAX THRESHOLD, & BRASS HINGES. OUTSWING DOORS SHALL HAVE A 1" MAX CHANGE IN ELEVATION TO THE EXTERIOR.
- ALL EXPOSED EDGES TO BE SEALED TO PREVENT MOISTURE FENESTRATION AND WARPING.
- ALL FRENCH DOORS ARE TO HAVE DEAD BOLTS.
- CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH OWNER PRIOR TO ORDERING.

BUILDING DEPARTMENT NOTES

- NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- THE USE OF SOLDER CONTAINING MORE THAN 2/10ths OF 1% LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEMS IS PROHIBITED (SB 164).
- PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.

WINDOW SCHEDULE

WDW. No.	SIZE	HEAD HEIGHT	TYPE	MATERIAL	REMARKS
0	4050	6'-8"	DBL. CASEMENT	WOOD	XX
1	6050	6'-8"	DBL. CASEMENT	WOOD	XX

WINDOW NOTES

- CASEMENT WINDOWS USED IN BEDROOMS AS EMERGENCY EGRESS MUST BE "BREAK AWAY" TYPE TO ENSURE COMPLETE OPENABLE AREA FOR ACCESS. 2. WINDOW DIMENSIONS ARE PROPOSED ROUGH OPENING SIZES. GENERAL CONTRACTOR IS TO VERIFY MANUFACTURER'S NEAREST STOCK SIZES. ALL WINDOW SIZES, SHAPES, COLORS, HARDWARE, SCREENS, GLAZING, ETC. MUST BE APPROVED BY OWNER PRIOR TO ORDERING. 3. ALL GLAZING WITHIN 18" OF THE DOORS OR WITHIN 24" OF FLOORS MUST BE TEMPERED. 4. SPECIALTY WINDOWS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION. 5. ALL WINDOWS ARE TO BE DOUBLE GLAZED. 6. OWNERS TO SPECIFY WHICH WINDOW ARE TO BE LOW "E" 7. (T) TEMPERED GLAZING GENERAL NOTES BEDROOM WINDOWS: 1, 2, 3. BATHROOM: 1, 2, 3, 4, 5. GLAZING: 1, 2, 3. FIRE PROTECTION NOTES: 1, 2, 3. NOTES: 1, 2, 3, 4, 5, 6, 7. WINDOW SIZES 1/10th FLOOR AREA OF A BEDROOM. WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7sf, WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24". THE MIN. NET CLEAR WIDTH SHALL BE 24". THE SILL HEIGHT SHALL BE MAX. 44". WINDOWS TO ALLOW FOR 2 AIR CHANGES PER HOUR. WINDOW SIZES 1/10th FLOOR AREA OF A BEDROOM. WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7sf, WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24". THE MIN. NET CLEAR WIDTH SHALL BE 24". THE SILL HEIGHT SHALL BE MAX. 44". WINDOWS TO ALLOW FOR 2 AIR CHANGES PER HOUR. WINDOW SIZES 1/10th FLOOR AREA OF A BEDROOM. WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7sf, WITH THE MIN. NET CLEAR OPENABLE HEIGHT OF 24". THE MIN. NET CLEAR WIDTH SHALL BE 24". THE SILL HEIGHT SHALL BE MAX. 44". WINDOWS TO ALLOW FOR 2 AIR CHANGES PER HOUR. TOILETS SHALL BE 1.5 GALLONS PER FLUSH (U.O.N.). SHOWER HEADS SHALL NOT EXCEED 2.5 GALLONS PER MINUTE @ 40 P.S.I. FAUCETS SHALL NOT EXCEED 2.2 GALLONS PER MINUTE. WATER PRESSURE IN THE BUILDING SHALL BE LIMITED TO 50 P.S.I. OR LESS. SHOWER WALLS AND CEILINGS SHALL HAVE FLOOR TO CEILING MOISTURE RESISTANT GYPSUM WALLBOARD (UBS 2512). SHOWER/BATH WALL COVERING SHALL BE IMPERVIOUS MATERIAL UP TO 70" ABOVE THE DRAIN INLET. SHOWER/BATH SHALL HAVE A SAFETY GLASS DOOR AND ENCLOSURE ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED GLASS OR WIRE SAFETY GLASS. METAL DOORS WITH TEMPERED GLASS SHALL BE USED ON ALL FIREPLACES. GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE SAFETY GLASS. PROVIDE FIREBLOCKING AT 10' INTERVALS IN THE WALL BOTH HORIZONTALLY AND VERTICALLY PER THE OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES AT THE CEILING AND FLOOR LEVELS SHALL BE FIREBLOCKED WITH NONCOMBUSTIBLE MATERIALS. FIREBLOCKING IS REQUIRED AT THE OPENING BETWEEN THE ATTIC SPACE AND THE CHIMNEY CHASE FOR THE FACTORY-BUILT CHIMNEYS. PROVIDE FIREBLOCKING AT 10' INTERVALS IN THE WALL BOTH HORIZONTALLY AND VERTICALLY. THE OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND FIREPLACES AT THE CEILING AND FLOOR LEVELS SHALL BE FIREBLOCKED WITH NONCOMBUSTIBLE MATERIALS. FIREBLOCKING IS REQUIRED AT THE OPENING BETWEEN THE ATTIC SPACE AND THE CHIMNEY CHASE FOR THE FACTORY-BUILT CHIMNEYS. PROVIDE FIREBLOCKING AT 10' INTERVALS IN THE WALL BOTH HORIZONTALLY AND VERTICALLY. PLUMBING FIXTURES HAVING CONCEALED SLIP-JOINT CONNECTIONS. PLUMBING PLAN (INCLUDING GAS LINE LAYOUT AND SIZING) SHALL BE SUBMITTED AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION. ALL HOT WATER FIXTURES THAT HAVE MORE THAN 10' OF PIPE FROM THE FIXTURE TO THE HOT WATER HEATER SERVING THE FIXTURE SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM. ACCESSIBLE UNDER FLOOR AREAS SHALL BE PROVIDED WITH AN 18"x24" MIN. ACCESS WITHIN 20" OF ALL PLUMBING CLEANOUTS. FURNANCE OR WATER HEATERS LOCATED IN THE CRAWL SPACE OR ATTIC SHALL HAVE A MIN 30"x30" ACCESS OPENING LOCATED WITHIN 20" OF THE EQUIPMENT AND A MIN 24" WIDE PASSAGE ATTIC ACCESS SHALL BE MIN. 22"x30" AND SHALL HAVE 30" MIN. CLEAR HEADROOM ABOVE OPENING.

PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

Project Name and Address

SCHEDULE

Icon	Item	Date
▲	CLIENT REVIEW	6/5/2021
▲	APP.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		
No.	Revision/Issue	Date

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Project	EULAU	Sheet	A2.1
Date	05/2021		
Scale	1/4" = 1'-0"		

CALGREEN NOTES

CALGREEN CODE COMPLIANCE NOTES:

- 50% OF ALL CONSTRUCTION WASTE IS TO BE RECYCLED. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT.
- THE BUILDER IS TO PROVIDE AN OPERATING MANUAL (CONTAINING INFO. FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION.
- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED.
- VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS, STAINS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS
AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS
DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT THE COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
FIFTY PERCENT (50%) OF THE AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM.
PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS. A LETTER FROM THE INSTALLER AND OR BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND DOCUMENTING ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR.
- THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC SECTION 4.505.3
 - Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
 - Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
 - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT.
- IF A WHOLE HOUSE FAN IS INSTALLED: WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED COVERS OR LOUVERS WHICH CLOSE WHEN THE FAN IS OFF. THE COVERS OR LOUVERS SHALL HAVE A MINIMUM R4.2 INSULATION.
- HEATING AND AC SHALL BE SIZED AND SELECTED BY ACCA MANUAL J OR ASHRAE HANDBOOK OR EQUIVALENT. THE DUCT SIZING SHALL BE SIZED IN ACCORDANCE WITH ONE OF THE ACCA METHODS LISTED IN CGC SECTION 4.507.2.
- PRIOR TO FINAL APPROVAL OF THE BUILDING THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST COMPLETE AND SIGN THE GREEN BUILDING STANDARDS CERTIFICATION FORM AND GIVE TO THE BUILDING DEPARTMENT OFFICIAL TO BE FILED WITH THE APPROVED PLANS.
- A LICENSED PLUMBING ENGINEER SHALL DESIGN THE WATER CONSUMPTION UNLESS: IN LIEU OF THE CALCULATIONS, WATER USAGE SHALL BE DESIGNED PER TABLE 4.303.2 PROVIDING FIXTURES THAT MEET A 20% REDUCTION IN WATER USE.

FIXTURE TYPE	MAX FLOW RATE AT ≥20% REDUCTION
SHOWERHEADS	1.8 GPM @ 80 PSI
LAVATORY FAUCETS, RESIDENTIAL	1.5 GPM @ 60 PSI ²
KITCHEN FAUCETS	1.7 GPM @ 60 PSI
GRAVITY TANK-TYPE WATERCLOSETS	1.28 GALLONS/FLUSH ¹

- INCLUDES SINGLE AND DUAL FLUSH WATER CLOSETS WITH AN EFFECTIVE FLUSH OF 1.28 GALLONS OR LESS.
 - SINGLE FLUSH TOILETS – THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.233.2
 - DUAL FLUSH TOILETS – THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.2 AND ASME A112.19.14.
- LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.
- IF A SHOWER WITH MULTIPLE SHOWER HEADS IS INSTALLED: WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL THE HEADS SHALL NOT EXCEED THE 20% REDUCED LIMIT, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME. CGC 4.303.2
- ALL LANDSCAPE IRRIGATION WATER USE SHALL HAVE WAETHER BASED CONTROLLS.
- STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION: PROJECTS THAT DISTURB LESS THAN 1 ACRE OF SOIL SHALL MANAGE STORM WATER DURING THE CONSTRUCTION BY ONE OF THE FOLLOWING:
 - RETENTION BASIN
 - WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
 - PROPOSED METHOD, SILT FENCE AND STRAW WATTLES AROUND ALL CONSTRUCTION AREAS.
- CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK.
- RETURN AIR PLENUM SERVING THE MECHANICAL EQUIPMENT MUST BE FULLY DUCTED FROM THE EQUIPMENT TO THE CONDITIONED SPACE. DROP CEILINGS, WALL CAVITIES AND EQUIPMENT PLATFORMS MAY NOT BE USED AS PLENUMS.
- JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF THE MAINTENANCE MANUAL.

GENERAL NOTES

GENERAL NOTES:

- BASEMENT AND SLEEPING ROOMS TO HAVE EGRESS WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE MEETING THE FOLLOWING REQUIREMENTS:
 - 5.7 SQ. FT. MINIMUM NET CLEAR OPENABLE AREA
 - 24" MINIMUM NET CLEAR OPENABLE HEIGHT
 - 20" MINIMUM NET CLEAR OPENABLE WIDTH
 - FINISHED OPENING HEIGHT TO BE MAXIMUM 44" ABOVE FINISHED FLOOR
- ALL NEW GLAZING (FENESTRATIONS) SHALL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE "U" VALUE.
- ALL NEW GLAZING (FENESTRATIONS) SHALL HAVE A MIN. "U FACTOR" OF 0.32 & SHGC OF .25
- ALL WINDOWS AND SLIDING GLASS DOORS TO BE DUAL GLAZED (U.N.O).
- PROVIDE 5/8" TYPE X GYPSUM BOARD FLOOR TO ROOF SHEATHING (OR TO AND INCLUDING CEILING) @ COMMON WALLS BETWEEN GARAGE AND LIVING AREA AND UNDER STAIRS WHERE STORAGE OCCURS.
- ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTENT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND ALL EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
- EXTERIOR DOORS MAY NOT SWING OUTWARD WHEN THERE IS GREATER THAN A 1/2" DROP.

PLUMBING NOTES:

- NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE STANDARDS A112.19.2 H & S CODE SEC. 17921.3(b) ALL EXISTING WATER CLOSETS TO COMPLY.
- IN SHOWERS AND TUB SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. PER 2013 IRC.
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- PROVIDE ULTRA LOW FLUSH TOILETS, AND MAX. 1.5 GPM FLOW ON FAUCETS.
- SHOWER HEADS TO HAVE A MAX. 2 GPM FLOW.
- STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) & CROSSLINKED POLYETHYLENE (PEX) FOR INTERIOR WATER-SUPPLY PIPING.
- ALL NEW PLUMBING FIXTURES MUST BE INSTALLED WITH A BACKWATER VALVE ASSEMBLY.
- ALL ABS AND PVC PIPING AND FITTINGS SHAL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH 1/2" GYP BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- PLUMBING FIXTURES MUST MATCH THE CURRENT 2012 UPC SECTION 402 WATER-CONSERVING FIXTURES AND FITTINGS.
- SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBANT SURFACES THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- A LICENSED PLUMBING ENGINEER SHALL DESIGN THE WATER CONSUMPTION UNLESS: IN LIEU OF THE CALCULATIONS, WATER USAGE SHALL BE DESIGNED PER TABLE 4.303.2 PROVIDING FIXTURES THAT MEET A 20% REDUCTION IN WATER USE.

FIXTURE TYPE	MAX FLOW RATE AT ≥20% REDUCTION
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 - SINGLE FLUSH TOILETS – THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.233.2
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- LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI.
- ALL HOT WATER PIPING SIZED 3/4" OR LARGER IS REQUIRED TO BE INSULATED AS FOLLOWS:
 - 1" PIPES OR LESS: 1" THICK INSULATION; LARGER PIPES REQUIRE 1-1/2" THICK INSUL.
 - NOTE: IN ADDITION, THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK IS REQUIRED TO BE INSULATED ALSO.
- REQUIRED DESIGN REQUIREMENTS FOR GAS WATER HEATERS INSTALLED TO SERVE INDIVIDUAL DWELLING UNITS:
 - *) 1" DEDICATED GAS LINE FROM GAS METER TO W.H. NOT EXCEEDING 100' RUN.
 - *) A CONDENSATE DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALSO ALLOWS FOR GRAVITY DRAINAGE.
 - *) THE "B" VENT INSTALLED IN A STRAIGHT POSITION (NO BENDS) FROM THE ROOM CONTAINING THE WATER HEATER TO THE ROOF TERMINATION (FOR FUTURE POSSIBLE SLEEVING OF HIGH EFFICIENCY VENTING.)
 - *) A 120 VOLT RECEPTACLE ACCESSIBLE TO THE HEATER, INSTALLED WITHIN 3 FEET.

PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00


Project Name and Address

NOTES		
▲	CLIENT REVIEW	6/5/2021
▲	APP.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		
No.	Revisions/Issues	Date

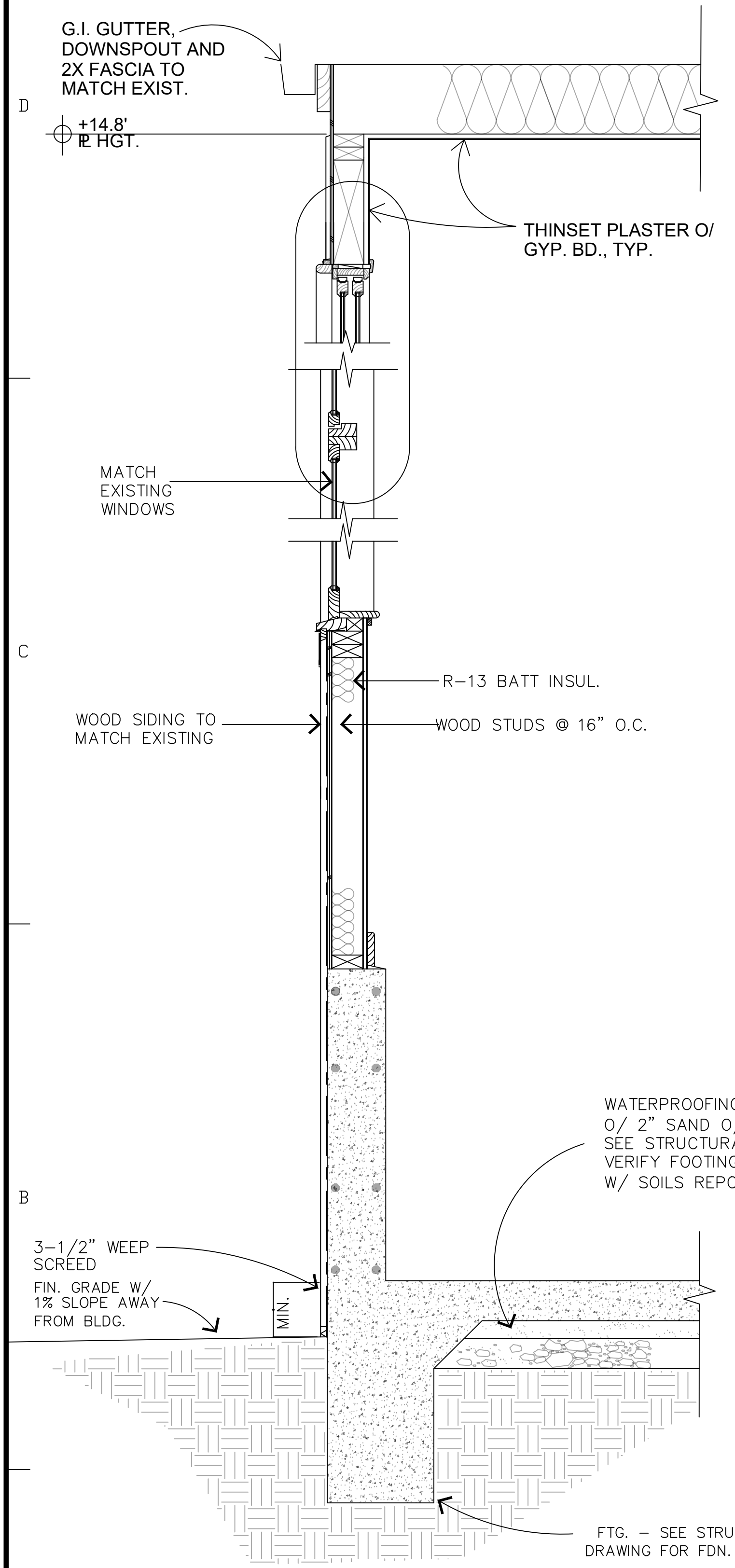
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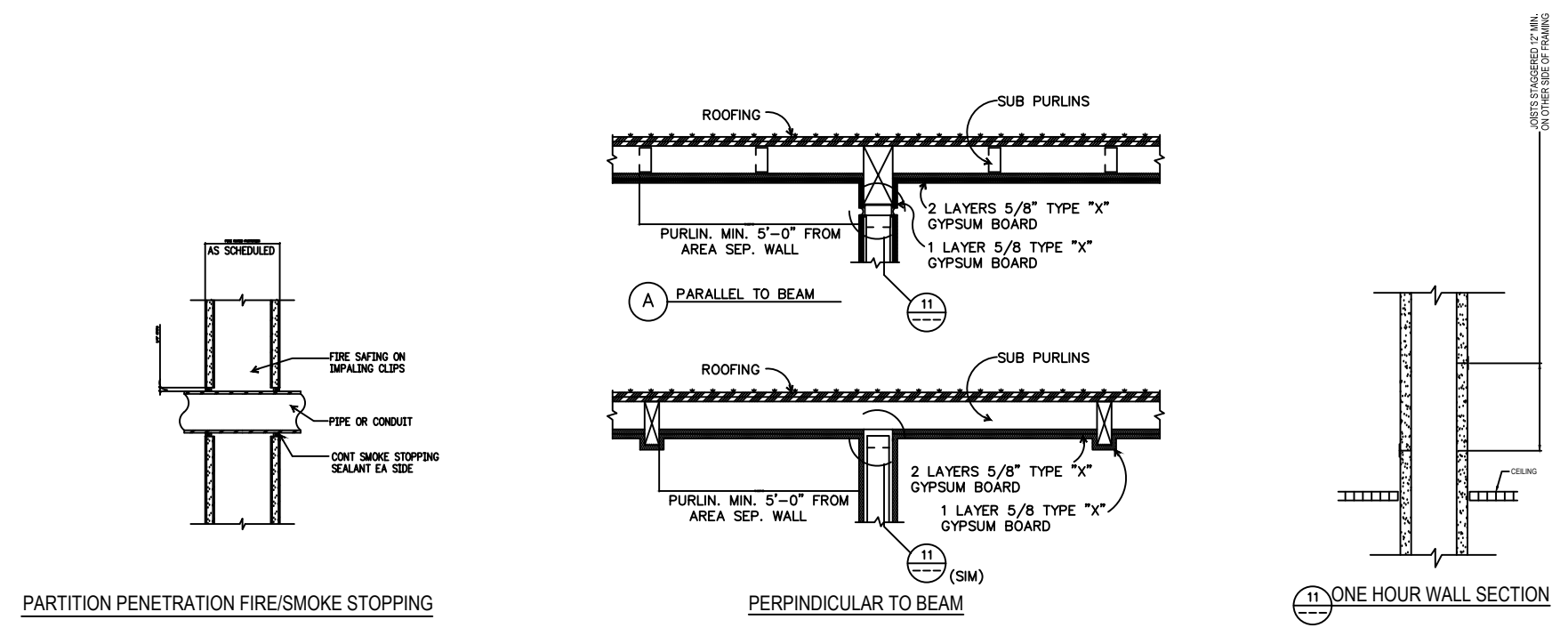
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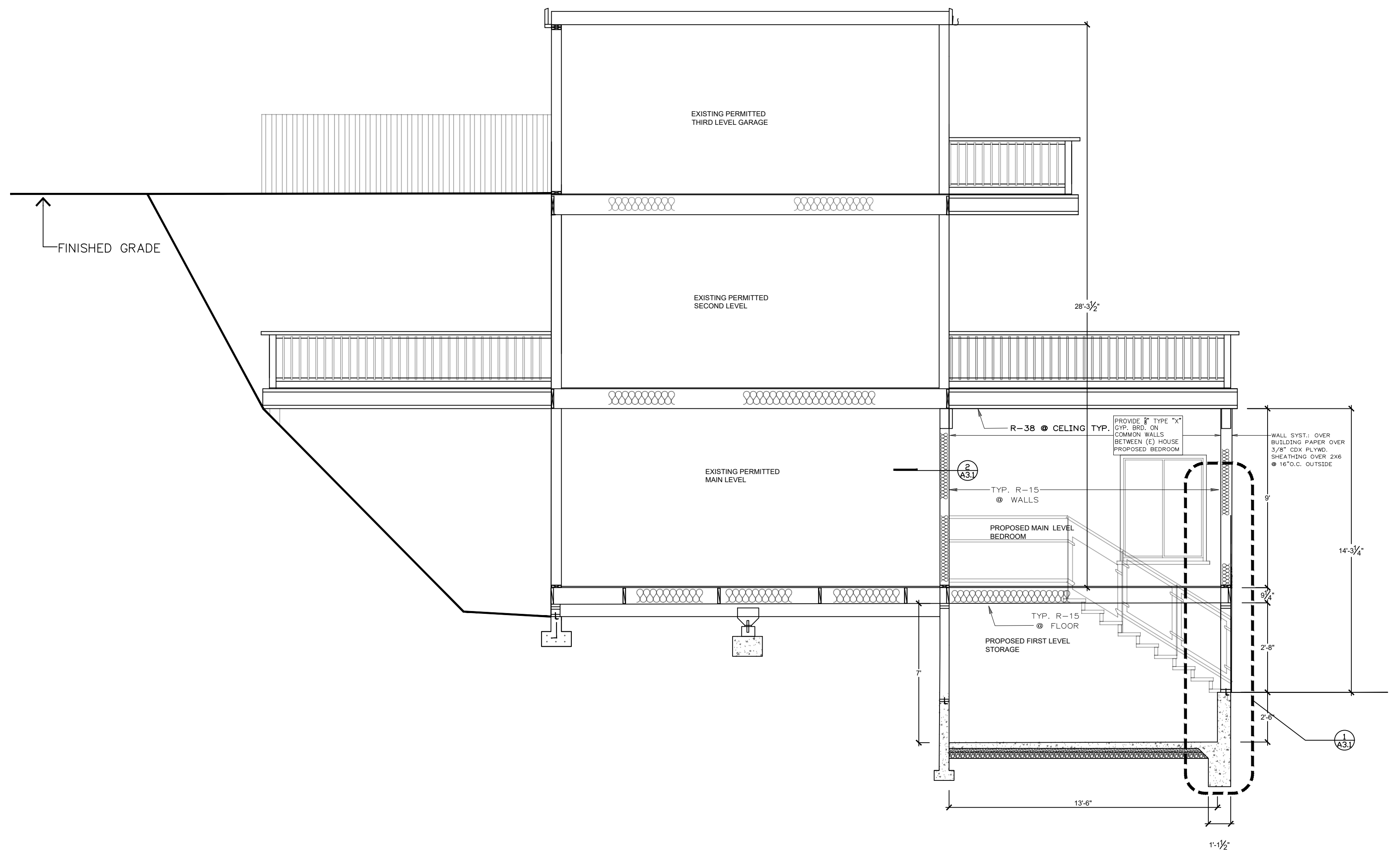
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Date	05/2021		
Scale	1/4" = 1'-0"		



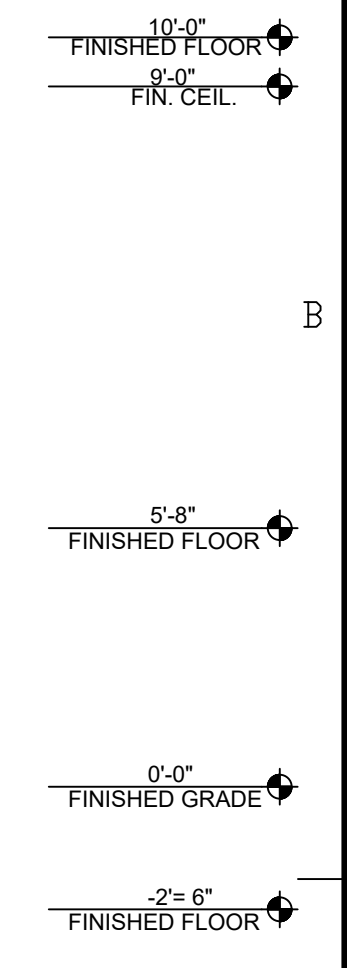
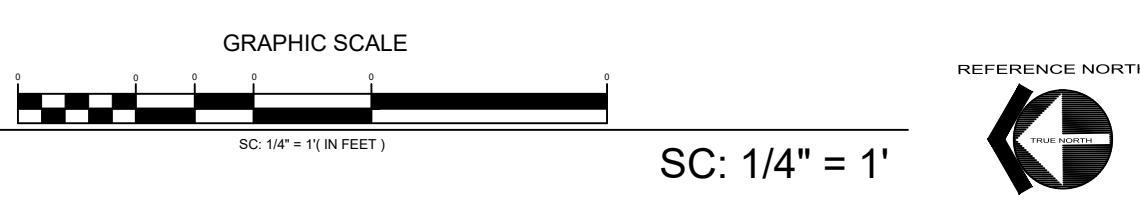
TYPICAL WALL SECTION
1"=1'-0"



1-HOUR FIRE RATING



SECTIONS



PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

Project Name and Address

SECTIONS		
CLIENT REVIEW	6/5/2021	
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Project Name and Address

ADVANCED DEVELOPMENT
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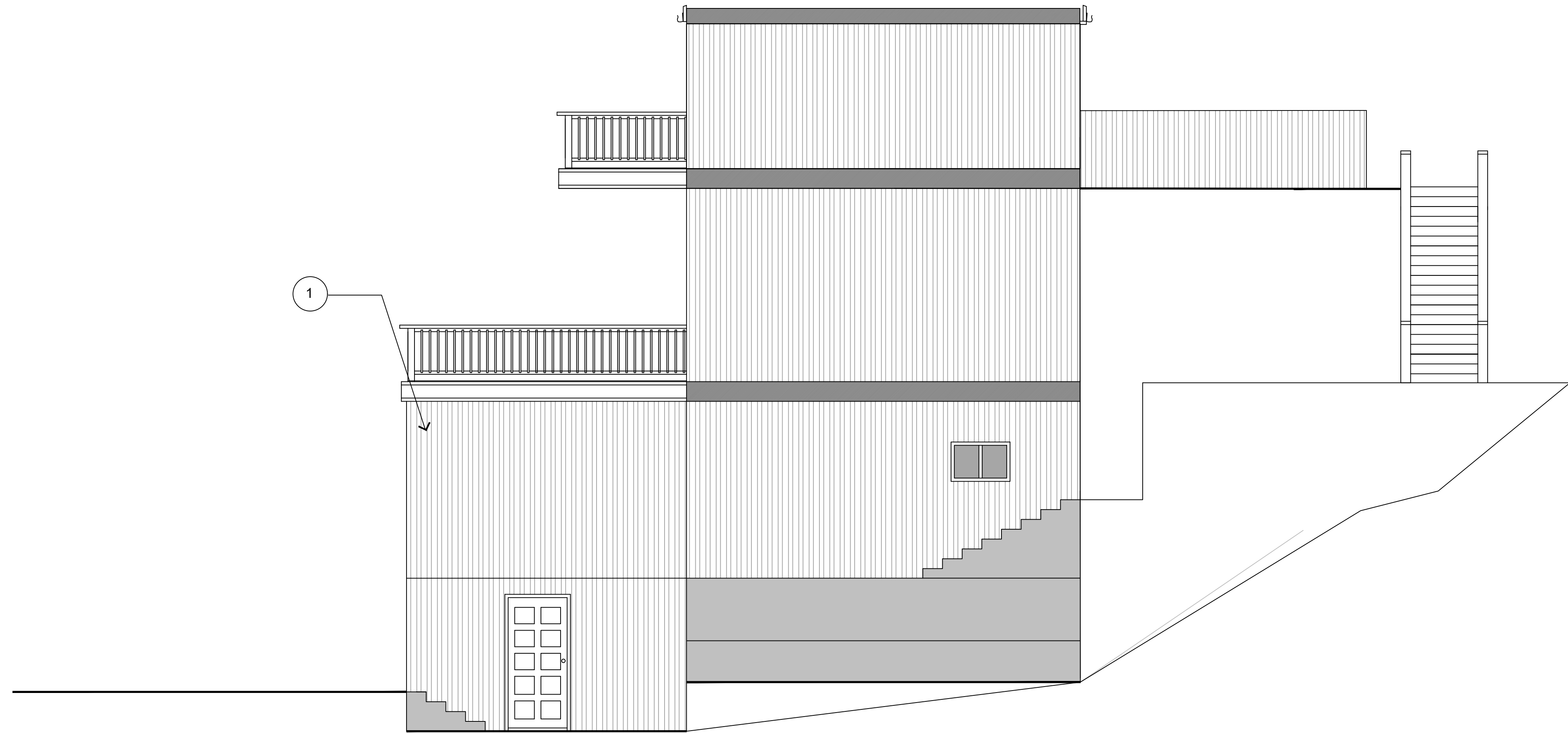
7877 GIRARD AVE SUITE 106
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TEL: 367-9083
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

