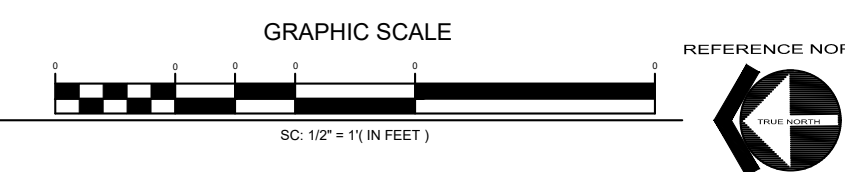


**EXISTING OFFICE - FLOOR/DIMENSION PLANS MAIN BUILDING**



Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**AS-BUILTS**

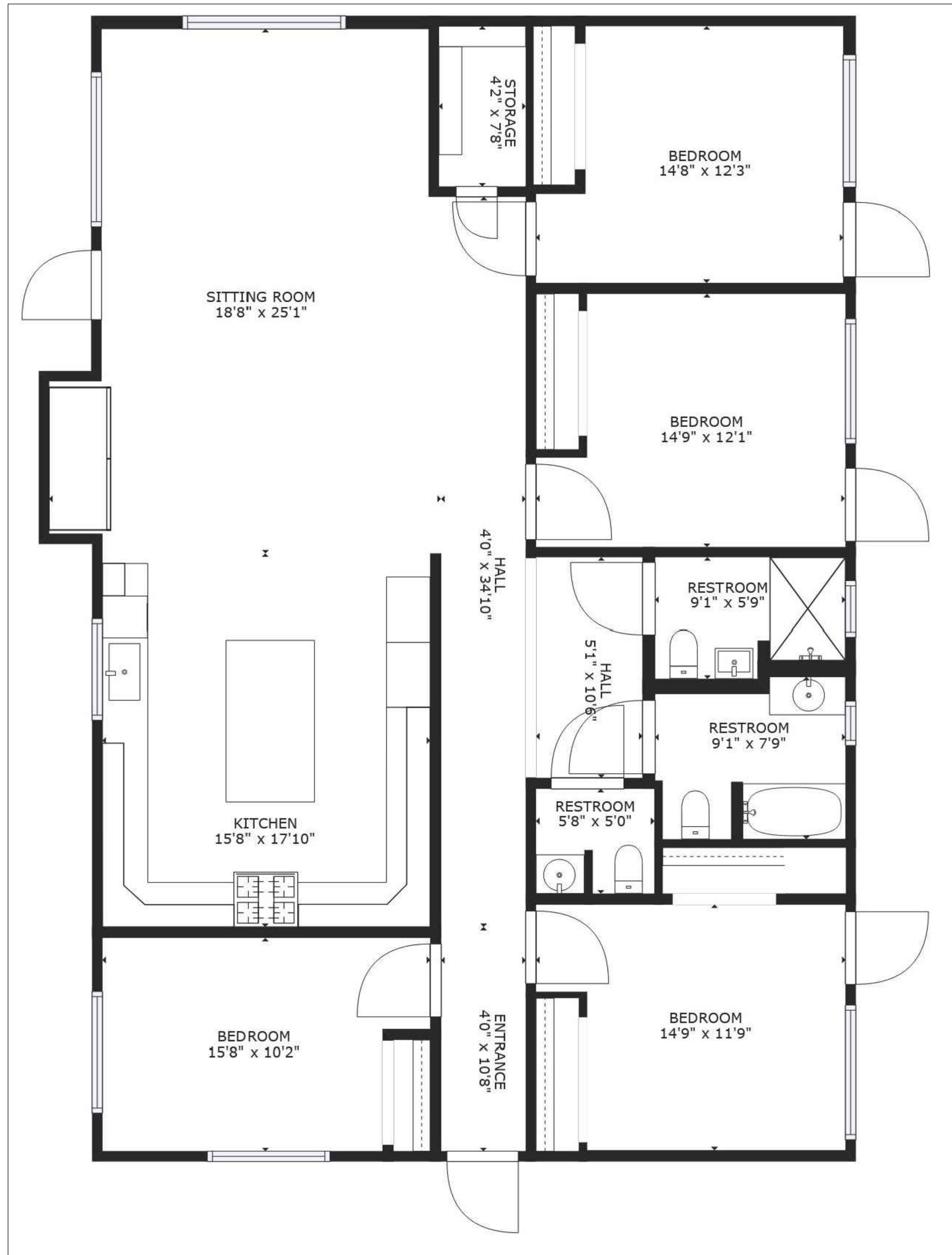
No.	Revisions	Date
1	CLIENT REVIEW	6/30/2022
2	A.R.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

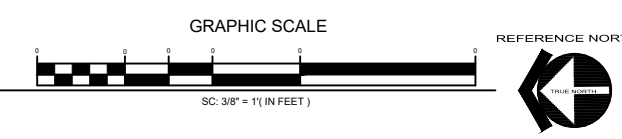
7877 GIRARD AVE SUITE 106  
 LA JOLLA, CA 92037  
 (619) 567-0033  
 WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>AB-1</b>
Scale	



**EXISTING RESIDENCE 1 - FLOOR/DIMENSION PLANS MAIN BUILDING**



Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKEVILLE, CA 92040  
 (APN): 382-140-02**

**AS-BUILTS**

No.	Revisions	Date
1	CLIENT REVIEW	6/30/2022
2	APP.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GIRARD AVE SUITE 106  
 LA JOLLA, CA 92037  
 (619) 567-9083  
 WWW.ADVANCEDDEVELOPMENT.NET



License# 905815

Project	Sheet
Date 6/2022	<b>AB-2</b>
Scale	



**EXISTING RESIDENCE 2 - FLOOR/DIMENSION PLANS MAIN BUILDING**



Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**AS-BUILTS**

No.	Revisions	Date
▲	CLIENT REVIEW	6/30/2022
▲	A.R.R.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GIRARD AVE SUITE 106  
 LA JOLLA, CA 92037  
 (619) 567-9083  
 WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

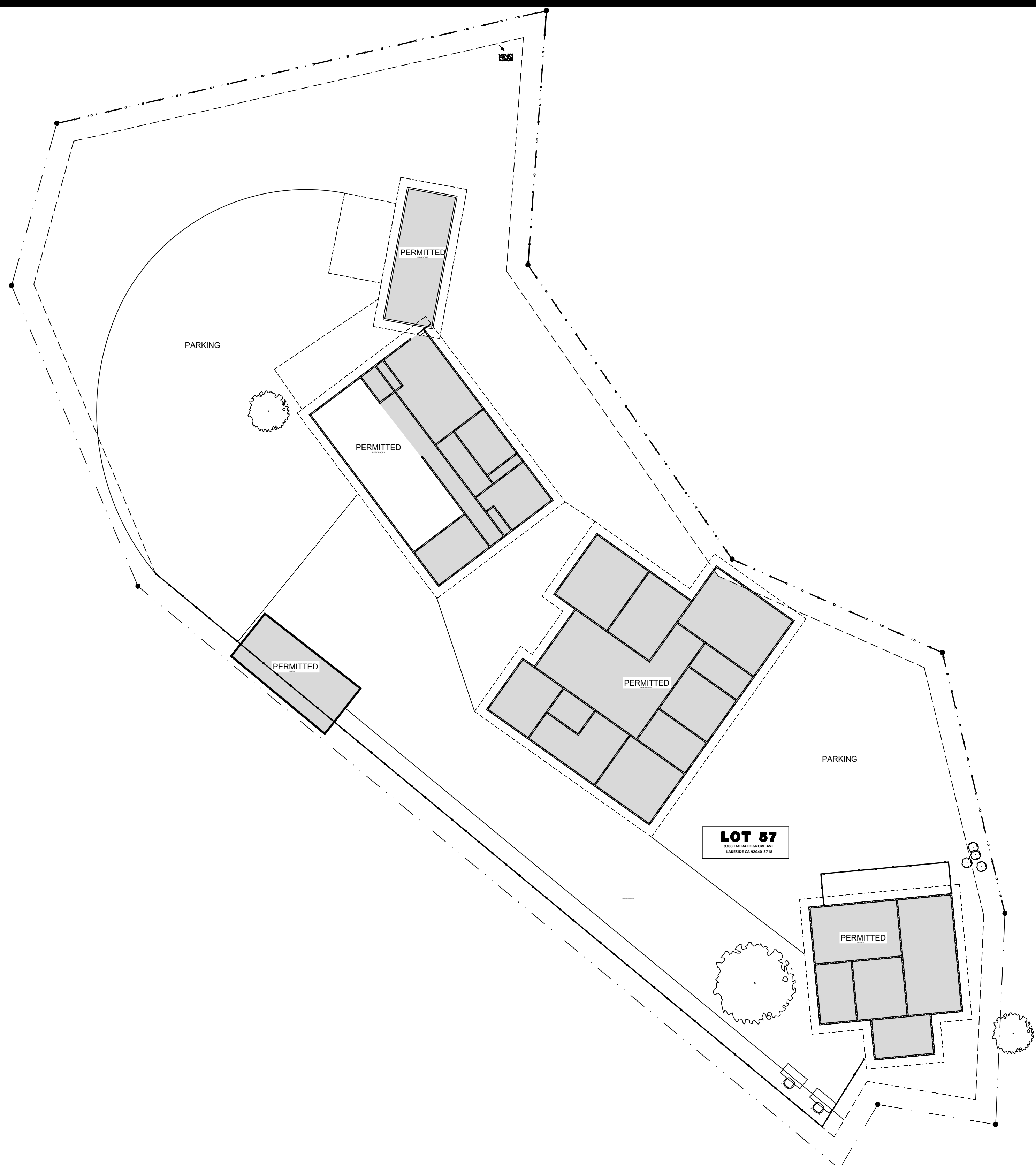
Project	Sheet
Date 6/2022	<b>AB-3</b>
Scale	

**SITE ABBREVIATIONS**

**LEGEND**

<p>APPROVED BY:</p> <p>ENGINEER FOR THE COUNTY OR CITY OF SAN DIEGO</p> <p>DATE</p>
---

<p>PERMITTED</p> <p>2.0 WALL PROPOSED TO BE REMOVED</p> <p>2.0 WALL EXISTING</p> <p>2.0 WALL EXISTING - BRICK</p> <p>2.0 WALL EXISTING - CONCRETE</p> <p>2.0 WALL EXISTING - ASPHALT</p> <p>PERMITTED WALL, SEE BOOK - BOOK</p> <p>BLOOD PCH ITEM RETAINING WALL</p> <p>SEE BOOK NEW CLIP AD ON CLIP AS</p> <p>SEE SHY CALLS, CONNECTED</p> <p>COBBLES FOR BROWCH CONTROL</p> <p>300000 AD OVERLAY NEW PG SPOT</p> <p>BLUM NEW PG CONTROL DROP ISLET</p> <p>SEE CITAL, NEW ELEVATION AS SHOWN</p> <p>ADA COMPLIANCE</p>	<p>PERMITTED</p> <p>2.0 WALL PROPOSED TO BE REMOVED</p> <p>2.0 WALL EXISTING</p> <p>2.0 WALL EXISTING - BRICK</p> <p>2.0 WALL EXISTING - CONCRETE</p> <p>2.0 WALL EXISTING - ASPHALT</p> <p>PERMITTED WALL, SEE BOOK - BOOK</p> <p>BLOOD PCH ITEM RETAINING WALL</p> <p>SEE BOOK NEW CLIP AD ON CLIP AS</p> <p>SEE SHY CALLS, CONNECTED</p> <p>COBBLES FOR BROWCH CONTROL</p> <p>300000 AD OVERLAY NEW PG SPOT</p> <p>BLUM NEW PG CONTROL DROP ISLET</p> <p>SEE CITAL, NEW ELEVATION AS SHOWN</p> <p>ADA COMPLIANCE</p>
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**EXISTING SITE PLAN**

ENGINEERING SCALE: 1/16" = 1'-0"

**BMP LEGEND**

PDS 659	BROW DITCH	⇒⇒⇒
PDS 659	BERM	⇒ B ⇒
DIRECTION OF LOT DRAINAGE ⇒⇒⇒		
MATERIALS & WASTE MANAGEMENT BMPs:		
WM-1	MATERIAL DELIVERY & STORAGE	
WM-4	SPILL PREVENTION AND CONTROL	
WM-8	CONCRETE WASTE MANAGEMENT	
WM-5	SOLID WASTE MANAGEMENT	
WM-9	SANITARY WASTE MANAGEMENT	
WM-6	HAZARDOUS WASTE MANAGEMENT	
TEMPORARY RUNOFF CONTROL BMPs:		
SS-2	PRESERVATION OF EXISTING VEGETATION	~PEV~PEV~
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)	~M~M~M~
SS-4	HYDROSEEDING (SUMMER)	~TSP~TSP~
SS-6 / SS-8	STRAW OR WOOD MULCH	~S/W~S/W~
SS-7	PHYSICAL STABILIZATION (WINTER)	~EBM~EBM~
SS-10	ENERGY DISSIPATOR	
SC-1	SILT FENCE	
SC-2	SEDIMENT / DESILTING BASIN	
SC-5	FIBER ROLLS	FR FR
SC-6 / SC-8	GRAVEL OR SAND BAGS	
SC-7	STREET SWEEPING AND VACUUMING	
SC-10	STORM DRAIN INLET PROTECTION	
NS-2	DEWATERING FILTRATION	DW DW
TC-1	STABILIZED CONSTRUCTION ENTRANCE	
TC-2	CONSTRUCTION ROAD STABILIZATION	
TC-3	ENTRANCE / EXIT TIRE WASH	
POST-CONSTRUCTION SITE DESIGN BMPs		
4.3.1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	
4.3.2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	
4.3.3	MINIMIZE IMPERVIOUS AREA	
4.3.4	MINIMIZE SOIL COMPACTION	
4.3.5	IMPERVIOUS AREA DISPERSION	
4.3.6	RUNOFF COLLECTION	
4.3.7	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	
4.3.8	HARVESTING AND USING PRECIPITATION	
POST CONSTRUCTION SOURCE CONTROL BMPs		
4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	
4.2.2	STORM DRAIN STENCILING AND POSTING OF SIGNAGE	
4.2.3	PROTECTED OUTDOOR MATERIALS STORAGE AREAS	
4.2.4	PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS	
4.2.5	PROTECT TRASH STORAGE AREAS	
4.2.6	ADDNL BMPs BASED ON POTENTIAL RUNOFF POLLUTANTS:	
A	ON-SITE STORM DRAIN INLETS	
B	INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SUMPS	
C	INTERIOR PARKING GARAGES	
D	NEED FOR FUTURE INDOOR & STR. PEST CONTROL	
E	LANDSCAPE/OUTDOOR PESTICIDE USE	
F	POOLS, SPAS, PONDS, FOUNTAINS, & WATER FEATURES	
G	FOOD SERVICE	
H	TRASH OR REFUSE AREAS	
I	INDUSTRIAL PROCESSES	
J	OUTDOOR STORAGE OF EQUIP. OR MATERIALS	
K	VEHICLE AND EQUIPMENT CLEANING	
L	VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	
M	FUEL DISPENSING AREAS	
N	LOADING DOCKS	
O	FIRE SPRINKLER TEST WATER	
P	MISCELLANEOUS DRAIN OR WASH WATER	
Q	PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS	

**SHEET INDEX**

<p><b>GENERAL CODES</b></p> <p>THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED COUNTY OF SAN DIEGO AMENDMENTS:</p> <ul style="list-style-type: none"> <li>-2019 CALIFORNIA RESIDENTIAL CODE</li> <li>-2019 CALIFORNIA BUILDING CODE</li> <li>-2019 CALIFORNIA GREEN BUILDING STANDARDS CODE</li> <li>-2019 CALIFORNIA ELECTRICAL CODE</li> <li>-2019 CALIFORNIA MECHANICAL CODE</li> <li>-2019 CALIFORNIA PLUMBING CODE</li> <li>-2019 CALIFORNIA FIRE CODE</li> <li>-2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS</li> </ul>
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<p><b>DESIGN BASIS</b></p> <p>CONVENTIONAL LIGHT FRAME CONSTRUCTION</p> <p>ROOF LIVE LOAD: 20 PSF          ULTIMATE WIND SPEED: 110 MPH          EXPOSURE CATEGORY: C          SITE CLASS: D          RISK CATEGORY: II          S<sub>DS</sub>: 1.25          SEISMIC DESIGN CATEGORY: D<sub>2</sub>          ALLOW SOIL VERTICAL BEARING PRESSURE: 1500 PSF          ALLOW SOIL LATERAL BEARING PRESSURE: 100 PSF/FT</p>
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<p><b>ENERGY EFFICIENCY SPECIAL FEATURES</b></p> <p>SPECIFY AS INDICATED IN CF1R FORM (TITLE 24):</p> <ul style="list-style-type: none"> <li>•</li> <li>•</li> <li>•</li> </ul>
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<p><b>ENERGY EFFICIENCY HERS VERIFICATION</b></p> <p>SPECIFY AS INDICATED IN CF1R FORM (TITLE 24):</p> <ul style="list-style-type: none"> <li>• DUCT SEALING (Y or N)</li> <li>• REFRIGERANT CHARGE (Y or N)</li> <li>• COOLING SYSTEM AIRFLOW (Y or N)</li> <li>• COOLING SYSTEM UNIT FAN EFFICACY (Y or N)</li> <li>• COOLING SYSTEM SEER AND/OR EER ABOVE MIN. (Y or N)</li> <li>• WHOLE-BUILDING VENTILATION AIRFLOW (Y or N)</li> <li>• BUILDING ENVELOPE AIR LEAKAGE (Y or N)</li> <li>• QUALITY INSULATION INSTALLATION (Y or N)</li> <li>• OTHER (SPECIFY BELOW)</li> </ul> <p>PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF2R FORMS ARE AVAILABLE AT <a href="http://www.sdccounty.ca.gov/pds/BLDG/ENERGY-STDS.HTML">HTTP://WWW.SDCOUNTY.CA.GOV/PDS/BLDG/ENERGY-STDS.HTML</a> (CBEES 10-103)</p> <p>PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF3R FORMS ARE AVAILABLE AT <a href="http://www.sdccounty.ca.gov/pds/BLDG/ENERGY-STDS.HTML">HTTP://WWW.SDCOUNTY.CA.GOV/PDS/BLDG/ENERGY-STDS.HTML</a> (CBEES 10-103)</p>
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**VICINITY MAP**

**OWNER INFORMATION**

**CONTACT INFORMATION**

**PARCEL INFORMATION**

**PROJECT SCOPE**

**PERVIOUS AREA INFORMATION**

**IMPERVIOUS AREA INFORMATION**

**SHEET TITLE**

<p>NAME: MATT DELBRUEGGE - KAY CABUCO</p> <p>ADDRESS: 9308 EMERALD GROVE AVE LAKESIDE, CA 92040</p> <p>PHONE: (619) 439-8488</p> <p>EMAIL: KEACHANT@GMAIL.COM DELBRUEGGEMD@GMAIL.COM</p>
--

<p>NAME: MATT DELBRUEGGE - KAY CABUCO</p> <p>ADDRESS: 9308 EMERALD GROVE AVE LAKESIDE, CA 92040</p> <p>PHONE: (619) 439-8488</p> <p>EMAIL: KEACHANT@GMAIL.COM DELBRUEGGEMD@GMAIL.COM</p>
--

<p>APN: 38214002</p> <p>SITE ADDRESS: 9308 EMERALD GROVE AVE LAKESIDE, CA 92040</p> <p>PROPERTY CONNECTED TO THE ELECTRICAL GRID (Y or N)</p> <p>PROPERTY SERVICED BY PROPANE (Y or N) IF YES, SHOW TANK ON PLOT PLAN</p> <p>PROPERTY SERVICED BY NATURAL GAS (Y or N)</p> <p>ENTIRE LOT IS FUEL MODIFIED (Y or N) IF NO, DIMENSION 100' FUEL MODIFICATION ZONE</p>
---

<p>PROPOSED:</p> <p>1) RESIDENTIAL REMODEL</p> <p>2) ADDITIONAL RESIDENCES</p>
--

PERVIOUS SURFACE AREA TABLE				
SITE ID	PERVIOUS ITEM	DIMENSIONS	AREA (sf)	NOTES
PERVIOUS ELEMENT MANUFACTURER: _____ PERVIOUS ELEMENT SLOPE AND DIRECTION OF SLOPE: _____ MAINTENANCE PROGRAM: _____ PERVIOUS ELEMENT CROSS SECTION LOCATED IN SHEET: _____ CONSTRUCTED PERVIOUS SURFACES SHALL NOT BE SEALED				

