

TOWN OF ORROCK
REGULAR MONTHLY Meeting
Wednesday, July 23, 2025 7:00PM

1. CALL MEETING TO ORDER AND PLEDGE OF ALLEGIANCE

2. APPROVAL OF JUNE MEETING AGENDA

3. APPROVE CONSENT AGENDA

The Consent Agenda groups routine meeting discussion points and normal business decisions into a single agenda item. In so doing, the grouped items can be approved in one action, rather than through the filing of multiple motions. For both Consent and Regular Agenda items, the same legal, financial, and policy evaluations are conducted and reported to the Town Board. Any Board Supervisor can request an item be removed from the Consent Agenda and presented individually for consideration by the Town Board.

Review or approval of Treasurer's Reports:

- A. Routine Claims – Approve
- B. Payroll – July 2025 – Approve
- C. Additional Claims - Approve

4. SHERIFF'S REPORT

Sergeant Alex Dehn

- Deputy Access Discussion

5. OPEN FORUM

Business presentations during open forum will be limited to 3 minutes per person. The Board reserves the right to defer any action on business presented, during open forum. State your full name and address, for the record. Keep everything in statement form. Questions may be submitted in writing for future Board consideration. Once your time is up, any further interaction will be initiated by the Board.

6. APPROVAL OF MEETING MINUTES

June Monthly Meeting

July Special Meeting

7. REGULAR BUSINESS

- A. 2024 Audit Presentation – Schlenner Wenner – Discuss/Approve
- B. Variance Request – Discuss/Action
- C. IT Update
- D. LBRP & LRIP Funding Available - Information

8. EAISEMENTS

- A. Golden Oaks Estates

Disclaimer: The agenda has been prepared to provide information regarding an upcoming meeting of the Orrock Town Board of Supervisors. This document does not claim to be complete and is subject to change.

This meeting is being recorded, for the sole purpose of aiding the township's Clerk with transcription of the official minutes.

TOWN OF ORROCK
REGULAR MONTHLY Meeting
Wednesday, July 23, 2025 7:00PM

- B. Easement on 16376 230th Ave NW
 - C. Easement for drainage use on 233rd Ave NW
 - D. Greenways
9. A. Tree Trimming Update
B. Pothole Patching Update
C. West Eagle Lake Road Improvement Update
10. **BOARD BUSINESS/UPDATES – COMMITTEE REPORTS**
- A. Adams
 - B. Ellinger
 - C. Felber
 - D. Owen
 - E. Keiderling
11. **TREASURER BUSINESS**
- A. Cash Control Statement and Investment Update - Approve
 - B. Treasurer's Report - Approve
 - C. Report of June Sherburne State Bank Securities Pledge Validation - Review
12. **ANNOUNCEMENTS**
- A. August Board Meeting – Wednesday, August 27th @ 7PM
 - B. SWCD Tour Conservation Practices – August 28th – 8:30AM to 2:00PM Register online at sherburneswcd.org
 - C. A special thank you to Chris Weber for donating the framed photo of the Town Hall.
13. **ADJOURNMENT**

Disclaimer: The agenda has been prepared to provide information regarding an upcoming meeting of the Orrock Town Board of Supervisors. This document does not claim to be complete and is subject to change.

This meeting is being recorded, for the sole purpose of aiding the township's Clerk with transcription of the official minutes.



Sherburne County Sheriff
13880 Business Center Dr
Elk River MN 55330
Ph: (763) 765-3500
Fax: (763) 765-3500