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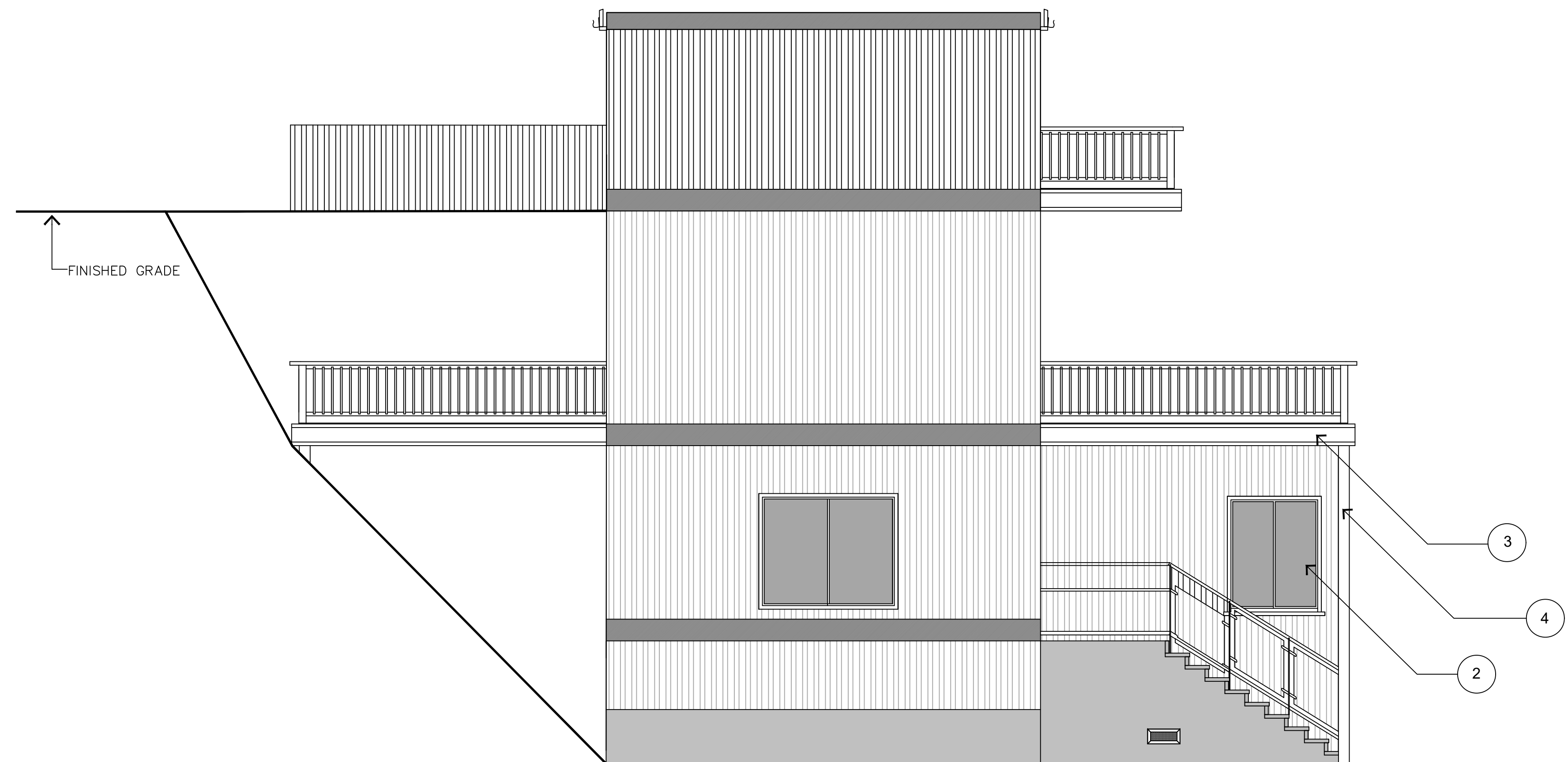
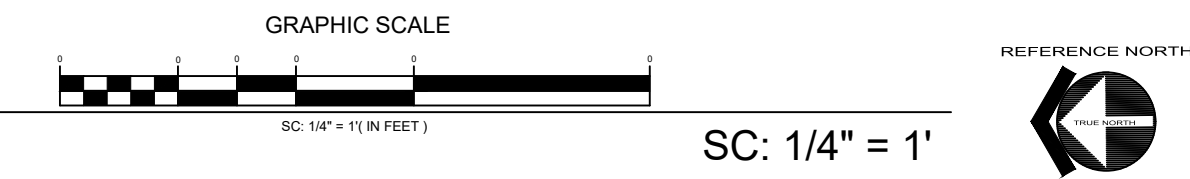
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Date	05/2021		A3.1
Scale	1/4" = 1'-0"		

EXTERIOR FINISH LEGEND

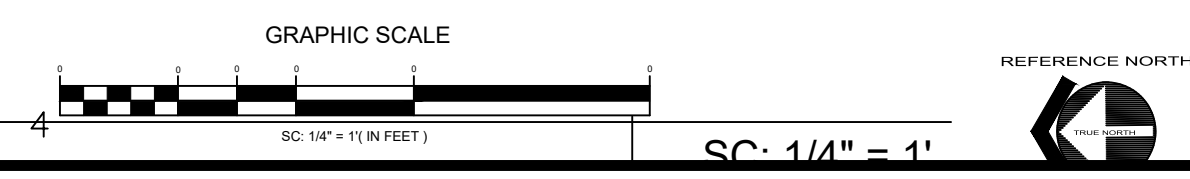
- 1.) EXTERIOR WALL-MATCH VERTICAL SIDING
- 2.) MATCH EXISTING WINDOWS AND DOORS THROUGHOUT.
- 3.) MATCH FASCIA & TRIM
- 4.) VERTICAL SIDING ON COLUMN.
- 5.) GALV. GUTTERS & DOWNSPOUTS TYP.



NORTH ELEVATION



NORTH ELEVATION



PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

Project Name and Address

ELEVATIONS

Symbol	Client Review	Date
▲	A.R.B.	6/5/2021
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		

No.	Revision/Issue	Date

ADVANCED DEVELOPMENT
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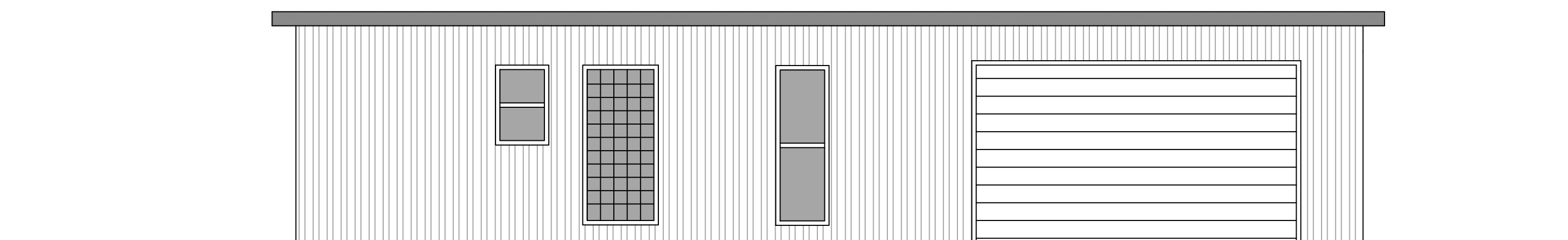


7877 GIMMARD AVE SUITE 106
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 License# 905815

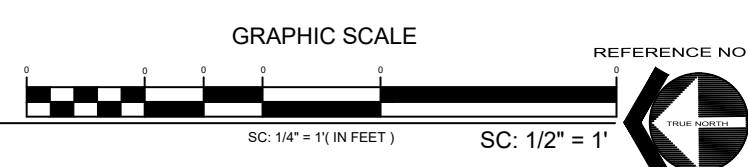
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Date	05/2021		A3.2
Scale	1/4" = 1-0"		

EXTERIOR FINISH LEGEND

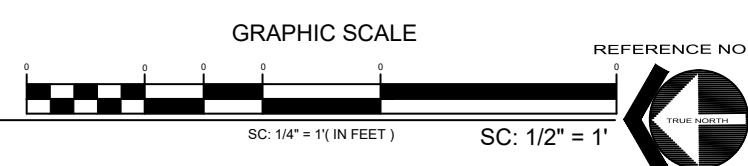
- 1.) EXTERIOR WALL-MATCH VERTICAL SIDING
- 2.) MATCH EXISTING WINDOWS AND DOORS THROUGHOUT.
- 3.) MATCH FASCIA & TRIM
- 4.) PAINT COLUMN TO MATCH EXTERIOR COLOR.



EAST ELEVATION



WEST ELEVATION



PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

SHEET TITLE

ELEVATIONS

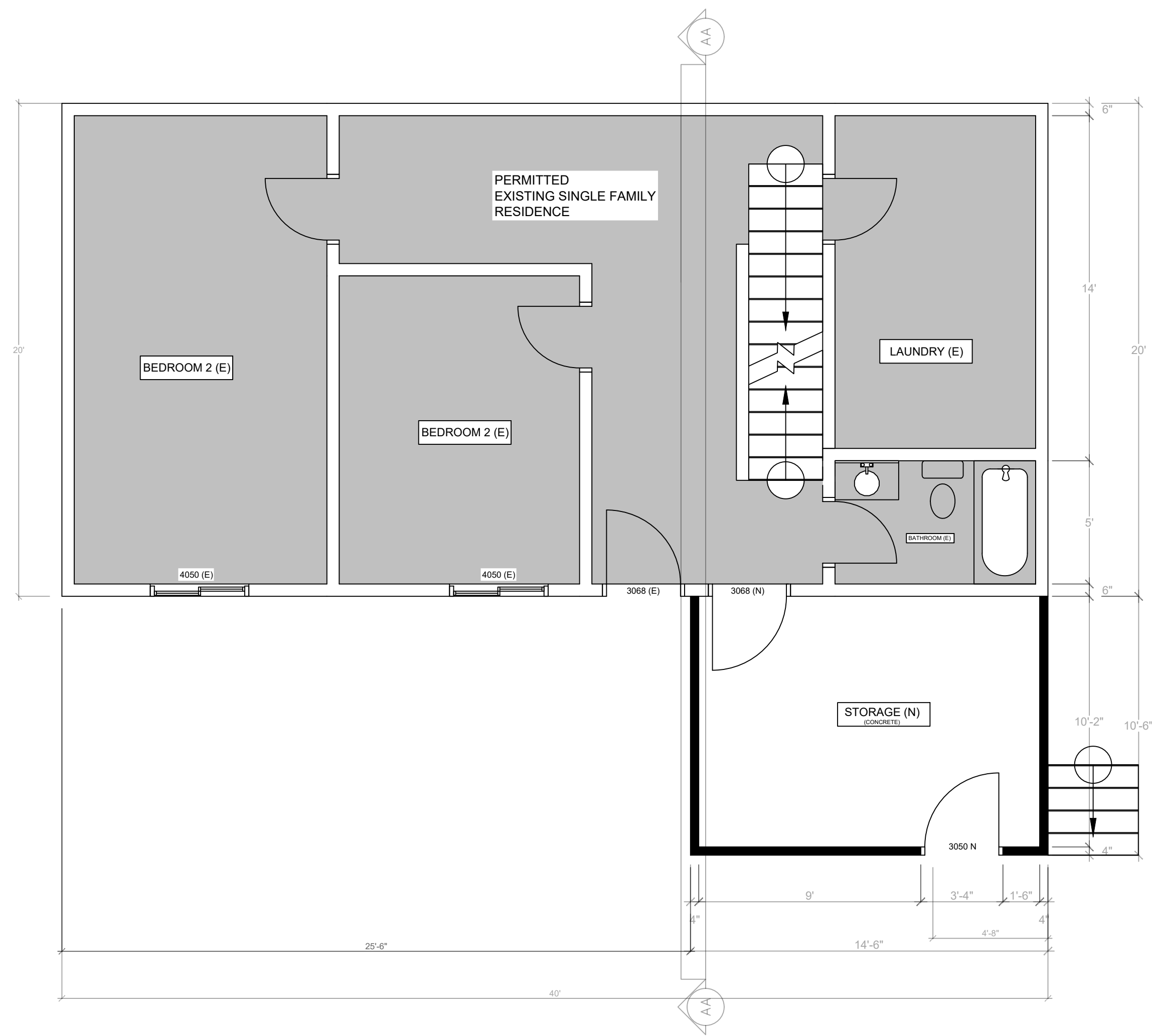
No.	Revisions	Date
▲	CLIENT REVIEW	6/5/2021
▲	A.R.S.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
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ADVANCED DEVELOPMENT
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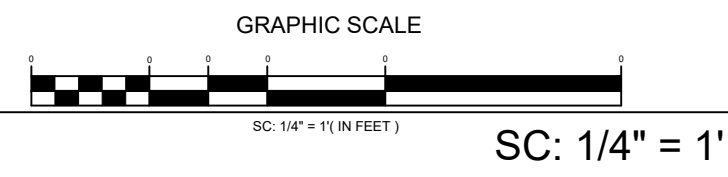
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Project	EULAU	Sheet	A3.2
Date	05/2021	Scale	
Scale	1/4" = 1-0"		