IMPERVIOUS SURFACE AREA TABLE				
SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)
1				
2				
3				
4				
LAND DISTURBANCE: _____ SF				

<b>PLOT PLAN</b>				
<b>SHEET NUMBER</b>				
<b>SP-1</b>				

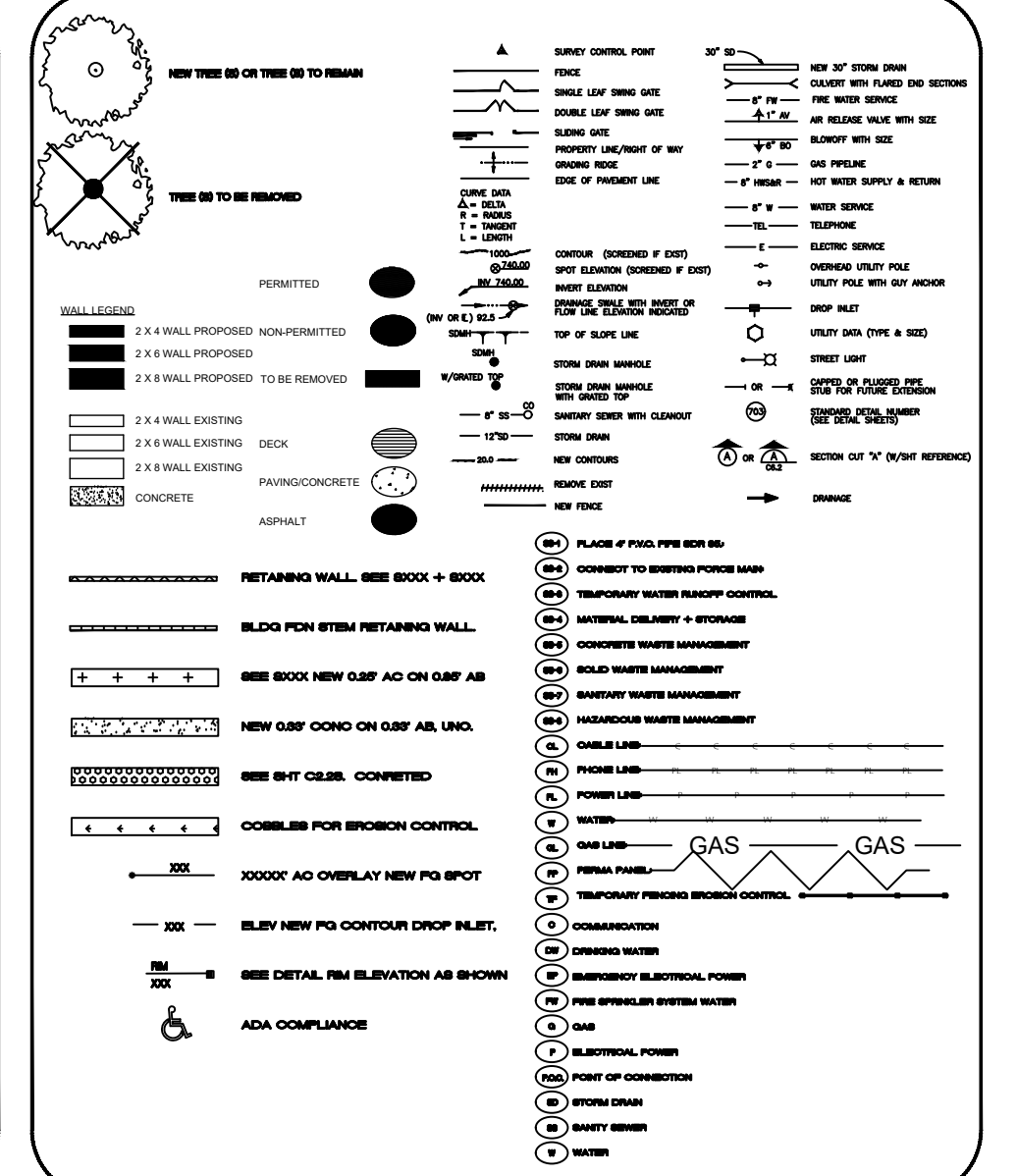
<p><b>SHEET TITLE</b></p> <p><b>PLOT PLAN</b></p> <p><b>SHEET NUMBER</b></p> <p><b>SP-1</b></p>
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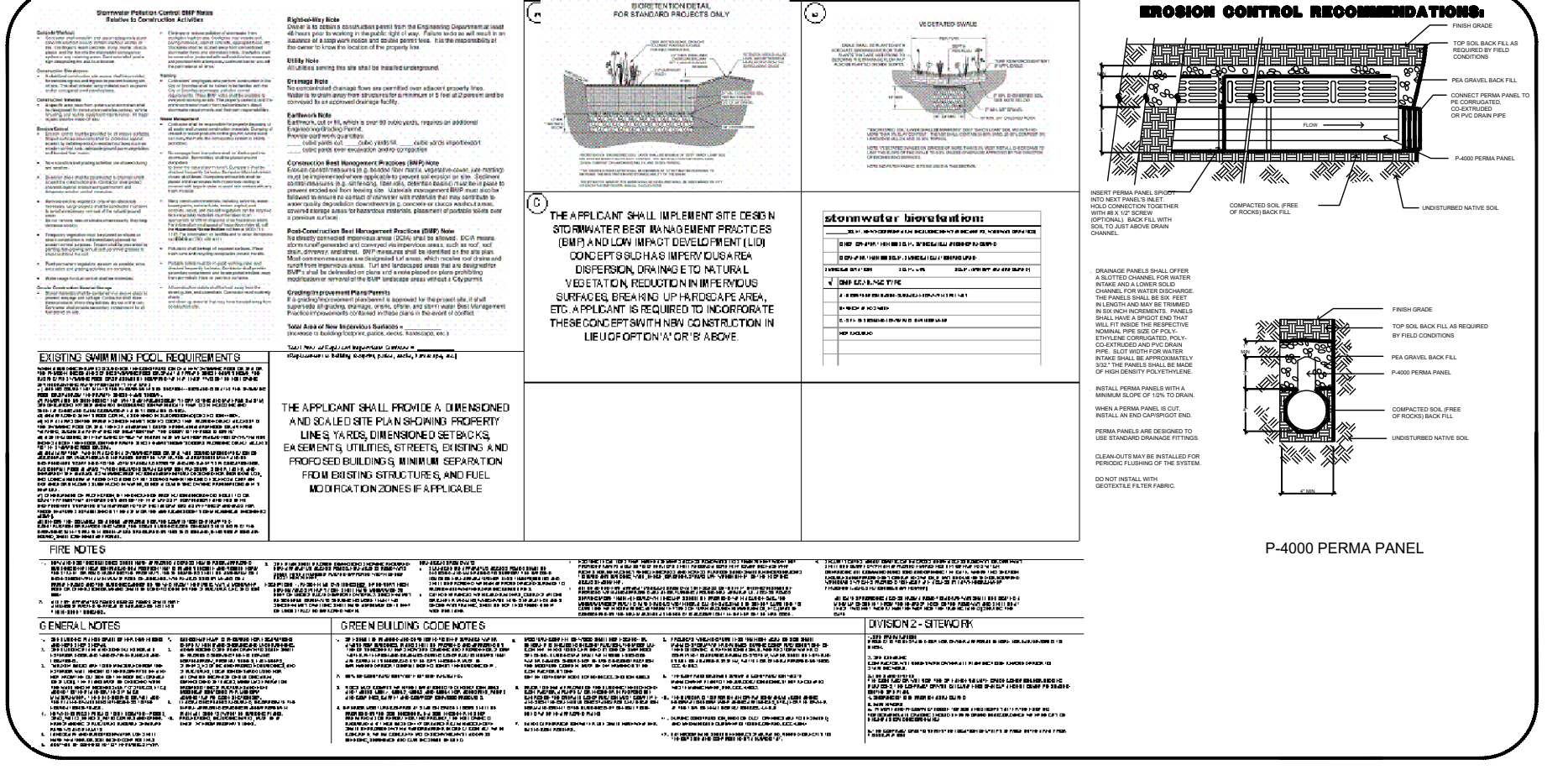
**SITE ABBREVIATIONS**

APPROVED BY:	DATE:
ENGINEER FOR THE COUNTY OR CITY OF SAN DIEGO	

**LEGEND**



**STORM WATER CONTROL NOTES**



**GENERAL NOTES**

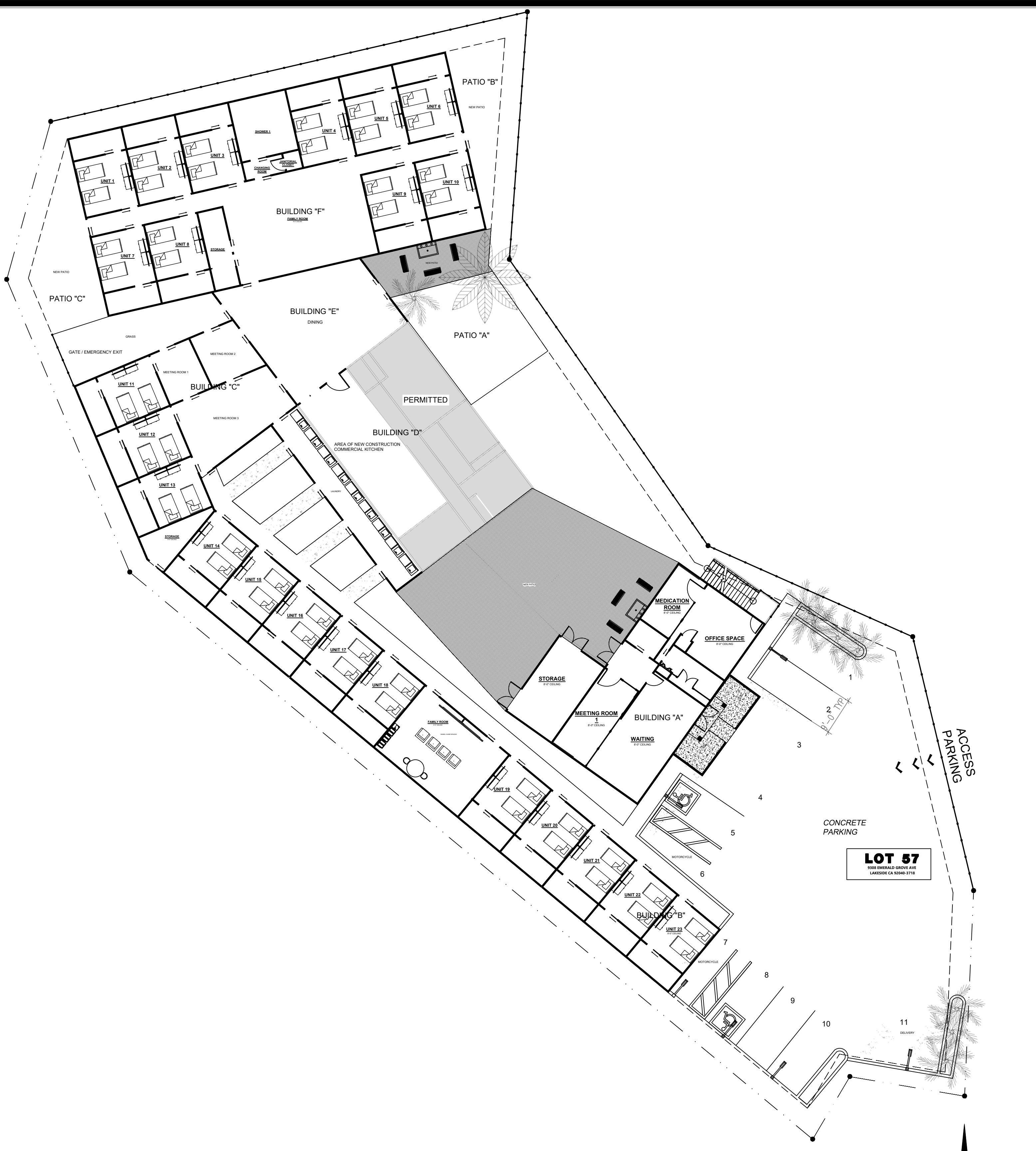
ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE COUNTY OF BUTTE STANDARD SPECIFICATIONS. THE CONSULTING ENGINEER HAS VERIFIED IN THE FIELD AND HAS DOWN HERE ON THE LOCATION AND ELEVATION OF ALL EXISTING STORM DRAIN AND SEWER FACILITIES PERTAINING TO THESE PLANS, EXCEPT WHERE NOTED OTHERWISE. THE TYPES, SIZES, LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE GRADING PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS ADVISED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES AND FOR THE EXTENSIVE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RESTAINT AND VERIFICATION OF PREVIOUS STAKING SHOULD ANY CORRECTIVE WORK BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RESTAINT AND VERIFICATION OF PREVIOUS STAKING SHOULD ANY CORRECTIVE WORK BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR RESTAINT AND VERIFICATION OF PREVIOUS STAKING SHOULD ANY CORRECTIVE WORK BE REQUIRED.

**PARCEL MAP**

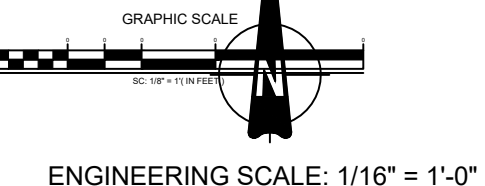


**GRADING**

EXISTING AMOUNT OF IMPERVIOUS AREA	1551
EXISTING SPD BY GARAGE	186
EXISTING DRIVEWAYS, PLATFORM, POOL, ETC.	222
PROPOSED IMPERVIOUS AREA	1940
TOTAL IMPERVIOUS AREA	1940
IMPURV. INCREASE	389
TOTAL DISTURBANCE AREA	152



**PROPOSED SITE GRADING DRAINAGE BMP-PLAN**



**BMP LEGEND**

PDS 659	BROW DITCH	⇒⇒⇒
PDS 659	BERM	⇒ B ⇒
DIRECTION OF LOT DRAINAGE ⇒⇒⇒		
MATERIALS & WASTE MANAGEMENT BMPs:		
WM-1	MATERIAL DELIVERY & STORAGE	
WM-4	SPILL PREVENTION AND CONTROL	
WM-8	CONCRETE WASTE MANAGEMENT	
WM-5	SOLID WASTE MANAGEMENT	
WM-9	SANITARY WASTE MANAGEMENT	
WM-6	HAZARDOUS WASTE MANAGEMENT	
TEMPORARY RUNOFF CONTROL BMPs:		
SS-2	PRESERVATION OF EXISTING VEGETATION	~PEV~PEV~
SS-3	BONDED OR STABILIZED FIBER MATRIX (WINTER)	~M~M~
SS-4	HYDROSEEDING (SUMMER)	~TSP~TSP~
SS-6 / SS-8	STRAW OR WOOD MULCH	~S/W~S/W~
SS-7	PHYSICAL STABILIZATION (WINTER)	~EBM~EBM~
SS-10	ENERGY DISSIPATOR	
SC-1	SILT FENCE	
SC-2	SEDIMENT / DESILTING BASIN	
SC-5	FIBER ROLLS	FR FR
SC-6 / SC-8	GRAVEL OR SAND BAGS	
SC-7	STREET SWEEPING AND VACUUMING	
SC-10	STORM DRAIN INLET PROTECTION	
NS-2	DEWATERING FILTRATION	DW DW
TC-1	STABILIZED CONSTRUCTION ENTRANCE	
TC-2	CONSTRUCTION ROAD STABILIZATION	
TC-3	ENTRANCE / EXIT TIRE WASH	

**POST-CONSTRUCTION SITE DESIGN BMPs**

4.3.1	MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES
4.3.2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
4.3.3	MINIMIZE IMPERVIOUS AREA
4.3.4	MINIMIZE SOIL COMPACTION
4.3.5	IMPERVIOUS AREA DISPERSION
4.3.6	RUNOFF COLLECTION
4.3.7	LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES
4.3.8	HARVESTING AND USING PRECIPITATION

**POST-CONSTRUCTION SOURCE CONTROL BMPs**

4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
4.2.2	STORM DRAIN STENCILING AND POSTING OF SIGNAGE
4.2.3	PROTECTED OUTDOOR MATERIALS STORAGE AREAS
4.2.4	PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS
4.2.5	PROTECT TRASH STORAGE AREAS
4.2.6	ADDNL BMPs BASED ON POTENTIAL RUNOFF POLLUTANTS:

- A ON-SITE STORM DRAIN INLETS
- B INTERIOR FLOOR DRAINS & ELEVATOR SHAFT SUMPS
- C INTERIOR PARKING GARAGES
- D NEED FOR FUTURE INDOOR & STR. PEST CONTROL
- E LANDSCAPE/OUTDOOR PESTICIDE USE
- F POOLS, SPAS, PONDS, FOUNTAINS, & WATER FEATURES
- G FOOD SERVICE
- H TRASH OR REFUSE AREAS
- I INDUSTRIAL PROCESSES
- J OUTDOOR STORAGE OF EQUIP. OR MATERIALS
- K VEHICLE AND EQUIPMENT CLEANING
- L VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE
- M FUEL DISPENSING AREAS
- N LOADING DOCKS
- O FIRE SPRINKLER TEST WATER
- P MISCELLANEOUS DRAIN OR WASH WATER
- Q PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS

**SHEET INDEX**

<b>GENERAL CODES</b>	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED COUNTY OF SAN DIEGO AMENDMENTS:	
-2019 CALIFORNIA RESIDENTIAL CODE	
-2019 CALIFORNIA BUILDING CODE	
-2019 CALIFORNIA GREEN BUILDING STANDARDS CODE	
-2019 CALIFORNIA ELECTRICAL CODE	
-2019 CALIFORNIA MECHANICAL CODE	
-2019 CALIFORNIA PLUMBING CODE	
-2019 CALIFORNIA FIRE CODE	
-2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS	

**DESIGN BASIS**

CONVENTIONAL LIGHT FRAME CONSTRUCTION  
 ROOF LIVE LOAD: 20 PSF  
 ULTIMATE WIND SPEED: 110 MPH  
 EXPOSURE CATEGORY: C  
 SITE CLASS: D  
 RISK CATEGORY: II  
 S<sub>ps</sub>: 1.25  
 SEISMIC DESIGN CATEGORY: D<sub>2</sub>  
 ALLOW SOIL VERTICAL BEARING PRESSURE: 1500 PSF  
 ALLOW SOIL LATERAL BEARING PRESSURE: 100 PSF/FT

**ENERGY EFFICIENCY SPECIAL FEATURES**

SPECIFY AS INDICATED IN CF1R FORM (TITLE 24):

- 
- 
- 

**ENERGY EFFICIENCY HERS VERIFICATION**

SPECIFY AS INDICATED IN CF1R FORM (TITLE 24):

- DUCT SEALING (Y or N)
- REFRIGERANT CHARGE (Y or N)
- COOLING SYSTEM AIRFLOW (Y or N)
- COOLING SYSTEM UNIT FAN EFFICACY (Y or N)
- COOLING SYSTEM SEER AND/OR EER ABOVE MIN. (Y or N)
- WHOLE-BUILDING VENTILATION AIRFLOW (Y or N)
- BUILDING ENVELOPE AIR LEAKAGE (Y or N)
- QUALITY INSULATION INSTALLATION (Y or N)
- OTHER (SPECIFY BELOW)

**PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF2R FORMS ARE AVAILABLE AT: HTTP://WWW.SDCOUNTY.CA.GOV/PS/BLDG/ENERGY-STDS.HTML (CBEE5 10-103)**

**PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY. CF3R FORMS ARE AVAILABLE AT: HTTP://WWW.SDCOUNTY.CA.GOV/PS/BLDG/ENERGY-STDS.HTML (CBEE5 10-103)**

**VICINITY MAP**



**OWNER INFORMATION**

NAME: MATT DELBRUEGGE - KAY CABUCO  
 ADDRESS: 9308 EMERALD GROVE AVE LAKESIDE, CA 92040  
 PHONE: (619) 439-8488  
 EMAIL: KEACHANT@GMAIL.COM DELBRUEGGEMD@GMAIL.COM

**CONTACT INFORMATION**

NAME: MATT DELBRUEGGE - KAY CABUCO  
 ADDRESS: 9308 EMERALD GROVE AVE LAKESIDE, CA 92040  
 PHONE: (619) 439-8488  
 EMAIL: KEACHANT@GMAIL.COM DELBRUEGGEMD@GMAIL.COM