CAD Summary Report - ORROCK TOWNSHIP JUNE 2024

Printed On: 07/01/24 14:36

Sherburne County Sheriff

	06/24	Total
90600 THEFT	3	3
91450 DWI	2	2
91650 HARASSMENT	1	1
9201 DAR/DAS/DAC	1	1
92700 TRESPASS	2	2
9302 ANIMAL LOST	1	1
9312 ANIMAL FOUND	1	1
9313 PROPERTY FOUND	4	4
9462 ACCIDENT-VEHICLE VS ANIMA	2	2
9561 CONSERVATION	2	2
9562 DOG COMPLAINT	1	1
9563 DOG BITE	1	1
9612 ALARM-CARBON MONOXIDE	2	2
9730 MEDICAL	5	5
9800 MISCELLANEOUS PUBLIC	1	1
9801 DOMESTIC	1	1
9802 PUBLIC ASSIST	8	8
9803 AGENCY ASSIST	1	1
9804 ALARM-SECURITY	1	1
9805 CIVIL COMPLAINT	4	4
9807 TRAFFIC STOP	79	79
9808 TRAFFIC COMPLAINT	4	4
9810 GARBAGE/LITTERING	2	2
9811 SUSPICIOUS PERSON	1	1
9812 SUSPICIOUS VEHICLE	2	2
9814 ATTEMPT TO LOCATE	1	1
9817 SECURITY CHECK	14	14
9818 EXTRA PATROL	21	21
9823 CHECK THE WELFARE	4	4
9826 ATV COMPLAINT	4	4
9827 SHOOTING COMPLAINT	1	1
9829 FIREWORKS COMPLAINT	1	1
9850 PAPER SERVICE	3	3
9853 SUSPICIOUS ACTIVITY	3	3
9863 HAZARDOUS ROAD	3	3
9900 MISCELLANEOUS OFFICER	3	3



Sherburne County Sheriff
13880 Business Center Dr
Elk River MN 55330
Ph: (763) 765-3500
Fax: (763) 765-3500

CAD Summary Report - ORROCK TOWNSHIP JUNE 2024

Printed On: 07/01/24 14:36

9904 WARRANT ARREST	2	2
9937 911 HANG UP	1	1
VEHICLE LOCKOUT	1	1
Vehicle Tampering	1	1
WARRANT ATTEMPT	2	2
Total	197	197



Sherburne County Sheriff
13880 Business Center Dr
Elk River MN 55330
Ph: (763) 765-3500

CAD Summary Report - Orrock Township June 2025

Printed On: 07/01/25 14:07

Sherburne County Sheriff

	06/25	Total
90600 THEFT	2	2
90900 ASSAULT	1	1
91450 DWI	1	1
91600 DISTURBING THE PEACE	1	1
91650 HARASSMENT	4	4
9201 DAR/DAS/DAC	1	1
92200 CRIMES AGAINST ADMIN JUS	1	1
92750 FRAUD COMPLAINT	1	1
9462 ACCIDENT-VEHICLE VS ANIMA	4	4
9561 CONSERVATION	1	1
9562 DOG COMPLAINT	2	2
9563 DOG BITE	1	1
9600 FIRE-OTHER	1	1
9609 ALARM-FIRE	1	1
9720 DEATH	3	3
9730 MEDICAL	6	6
9740 MENTAL CASE	1	1
9801 DOMESTIC	1	1
9802 PUBLIC ASSIST	2	2
9803 AGENCY ASSIST	1	1
9804 ALARM-SECURITY	3	3
9805 CIVIL COMPLAINT	7	7
9807 TRAFFIC STOP	35	35
9808 TRAFFIC COMPLAINT	4	4
9810 GARBAGE/LITTERING	2	2
9811 SUSPICIOUS PERSON	3	3
9812 SUSPICIOUS VEHICLE	2	2
9813 JUVENILE COMPLAINT	2	2
9817 SECURITY CHECK	13	13
9818 EXTRA PATROL	19	19
9821 DELIVER MESSAGE	1	1
9823 CHECK THE WELFARE	1	1
9826 ATV COMPLAINT	1	1
9827 SHOOTING COMPLAINT	2	2
9829 FIREWORKS COMPLAINT	1	1



Sherburne County Sheriff
13880 Business Center Dr
Elk River MN 55330
Ph: (763) 765-3500

CAD Summary Report - Orrock Township June 2025

Printed On: 07/01/25 14:07

9850 PAPER SERVICE	7	7
9853 SUSPICIOUS ACTIVITY	3	3
9862 DOWN SIGNS	1	1
9863 HAZARDOUS ROAD	1	1
9900 MISCELLANEOUS OFFICER	2	2
9904 WARRANT ARREST	1	1
9937 911 HANG UP	3	3
COV	1	1
Park Patrol	2	2
Vehicle Off Road	1	1
Total	154	154



Regular Monthly Meeting
Wednesday, June 25, 2025, 7:00PM

The Orrock Township Board met in regular session, on Wednesday, June 25th, 2025 at Orrock Town Hall, 26401 180th Street NW, Big Lake, MN.