FIRST LEVEL-FLOOR/DIMENSION PLANS



FLOOR PLAN NOTES

<p>1. EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16" O.C. U.N.O. (UNLESS NOTED OTHERWISE)</p> <p>2. FIREPLACE/WOODSTOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES; 3. DHW (DOMESTIC WATER HEATER); INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.</p>	<p>4. DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.</p>	<p>5. GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);</p>	<p>6. PROVIDE MINIMUM 22"X30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"</p>	<p>NOTES: 1. ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX 3. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER 4. PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.</p>	<p>WALL LEGEND</p> <p>█ 2 X 4 WALL PROPOSED</p> <p>█ 2 X 6 WALL PROPOSED</p> <p>█ 2 X 8 WALL PROPOSED</p> <p>▬ 2 X 4 WALL EXISTING</p> <p>▬ 2 X 6 WALL EXISTING</p> <p>▬ 2 X 8 WALL EXISTING</p> <p>▨ CONCRETE</p>
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PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

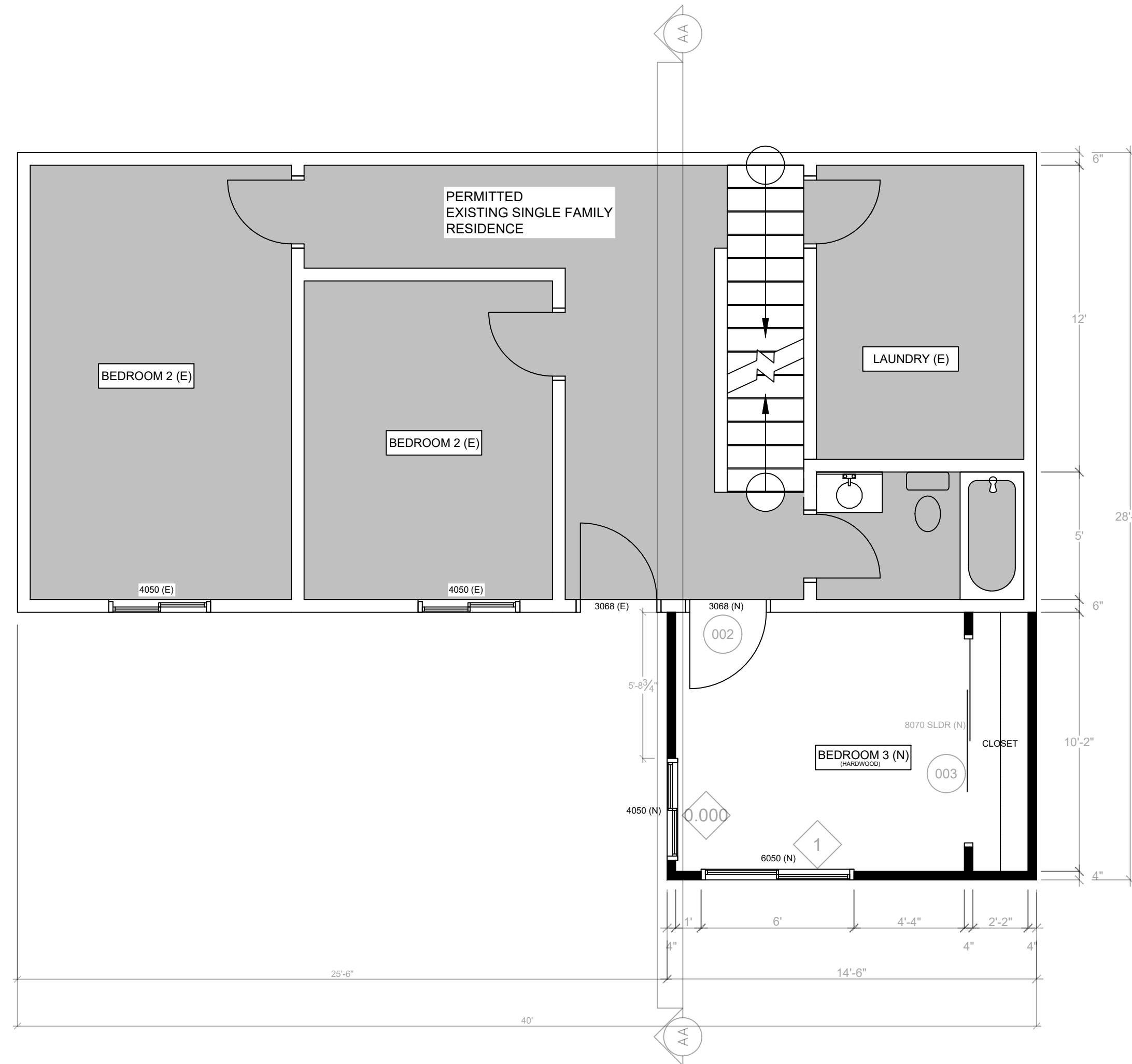
SHEET TITLE		
FIRST LEVEL FLOOR PLAN		
▲	CLIENT REVIEW	6/5/2021
▲	A.R.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		
No.	Revisions/Issues	Date

ADVANCED DEVELOPMENT
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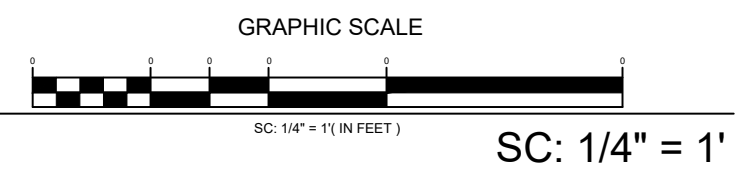
7877 GIRARD AVE SUITE 106
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Project: **EULAU** Sheet: **A4.1**
 Date: **05/2021**
 Scale: **1/4" = 1'-0"**



MAIN LEVEL-FLOOR/DIMENSION PLANS



FLOOR PLAN NOTES

<p>1. EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16"O.C. U.N.O. (UNLESS NOTED OTHERWISE)</p> <p>2. FIREPLACE/WOODSTOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES; 3. DHW (DOMESTIC WATER HEATER); INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.</p>	<p>4. DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.</p>	<p>5. GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);</p>	<p>6. PROVIDE MINIMUM 22"x30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"</p>	<p>NOTES: 1. ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX. 3. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRUIT. SUCH CIRUITS SHALL HAVE NO OTHER 4. PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> 2 X 4 WALL PROPOSED 2 X 6 WALL PROPOSED 2 X 8 WALL PROPOSED 2 X 4 WALL EXISTING 2 X 6 WALL EXISTING 2 X 8 WALL EXISTING CONCRETE
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PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

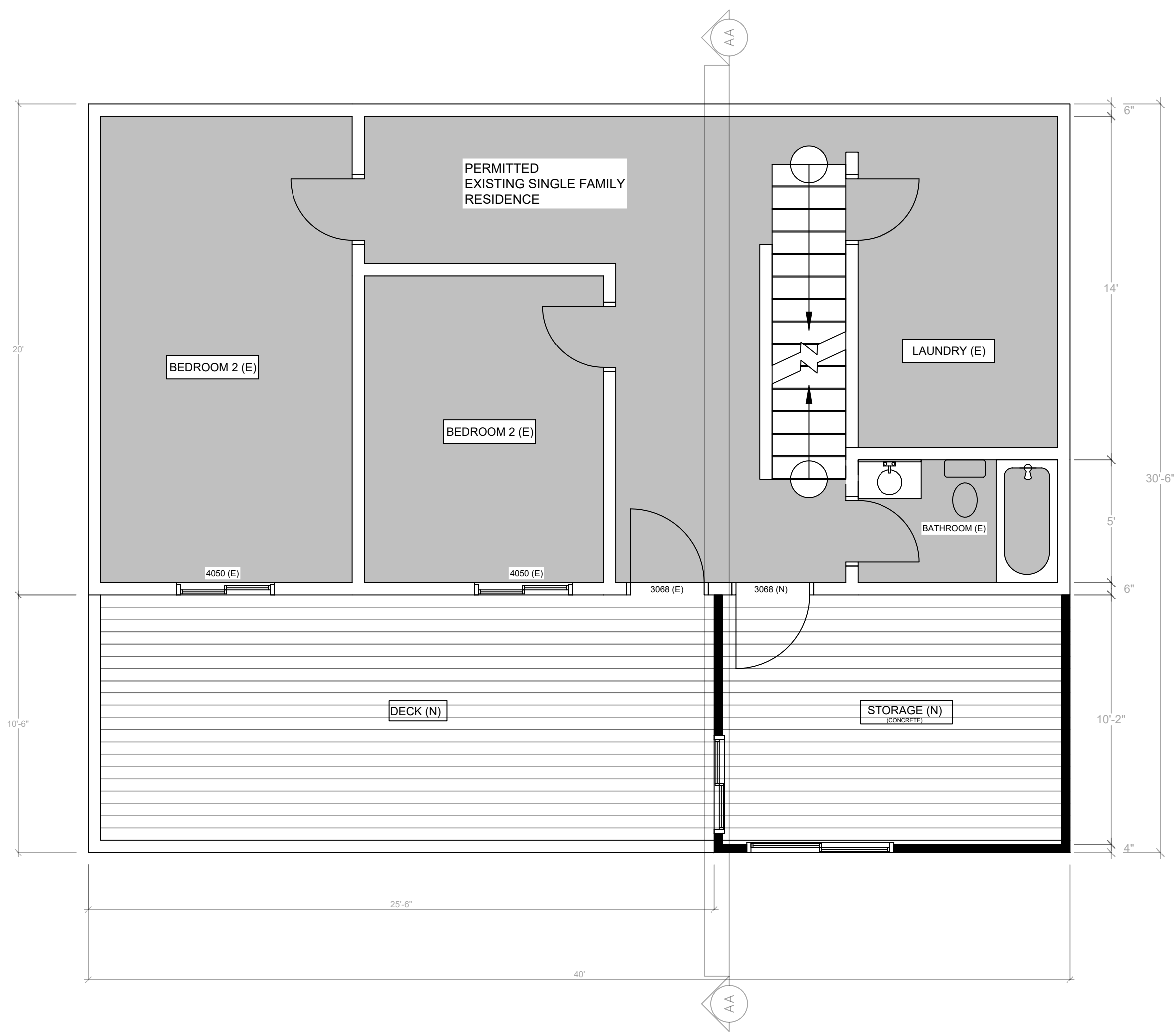
SHEET TITLE		
MAIN LEVEL FLOOR PLAN		
	CLIENT REVIEW	6/5/2021
	A.R.S.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revisions	Date

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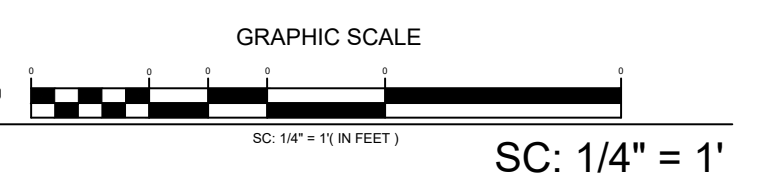
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Project: **EULAU** Sheet: **A4.2**
 Date: 05/2021
 Scale: 1/4" = 1-0"



SECOND LEVEL-FLOOR/DIMENSION PLANS



FLOOR PLAN NOTES

<p>1. EXTERIOR WALLS: 2X6 INTERIOR WALLS: 2X4 STUDS @ 16" O.C. U.N.O. (UNLESS NOTED OTHERWISE) 2. FIREPLACE/WOODSTOVE FLUE SYSTEM AND MASONRY HEARTH TO BE INSTALLED PER ALL APPLICABLE CODES; 3. DHW (DOMESTIC WATER HEATER); INSULATE WATER HEATER @ LOCATION SPECIFIED BY OWNER. INSTALL ON A CODES. STRAP DHW TO STRUCTURAL WALLS.</p>	<p>4. DOORS: ALL EXTERIOR DOORS TO BE WOOD OR METAL, WEATHERSTRIPPED AND WITH AN ALUMINUM SILL; GARGE/HOUSE DOOR TO BE 1 HR. FIRE RATED WITH SELF-CLOSING HINGES; INTERIOR DOORS TO BE 'MASONITE' OR EQ; DOOR HARDWARE: WEISER, KWIKSET, SCHLAGE OR EQ.</p>	<p>5. GLAZING: WINDOWS TO BE INSULATED, ALUMINUM FRAMED WITH BUILT-IN GRIDS, UNLESS OTHERWISE SPECIFIED; SEE PLANS FOR UVAL AND OTHER SPECIAL GLAZING REQUIREMENTS; ALL BEDROOMS TO HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM OPENABLE AREA OF 5.7 SQ.FT. WITH A MINIMUM NET OPENING OF 20" WIDE X 24" HIGH; AND A MAX. SILL HEIGHT OF +44"; PROVIDE MIRRORS OVER ALL VANITIES AND TEMPERED TUB AND TUB/SHOWER ENCLOSURES IN BATHROOMS IF SPECIFIED ON FLOOR PLAN(S);</p>	<p>6. PROVIDE MINIMUM 22"x30" CEILING ACCESS WITH MINIMUM 30" VERTICAL CLEARANCE ABOVE ACCESS. 7. ALL WINDOWS ON FIRST FLOOR SET @ 6'-8" 8. ALL WINDOWS ON SECOND FLOOR SET @ 6'-8"</p>	<p>NOTES: 1. ONE WINDOW IN EACH SLEEPING ROOM SHALL PROVIDE A MIN. OPERABLE AREA 2. 1.6 GAL MAX PER FLUSH AT TOILETS; 2.5 GPM MAX AT SHOWER HEAD; 2.2 GPM MAX. 3. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20AMP CIRUIT. SUCH CIRUITS SHALL HAVE NO OTHER 4. PROVIDE 5/8" TYPE 'X' GYP BOARD AT ALL WALLS, CEILING, POST & BEAM AT GARAGE - TAPE.</p>	<p>WALL LEGEND</p> <ul style="list-style-type: none"> 2 X 4 WALL PROPOSED 2 X 6 WALL PROPOSED 2 X 8 WALL PROPOSED 2 X 4 WALL EXISTING 2 X 6 WALL EXISTING 2 X 8 WALL EXISTING CONCRETE
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PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
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PARCEL # (APN): 452-254-13-00

SHEET TITLE		
SECOND LEVEL FLOOR PLAN		
	CLIENT REVIEW	6/5/2021
	A.R.S.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revisions	Date

ADVANCED DEVELOPMENT
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Project: **EULAU** Sheet:

Date: **05/2021** **A4.3**

Scale: **1/4" = 1-0"**

ELECTRICAL SYMBOLS

LIGHTING

- SYMBOLS SUPERCEDED IF CALLED OUT DIFFERENTLY ON PLAN.
- FLUORESCENT FIXTURE, RECESSED IN CEILING.
- FLUORESCENT FIXTURE, SURFACE OR PENDANT MOUNTED.
- FLUORESCENT FIXTURE, WALL MOUNTED.
- FLUORESCENT STRIPLIGHT FIXTURE, SURFACE OR PENDANT MOUNTED.
- INCANDESCENT, FLUORESCENT OR H.I.D. FIXTURE, RECESSED IN CEILING.
- INCANDESCENT, FLUORESCENT OR H.I.D. FIXTURE, SURFACE OR PENDANT MOUNTED.
- INCANDESCENT, FLUORESCENT OR H.I.D. FIXTURE, WALL MOUNTED.
- INCANDESCENT, FLUORESCENT OR H.I.D. WALL WASHER FIXTURE, RECESSED IN CEILING.
- INCANDESCENT OR H.I.D. WALL WASHER FIXTURE, SURFACE OR PENDANT MOUNTED.
- H.I.D. LIGHTING FIXTURE, POLE MOUNTED.
- EXIT FIXTURE, CEILING OR WALL MOUNTED. SHADED SECTOR INDICATES DIRECTION ARROW.
- INCANDESCENT LIGHTING TRACK SYSTEM WITH PLUG IN FIXTURES AS SHOWN.
- SHADING OF ANY FIXTURE INDICATES CONNECTION TO EMERGENCY SYSTEM.
- EMERGENCY BATTERY PACK WITH TWO FLOOD HEADS.
- LIGHTING FIXTURE TYPE.
- LIGHTING SWITCHING CIRCUIT.
- SPOT LIGHT.