**PARCEL INFORMATION**

APN: 38214002  
 SITE ADDRESS: 9308 EMERALD GROVE AVE LAKESIDE, CA 92040  
 PROPERTY CONNECTED TO THE ELECTRICAL GRID (Y or N)  
 PROPERTY SERVICED BY PROPANE (Y or N) IF YES, SHOW TANK ON PLOT PLAN  
 PROPERTY SERVICED BY NATURAL GAS (Y or N)  
 ENTIRE LOT IS FUEL MODIFIED (Y or N) IF NO, DIMENSION 100' FUEL MODIFICATION ZONE

**PROJECT SCOPE**

PROPOSED:  
 1) RESIDENTIAL REMODEL  
 2) ADDITIONAL RESIDENCES

**PERVIOUS AREA INFORMATION**

PERVIOUS SURFACE AREA TABLE				
SITE ID	PERVIOUS ITEM	DIMENSIONS	AREA (sf)	NOTES

PERVIOUS ELEMENT MANUFACTURER: \_\_\_\_\_  
 PERVIOUS ELEMENT SHAPE AND DIRECTION OF SLOPE: \_\_\_\_\_  
 MAINTENANCE PROGRAM: \_\_\_\_\_  
 PERVIOUS ELEMENT CROSS SECTION LOCATED IN SHEET: \_\_\_\_\_  
 CONSTRUCTED PERVIOUS SURFACES SHALL NOT BE SEALED

**IMPERVIOUS AREA INFORMATION**

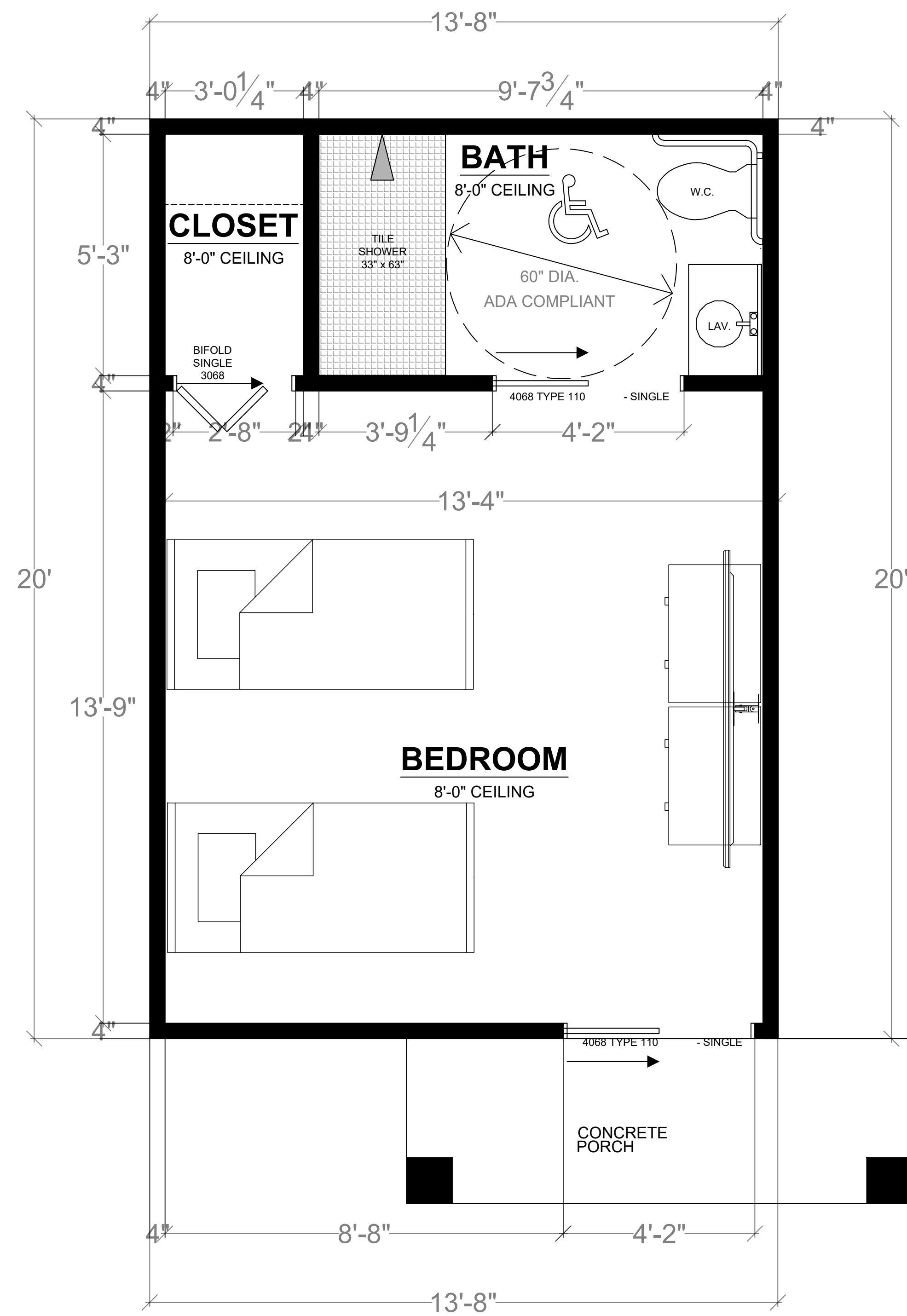
IMPERVIOUS SURFACE AREA TABLE				
SITE ID	IMPERVIOUS ITEM	DIMENSIONS	NEW OR REPLACED AREA (sf)	EXISTING AREA (sf)
1				
2				
3				
4				

LAND DISTURBANCE: \_\_\_\_\_ SF

**SHEET TITLE**

**PLOT PLAN**  
 SHEET NUMBER  
**SP-3**





**PROPOSED SINGLE UNIT-FLOOR/DIMENSION PLANS MAIN BUILDING**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

REVISIONS		
No.	Revision/Issue	Date
1	CLIENT REVIEW	6/30/2022
2	A.J.R.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

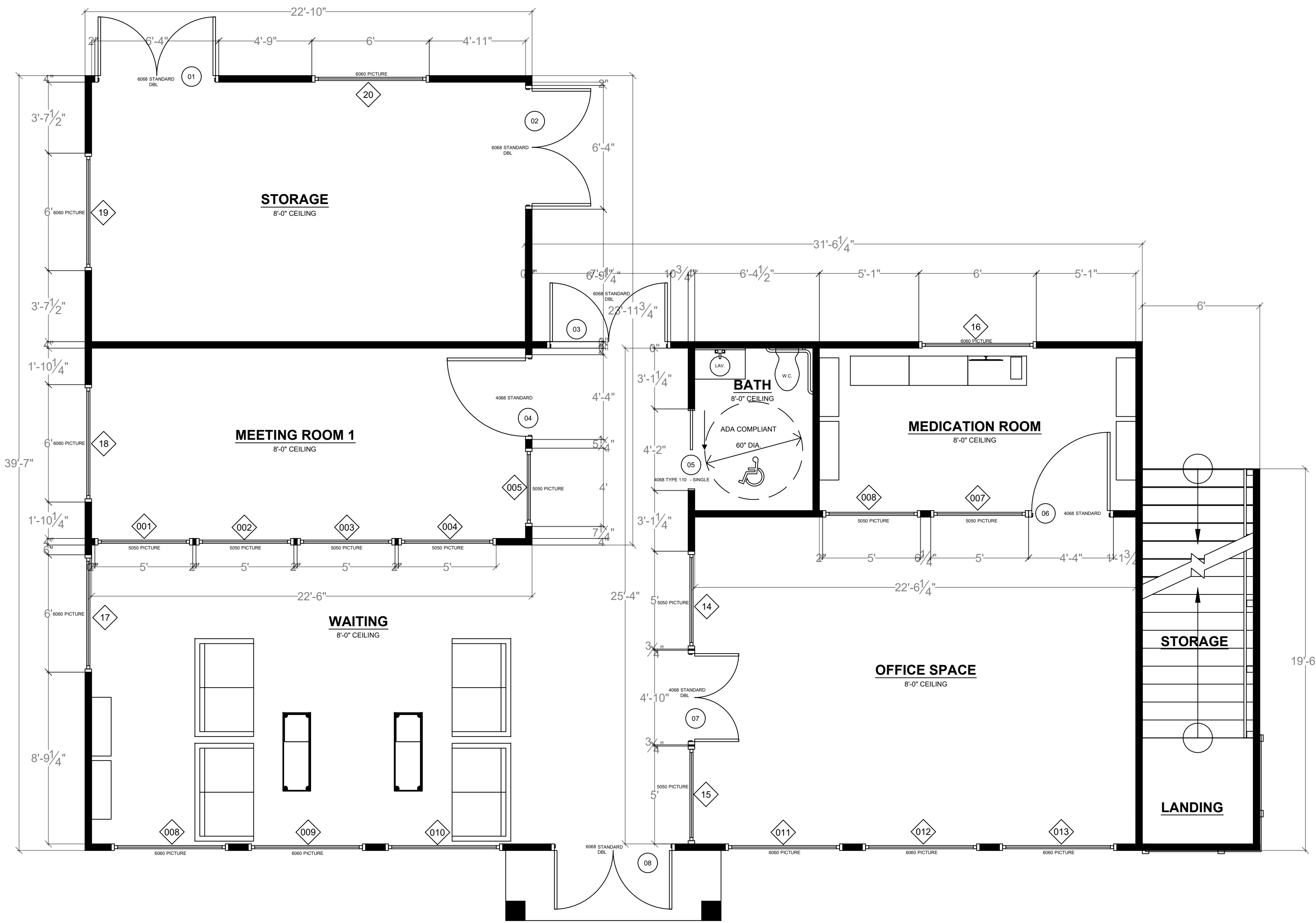
Project Name and Address

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RESIDENTIAL COMMERCIAL INDUSTRIAL

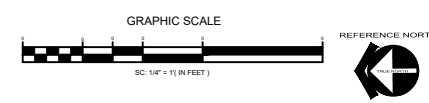
7877 GARAGE AVE SUITE 106  
LAKESIDE, CA 92057  
(951) 367-9083  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>A1</b>
Scale	



**PROPOSE OFFICE-FLOOR/DIMENSION PLANS MAIN BUILDING**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

**SHEET TITLE  
FLOOR PLAN**

	CLIENT REVIEW	6/30/2022
	A.J.R.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

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Project	Sheet
Date 6/2022	<b>A1.2</b>
Scale	



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**SHEET TITLE**  
**FLOOR PLAN**

	CLIENT REVIEW	6/30/2022
	A.J.R.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
<b>No.</b>	<b>Revision/Issue</b>	<b>Date</b>

Project Name and Address

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

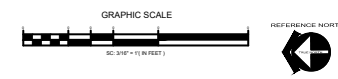
7877 GARDEN AVE, SUITE 106  
 LAKESIDE, CA 92040  
 (951) 367-9083  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>A1.3</b>
Scale	



FAMILY ROOM & UNITS 1-6-FLOOR/DIMENSION PLANS MAIN BUILDING



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

**SHEET TITLE  
FLOOR PLAN**

	CLIENT REVIEW	6/30/2022
	A.R.B.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revisions	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

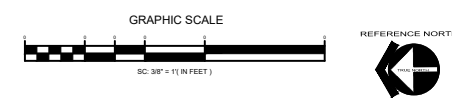
7877 GARDA AVE, SUITE 106  
LAKESIDE, CA 92057  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>A1.4</b>
Scale	



**PROPOSED DINING -FLOOR/DIMENSION PLANS MAIN BUILDING**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

**FLOOR PLAN**

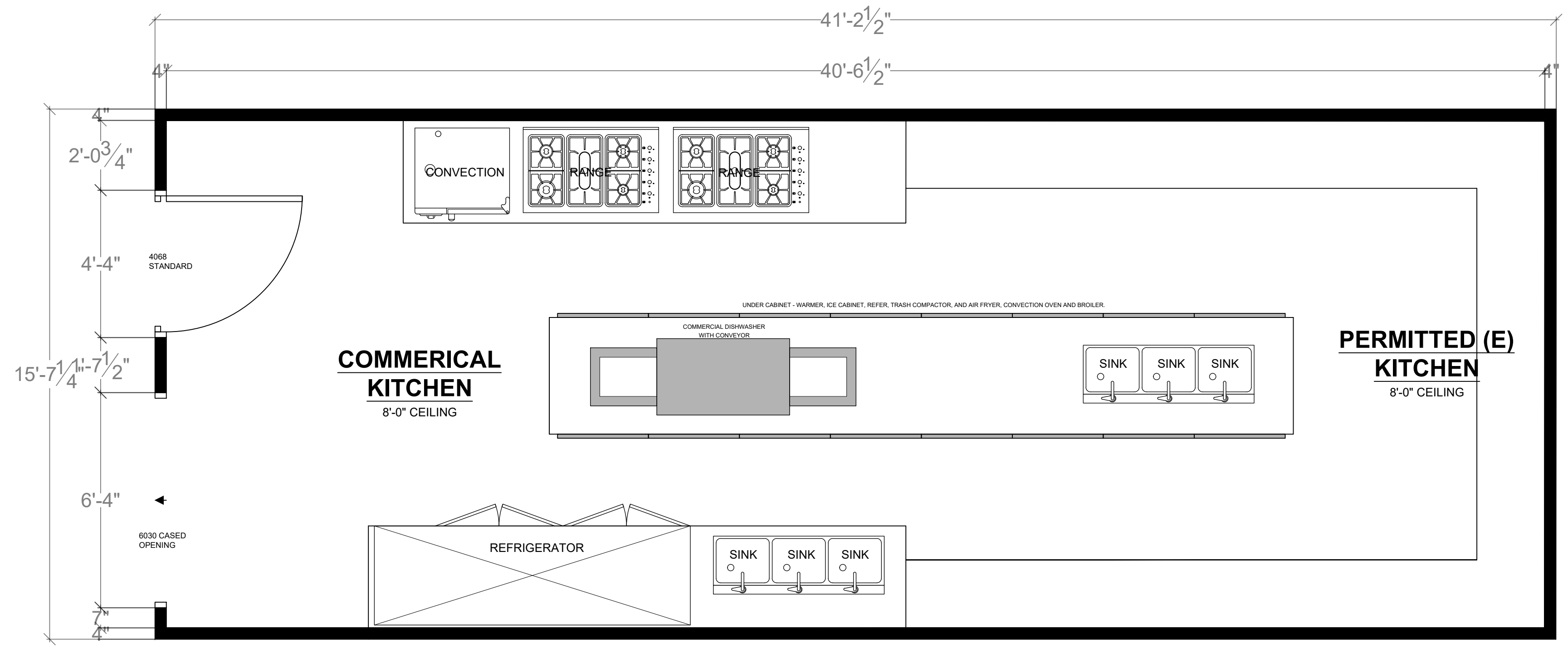
▲	CLIENT REVIEW	6/30/2022
▲	A.R.S.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		
No.	Revisions	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GARAGE AVE SUITE 106  
LAKESIDE, CA 92051  
(951) 367-9083  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>A1.5</b>
Scale	



**PROPOSED KITCHEN - FLOOR/DIMENSION PLANS MAIN BUILDING**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

SHEET TITLE		
FLOOR PLAN		
▲	CLIENT REVIEW	6/30/2022
▲	A.J.B.	
▲	PLAN CHECK	
▲	CORRECTIONS	
▲	PERMIT	
▲		
▲		
No.	Revision/Issue	Date

Form Name and Address

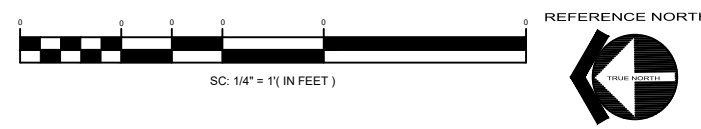
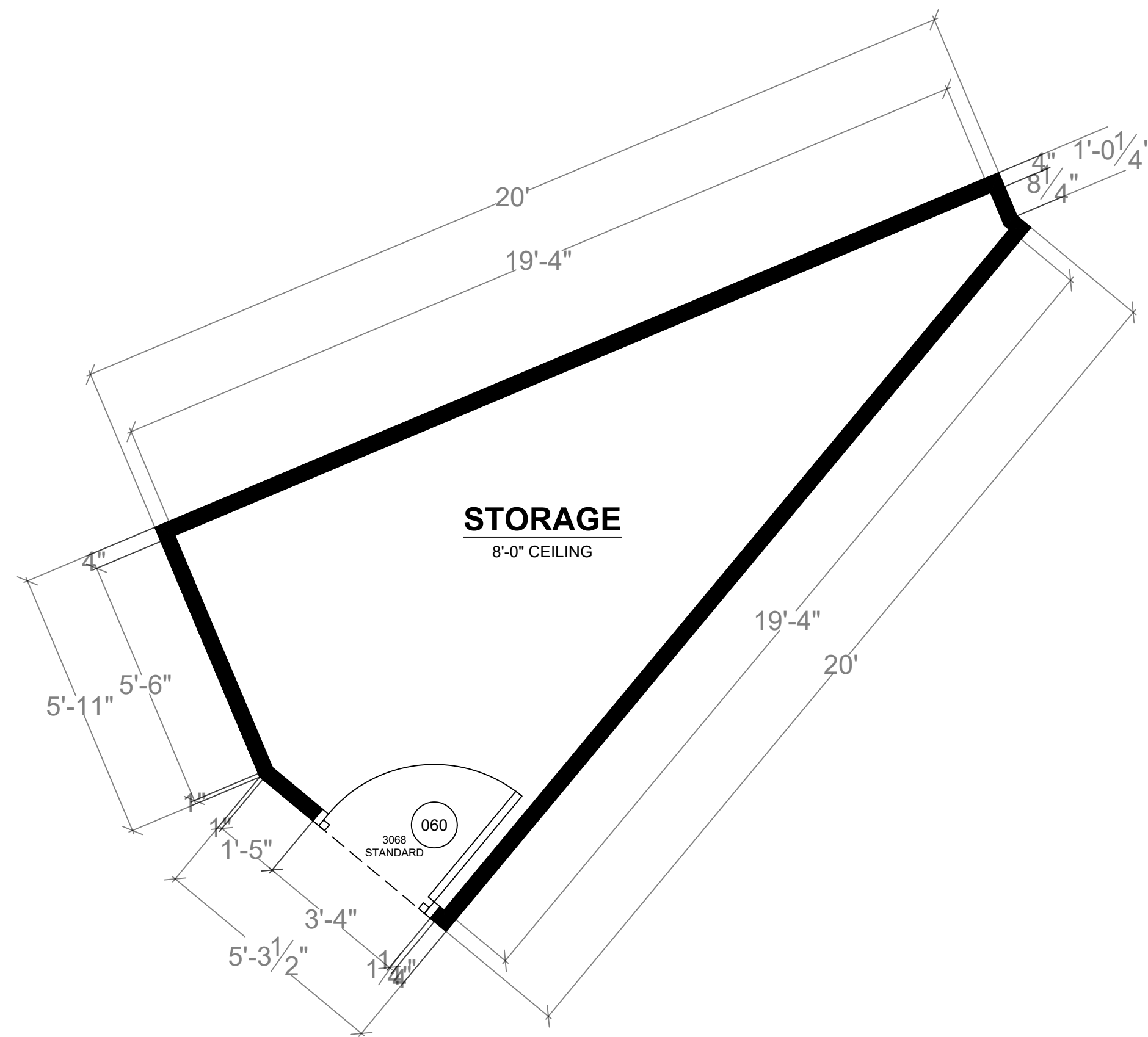
**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GARAGE AVE SUITE 106  
 LAKESIDE, CA 92037  
 (858) 367-9083  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>A1.6</b>
Scale	