In attendance were Chair Anne Felber, Supervisors: Paul Ellinger, Bryan Adams, Dalton Keiderling and Peter Owen, Treasurer Kellie McConville and Clerk Shelley Erickson. Also, in attendance were Sergeant Alex Dehn, Darryl Waletzko, 6 members of the audience and the Patriot News.

A quorum was present and the meeting was called to order by Chair Anne Felber at 7:00 PM.

Call Meeting To Order And Pledge Of Allegiance

Chair Anne Felber called the meeting to order. The Pledge of Allegiance was recited.

Approval Of June Meeting Agenda

Chair Felber asked if there were any changes to the agenda. Hearing none, she requested a motion to approve.

Motion to approve the June meeting agenda made by Bryan Adams, seconded by Dalton Keiderling. Motion carried unanimously.

Approve Consent Agenda

Paul Ellinger requested to pull items A and B from the consent agenda and move them to item 10 under Treasurer's Business. No motion needed for this change.

Sheriff's Report

Sergeant Alex Dehn provided the Sheriff's Report for May. He reported 162 calls for service, consistent with last year but an increase from the previous month due to warmer weather. Notable incidents included:

- A lost hiker in the sand dunes who was located and assisted
- A burning complaint where someone was burning without a permit, resulting in a warning
- Multiple calls related to a vulnerable adult who resides outside of the county who repeatedly takes Uber rides to random locations within Sherburne County. Then becomes disorientated as per her location
- Several parking complaints at Eagle Lake Landing

Sgt. Dehn discussed ongoing work with the DNR to address the Eagle Lake Landing parking issues.

The board discussed providing building access for deputies. Sgt. Dehn explained that some townships allow access for deputies to use facilities, complete paperwork, etc. The board agreed to look into providing card access for deputies to the township building.

Motion made by Chair Felber to research and authorize, if possible, providing Sherburne County Sheriff's Office deputies access to the township building after hours through a shared key card system. Seconded by Dalton Keiderling. Motion carried unanimously.

Open Forum

Shane Ware spoke regarding an encroachment issue discovered during a title search on property he is purchasing. He requested removal of an outdated drainage easement that is impacting the property.

Rick Wagner inquired about road easement maintenance responsibilities and allowable uses. He noted erosion issues affecting his property.

Approval Of Meeting Minutes

Motion to approve the May monthly meeting minutes made by Paul Ellinger, seconded by Peter Owen. Motion carried unanimously.

Regular Business

State Demographer 2023 Population And Building Estimates – Information

Clerk Shelley Erickson noted there was a population difference of 928 in the estimates. The board agreed this was for informational purposes only and did not require action.

Landscape – Information

Clerk Shelley Erickson provided an update on recent landscaping work done at the township property. Many toxic weeds were cleared except for a small area in the back. Darryl Waletzko agreed to weed whip the remaining white flowers to prevent seeding.

MATIT Insurance Renewal And Coverages – Discuss/Action

The board reviewed the insurance renewal from MATIT.

Motion made by Bryan Adams to approve renewing the MATIT insurance policy for \$4,798. Seconded by Peter Owen. Motion carried unanimously.

IT Discussion – Discuss/Action

Clerk Erickson provided an update on IT work completed and still needed. The board discussed purchasing iPads for board members to use for township business. There was debate about the cost versus benefits.

Motion made by Chair Felber to spend up to \$6,000 to purchase devices, set them up, and finish the work list from DATASuccess to bring township laptops up to speed. Seconded by Dalton Keiderling. Motion carried unanimously.

Tree Trimming – Discuss/Action

Road Supervisor Peter Owen and Darryl Waletzko reported on their review of tree trimming needs throughout the township. They recommended starting on one side of the township and working across, focusing on problematic areas. The board discussed balancing property owner concerns with road maintenance needs. They agreed to have Owen and Waletzko identify specific problem areas and develop a plan to address them.

Update 2022 Fund Balance Policy – Discuss/Action

Motion made by Dalton Keiderling to remove the town hall expansion fund from the fund balance policy, as it has a zero balance. Seconded by Peter Owen. Motion carried unanimously.