SIGNAL & COMMUNICATIONS

- TELEPHONE TERMINAL BOARD, 4'x8'x 3/4" UDN.
- TELEPHONE OUTLET, +18" UDN.
- WALL PHONE TELEPHONE OUTLET, +54" UDN.
- TELEPHONE OUTLET, MOUNTED IN FLOOR MONUMENT.
- TELEPHONE OUTLET, MOUNTED IN FLUSH FLOOR BOX.
- SMOKE DETECTOR, FLUSH MOUNTED IN CEILING. A=AUXILIARY, CONTACT G=GUARD, R=REMOTE INDICATOR, EXP=EXPLOSION PROOF.
- HEAT DETECTOR, FLUSH MOUNTED IN CEILING, 135° COMB RDR/FIXED. A=AUXILIARY, CONTACT G=GUARD, 190=190° FIXED TEMP, EXP=EXPLOSION PROOF.
- SMOKE DETECTOR, SURFACE MOUNTED. A=AUXILIARY, CONTACT G=GUARD, R=REMOTE INDICATOR, EXP=EXPLOSION PROOF.
- HEAT DETECTOR, SURFACE MOUNTED, 135° COMB RDR/FIXED. A=AUXILIARY, CONTACT G=GUARD, 190=190° FIXED TEMP, EXP=EXPLOSION PROOF.
- SMOKE DETECTOR, DUCT MOUNTED. A=AUXILIARY, CONTACT G=GUARD
- FIRE ALARM MANUAL PULL STATION, +48". K=KEYED
- SUBSCRIPT DENOTES ZONE - DEVICE NUMBER (SINGLE NUMBER DENOTES ZONE) (S TYP)
- FIRE ALARM AUDIBLE/VISIBLE SIGNAL STATION, 6' BELOW CEILING, 9'-6" MAXIMUM.
- COMBINATION FIRE ALARM MANUAL PULL STATION AND AUDIBLE/VISIBLE SIGNAL STATION.
- FIRE ALARM BELL, 6' BELOW CEILING, 9'-6" MAXIMUM.
- FIRE ALARM ANNUNCIATOR LIGHT, 6' BELOW CEILING, 9'-6" MAXIMUM.
- HUMIDIFIER
- DOOR HOLD OPEN/RELEASE DEVICE.
- SPEAKER, RECESSED IN CEILING.
- SPEAKER, SURFACE MOUNTED.
- SPEAKER, HORN, WP=WEATHERPROOF
- SPEAKER, WALL MOUNTED, 1'-0" BELOW CEILING UDN.
- VOLUME CONTROLLER, +42" UDN.
- MICROPHONE JACK, WALL MOUNTED, +18" UDN.
- MICROPHONE JACK, MOUNTED IN FLOOR MONUMENT.
- MICROPHONE JACK, MOUNTED IN FLUSH FLOOR BOX.
- TELEVISION OUTLET, WALL MOUNTED, +18" UDN.
- INTERCOM STATION, WALL MOUNTED, +48" UDN. "M" DENOTES MASTER.
- SITE WIDE INTERCOM STATION.
- INTERCOM STATION, MOUNTED IN FLUSH FLOOR BOX.
- PRESSURE SWITCH.
- MOTORIZED VALVE.
- SOLENOID VALVE.
- CLOSED CIRCUIT TV CAMERAS
- CRT OUTLET BRACKET MOUNTED.
- CRT OUTLET, WALL MOUNTED, +18" UDN.

SIGNAL & COMMUNICATIONS (cont)

- FIRE ALARM CONTROL PANEL.
- ZONE DAMPER
- ELECT. DOOR SWITCH.
- DOOR ALARM CONTACT.
- ELECT. DOOR RELEASE.
- ELECT. DOOR OPERATOR.
- PERSONAL ALARM RECEIVER.
- PERSONAL ALARM SYSTEM AUDIBLE HORN.
- PERSONAL ALARM SYSTEM VISUAL STROBE.
- PERSONAL ALARM SYSTEM RESET KEYSWITCH.
- NUMBERS DENOTE ZONE - DEVICE NUMBER IN ZONE.
- SPRINKLER OR STAND PIPE FLOW ALARM SWITCH CONNECTION.
- DS & Y VALVE MONITOR SWITCH.

POWER

- MAIN SWITCHBOARD, DISTRIBUTION BOARD OR MOTOR CONTROL CENTER.
- PANELBOARD, 277/480V, SURFACE MOUNTED.
- PANELBOARD, 277/480V, FLUSH MOUNTED.
- PANELBOARD, 120/208V, SURFACE MOUNTED.
- PANELBOARD, 120/208V, FLUSH MOUNTED.
- ELECTRIC MOTOR, MAKE CONNECTIONS ONLY. #=HP
- JUNCTION BOX, 4' SQUARE UDN MOUNTED ABOVE ACCESSIBLE CEILING.
- JUNCTION BOX, WALL MOUNTED 4' SQUARE UDN.
- JUNCTION BOX, 4' SQUARE UDN FLOOR MOUNTED.
- DUPLEX CONVENIENCE OUTLET, +18" UDN.
- DUPLEX CONVENIENCE OUTLET, SPLIT WIRED, +18" UDN.
- DOUBLE DUPLEX CONVENIENCE OUTLET, +18" UDN.
- DUPLEX CONVENIENCE OUTLET, MOUNTED HORIZONTALLY IN BASEBOARD.
- DUPLEX CONVENIENCE OUTLET, MOUNTED IN COUNTER TOP.
- DUPLEX CONVENIENCE OUTLET, MOUNTED ABOVE COUNTER, +42", +46" WHERE BACKSPASH OCCURS, UDN.
- DUPLEX CONVENIENCE OUTLET WITH GROUND FAULT INTERRUPTER, +18" UDN.
- DUPLEX CONVENIENCE OUTLET, MOUNTED IN FLOOR MONUMENT.
- DUPLEX CONVENIENCE OUTLET, MOUNTED IN FLUSH FLOOR BOX.
- SINGLE CONVENIENCE OUTLET, +18" UDN.
- SPECIALTY OUTLET, +18" UDN. LETTER DENOTES TYPE.
- SPECIALTY OUTLET, MOUNTED IN FLOOR MONUMENT. LETTER DENOTES TYPE.
- SPECIALTY OUTLET, MOUNTED IN FLUSH FLOOR BOX. LETTER DENOTES TYPE.
- CLOCK OUTLET, 1'-0" BELOW CEILING UDN.
- POWER POLE
- PULLBOX, SIZE AND TYPE AS SPECIFIED BY NUMBERED NOTE.
- SAFETY DISCONNECT SWITCH, 3 POLE, UDN. #=FUSE RATING. A: 30A, NON-FUSED AF: 30A, FUSED B: 60A, NON-FUSED BF: 60A, FUSED C: 100A, NON-FUSED CF: 100A, FUSED D: 200A, NON-FUSED DF: 200A, FUSED
- PACKAGE CONTROLLER OR STARTER FURNISHED, INSTALLED AND WIRED UNDER THIS SECTION. NUMBER INDICATES NEMA SIZE.
- COMBINATION STARTER, FURNISHED, INSTALLED AND WIRED UNDER THIS SECTION. NUMBER INDICATES NEMA SIZE.
- PACKAGE CONTROLLER OR STARTER FURNISHED AND INSTALLED UNDER ANOTHER SECTION, BUT WIRED UNDER THIS SECTION.
- PUSHBUTTON STATION, MOMENTARY CONTACT INSTRUMENT OR CONTROL SWITCH.
- TIME SWITCH
- PHOTOELECTRIC SWITCH
- TEMPERATURE CONTROLLER
- POWER DISTRIBUTION BOX FOR PREFABRICATED FLEXIBLE METAL WIRING SYSTEM; ADJACENT NUMBERS INDICATE CIRCUITS AVAILABLE FROM THIS BOX
- SWITCH, TOGGLE, SINGLE POLE, SINGLE THROW, +42" AFF UDN. SUBSCRIPT MODIFIERS: a, b, c SWITCHING CIRCUIT DESIGNATION D DIMMER K KEY OPERATED P PILOT LIGHT 2 DOUBLE POLE 3 THREE WAY T MOTOR RATED SWITCH WITH OVERLOADS 4 FOUR WAY

POWER (cont)

- SINGLE POLE LOW VOLTAGE LIGHTING CONTROL STATION, +42" UDN.
- AMMETER. #=AMPS FULL SCALE
- VOLTMETER. #=VOLTS FULL SCALE
- AMMETER SWITCH.
- VOLTMETER SWITCH.
- CURRENT TRANSFORMER.
- POTENTIAL TRANSFORMER.
- CIRCUIT BREAKER: NA=NON AUTOMATIC; ST=SHUNT TRIP.
- FUSED SWITCH; ST=SHUNT TRIP.
- TRANSFORMER.
- METER (WATT HOUR)
- CONDUIT SEAL FOR HAZARDOUS AREA.
- PUSHBUTTON, NORMALLY OPEN.
- PUSHBUTTON, NORMALLY CLOSED.
- LIGHT INDICATOR TYPE, R=RED, G=GREEN, W=WHITE.
- MOTOR OVERLOAD HEATERS
- CONTACTOR.
- RELAY; #=NUMBER.
- CONTACT, RELAY, CONTACTOR-NORMALLY OPEN.
- CONTACT, RELAY, CONTACTOR-NORMALLY CLOSED.
- THERMOSTAT, PROVIDED UNDER DIVISION 15, +48" UDN.

RACEWAYS

- CONDUIT RUN EXPOSED ON WALL OR CEILING.
- CONDUIT RUN CONCEALED UNDER SLAB OR UNDERGROUND.
- CONDUIT RUN CONCEALED IN SLAB, WALL OR CEILING.
- CONDUIT HOMERUN, CONTINUOUS RUN TO PANEL OR EQUIPMENT CABINET.
- TELEPHONE SYSTEM EMPTY CONDUIT. 3/4" MINIMUM SIZE UDN.
- TELEPHONE SYSTEM EMPTY CONDUIT. 1" MINIMUM SIZE UDN.
- TELEPHONE SYSTEM EMPTY CONDUIT. 1 1/4" MINIMUM SIZE UDN.
- FLEXIBLE METALLIC CONDUIT.
- LOW VOLTAGE LIGHTING SYSTEM CONTROL CABLE. EACH CROSS MARK INDICATES NUMBER OF CIRCUITS, NO CROSS MARKS INDICATE ONE CIRCUIT.
- CONDUIT TURNED UP.
- CONDUIT TURNED DOWN.
- BRANCH CIRCUIT CONDUIT & CONDUCTOR, NUMBER OF CROSSMARKS EQUALS NUMBER OF CONDUCTORS. NO CROSSMARKS EQUALS 2 CONDUCTORS. #=CONDUCTOR & CONDUIT SIZE AS NOTED, NO MARK #=12, 3/4". G INDICATES INSULATED GROUND WIRE.
- TRENCH DUCT.
- MULTIOUTLET SURFACE RACEWAY; TYPE, OUTLET SPACING AND MOUNTING AS INDICATED BY NUMBERED NOTE.
- EMERGENCY CIRCUIT
- GROUND WIRE (INSULATED) IN CONDUIT, SIZES AS INDICATED.
- CONNECT TO GROUNDING ELECTRODE.
- UFER GROUND, #4 ENCASED IN FOOTING, MINIMUM 20 FT. UDN
- GROUND ROD.

CONVENTIONS

- NUMBERED NOTE: APPLIES TO ALL DRAWINGS.
- NUMBERED SHEET NOTE: APPLIES TO DRAWING CONTAINING NOTES ONLY.
- SWITCHBOARD OR MOTOR CONTROL CENTER SPACE IDENTIFICATION TAG: REFERS TO LOCATION OF PROTECTIVE OR CONTROL DEVICES WITHIN SWITCHBOARDS, PANELS, MOTOR CONTROL CENTERS, ETC.
- FEEDER NUMBER.
- DETAIL REFERENCE: DETAIL DESIGNATION SHEET NUMBER OF DETAIL
- MECHANICAL EQUIPMENT: SEE MECHANICAL DRAWINGS FOR EQUIPMENT INFORMATION.