**PROPOSED RESIDENCE 1 FLOOR/DIMENSION PLANS**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

**FLOOR PLAN**

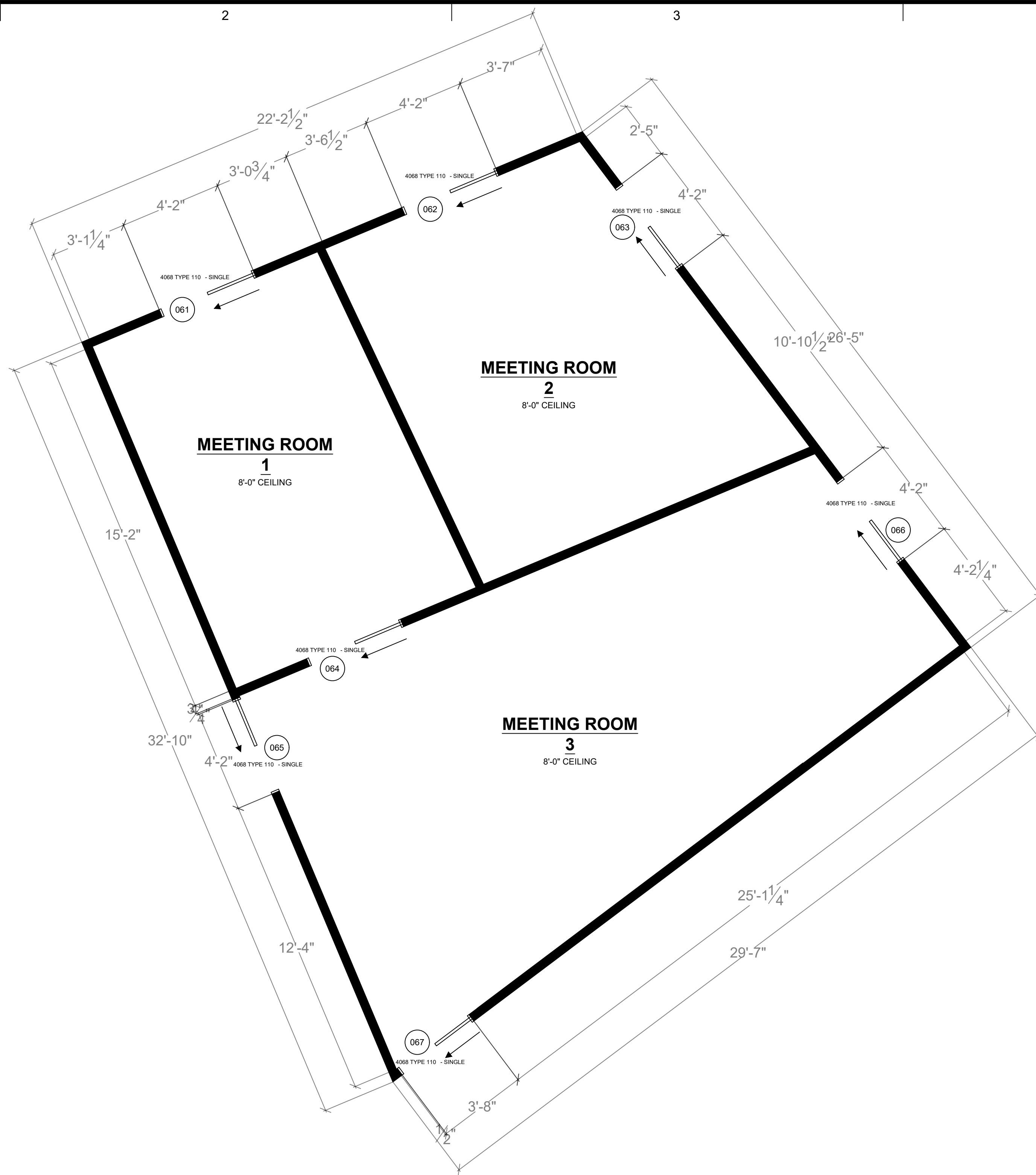
No.	Revision/Issue	Date
1	CLIENT REVIEW	6/30/2022
2	A.J.B.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

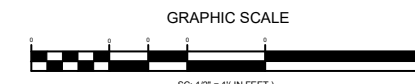
7877 EMERALD AVE, SUITE 106  
LAKESIDE, CA 92037  
PHONE: 362-9083  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 905815

Project	Sheet
Date 6/2022	<b>A1.7</b>
Scale	



**PROPOSED MEETING ROOMS -FLOOR/DIMENSION PLANS MAIN BUILDING**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

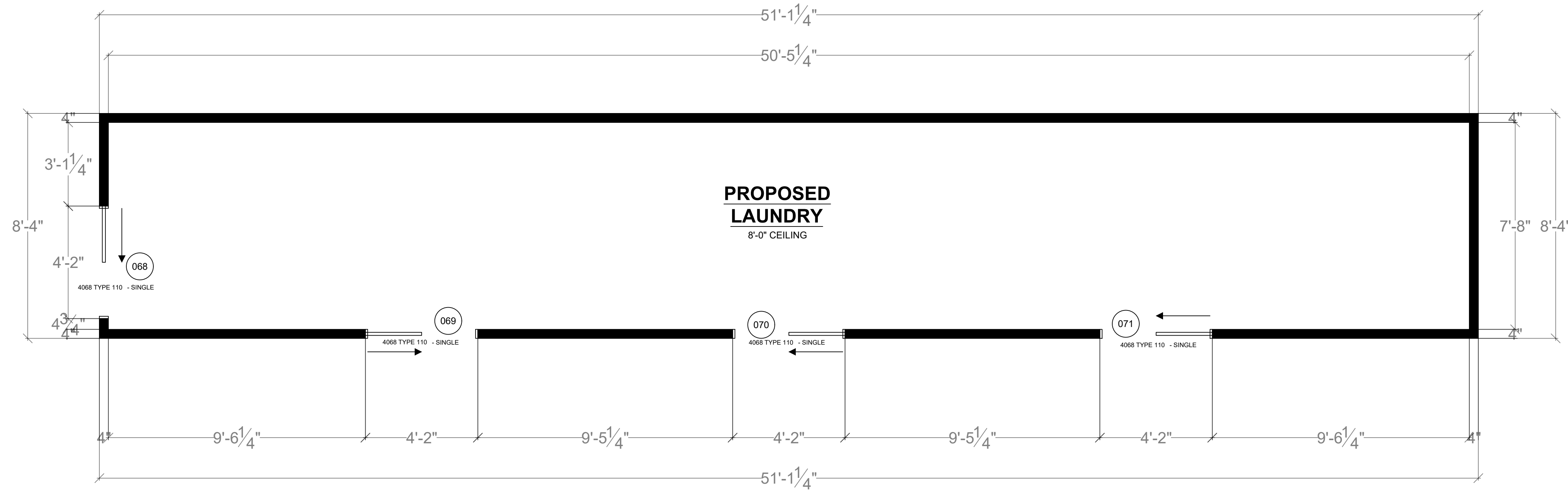
SHEET TITLE		
FLOOR PLAN		
	CLIENT REVIEW	6/30/2022
	A.P.R.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

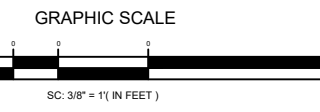
7877 GARAGE AVE SUITE 106  
 LAKESIDE, CA 92051  
 (951) 367-9083  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

Licent# 905815

Project	Sheet
Date 6/2022	<b>A1.8</b>
Scale	



**PROPOSED LAUNDRY -FLOOR/DIMENSION PLANS MAIN BUILDING**



FLOOR PLAN NOTES

OPTIONAL ROLL-IN SHOWER PLAN NOTES

Project Name and Address

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

**REVISIONS**  
**FLOOR PLAN**

△	CLIENT REVIEW	6/30/2022
△	A.P.R.	
△	PLAN CHECK	
△	CORRECTIONS	
△	PERMIT	
△		
△		

No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

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LAKESIDE, CA 92040  
PHONE: 362-9083  
EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
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License# 905815

Project	Sheet
Date 6/2022	<b>0</b>
Scale	

GENERAL ELECTRICAL NOTES

Table with 2 columns: #, DESCRIPTION. Contains general electrical notes and specifications for the project.

GENERAL ELECTRICAL NOTES

Table with 2 columns: #, DESCRIPTION. Contains general electrical notes and specifications for the project.

ELECTRICAL LEGEND

Table with 2 columns: SYMBOL, DESCRIPTION. Lists various electrical symbols and their corresponding components.

WIRE SCHEDULE AND NOTES

Table with 5 columns: LOAD PER PH (KVA), WIRE SIZE (AWG), MAXIMUM LENGTH OF BRANCH CIRCUIT PER UTILITY VOLTAGE, NOTES AND REMARKS. Lists wire schedules for different load phases.

ABBREVIATIONS AND TAGS

Table with 4 columns: ABB., DESCRIPTION, ABB., DESCRIPTION. Lists abbreviations and their corresponding descriptions.

SHEET INDEX

Table with 2 columns: ELECTRICAL DRAWINGS, E0 - COVER, E1.0 - FLOOR PLANS, LIGHTING. Lists the sheet index for electrical drawings.

ELECTRICAL DRAWINGS

E0 - COVER
E1.0 - FLOOR PLANS, LIGHTING

NOTE: NOT ALL OF THE PAGES ARE NECESSARILY USED IN THIS WORK.

PLAN DESIGN NOTES

PLAN DESIGN NOTES
ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH ES TABLE 150.0-A.

SPECIFIC PLAN NOTES

SPECIFIC PLAN NOTES
ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH ES TABLE 150.0-A.

SOLAR READY KEY NOTES

SOLAR READY KEY NOTES
1. ALL FINAL LOCATIONS OF LIGHTING FIXTURES, CONVENIENCE AND SPECIAL OUTLETS SHALL BE VERIFIED BY THE OWNER.

PROPOSED SB9 RCF
ADDITIONAL RESIDENCES
9308 EMERALD GROVE AVE
LAKESIDE, CA 92040
(CAPN): 382-140-02

LIGHTING PLAN NOTES

ELECTRICAL COVER

Table with 3 columns: CLIENT REVIEW, PLAN CHECK, CORRECTIONS, PERMIT. Contains a checklist for electrical cover review.

SOLAR READY KEY NOTES

Advanced Development Residential Commercial Industrial logo and contact information.

ELECTRICAL PLAN

3/8" = 1'-0"

Project Sheet

Date 6/2022

Scale A2

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / CO DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL. PROVIDE UFER GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN WIRE SWITCH/LIGHT SEPARATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3-WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET(EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC Art 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC Art 210-52(a) REQUIREMENTS.

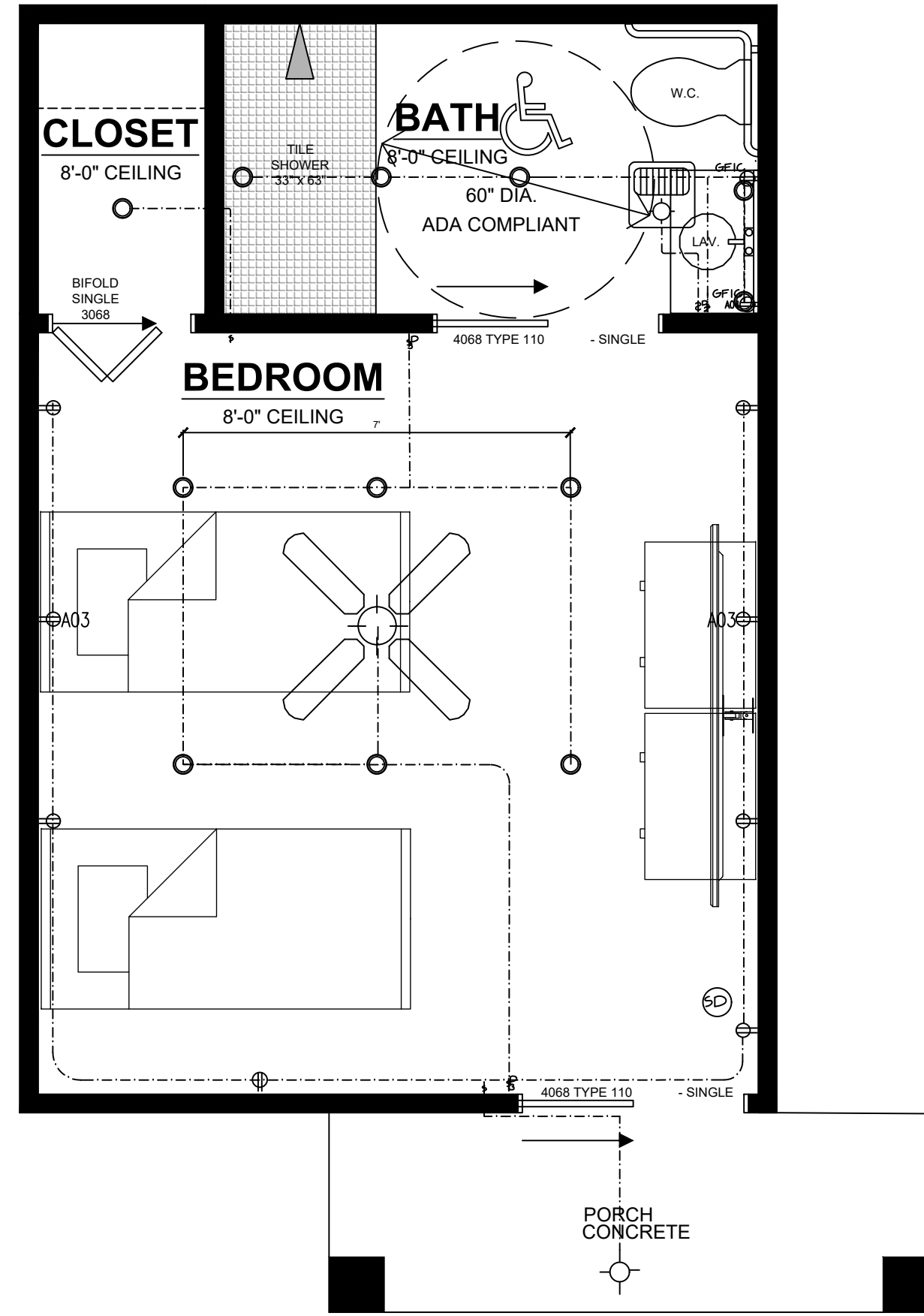
HALLWAYS GREATER THAN 10' IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET PER NEC Art 210-52(h).

PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS PER NEC Art 210-8. ALL 125-V., SINGLE PHASE, 15-20 AMP. RECEPTACLES SHALL BE INSTALLED AT ALL LOCATIONS PER REQUIREMENTS.

SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. ALL NEW SMOKE DETECTORS ADDED AT EXISTING CONSTRUCTION NEED ONLY BE BATTERY POWERED. SECTION 310.9.2.

PROVIDE GENERAL FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHROOMS. MINIMUM 40 LUMENS PER WATT.

RECEPTACLE OUTLETS ON COUNTERTOPS SHALL BE INSTALLED AT 24" O.C. MAX. PER NEC Art 210-52(c) REQUIREMENTS



**THREE UNIT-FLOOR/DIMENSION PLANS MAIN BUILDING**



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**SHEET TITLE**

**ELECTRICAL PLAN**

	CLIENT REVIEW	6/30/2022
	APP.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
	REVISIONS	
No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GRAND AVE SUITE 1106  
 (B9B) 367-9083  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

License# 908815

Project	Sheet
Date 6/2022	<b>A2.1</b>
Scale	

Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON / AUTO OFF/ACTION DETECTOR & PHOTOCELL CONTROLS
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / CO DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL; PROVIDE USER GROUND ROD, MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN. WIRE SWITCH/LIGHT SEPARATELY, DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		3-WAY DIMMER SWITCH
	240 VOLT OUTLET		4-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE		DOORBELL CHIMES
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		GROUND FAULT INTERRUPTED CIRCUIT
	1/2 HOT 120V CONVENIENCE OUTLET		HIGH SPEED DATA LINE
	3-WAY DIMMER SWITCH		FLOOR MOUNTED TEL. JACK
	SWITCHABLE RECEPTACLE		THERMOSTAT CONTROL
	DIMMER SWITCH		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (CEILING)		FLOOR MOUNTED OUTLET
	SURFACE LIGHTING OUTLET (WALL)		DOORBELL
	DOWN LIGHTING FIXTURE		WATERPROOF OUTLET (EXTERIOR)
	POWER TRACK AND HEADS		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	DOOR CHIME		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	EXHAUST FAN		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	FAN/LIGHT COMBINATION		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	HEAT LAMP		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		
	TV OUTLET		
	PHONE OUTLET		

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC AH 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC AH 210-52(c) REQUIREMENTS.

HALLWAYS GREATER THAN 10' IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET PER NEC AH 210-52(h).

PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS PER NEC AH 210-8. ALL 125-V, SINGLE PHASE 15-20 AMP. RECEPTABLES SHALL BE INSTALLED AT ALL LOCATIONS PER REQUIREMENTS.

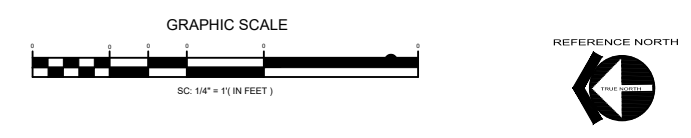
SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. ALL NEW SMOKE DETECTORS ADDED AT EXISTING CONSTRUCTION NEED ONLY BE BATTERY POWERED. SECTION 310.9.2.

PROVIDE GENERAL FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHROOMS. MINIMUM 40 LUMENS PER WATT.

RECEPTACLE OUTLETS ON COUNTERTOPS SHALL BE INSTALLED AT 24" O.C. MAX. PER NEC AH 210-52(c) REQUIREMENTS



**PROPOSE OFFICE-FLOOR/DIMENSION PLANS MAIN BUILDING**



**SHEET TITLE**

**ELECTRICAL PLAN**

	CLIENT REVIEW	6/30/2022
	APP.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
	REVISIONS	

No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GRAND AVE SUITE 1106  
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License# 906815

Project	Sheet
Date 6/2022	<b>E2.3</b>
Scale	

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/ACTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / Co DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL PROVIDE UPGR GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN. WIRE SWITCH/LIGHT SEPARATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		120 VOLT DUPLEX OUTLET
	TELEVISION CABLE OUTLET		UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET
	120 VOLT DUPLEX OUTLET		120 VOLT SINGLE FLOOR OUTLET
	120 VOLT DUPLEX OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT DUPLEX OUTLET		DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPTER DUPLEX WEATHERPROOF TYPE		SINGLE POLE 4-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPTER DUPLEX WEATHERPROOF TYPE		3-WAY DIMMER SWITCH
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		4-WAY DIMMER SWITCH
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	1/2 HOT 120V CONVENIENCE OUTLET		DOORBELL CHIMES
	3 - WAY DIMMER SWITCH		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	SWITCHABLE RECEPTACLE		GROUND FAULT INTERRUPTED CIRCUIT
	DIMMER SWITCH		HIGH SPEED DATA LINE
	SURFACE LIGHTING OUTLET (CEILING)		FLOOR MOUNTED TEL. JACK
	SURFACE LIGHTING OUTLET (WALL)		THERMOSTAT CONTROL
	DOWN LIGHTING FIXTURE		DUPLEX OUTLET RECESSED INTO WALL
	POWER TRACK AND HEADS		FLOOR MOUNTED OUTLET
	DOOR CHIME		FLOOR MOUNTED OUTLET
	EXHAUST FAN		DOORBELL
	FAN/LIGHT COMBINATION		WATERPROOF OUTLET (EXTERIOR)
	HEAT LAMP		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	TV OUTLET		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	PHONE OUTLET		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
			LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC Art 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC Art 210-52(c) REQUIREMENTS.

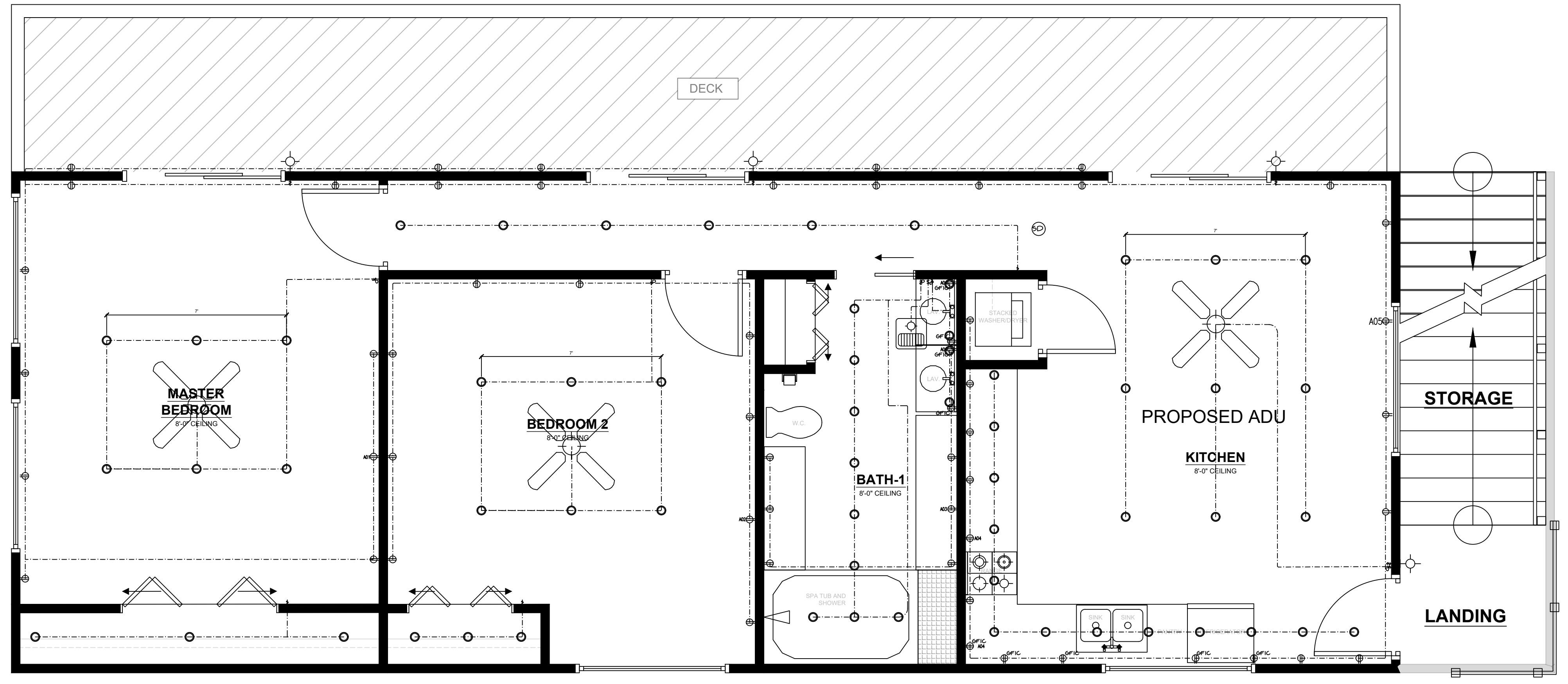
HALLWAYS GREATER THAN 10' IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET PER NEC Art 210-52(D).

PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS PER NEC Art 210-8. ALL 125-V, SINGLE PHASE, 15-20 AMP. RECEPTACLES SHALL BE INSTALLED AT ALL LOCATIONS PER REQUIREMENTS.

SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. ALL NEW SMOKE DETECTORS ADDED AT EXISTING CONSTRUCTION NEED ONLY BE BATTERY POWERED. SECTION 310.9.2.

PROVIDE GENERAL FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHROOMS. MINIMUM 40 LUMENS PER WATT.

RECEPTACLE OUTLETS ON COUNTERTOPS SHALL BE INSTALLED AT 24" O.C. MAX. PER NEC Art 210-52(c) REQUIREMENTS



**PROPOSE APARTMENT-FLOOR/DIMENSION PLANS MAIN BUILDING**

GRAPHIC SCALE



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

**PROPOSED SB9 RCF**  
**ADDITIONAL RESIDENCES**  
**9308 EMERALD GROVE AVE**  
**LAKESIDE, CA 92040**  
**(APN): 382-140-02**

SHEET TITLE		
ELECTRICAL PLAN		
	CLIENT REVIEW	6/30/2022
	APP.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
	REVISIONS	
No.	Revision/Issue	Date

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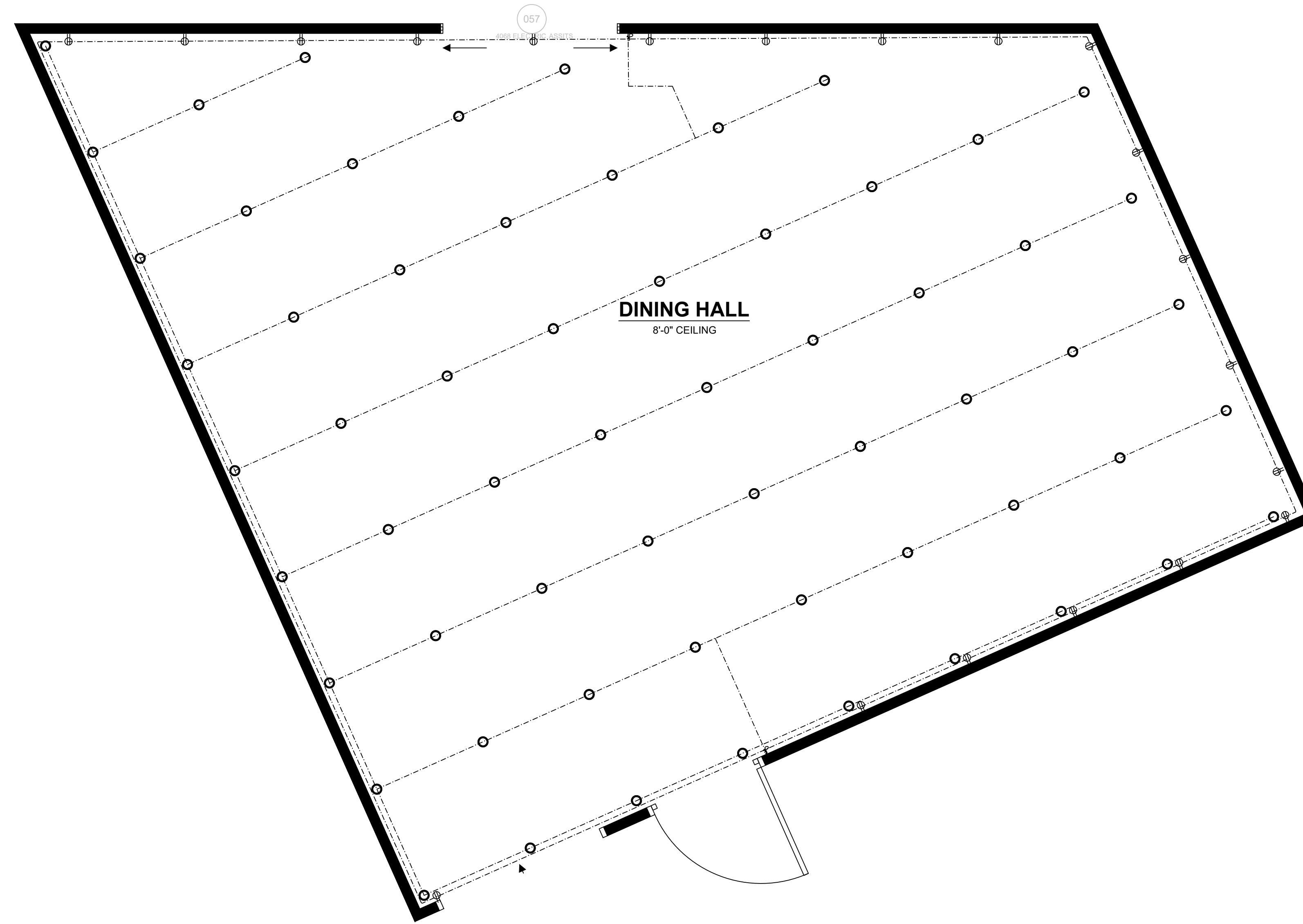
**ELECTRICAL PLAN**

3/8" = 1'-0"

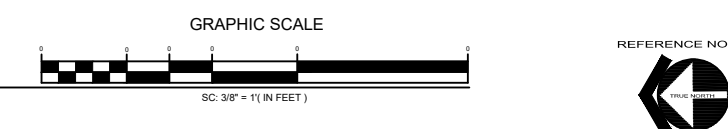


**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / CO DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL PROVIDE UPFR. GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN WIRE SWITCH/LIGHT SEPARATELY DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE.		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3 - WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET(EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		



**PROPOSED DINING - ELECTRICAL PLANS**



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

**PROPOSED SB9 RCF**  
**ADDITIONAL RESIDENCES**  
**9308 EMERALD GROVE AVE**  
**LAKESIDE, CA 92040**  
**(APN): 382-140-02**

REVISIONS		
No.	Revised/Issue	Date
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2	APP.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

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License# 908815

Project	Sheet
Date	<b>E2.5</b>
Scale	

**ELECTRICAL PLAN**

3/8" = 1'-0"

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / Co DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL. PROVIDE UTILITY GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN WIRE SWITCH/LIGHT SEPERATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE.		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3 - WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET(EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC Art. 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC Art. 210-52(a) REQUIREMENTS.

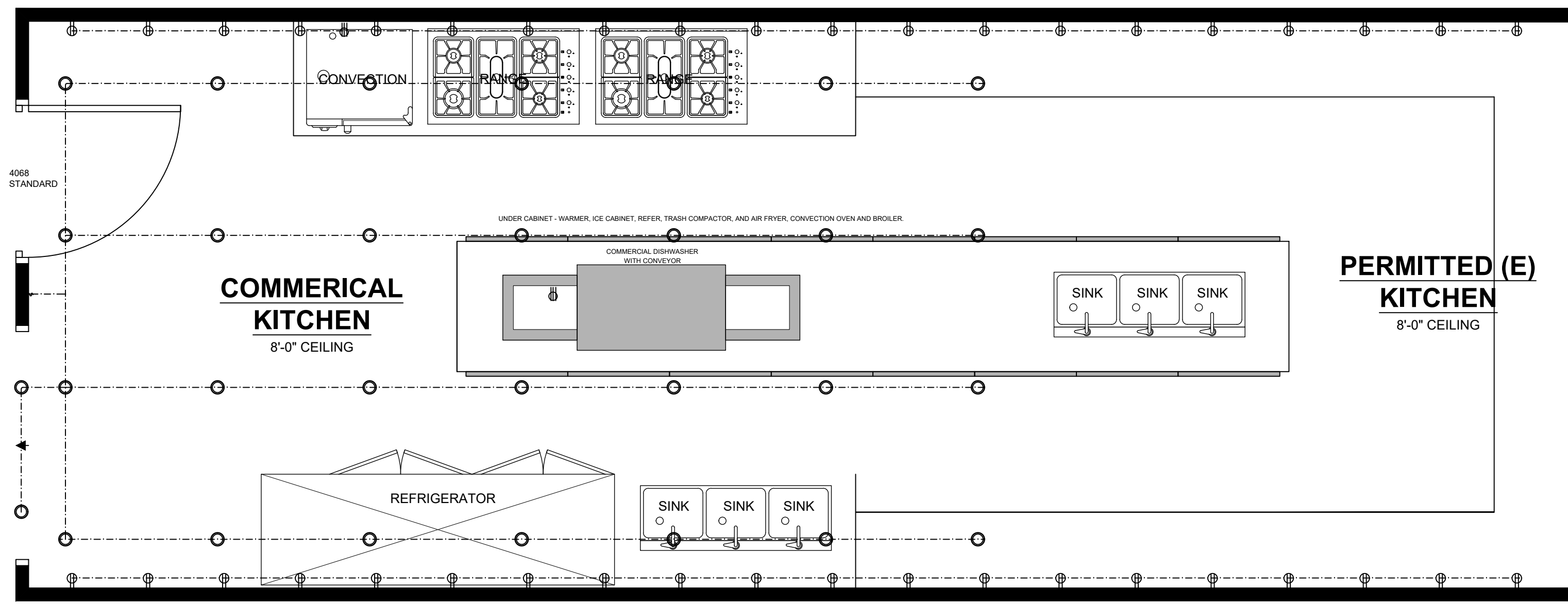
HALLWAYS GREATER THAN 10' IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET PER NEC Art. 210-52(h).

PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS PER NEC Art. 210-8. ALL 125-V, SINGLE PHASE, 15-20 AMP. RECEPTACLES SHALL BE INSTALLED AT ALL LOCATIONS PER REQUIREMENTS.

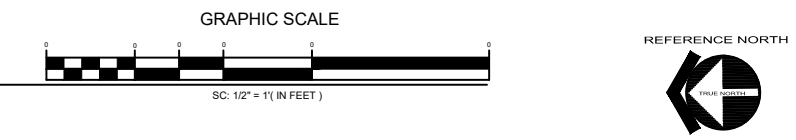
SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. ALL NEW SMOKE DETECTORS ADDED AT EXISTING CONSTRUCTION NEED ONLY BE BATTERY POWERED. SECTION 310.9.2.

PROVIDE GENERAL FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHROOMS. MINIMUM 40 LUMENS PER WATT.

RECEPTACLE OUTLETS ON COUNTERTOPS SHALL BE INSTALLED AT 24" O.C. MAX PER NEC Art. 210-52(c) REQUIREMENTS



**PROPOSED KITCHEN - ELECTRICAL PLANS**



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

**PROPOSED SB9 RCF**  
**ADDITIONAL RESIDENCES**  
**9308 EMERALD GROVE AVE**  
**LAKESIDE, CA 92040**  
**(APN): 382-140-02**

**ELECTRICAL PLAN**

	CLIENT REVIEW	6/30/2022
	APP.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revisions/Issue	Date

**ADVANCED DEVELOPMENT**  
RESIDENTIAL COMMERCIAL INDUSTRIAL

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License# 905815

Project	Sheet
Date	<b>E2.6</b>
Scale	

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF MOTION DETECTOR & PHOTOCCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / Co DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL. PROVIDE UFER GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN WIRE SWITCH/LIGHT SEPERATELY, DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE		3-WAY DIMMER SWITCH
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		4-WAY DIMMER SWITCH
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	1/2 HOT 120V CONVENIENCE OUTLET		DOORBELL CHIMES
	3 - WAY DIMMER SWITCH		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	SWITCHABLE RECEPTACLE		GROUND FAULT INTERRUPTED CIRCUIT
	DIMMER SWITCH		HIGH SPEED DATA LINE
	SURFACE LIGHTING OUTLET (CEILING)		FLOOR MOUNTED TEL. JACK
	SURFACE LIGHTING OUTLET (WALL)		THERMOSTAT CONTROL
	DOWN LIGHTING FIXTURE		DUPLEX OUTLET RECESSED INTO WALL
	POWER TRACK AND HEADS		FLOOR MOUNTED OUTLET
	DOOR CHIME		FLOOR MOUNTED OUTLET
	EXHAUST FAN		DOORBELL
	FAN/LIGHT COMBINATION		WATERPROOF OUTLET(EXTERIOR)
	HEAT LAMP		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	TV OUTLET		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	PHONE OUTLET		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
			LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC Art 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC Art 210-52(c) REQUIREMENTS.

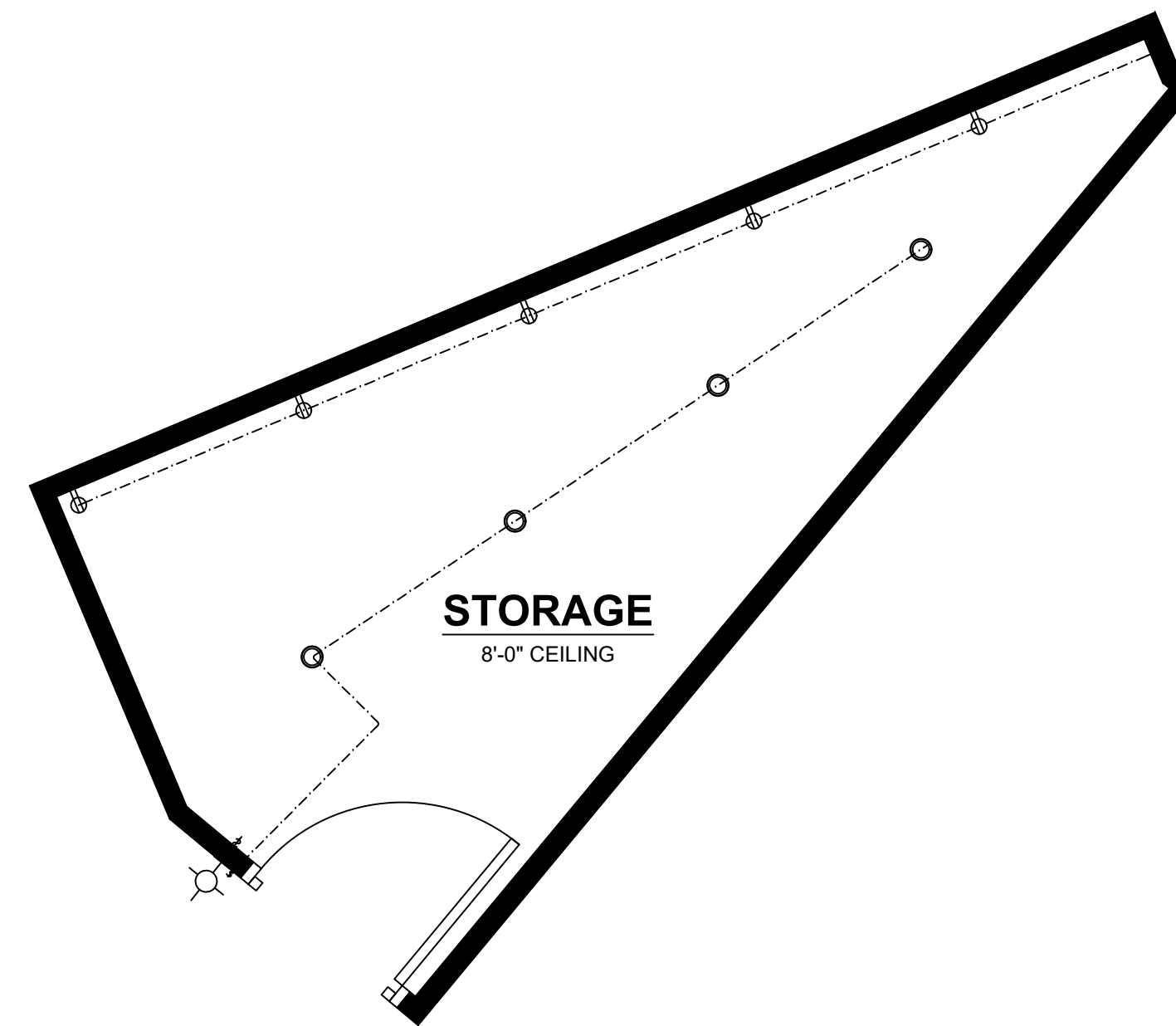
HALLWAYS GREATER THAN 10' IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET PER NEC Art 210-52(h).

PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS PER NEC Art 210-8. ALL 125-V, SINGLE PHASE, 15-20 AMP. RECEPTACLES SHALL BE INSTALLED AT ALL LOCATIONS PER REQUIREMENTS.

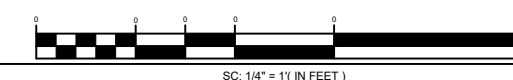
SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. ALL NEW SMOKE DETECTORS ADDED AT EXISTING CONSTRUCTION NEED ONLY BE BATTERY POWERED. SECTION 310.9.2.

PROVIDE GENERAL FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHROOMS. MINIMUM 40 LUMENS PER WATT.

RECEPTACLE OUTLETS ON COUNTERTOPS SHALL BE INSTALLED AT 24" O.C. MAX. PER NEC Art 210-52(c) REQUIREMENTS



**PROPOSED STORAGE - ELECTRICAL PLANS**



REFERENCE NORTH



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

**PROPOSED SB9 RCF**  
**ADDITIONAL RESIDENCES**  
**9308 EMERALD GROVE AVE**  
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License# 908815

Project	Sheet
Date	<b>E2.7</b>
Scale	

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / Co DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL PROVIDE UPPER GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN WIRE SWITCH/LIGHT SEPARATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPTER OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPTER OUTLET WEATHERPROOF TYPE.		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3-WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET (EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC Art. 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC Art 210-52(g) REQUIREMENTS.