ELECTRICAL ABBREVIATIONS

SYMBOL	DESCRIPTION
#	NUMBER
2SP	2 SPEED
A	AMPERE (AMPS)
AC	ALTERNATING CURRENT
ACCP	ACCESS PANEL
AF	AMPS-FRAME
AFG	ABOVE FINISHED FLOOR ABOVE FINISHED GRADE
AIC	AMP INTERRUPTING CURRENT
AT	AMPS-TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AUTO	AUTOMATIC
AWG	AMERICAN WIRE GAUGE
BIL	BASIC IMPULSE LEVEL
BLDG	BUILDING
BFG	BELOW FINISHED GRADE
BP	BID PACKAGE
BPT	BY-PASS TIMER
C	CONDUIT
CAB	CABINET
CB	CIRCUIT BREAKER
CCTV	CLOSED CIRCUIT TELEVISION
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED.
CKT	CIRCUIT
CLG	CEILING
CO	CONDUIT ONLY
COMM	COMMUNICATIONS
CONC	CONCRETE
CONTR	CONTRACTOR
CRT	CATHODE RAY TUBE (MONITOR)
CT	CURRENT TRANSFORMER
CU	COPPER
CW	COLD WHITE/COLD WATER
CX	COAXIAL CABLE
DDC	DIRECT DIGITAL CONTROL
DF	DRINKING FOUNTAIN
DGP	DATA GATHERING PANEL
DIA	DIAMETER
DP	DOUBLE POLE
DPDT	DOUBLE POLE DOUBLE THROW
DPST	DOUBLE POLE SINGLE THROW
DTL	DETAIL
DWG	DRAWING
(E)	EXISTING
(ER)	EXISTING RELOCATE
ELEC	ELECTRIC/ELECTRICAL
EMER	EMERGENCY
EMT	ELECTRICAL METALLIC TUBING CONDUIT
ENCL	ENCLOSURE
EQ	EQUAL
EQUIP	EQUIPMENT
EST	ESTIMATE
EW	ELECTRIC WATER COOLER
(F)	FUTURE
F	FUSED
FA	FIRE ALARM
FLA	FULL LOAD AMPS
FLEX	FLEXIBLE METAL CONDUIT
FLUOR	FLUORESCENT
FT	FOOT/FEET
FU	FUSE
GALV	GALVANIZED
GENR	GENERATOR
GFI	GROUND FAULT INTERRUPTER
GFR	GROUND FAULT RELAY
GRD/GND	GROUND
GW	GAS WATER HEATER
HH	HANDHOLE
HID	HIGH INTENSITY DISCHARGE
HDA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HPS	HIGH PRESSURE SODIUM
HV	HIGH VOLTAGE
HZ	HERTZ
ID	INSIDE DIAMETER
IMT	INTERMEDIATE METAL TUBING
INC	INCANDESCENT
JB	JUNCTION BOX
KA	KILOAMPERES
KCMIL	THOUSAND CIRCULAR MILS
KEC	KITCHEN EQUIPMENT CONTRACTOR
KV	KILOVOLT
KVA	KILOVOLT AMPERES
KW	KILOWATT
KWH	KILOWATT HOURS
LCL	LONG CONTINUOUS LOAD
LRA	LOCKED ROTOR AMPS
LT	LIGHT
LTG	LIGHTING
LV	LOW VOLTAGE
M	MOTOR
MATV	MASTER ANTENNAE TELEVISION
MAX	MAXIMUM
MC	MOTOR CONTROLLER
MCC	MOTOR CONTROL CENTER
MCM	THOUSAND CIRCULAR MILS
MCP	MOTOR CURRENT PROTECTOR
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE/METAL HALIDE
MIN	MINIMUM
MDM	MOMENTARY
MT	EMPTY
MTD	MOUNTED
MTG	MOUNTING

SYMBOL	DESCRIPTION
(ND)	NEW
NC	NORMALLY CLOSED
NF	NON-FUSED
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NO	NORMALLY OPEN/NUMBER
NDR	NORMAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
DFCI	OWNER FURNISHED CONTRACTOR INSTALLED
DFOI	OWNER FURNISHED OWNER INSTALLED
P	POLE
PA	PUBLIC ADDRESS
PAR	PERSONAL ALARM RECEIVER
PB	PULL BOX
PF	POWER FACTOR
PH	PHASE
PNL	PANEL
PDC	POINT OF CONNECTION
PR	PRIMARY
PT	POTENTIAL TRANSFORMER
PVC	POLYVINYL CHLORIDE DUCT
PWR	POWER
(R)	REMOVE
(RR)	REMOVE AND RELOCATE
REFRIG	REFRIGERATOR
REQD	REQUIRED
RM	ROOM
RMS	ROOT MEAN SQUARE
RMC	RIGID METALLIC CONDUIT
RVS	REVERSE
SCIC	SPECIAL COMMUNICATIONS INTERFACE CAB.
SEC	SECONDARY
SHT	SHEET
SN	SOLID NEUTRAL
SPST	SINGLE POLE SINGLE THROW
SSC	SOUND SYSTEM CABINET
STD	STANDARD
SW	SWITCH
SWBD	SWITCHBOARD
SYM	SYMMETRICAL
T	THROW
TB	TERMINAL BLOCK
TC	TIMECLOCK
TL	TERMINAL LOCK
TP	TWISTED PAIR
TPS	TWISTED PAIR SHIELDED
TRANSF	TRANSFORMER
TTB	TELEPHONE TERMINAL BOARD
TTC	TELEPHONE TERMINAL CABINET
TX	TRANSFORMER
TYP	TYPICAL
UG	UNDERGROUND
UDN	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTIBLE POWER SYSTEM
V	VOLT
VA	VOLTAMPERES
W	WIRE/WATTS
WHM	WATT HOUR METER
WP	WEATHERPROOF
WT	WATERTIGHT
WW	WARM WHITE
XP	EXPLOSION PROOF
XFMR	TRANSFORMER

SHEET INDEX

- ELECTRICAL DRAWINGS
- E0.0 - COVER, GENERAL NOTES
- E1.1 - FLOOR PLANS, LIGHTING, POWER

PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

Project Name and Address

SHEET TITLE		
COVER		
	CLIENT REVIEW	6/5/2021
	AJL	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

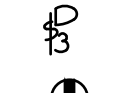
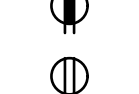
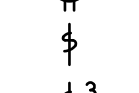
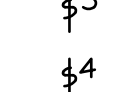
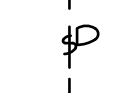
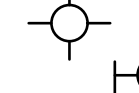
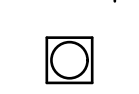
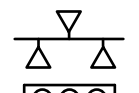
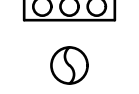
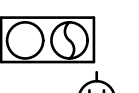

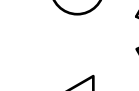

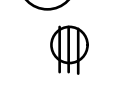

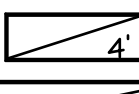
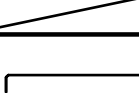



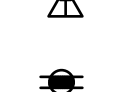
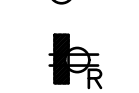

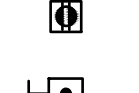


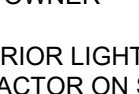
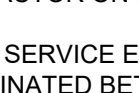
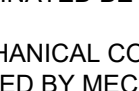
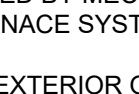
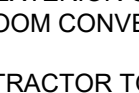
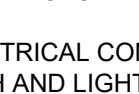

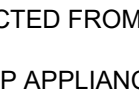
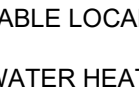
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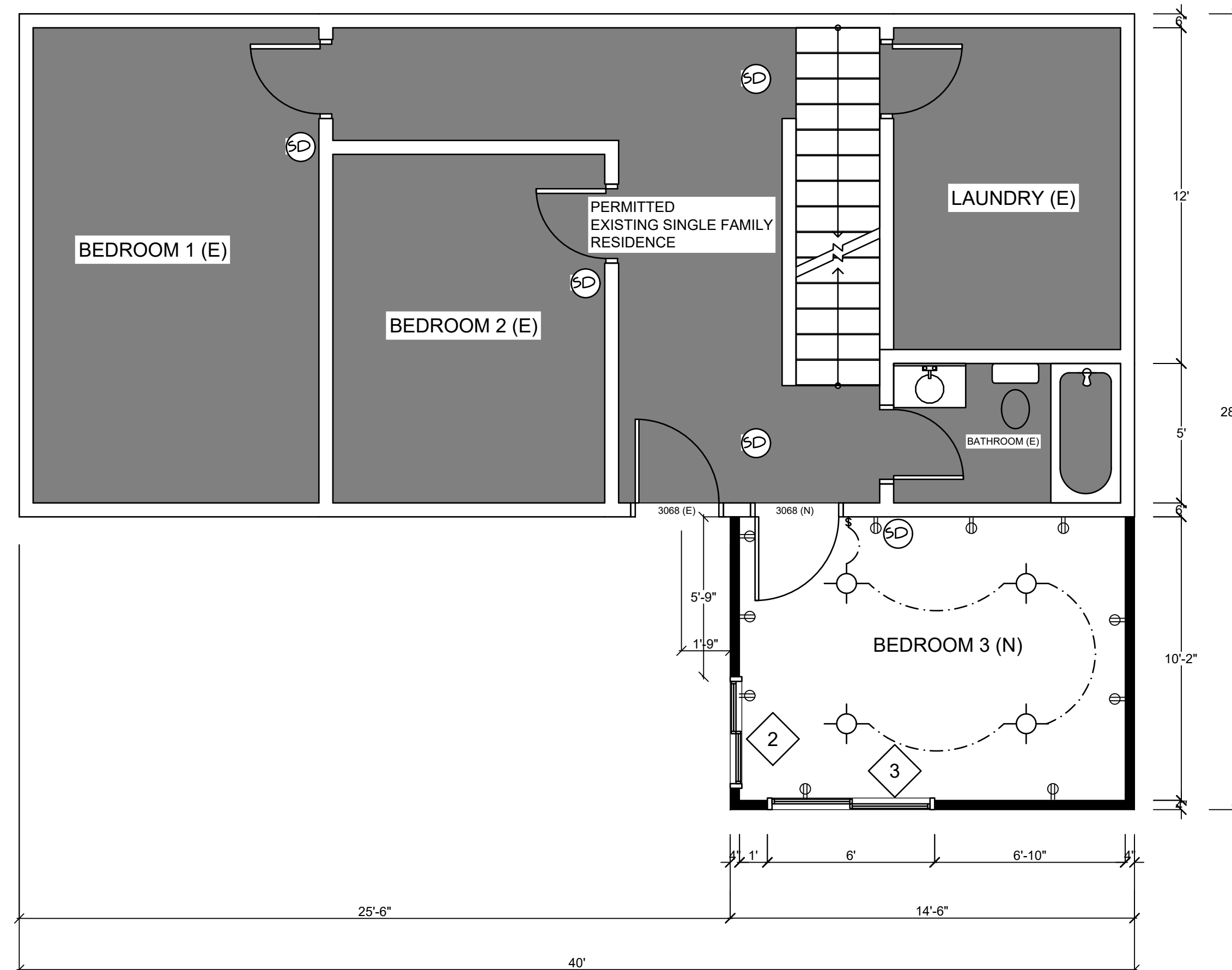
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Date	05/2021		
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ELECTRICAL LEGEND

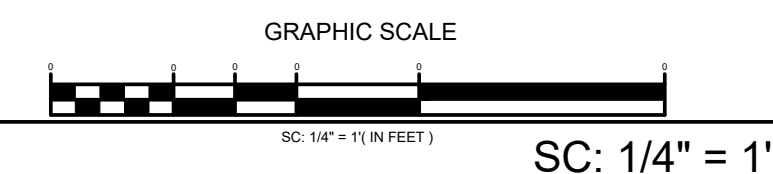
-  3 - WAY DIMMER SWITCH
-  SWITCHABLE RECEPTACLE
-  DUPLEX RECEPTACLE
-  SINGLE POLE SWITCH
-  3 - WAY SWITCH
-  4 - WAY SWITCH
-  DIMMER SWITCH
-  SURFACE LIGHTING OUTLET (CEILING)
-  SURFACE LIGHTING OUTLET (WALL)
-  DOWN LIGHTING FIXTURE
-  POWER TRACK AND HEADS
-  DOOR CHIME
-  EXHAUST FAN
-  FAN/LIGHT COMBINATION
-  HEAT LAMP
-  SMOKE DETECTOR
-  PADDLE FAN W/LIGHT PACKAGE
-  PHONE OUTLET
-  TV OUTLET
-  220 VOLT OUTLET
-  GFI
-  GROUND FAULT INTERRUPTED CIRCUIT
-  2' TWO LAMP (F40) DECORATIVE FLUORESCENT
-  4' TWO LAMP (F40) FLUORESCENT FIXTURE
-  8' TANDEM (2 EA. F40 4' LAMPS END TO END)
-  LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
-  WATERPROOF OUTLET(EXTERIOR)
-  HIGH SPEED DATA LINE
-  FLOOR MOUNTED TEL. JACK
-  THERMOSTAT CONTROL
-  DEDICATED CIRCUIT (20 AMPS)
-  DUPLEX OUTLET RECESSED INTO WALL
-  FLOOR MOUNTED OUTLET
-  FLOOR MOUNTED OUTLET
-  DOORBELL

NOTES:

1. ALL FINAL LOCATIONS OF LIGHTING FIXTURES, CONVENIENCE AND SPECIAL OUTLETS SHALL BE VERIFIED BY THE OWNER
2. EXTERIOR LIGHTING AND OUTLET LOCATIONS SHALL BE COORDINATED BETWEEN OWNER AND CONTRACTOR ON SITE.
3. MAIN SERVICE ENTRY TO BE LOCATED AS SHOWN; ANY INTERIOR SUBPANEL LOCATION(S) SHALL BE COORDINATED BETWEEN OWNER AND CONTRACTOR.
4. MECHANICAL CONTRACTOR TO DESIGN LP FIRED HEATING SYSTEM WHICH SHALL BE LOCATED AS DIRECTED BY MECHANICAL CONTRACTOR TO PROVIDE ELECTRICAL FEED AND LP SUPPLY TO FURNACE SYSTEM COMPONENTS AS DIRECTED BY HVAC CONTRACTOR.
5. ALL EXTERIOR OUTLETS TO BE WEATHERPROOF/GFIC; ALL GARAGE CIRCUITS TO BE GFIC; ALSO ALL BATHROOM CONVENIENCE OUTLETS AND OUTLETS WITHIN 6 FEET OF ANY SINK SHALL BE GFIC.
6. CONTRACTOR TO COORDINATE WITH OWNER FOR LOCATIONS OF HOSE BIBBS.
7. ELECTRICAL CONTRACTOR TO PROVIDE A LIGHT FIXTURE IN CRAWL SPACE AND ATTIC SPACE; SUPPLY A SWITCH AND LIGHT AT EACH SPACE; LOCATE NEAR ACCESS DOOR OF EACH SPACE.
8. CONTRACTOR TO INSURE THAT ALL LP CONNECTIONS TO TANK, HOUSE, AND APPLIANCES ARE PROTECTED FROM ANY POSSIBLE IMPACT OR MECHANICAL DAMAGE. EXTERIOR CONNECTIONS TO BE PROTECTED FROM SNOW BUILDUP OR OTHER POTENTIAL DAMAGE.
9. ALL LP APPLIANCES TO BE PROVIDED WITH GRAVITY DRAINS AND VENTING AS PER U.M.C., U.B.C. AND ALL APPLICABLE LOCAL CODES.
10. LP WATER HEATER SHALL BE ANCHORED OR STRAPPED TO FRAMING MEMBERS TO PREVENT HORIZONTAL DISPLACEMENT.
11. PROVIDE MOTION DETECTOR LIGHT AT BASE OF GARAGE DOORS FOR EMERGENCY SAFETY OPERATION.
12. MAINTAIN 36" CLEARANCE FROM BATH FANS TO WINDOW OPENINGS. BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20-AMP CIRCUIT. SUCH CIRCUITS HAVE NO OTHER OUTLETS.
13. MOUNT SMOKE DETECTORS @ CEILING AT LEAST 4" FROM A WALL OR ON THE WALL WITH THE TOP OF THE DETECTOR WITHIN 4'-12" OF THE HIGHEST POINT.
14. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL.
15. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SHALL BE LISTED IN ACCORDANCE WITH UL 217.*
16. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034.
17. SMOKE ALARM SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.*



MAIN LEVEL-ELECTRICAL PLAN



PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

SHEET TITLE

ELECTRICAL PLAN

NO.	REVISION/ISSUE	DATE
1	CLIENT REVIEW	6/5/2021
2	A.R.L.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	

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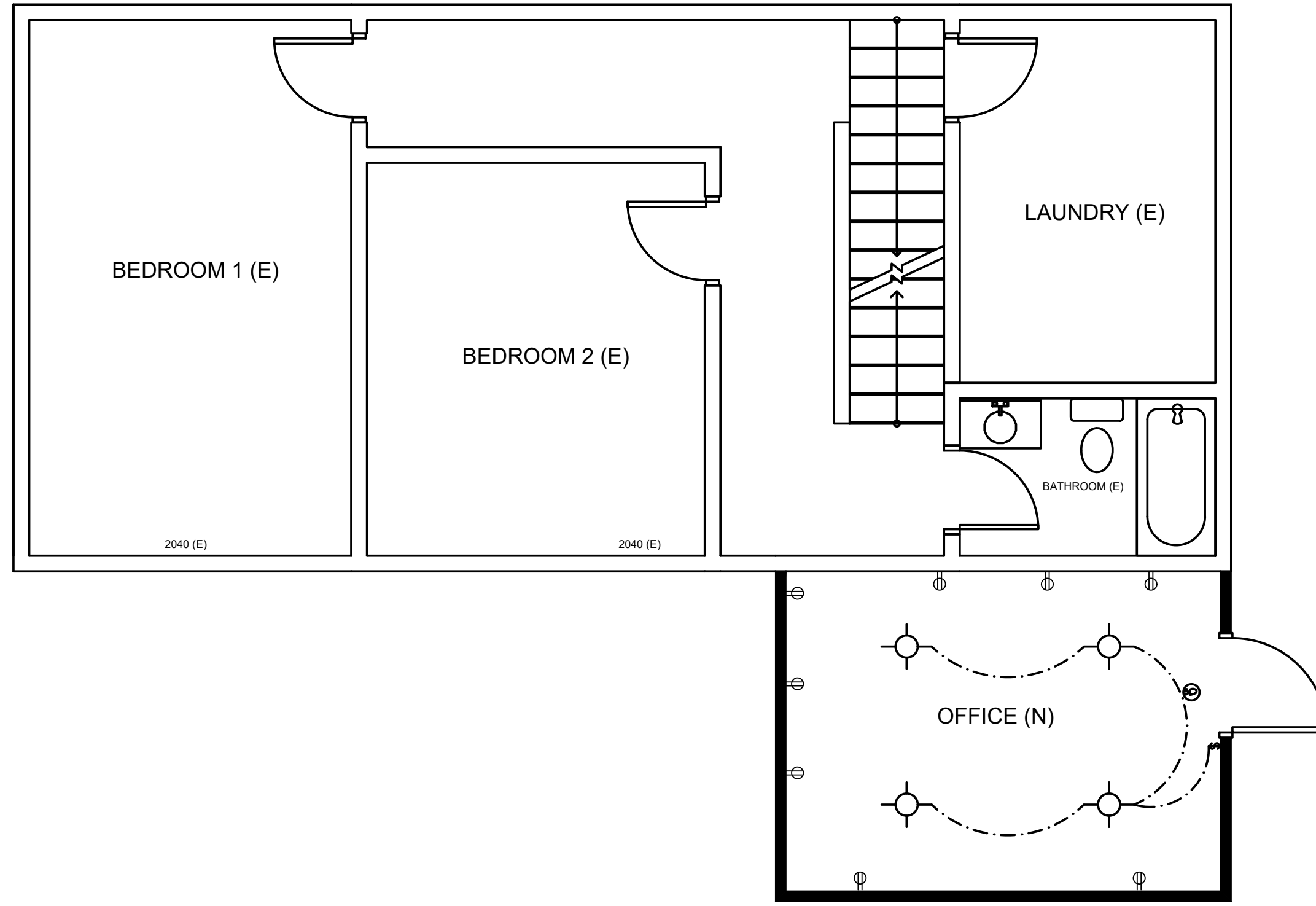
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Date	05/2021	Scale	1/4" = 1-0"

ELECTRICAL LEGEND

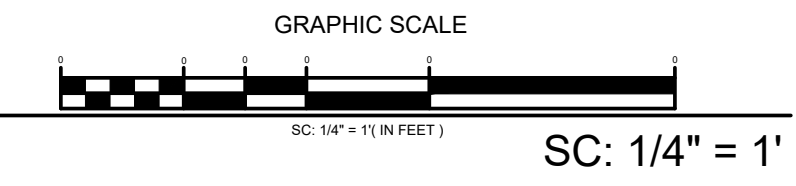
ELECTRICAL NOTES

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / CO DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL. PROVIDE UFER GROUND ROD. MAIN ELECTRICAL SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN. WIRE SWITCH/LIGHT SEPARATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE.		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3 - WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET(EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		

PLAN DESIGN NOTES
 ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH ES TABLE 150.0-A. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET). RECESSED CAN LIGHT HIGH EFFICIENCY FIXTURES SHALL BE IC LISTED, AIR-TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SHELL LAMP HOLDER. ES 150.0(k)
 LIGHT SOURCES THAT ARE NOT MARKED "JAS-2016-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES. ES 150.0(k)
 OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO A BUILDING ARE REQUIRED TO BE HIGH EFFICACY, BE MANUALLY ON/OFF SWITCH CONTROLLED AND HAVE BOTH MOTION SENSOR AND PHOTOCELL CONTROL. SEE ES 150.0(k) 3 FOR ADDITIONAL CONTROL OPTIONS. ELECTRIC VEHICLE CHARGING: NOTE ON THE PLANS THAT ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) ROUGH-IN ONLY IS REQUIRED IN ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. THE EVSE ROUGH-IN CONSISTS OF A MINIMUM L" CONDUIT EXTENDING FROM THE MAIN PANEL TO A JUNCTION BOX WHERE THE EVSE RECEPTACLE BOX WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE A FUTURE 208/240 VOLT 40 AMPERE DEDICATED BRANCH CIRCUIT. CALIFORNIA GREEN CODE 4.106.4. CURRENTLY THERE IS NO PNL SCHEDULE AND OR LOAD CALCULATION PROVIDE TO CONFIRM COMPLIANCE.
 MANDATORY (CBEES 150.0(k)): - PROVIDE ON UTILITY PLANS A COMPLETE LIGHTING FIXTURE SCHEDULE. - ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEES TABLE 150.0-A - ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED JAS-2016 AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCESENERGY.CA.GOV/PAGES/APPLIANCESEA_RCH.ASPX](https://cacertappliances.energy.ca.gov/pages/applianceSEA_RCH.aspx) - ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED JAS-2016-E AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCESENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/applianceSEARCH.aspx) - RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED. - BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR. - ALL LUMINAIRES REQUIRING JAS-2016 OR JAS-2016-E MARKING SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. EXCEPTION: CLOSETS LESS THAN 70 SF. EXCEPTION: HALLWAYS - OUTDOOR LIGHTING PERMANENTLY MOUNTED TO BUILDING SHALL BE CONTROLLED BY ONE OF THE FOLLOWING: - PHOTOCONTROL AND MOTION SENSOR - PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL - ASTRONOMICAL TIME CLOCK
 PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS IN DWELLING AS DESCRIBED IN NEC 210.52
 ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(A): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.



BASEMENT LEVEL-ELECTRICAL PLAN



PROPOSED REMODEL FOR CHRIS EULAU
3671 CURLEW ST
SAN DIEGO CA 92103
PARCEL # (APN): 452-254-13-00

SHEET TITLE		
ELECTRICAL PLAN		
	CLIENT REVIEW	6/5/2021
	A.R.L.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

ADVANCED DEVELOPMENT
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License# 905815

Project	EULAU	Sheet	E1.2
Date	05/2021		
Scale	1/4" = 1-0"		

FINISH SCHEDULE

STRUCTURAL ABBREVIATIONS

@	AT	HAS	HEADED ANCHOR STUD
AB	ANCHOR BOLTS	HDR	HEADER
AC	ASPHALTIC CONCRETE	HK	HOOK
ADDNL	ADDITIONAL	HORIZ	HORIZONTAL
AFF	ABOVE FINISH FLOOR	HSA	SEE HAS
AGG	AGGREGATE	HSB	HIGH STRENGTH BOLT
ALT	ALTERNATE	ID	INSIDE DIAMETER
ALUM	ALUMINUM	IN (")	INCH
APPROX	APPROXIMATE	INT	INTERIOR
ARCH	ARCHITECTURAL	JST	JOIST
		JT	JOINT
BN	BOUNDARY NAILING	LLH	LONG LEG HORIZONTAL
BEL	BELOW	LLV	LONG LEG VERTICAL
BEV	BEVELED	LS	LAG SCREW
BLDG	BUILDING	LT WT	LIGHT WEIGHT
BLK	BLOCK	LG	LONG
BLKG	BLOCKING	L.W.C.	LIGHT WEIGHT CONCRETE
BM	BEAM		
BCC	BOTTOM OF CONCRETE	MAX	MAXIMUM
BOF	BOTTOM OF FOOTING	MB	MACHINE BOLT
BRCG	BRACING	MECH	MECHANICAL
BRG	BEARING	MEZZ	MEZZANINE
BRG PL	BEARING PLATE	MISC	MISCELLANEOUS
BTW	BETWEEN	MIW	MALLEABLE IRON WASHER
		MRD	METAL ROOF DECK
		MTL	METAL
CC	CENTER TO CENTER		
CIP	CAST IN PLACE		
CJ	CONTRD (CONTRACTION) JOINT	NIC	NOT IN CONTRACT
CTR	CENTER	NO	NUMBER
CL	CENTER LINE	NOM	NOMINAL
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR		
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OJ	OPEN WEB METAL JOIST
CONN	CONNECTION	OPG	OPENING
CONSTR JT	CONSTRUCTION JOINT	OPH	OPPOSITE HAND
CONT	CONTINUOUS		
DBL	DOUBLE	PCC	PRECAST CONCRETE
DEPR	DEPRESSED	PC	PIECE
DF	DOUGLAS FIR	PERP	PERPENDICULAR
DIA	DIAMETER	PL	PLATE
DIAG	DIAGONAL	PLWD	PLYWOOD
DIM	DIMENSION	PN	PERIMETER NAILING
DIV	DIVIN	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
		PT	POINT
(E)	EXISTING	R	RADIUS
EA	EACH	REINF	REINFORCING
EF	EACH FACE		
EW	EACH WAY	SAD	SEE ARCHITECTURAL DRAWINGS
EW EF	EACH WAY EACH FACE	SIM	SIMILAR
EJ	EXPANSION JOINT	SJ	SHRINKAGE JOINT
EL	ELEVATION	SLH	SHORT LEG HORIZONTAL
EDS	EDGE OF SLAB	SLV	SHORT LEG VERTICAL
EQ	EQUAL	SM	SHEET METAL
EXP B	EXPANSION BOLT	SMS	SHEET METAL SCREWS
EXT	EXTERIOR	SOG	SLAB ON GRADE
		SQ	SQUARE
FAB	FABRICATE	SS	STAINLESS STEEL
FD	FLOOR DRAIN	STAG	STAGGER
FF	FINISH FLOOR	STD	STANDARD
FFE	FINISH FLOOR ELEVATION	STIFF	STIFFENER
FG	FINISH GRADE	STL	STEEL
FHWS	FLAT HEAD WOOD SCREW	STRUC	STRUCTURAL
FLG	FLANGE	SYM	SYMMETRICAL
FN	FIELD NAILING		
FND	FOUNDATION	T 24	TITLE 24 CALIFORNIA CODE
FDC	FACE OF CONCRETE	THK	THICK
FDM	FACE OF MASONRY	TOC	TOP OF CONCRETE
FDS	FACE OF STUD	TOF	TOP OF FOOTING
FT (')	FOOT/FEET	T.D.SLAB	TOP OF SLAB
FTG	FOOTING	TOS	TOP OF STEEL
		TOW	TOP OF WALL
GA	GAUGE	TS	TUBE STEEL
GALV	GALVANIZED	TYP	TYPICAL
GL	GLUE LAMINATED LUMBER	T&B	TOP AND BOTTOM
GT	GROUT	UDN	UNLESS OTHERWISE NOTED
GWB	GYPSUM WALL BOARD	WWF	WELDED WIRE FABRIC

SHEET INDEX

STRUCTURAL DRAWINGS

- S0.0 - COVER
- S1.0 - GENERAL NOTES
- S2.1 - FLOOR FRAMING PLANS
- S2.2 - ROOF FRAMING
- S5.1 - FOUNDATION
- S6.1 - STANDARD STRUCTURAL DETAILS
- S6.2 - DETAILS

PROJECT DIRECTORY

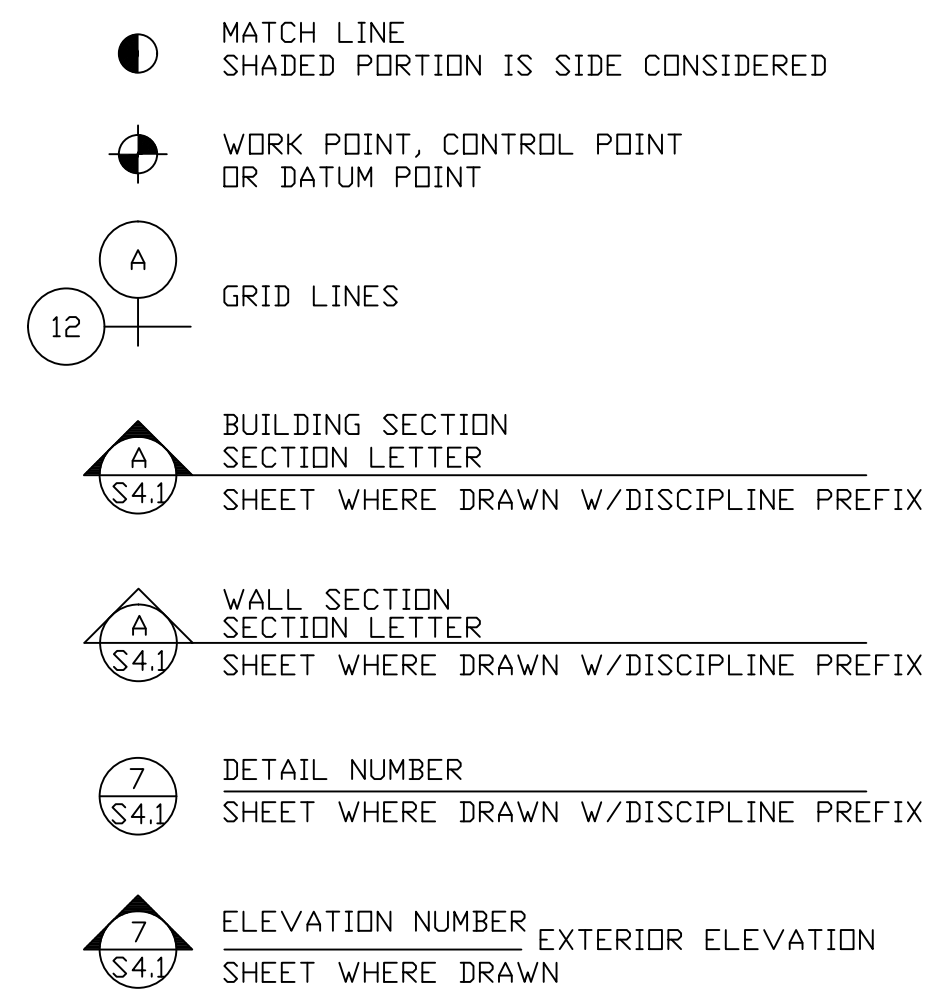
ENGINEER / ARCHITECT / DESIGNER:

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STRUCTURAL SYMBOLS



REINFORCEMENT DEVELOPMENT LENGTH AND SPLICE TABLES (GRADE 60) UDN.