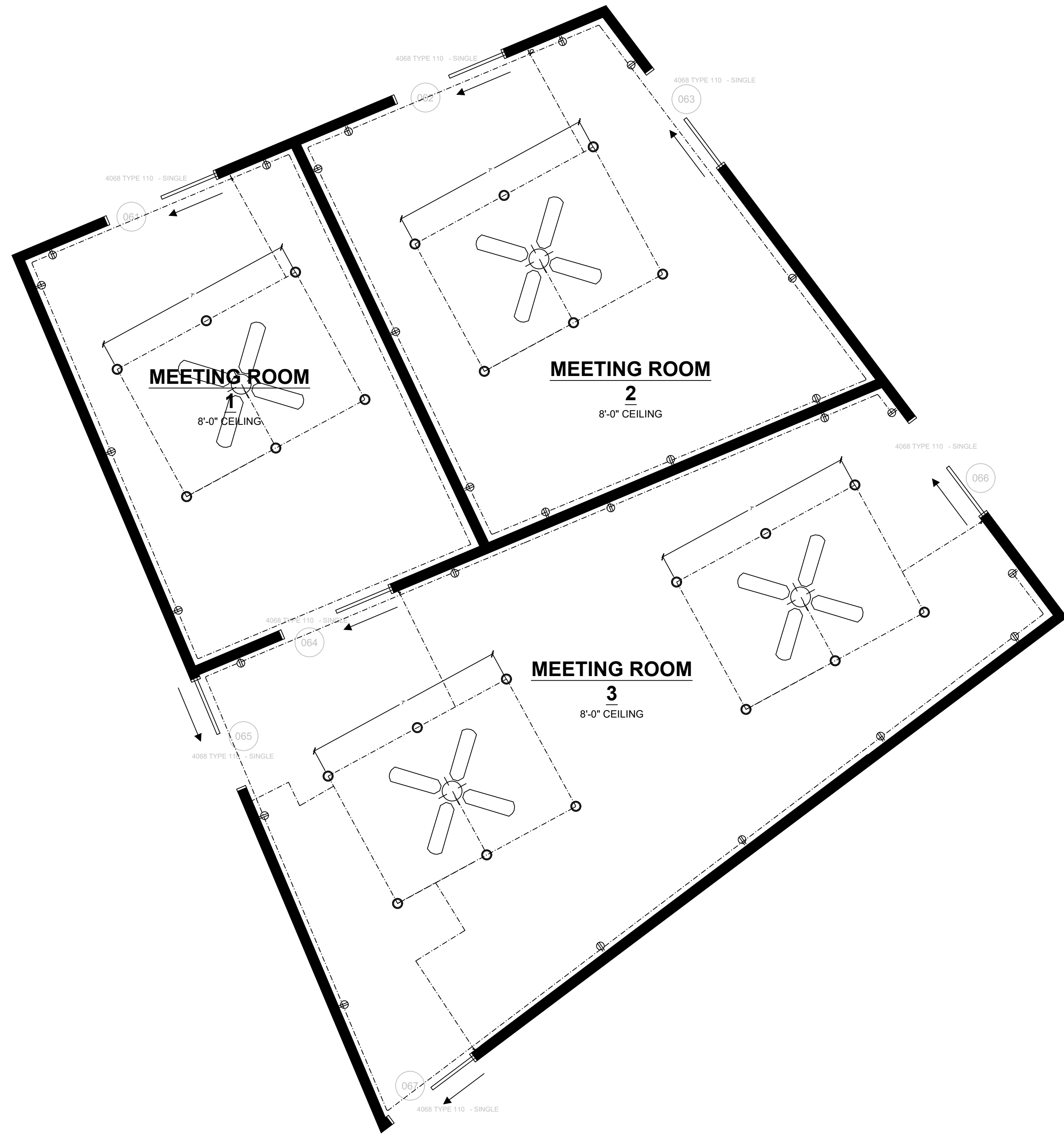
HALLWAYS GREATER THAN 10' IN LENGTH REQUIRE AT LEAST ONE RECEPTACLE OUTLET PER NEC Art. 210-52(h).

PROVIDE GROUND FAULT CIRCUIT INTERRUPTERS PER NEC Art. 210-8. ALL 125-V, SINGLE PHASE, 15-20 AMP. RECEPTACLES SHALL BE INSTALLED AT ALL LOCATIONS PER REQUIREMENTS.

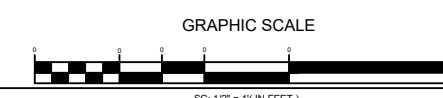
SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. ALL NEW SMOKE DETECTORS ADDED AT EXISTING CONSTRUCTION NEED ONLY BE BATTERY POWERED. SECTION 310.9.2.

PROVIDE GENERAL FLUORESCENT LIGHT FIXTURES IN KITCHENS AND BATHROOMS. MINIMUM 40 LUMENS PER WATT.

RECEPTACLE OUTLETS ON COUNTERTOPS SHALL BE INSTALLED AT 24" O.C. MAX. PER NEC Art 210-52(c) REQUIREMENTS



**PROPOSED MEETING ROOMS - ELECTRICAL PLANS**



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

SHEET TITLE		
ELECTRICAL PLAN		
	CLIENT REVIEW	6/30/2022
	APP.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revision/Issue	Date

**ADVANCED DEVELOPMENT**  
 RESIDENTIAL COMMERCIAL INDUSTRIAL

7877 GRAND AVE SUITE 106  
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 (951) 367-9083  
 EMAIL: INFO@ADVANCEDDEVELOPMENT.NET  
 WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

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Project	Sheet
Date	<b>E2.8</b>
6/2022	
Scale	

**ELECTRICAL LEGEND**

	LED WALL FIXTURE (7W MAX BULB)		LED EXTERIOR WALL FIXTURE WITH MANUAL ON - AUTO OFF/MOTION DETECTOR & PHOTOCELL CONTROL
	DECORATIVE SURFACE CEILING FIXTURE		HARDWIRED SMOKE / CO DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	RECESSED LED CEILING FIXTURE (7W MAX BULB)		HARDWIRED SMOKE DETECTOR INTERCONNECTED SO AN ALARM AT ONE IS AUDIBLE AT ALL
	CEILING MOUNTED JUNCTION BOX		200 AMP ELEC. METER AND SERV. PANEL. PROVIDE UPPER GROUND ROD. MAIN ELECTRIC SERVICE SHALL BE UNDERGROUND.
	LED LIGHT/FAN COMBO. (SEE NOTES AT EXHAUST FAN SYMBOL BELOW)		AIR CONDITIONING COMPRESSOR/CONDENSER
	THERMOSTAT		CEILING MOUNTED LIGHT/FAN. WIRE SWITCH/LIGHT SEPERATELY. DIMMER SWITCH WIRED TO LIGHT. (MOUNTED ON JUNCTION BOX)
	PHONE JACK		DEDICATED CIRCUIT (20 AMPS)
	TELEVISION CABLE OUTLET		PUSH BUTTON
	120 VOLT DUPLEX OUTLET		AUTO-OFF MOTION SENSOR SWITCH (SEE NOTES BELOW)
	UNDERCOUNTER/UNDER-SHELF 120 VOLT DUPLEX OUTLET		SINGLE POLE SWITCH
	120 VOLT SINGLE FLOOR OUTLET		DIMMER SWITCH
	120 VOLT CEILING OUTLET		SINGLE POLE 3-WAY SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET		SINGLE POLE 4-WAY SWITCH
	240 VOLT OUTLET		3-WAY DIMMER SWITCH
	UNDERCOUNTER OR SHELF 120 VOLT GROUND FAULT CIRCUIT INTERRUPT DUPLEX OUTLET		4-WAY DIMMER SWITCH
	120 VOLT DUPLEX GROUND FAULT CIRCUIT INTERRUPT OUTLET WEATHERPROOF TYPE		240 VOLT NEMA 3R FUSED DISCONNECT FOR AIR CONDITIONING CONDENSER
	120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		DOORBELL CHIMES
	1/2 HOT 120 VOLT DUPLEX OUTLET (ARC FAULT INTERRUPT)		EXHAUST FAN TO OUTSIDE AIR SHALL PROVIDE A MIN. OF 5-AIR CHANGES PER HOUR
	1/2 HOT 120V CONVENIENCE OUTLET		GROUND FAULT INTERRUPTED CIRCUIT
	3-WAY DIMMER SWITCH		HIGH SPEED DATA LINE
	SWITCHABLE RECEPTACLE		FLOOR MOUNTED TEL. JACK
	DIMMER SWITCH		THERMOSTAT CONTROL
	SURFACE LIGHTING OUTLET (CEILING)		DUPLEX OUTLET RECESSED INTO WALL
	SURFACE LIGHTING OUTLET (WALL)		FLOOR MOUNTED OUTLET
	DOWN LIGHTING FIXTURE		FLOOR MOUNTED OUTLET
	POWER TRACK AND HEADS		DOORBELL
	DOOR CHIME		WATERPROOF OUTLET (EXTERIOR)
	EXHAUST FAN		2' TWO LAMP (F40) DECORATIVE FLUORESCENT
	FAN/LIGHT COMBINATION		4' TWO LAMP (F40) FLUORESCENT FIXTURE
	HEAT LAMP		6' TANDEM (2 EA. F40 4' LAMPS END TO END)
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		8' TANDEM (2 EA. F40 4' LAMPS END TO END)
	TV OUTLET		LOW PROFILE UNDERCABINET FLUORESCENT FIXTURE
	PHONE OUTLET		

ALL NEW BATHROOM RECEPTACLE OUTLETS SHALL BE ISOLATED AND SERVED BY A MINIMUM OF 20 AMP. BRANCH CIRCUIT. PER NEC ART 210-52(D).

ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH NEC ART 210-52(G) REQUIREMENTS.

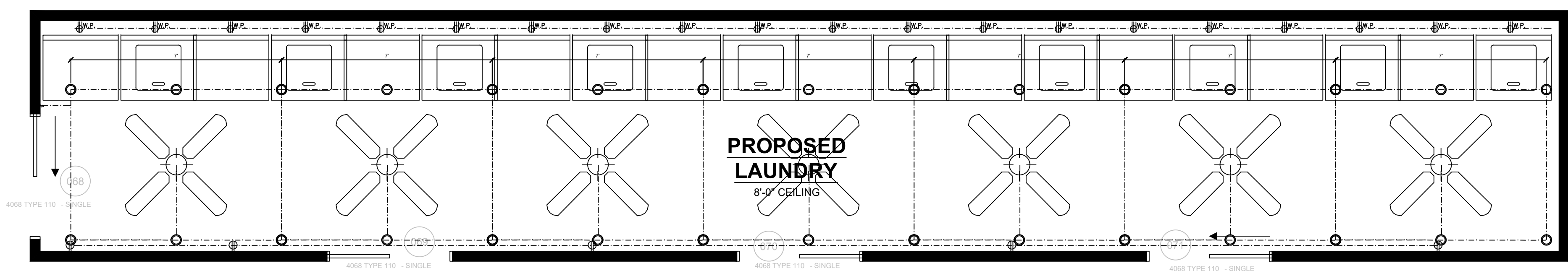
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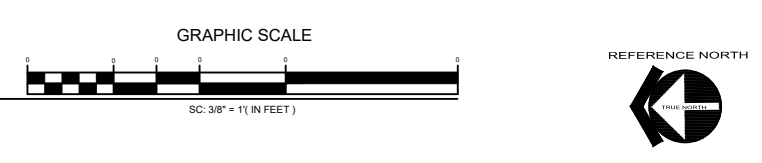
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**PROPOSED LAUNDRY - ELECTRICAL PLANS**



UTILITY PLAN NOTES

LIGHTING PLAN NOTES

SOLAR READY KEY NOTES

**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

SHEET TITLE		
<b>ELECTRICAL PLAN</b>		
	CLIENT REVIEW	6/30/2022
	APP.	
	PLAN CHECK	
	CORRECTIONS	
	PERMIT	
No.	Revisions/Issue	Date

**ADVANCED DEVELOPMENT**  
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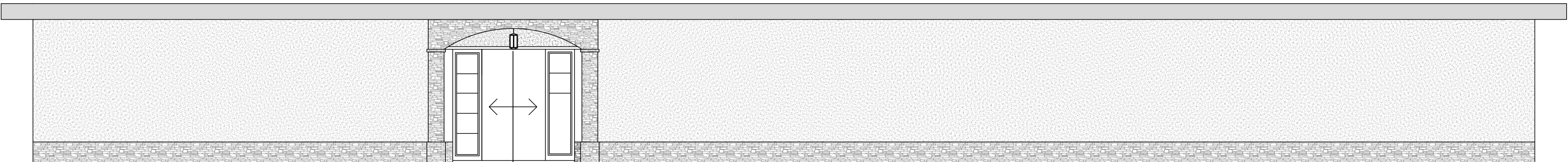
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Date	<b>E2.9</b>
Scale	

ELEVATION KEY NOTES

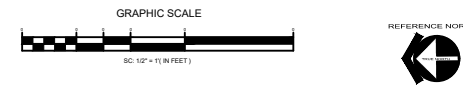
WILDFIRE ZONE PLAN NOTES



**SOUTH OFFICE ELEVATION**



**MAIN RESIDENCE SOUTH ELEVATION**



Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**ELEVATIONS**

No.	Revisor/Issue	Date
1	CLIENT REVIEW	6/30/2022
2	APP.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		

**ADVANCED DEVELOPMENT**  
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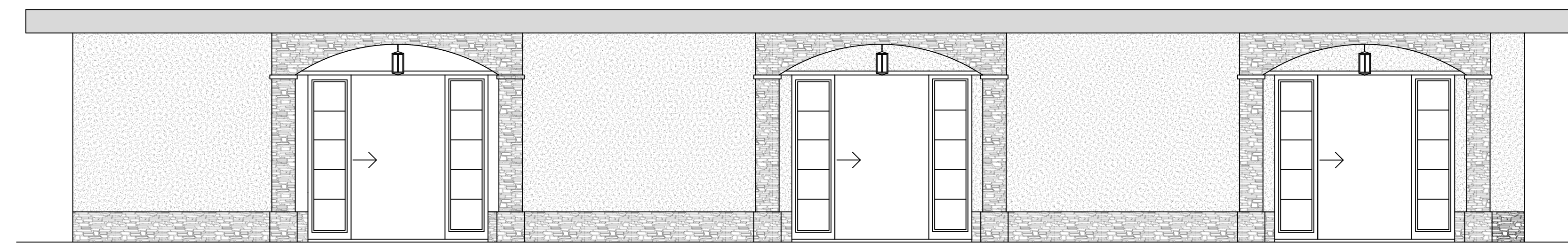


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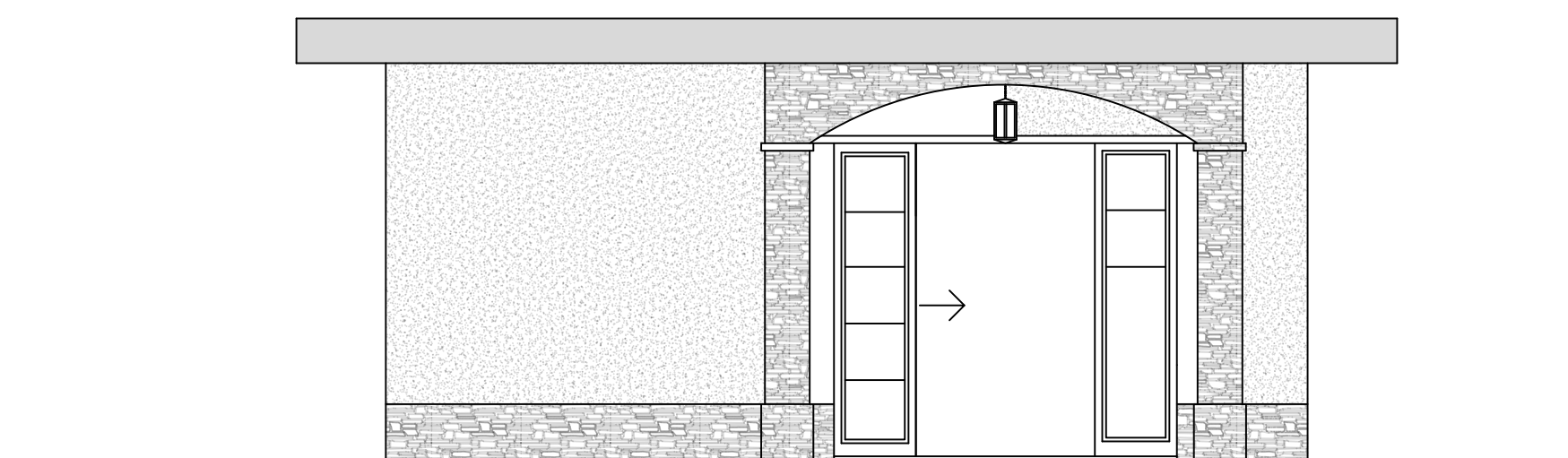
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Date 6/2022	<b>A3</b>
Scale	

ELEVATION KEY NOTES

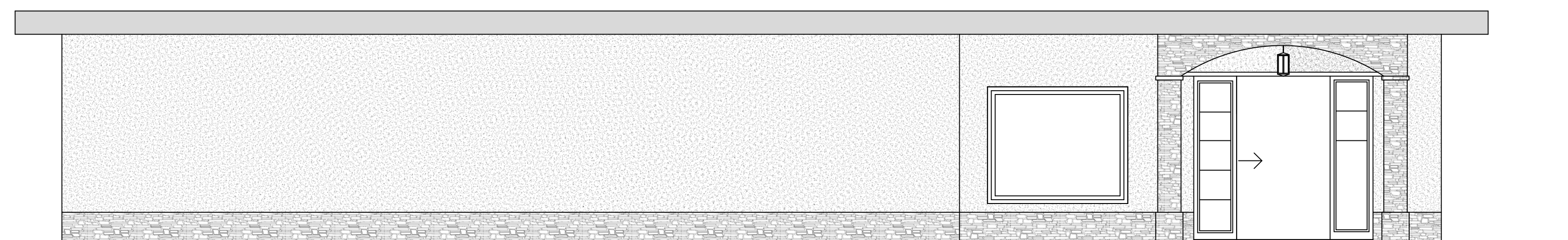
WILDFIRE ZONE PLAN NOTES



**UNITS EAST ELEVATION**



**SINGLE UNIT EAST UNIT ELEVATION**



**EAST UNIT ELEVATION**

**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
LAKESIDE, CA 92040  
(APN): 382-140-02**

Project Name and Address

**ELEVATIONS**

CLIENT REVIEW	6/30/2022
APP.	
PLAN CHECK	
CORRECTIONS	
PERMIT	

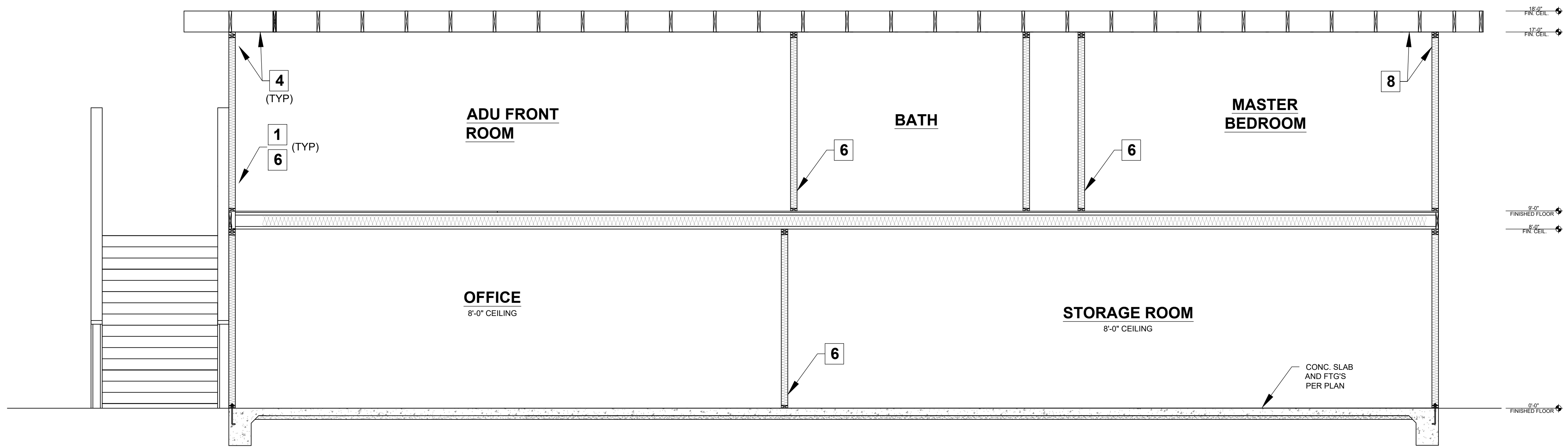
No.	Revisions/Issue	Date

**ADVANCED DEVELOPMENT**  
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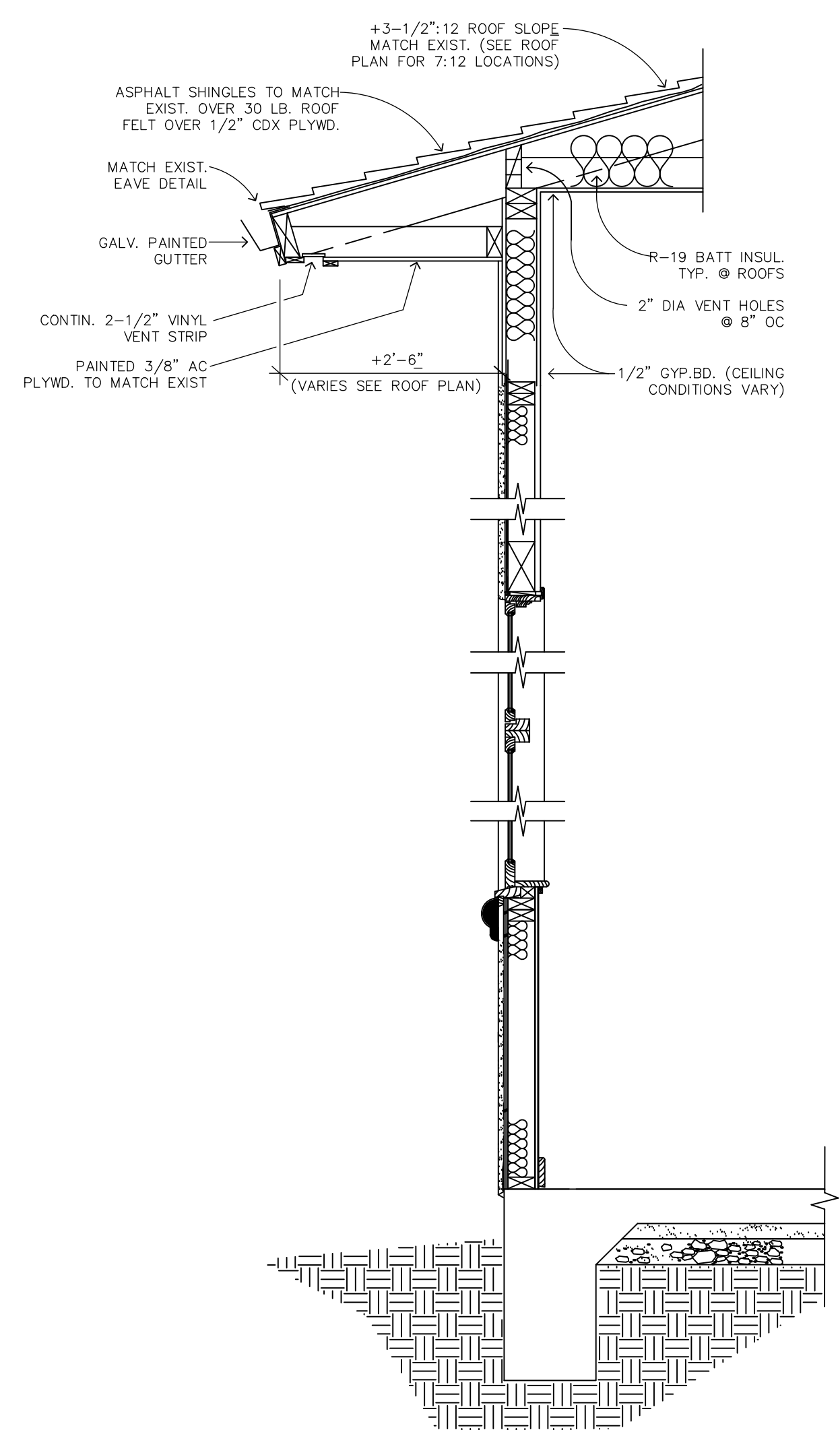
7877 EMERALD AVE SUITE 1106  
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WEBSITE: WWW.ADVANCEDDEVELOPMENT.NET