REINFORCEMENT DEVELOPMENT LENGTHS (LENGTH IN INCHES)

REINFC LOCATION	REINFORCEMENT SIZE										
	#3 (GR 40)	#4	#5	#6	#7	#8	#9	#10	#11		
TOP	16	29	36	43	63	72	81	89	98		
OTHER	13	22	28	33	48	55	62	69	76		

REINFC LOCATION	REINFORCEMENT SIZE										
	#3 (GR 40)	#4	#5	#6	#7	#8	#9	#10	#11		
TOP	14	25	31	37	54	62	70	78	85		
OTHER	12	19	24	29	42	48	54	60	66		

REINFC LOCATION	REINFORCEMENT SIZE										
	#3 (GR 40)	#4	#5	#6	#7	#8	#9	#10	#11		
TOP	15	24	30	36	42	48	54	60	66		

REINFORCEMENT LAP SPLICES (LENGTHS IN INCHES)

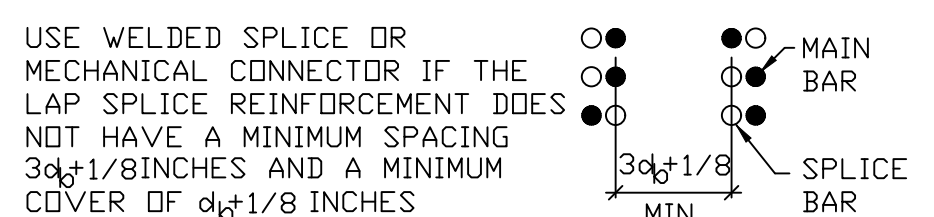
REINFC LOCATION	REINFORCEMENT SIZE										
	#3 (GR 40)	#4	#5	#6	#7	#8	#9	#10	#11		
TOP	24	38	47	56	82	94	106	116	128		
OTHER	24	29	37	43	63	72	81	90	99		

REINFC LOCATION	REINFORCEMENT SIZE										
	#3 (GR 40)	#4	#5	#6	#7	#8	#9	#10	#11		
TOP	24	33	41	49	71	81	91	102	111		
OTHER	24	25	32	38	55	63	71	78	86		

REINFC LOCATION	REINFORCEMENT SIZE										
	#3 (GR 40)	#4	#5	#6	#7	#8	#9	#10	#11		
TOP	18	24	30	36	42	*	*	*	*		

* SPLICED BY WELDING OR MECHANICAL CONNECTORS.

TOP REINFORCING IS HORIZONTAL REINFORCEMENT THAT HAS MORE THAN TWELVE INCHES OF CONCRETE PLACED BELOW IT.

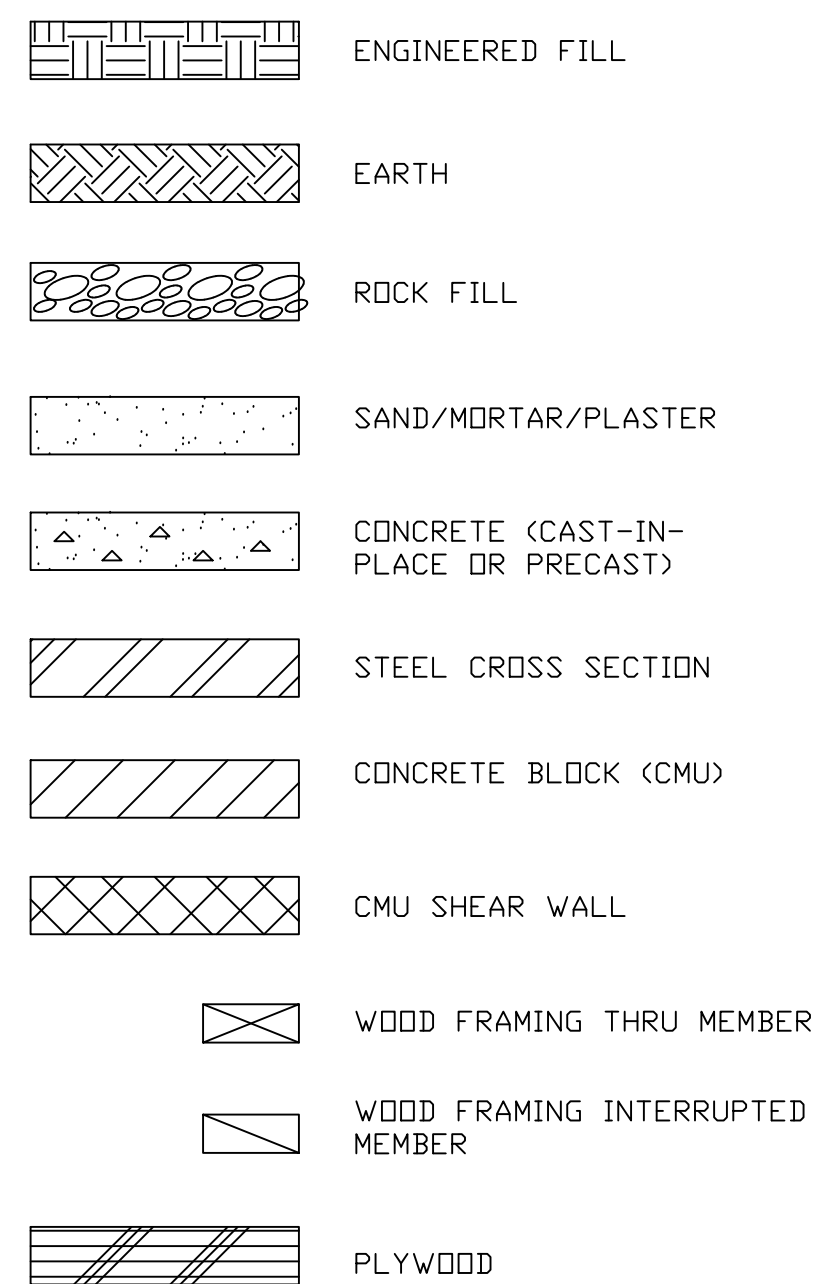


USE WELDED SPLICE OR MECHANICAL CONNECTOR IF THE LAP SPLICE REINFORCEMENT DOES NOT HAVE A MINIMUM SPACING 3d+1/8 INCHES AND A MINIMUM COVER OF d+1/8 INCHES.

WELDED SPLICE (DIRECT BUTT SPLICES-FULL PENETRATION) #5 AND SMALLER SINGLE-BEVEL GROOVE WELD #6 AND LARGER DOUBLE-BEVEL GROOVE WELD WELDS SHALL HAVE THE ABILITY TO DEVELOP 125 PERCENT OF THE YIELD STRENGTH FOR THE SPLICED REINFORCEMENT (75 KSI).

MECHANICAL CONNECTORS MECHANICAL CONNECTORS SHALL BE TENSION-COMPRESSION TYPE WITH THE ABILITY TO DEVELOP 125 PERCENT OF THE YIELD STRENGTH FOR THE SPLICED REINFORCEMENT (75KSI). ALSO, MECHANICAL CONNECTORS SHALL HAVE AND BE INSTALLED PER AN EVALUATION REPORT FROM ICBO EVALUATION SERVICE, INC.

STRUCTURAL MATERIALS



DESIGN LOADS

REFERENCE CODE
*STATE OF CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 11998 CALIFORNIA BUILDING CODE

LIVE LOADS
ROOF.....20.0 PSF
TYPICAL FLOOR.....60.0 PSF
CORRIDORS/EXIT FACILITIES.....100.0 PSF
MEZZANINE.....60.0 PSF
STORAGE.....125.0 PSF

PARTITION LOADS
TYPICAL FLOOR (SEISMIC ONLY).....10.0 PSF
EQUIPMENT.....SEE MECHANICAL SCHEDULES

LATERAL LOADS
WIND.....P = Ce Cq qs Iw
WHERE:
Ce = EXPOSURE C
Cq = SEE REFERENCE CODE
qs = (80 mph BASIC WIND SPEED)
Iw = 1.15

SEISMIC ZONE 4.....V = 2.5 Ca I
WHERE:
Ca = 0.44
I = 1.5
R = 4.5
W = TOTAL SEISMIC DEAD LOAD
v = 0.37w
SDIL TYPE Sd

SEISMIC (ELEMENTS OR COMPONENTS).....Fp = op Ca Iq1+3 wp
WHERE:
op = COMPONENT AMPLIFICATION FACTOR
Rp = COMPONENT RESPONSE MODIFICATION FACTOR - SEE REFERENCE CODE
Iq = 1.5
Ca = 0.44
hx = ELEMENT/COMPONENT ATTACHMENT ELEVATION WITH RESPECT TO GRADE
hr = STRUCTURE ROOF ELEVATION
wp = WEIGHT OF ELEMENT OR COMPONENT

MECHANICAL ANCHORAGE

SHOP DRAWINGS AND ENGINEERING CALCULATIONS FOR ANCHORAGE, SUPPORT, AND SEISMIC BRACING OF MECHANICAL UNITS, EQUIPMENT, PIPING OR PLUMBING EQUIPMENT NOTED ON THE EQUIPMENT SCHEDULES, ELECTRICAL, OR MECHANICAL SHEETS, SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION. ALL SUBMITTALS SHALL BE SIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA. THE SEISMIC DESIGN FORCE ACTING AT THE CENTER OF GRAVITY AND ACTING IN ANY DIRECTION SHALL BE PER CBC TITLE 24, STATE CHAPTERS, SECTION 1632A. ADDITIONAL BUILDING/SUPPORT FRAMING SHALL BE ADDED WHERE REQUIRED.

GENERAL NOTES

GENERAL

- NOTES AND DETAILS ON THIS SHEET AND OTHER TYPICAL DETAILS SHEETS SHALL APPLY UNLESS OTHERWISE SHOWN OR NOTED ON PLANS.
- DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE AS SHOWN FOR SIMILAR CONDITION.
- CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
- SAFETY NOTE:
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA, LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
 - THE ARCHITECT, STRUCTURAL ENGINEER, AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS AND SHORING REQUIRED.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC., ON THE JOB.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DRAWINGS OR DOCUMENTS. CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE BUILDING THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED WITH THE AFFECTED PARTIES.

FOUNDATION

- REFER TO RECOMMENDATIONS IN GEOTECHNICAL (SOILS) REPORT BY: ESPANA GEOTECHNICAL, REPORT NO. C157-3, DATED AUGUST 19, 1999.
- ALLOWABLE SOIL BEARING PRESSURE USED FOR DESIGN IS 3000 PSF DL + LL AND 4000 PSF SHORT TERM LOADING (SEISMIC OR WIND), WITH A SOIL CLASSIFICATION OF SM.
- ALL FOOTINGS SHALL BE FORMED. FOUNDATIONS MAY BE PLACED IN NEAT EXCAVATIONS PROVIDED WRITTEN PERMISSION IS OBTAINED FROM THE STRUCTURAL ENGINEER AND FOOTINGS ARE INCREASED TWO INCHES IN WIDTH.
- NOTIFY THE STRUCTURAL ENGINEER AND CDC REPRESENTATIVE 48 HOURS IN ADVANCE OF PLACING CONCRETE.

CONCRETE AND REINFORCING STEEL

- THE MINIMUM 28 DAY STRENGTH AND TYPE OF CONCRETE SHALL BE AS FOLLOWS:
 - SLABS ON GRADE.....150 PCF. f'c = 3000 PSI
 - FOUNDATIONS.....150 PCF. f'c = 3000 PSI
 - COLUMNS, BEAMS, SUSPENDED SLABS, WALLS UNDO.....150 PCF. f'c = 4000 PSI
 - OTHER CONCRETE NOT SPECIFIED.....150 PCF. f'c = 3000 PSI
- DIMENSIONS SHOWN FOR LOCATION OF REINFORCING ARE TO THE FACE OF MAIN BARS AND DENOTE CLEAR COVERAGE. CONCRETE COVERAGE SHALL BE AS FOLLOWS, UDN ON DRAWINGS:
 - CONCRETE DEPOSITED DIRECTLY AGAINST GROUND (EXCEPT SLABS)..... 3"
 - CONCRETE EXPOSED TO GROUND BUT PLACED IN FORMS..... 2"
 - TIED COLUMNS (MAIN BARS)..... 1 1/2"
 - BEAMS (TOP BARS)..... 1 1/2"
 - BEAMS (ALL OTHER MAIN REINFORCING)..... 2"
 - SPIRAL COLUMNS (TO FACE SPIRAL REINFORCING)..... 1 1/2"
 - WALLS (EXTERIOR FACE)..... 1 1/2"
 - WALLS (INTERIOR FACE)..... 3/4"
 - SLABS (ON FORMS)..... 3/4"
- GENERAL:
 - REINFORCING SHALL CONFORM TO ASTM A615 - GRADE 60, UNLESS NOTED OTHERWISE.
 - ALL BARS SHALL HAVE A MINIMUM SPLICE LAP PER "REINFORCEMENT LAP SPLICES" TABLE ON THIS SHEET UNLESS OTHERWISE NOTED.
 - LAP VERTICAL COLUMN REINFORCING IN WALLS AND COLUMNS.
 - DOWEL ALL VERTICAL REINFORCING IN WALLS AND COLUMNS FROM FOUNDATION WITH THE SAME SIZE REINFORCING.
 - SPLICES IN ADJACENT BARS SHALL BE NOT LESS THAN 5'-0" APART.
 - SPLICE CONTINUOUS BARS IN SPANDRELS, GRADE BEAMS, WALL BEAMS, ETC. AS FOLLOWS: TOP BARS AT MID-SPAN. BOTTOM BARS AT CENTERLINE SUPPORT (UDN.)
- GENERAL:
 - NO PIPES OR DUCTS SHALL BE PLACED IN CONCRETE SLABS OR WALLS UNLESS SPECIFICALLY DETAILED.
 - REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL DRAWINGS FOR ALL MOULDS, GROOVES, ORNAMENTS, CLIPS AND GROUNDS TO BE CAST IN CONCRETE.

SHEET TITLE

COVER		
	CLIENT REVIEW	6/5/2021
	APR	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.		Date

ADVANCED DEVELOPMENT
RESIDENTIAL COMMERCIAL INDUSTRIAL

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Project: EULAU
Date: 05/2021
Scale: 1/4" = 1'-0"

Sheet: **SO**

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