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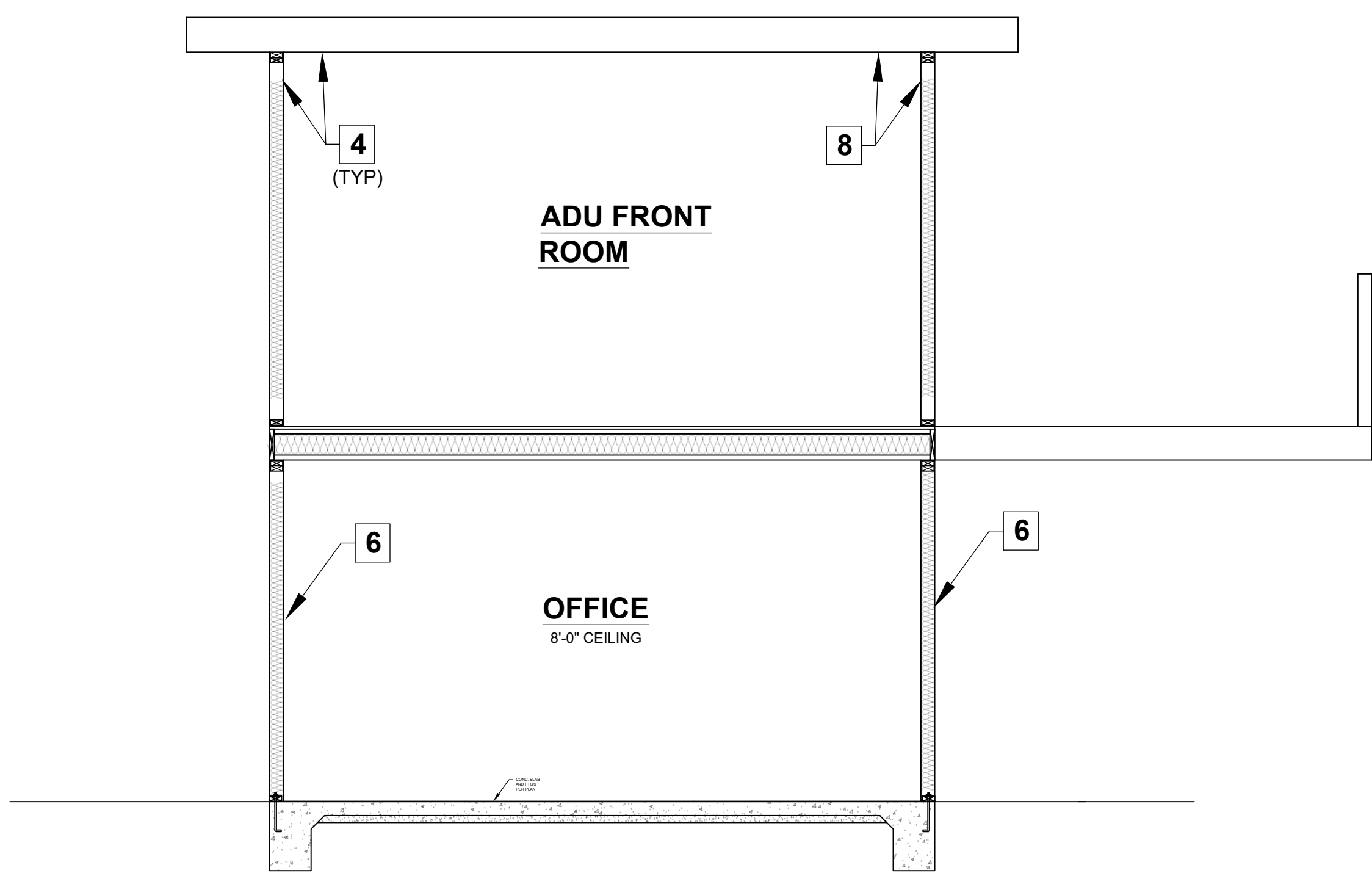
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Date 6/2022	<b>A3</b>
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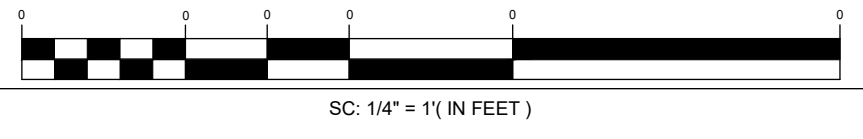
**OFFICE SECTION A-A**



**TYPICAL WALL SECTION**  
**SECTIONS**



**OFFICE SECTION B-B**



**SECTION KEY NOTES**

R-19	
R-19	
R-19	

Project Name and Address  
**PROPOSED SB9 RCF  
 ADDITIONAL RESIDENCES  
 9308 EMERALD GROVE AVE  
 LAKESIDE, CA 92040  
 (APN): 382-140-02**

**SECTIONS**

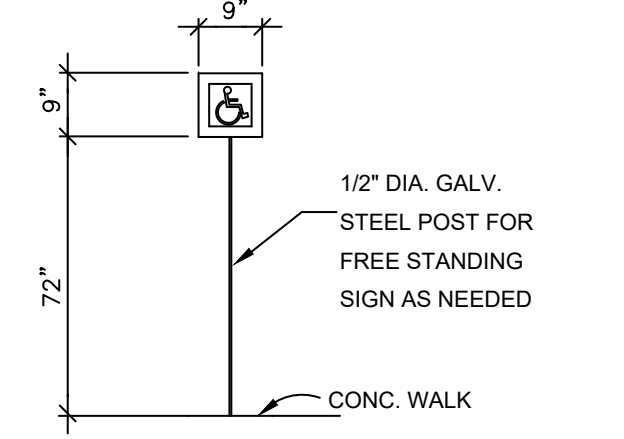
No.	Revision/Issue	Date
1	CLIENT REVIEW	6/30/2022
2	A.A.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		

**ADVANCED DEVELOPMENT**  
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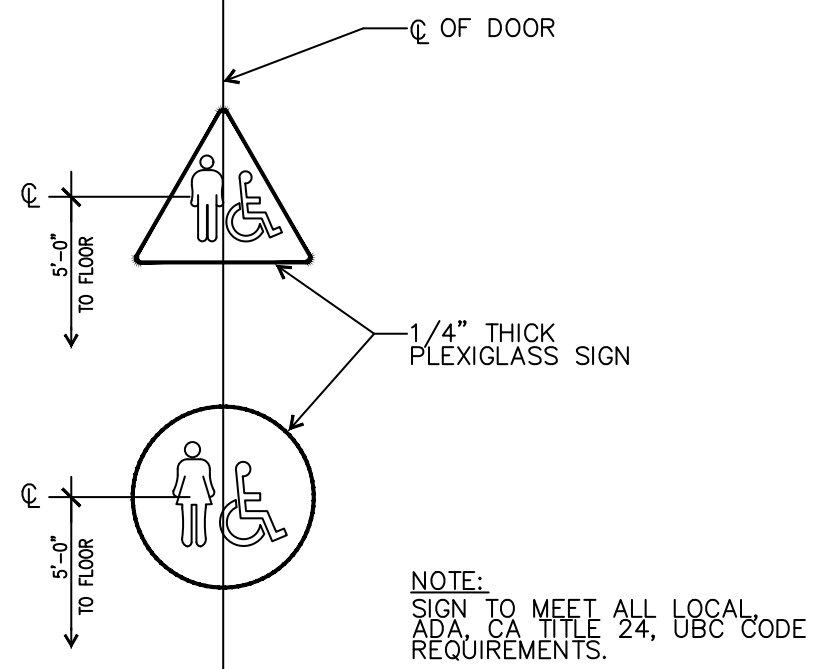
7877 EMERALD AVE SUITE 1106  
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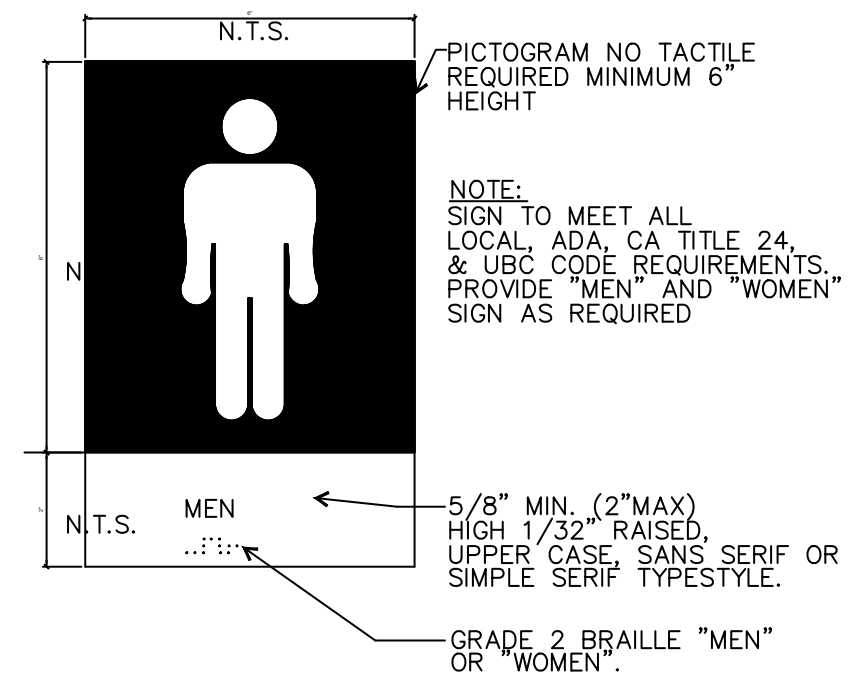
Project	Sheet
Date 6/2022	<b>A6</b>
Scale	



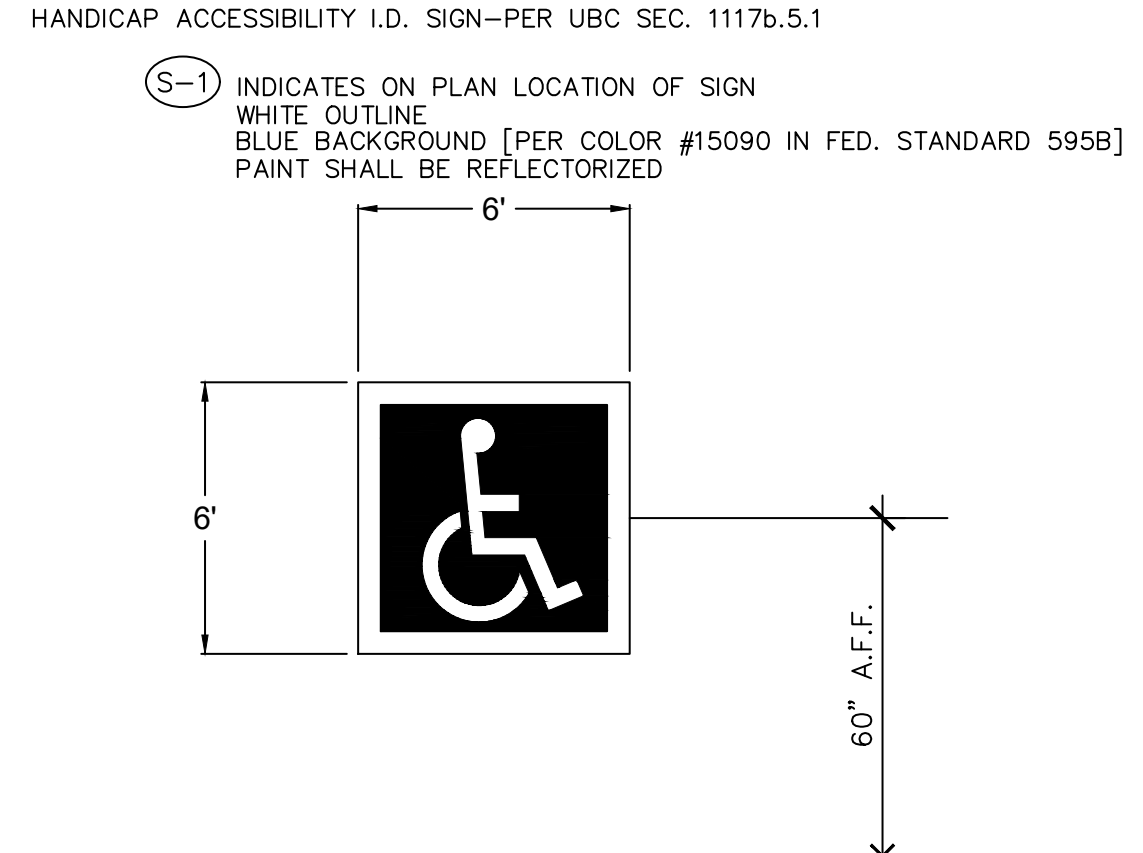
XX WALL MOUNTING DETAIL N.T.S.



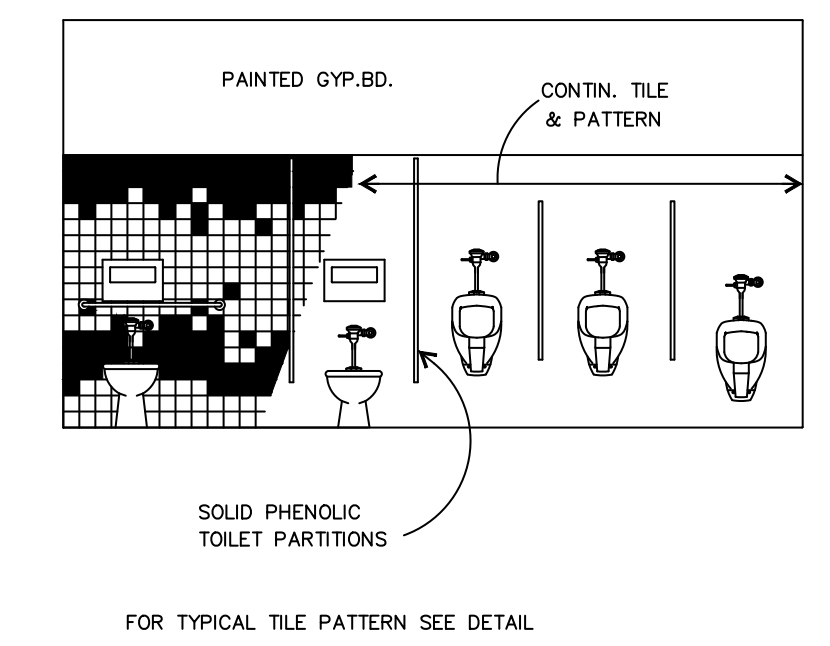
XX PUBLIC RESTROOM DOOR SIGNS N.T.S.



XX TOILET SIGN DETAIL N.T.S.

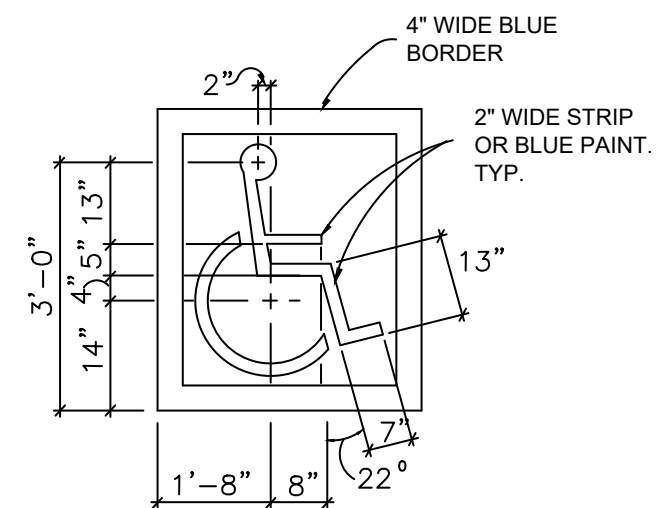


XX HANDICAP ACCESSIBILITY SIGN N.T.S.

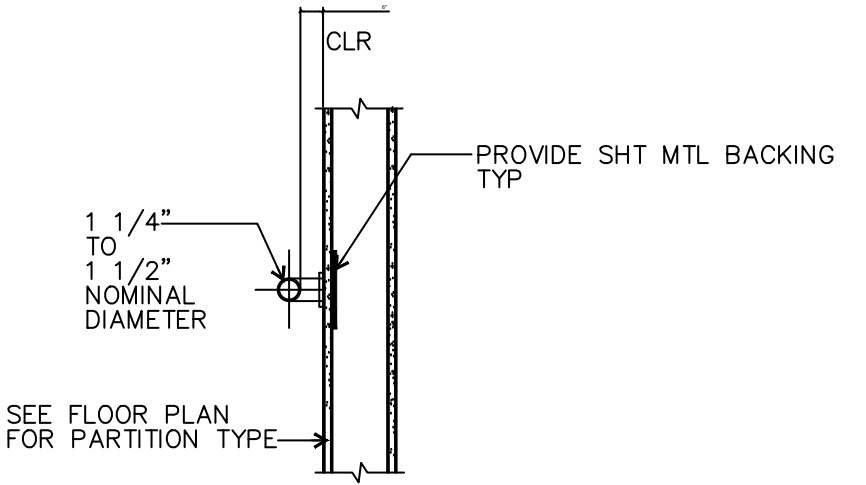


XX MEN'S TOILET N.T.S.

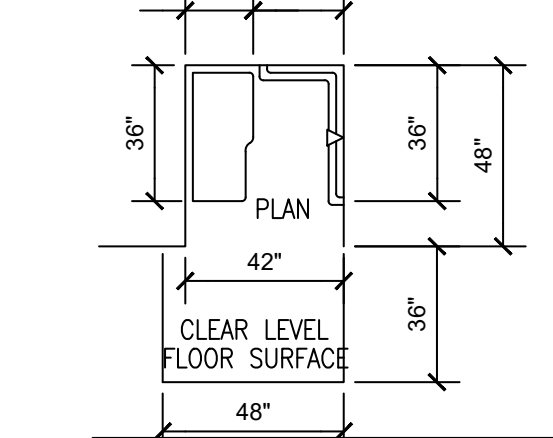
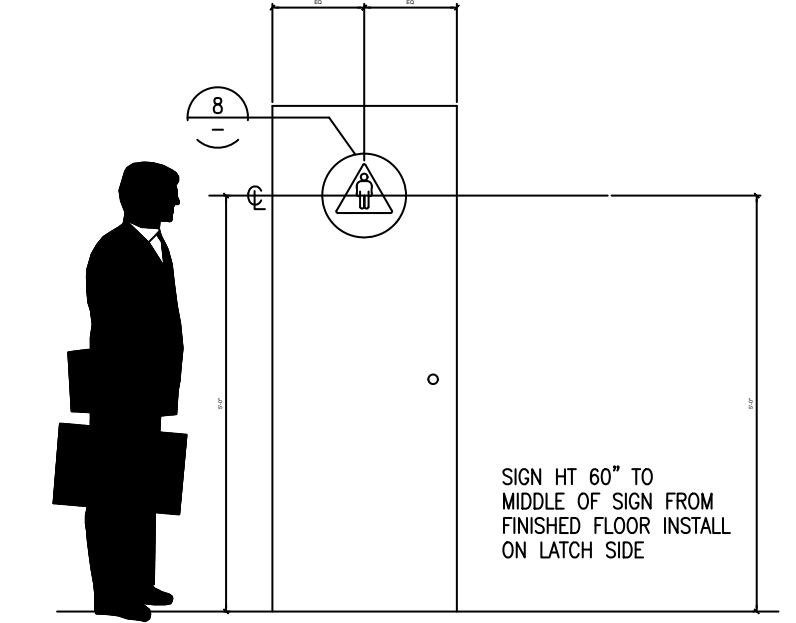
XX PARKING SURFACE SYMBOL N.T.S.



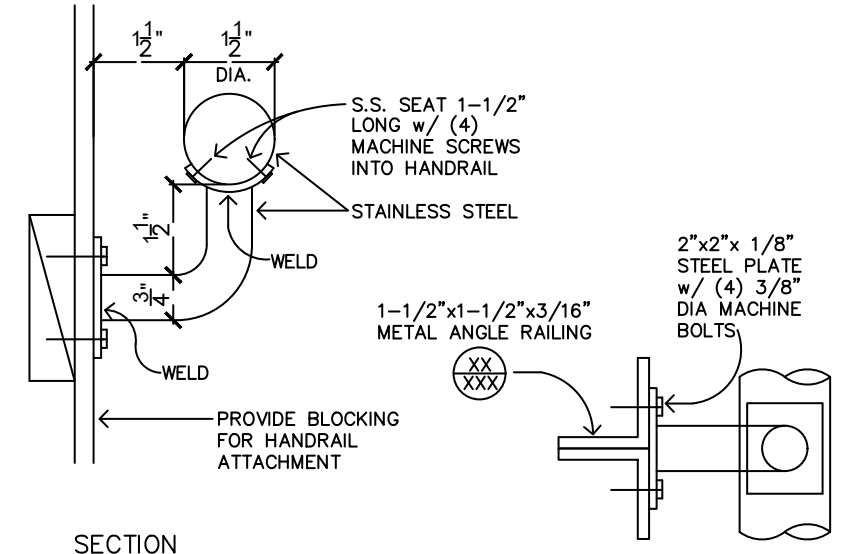
XX SECTION THRU TYP. GRAB BAR N.T.S.



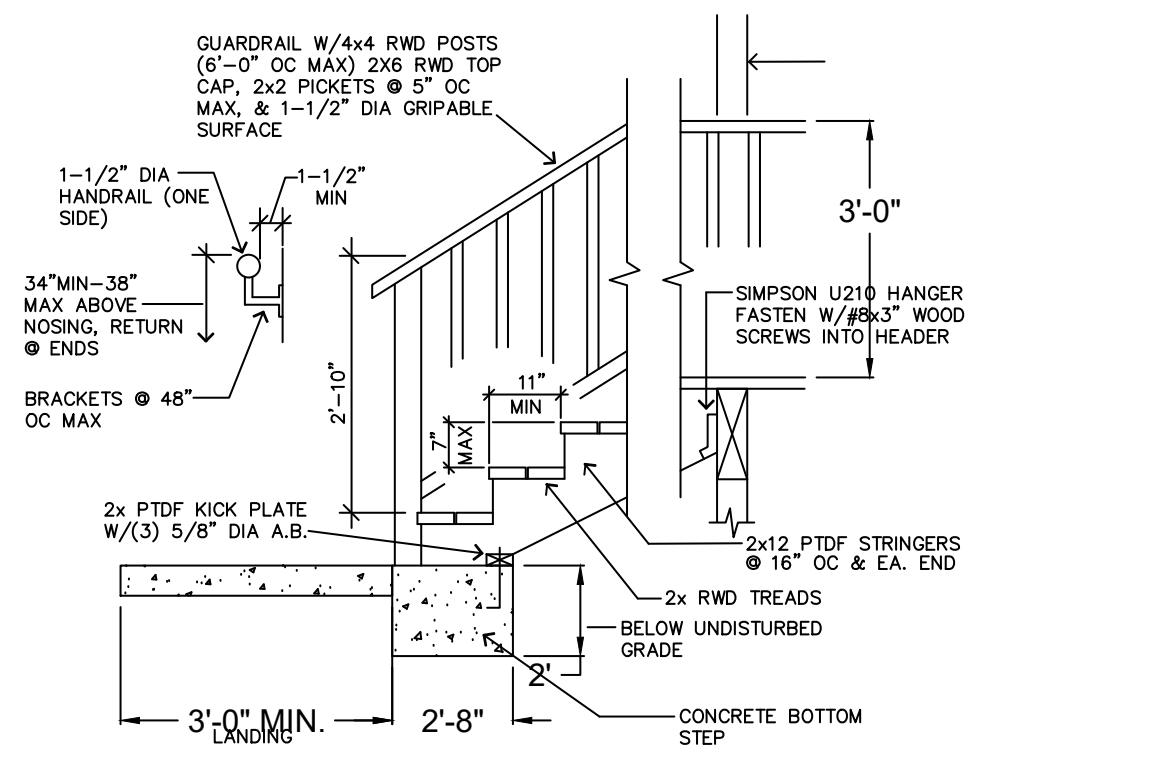
XX ACCESSIBILITY SIGN DETAIL N.T.S.



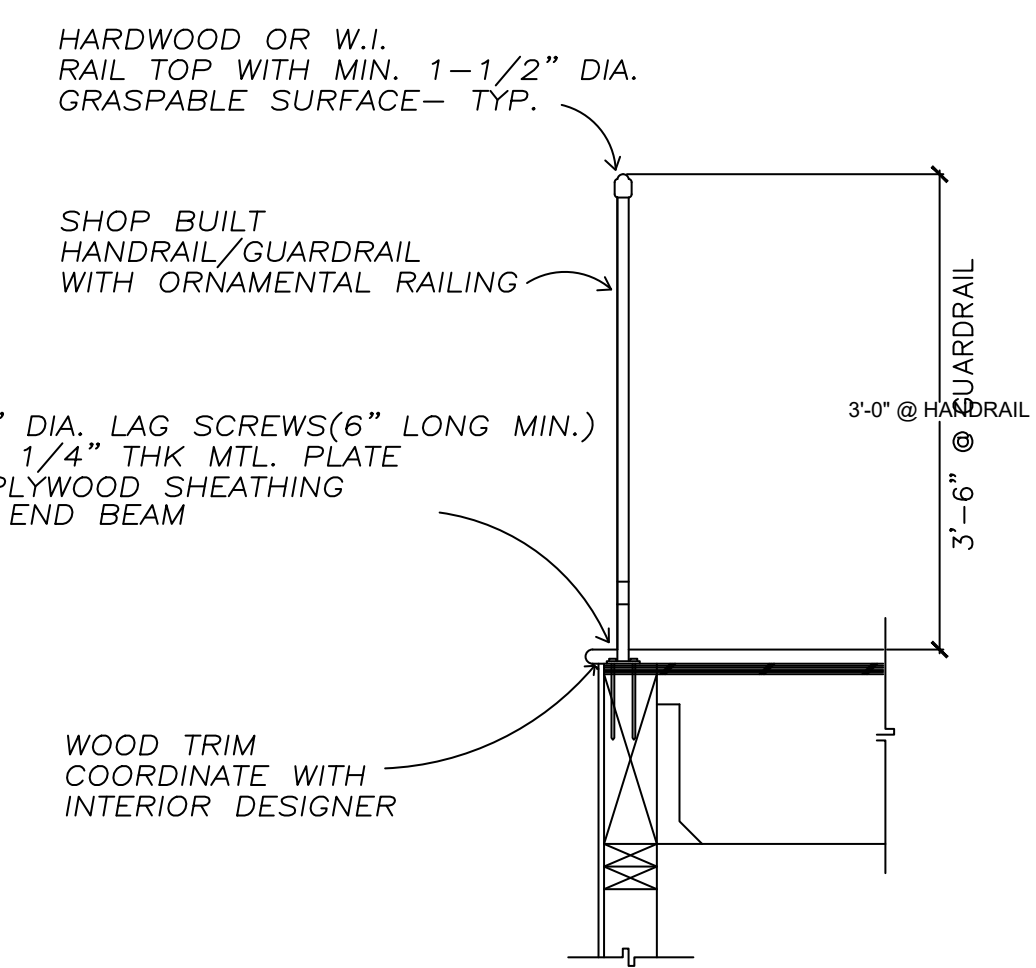
XX HANDRAIL DETAILS N.T.S.



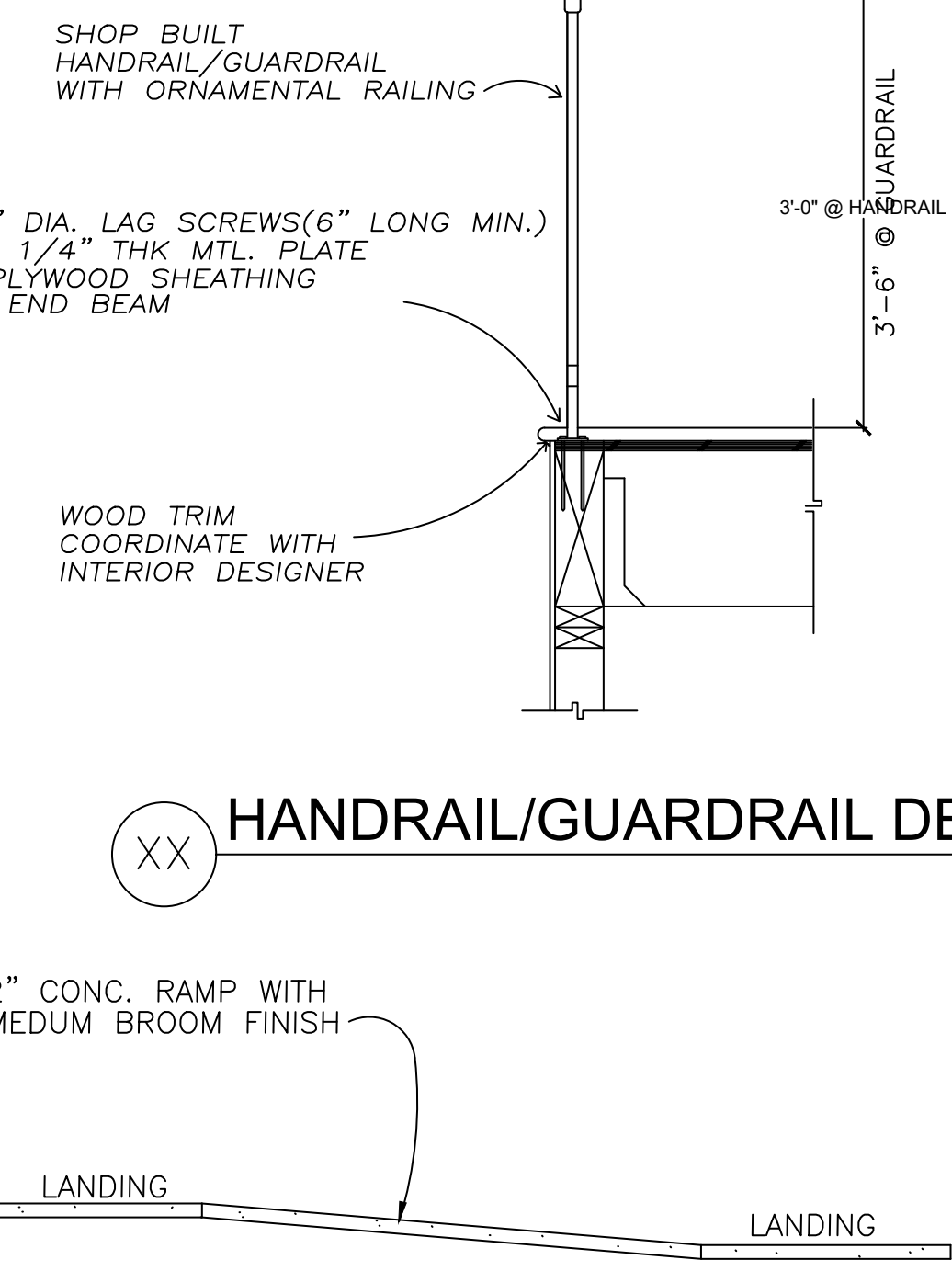
XX STAIR DETAIL N.T.S.



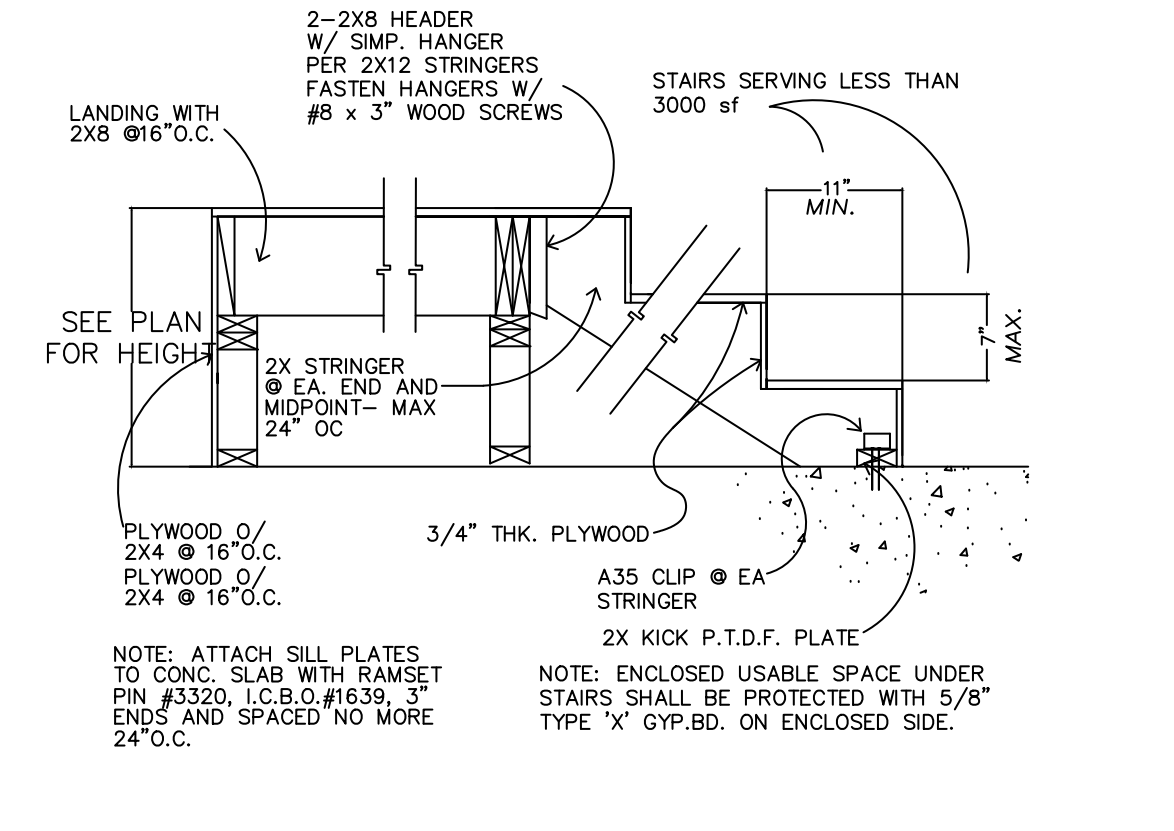
XX TYPICAL RESTROOM FLOOR PLAN SC: 1/2"=1'-0"



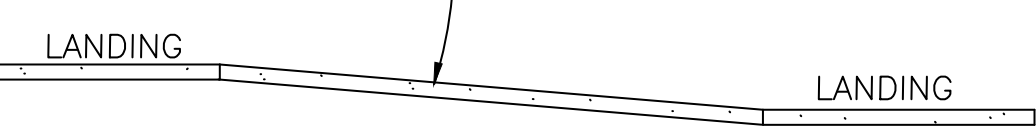
XX HANDRAIL/GUARDRAIL DETAIL N.T.S.



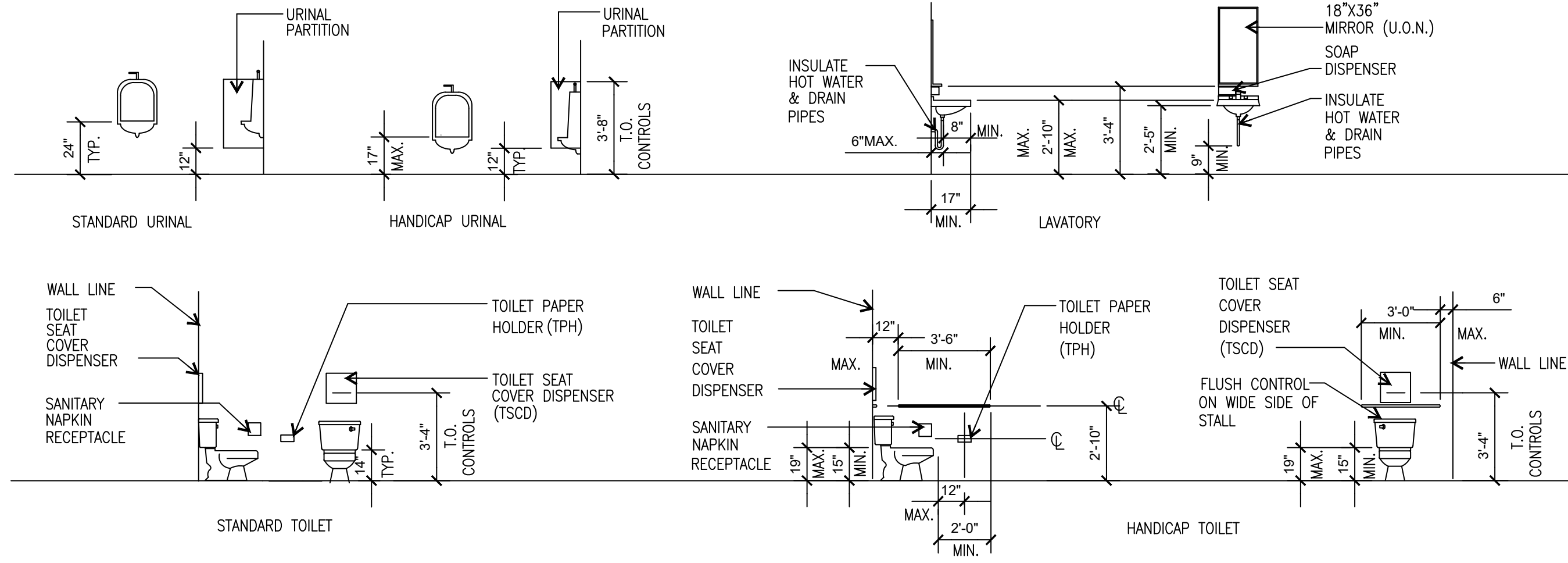
XX STAIR AND LANDING DETAIL N.T.S.



XX TYP. ACCESS RAMP N.T.S.



XX MOUNTING HEIGHTS FOR BATHROOM ACCESSORIES N.T.S.



**PROPOSED SB9 RCF  
ADDITIONAL RESIDENCES  
9308 EMERALD GROVE AVE  
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**STRUCTURAL COVER SHEET**

NO.	REVISION/ISSUE	DATE
1	CLIENT REVIEW	6/30/2022
2	A.R.	
3	PLAN CHECK	
4	CORRECTIONS	
5	PERMIT	
6		
7		
8		

**ADVANCED DEVELOPMENT**  
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Project	Sheet
Date	6/2022
Scale	<b>SCO</b>