Sherburne Co. Zoning & Subdivision Ordinance Updates - Township Survey – Information

Chair Felber informed the board about a survey from Sherburne County regarding updates to zoning and subdivision ordinances. She encouraged board members to complete the survey individually or provide input to Clerk Erickson to submit a collective township response by July 21st.

Roads

Road Construction – Update

Brock from WSB Engineering presented preliminary plans for road reconstruction projects on 188th Street and 232nd Avenue. The board discussed concerns about right-of-way issues, drainage, and impacts to property owners. They agreed to schedule a special meeting to review the plans in more detail and get public input.

Motion was made by Peter Owen to ask Kevin Kruger, township engineer, to verify how we secured the property and ensure that we are not violating the marketable title act. Seconded by Bryan Adams. Motion carried unanimously.

Pothole Patching – Discussion

Road Supervisor Owen reported on the recent pothole patching reviewal with Erickson Asphalt. He presented an estimate for additional patching needed.

Motion made by Bryan Adams to authorize up to \$7,500 for pothole patching. Seconded by Paul Ellinger. Motion carried unanimously.

253 1/2 Ave. Transition Work – Discussion

Road Supervisor Owen presented a citizen complaint about the transition from pavement to gravel on 253 1/2 Avenue. The board discussed options for improvement.

Motion made by Chair Felber to spend no more than \$750 to fix the transition on 253 1/2 Avenue using asphalt millings. Seconded by Bryan Adams. Motion carried unanimously.

ROW Ordinance For Easements – Discussion/Action

The board discussed issues related to easements and right-of-way obstructions, particularly around Eagle Lake. They agreed to have the road committee further investigate specific cases and bring recommendations back to the full board.

23239 – 188th St ROW Obstruction – Discuss/Action

The board discussed an ongoing right-of-way obstruction issue with a boat on 188th Street. They directed the Clerk to send a formal notice giving the property owner 30 days to remove the boat, in accordance with the township's right-of-way obstruction ordinance.

Board Business/Updates – Committee Reports

Adams

Bryan Adams had nothing to report.

Ellinger

Paul Ellinger reported on attending a legal seminar and obtaining resource notebooks for the board members who were unable to attend.

Felber

Chair Felber reported on participating in parades and attending a veterans' event at the Becker American Legion.

Owen

Peter Owen reported on attending the legal seminar and addressing various drainage and right-of-way issues.

Keiderling

Dalton Keiderling discussed ongoing work on several easement and platting issues. The board agreed to have the road committee continue working on these matters.

Treasurer Business

Treasurer Kellie McConville presented financial reports and updates. The board discussed and approved various financial items:

Motion made by Paul Ellinger to transfer \$309,685.52 to the money market account at Sherburne State Bank. Seconded by Dalton Keiderling. Motion carried unanimously.

Consent Agenda Items - Routine Claims & Payroll

Motion made by Bryan Adams to approve the routine claims and payroll as presented in the consent agenda. Seconded by Peter Owen. Motion carried unanimously.

Supplemental Claim – Approve

None

Cash Control Statement And Investment Update – Approve

Motion made by Bryan Adams to approve the cash control statement and investment update. Seconded by Dalton Keiderling. Motion carried unanimously.

Treasurer's Report – Approve

Motion made by Peter Owen to approve the treasurer's report. Seconded by Bryan Adams. Motion carried unanimously.

Report Of May Sherburne State Bank Securities Pledge Validation – Review

The treasurer presented the monthly pledge report for Sherburne State Bank.

Pledge Coverage Calculation Agreement – Approve

Motion made by Chair Felber to have the township attorney review the pledge coverage calculation agreement from Sherburne State Bank and the United Bankers Bank, and if approved, authorize Clerk Erickson to sign it. Seconded by Bryan Adams. Motion carried unanimously.

Announcements

Chair Felber announced the next board meeting would be on July 23rd at 7:00 PM. She also mentioned the Soil and Water Conservation District tour on August 28th and encouraged board members to attend if possible.

Adjournment

Motion to adjourn made by Dalton Keiderling, seconded by Peter Owen. Motion carried unanimously.

The June meeting was adjourned at 9:17PM.

Respectfully Submitted,
Shelley Erickson
Orrock Township Clerk

Accepted this **23rd day of July, 2025**, by the Orrock Township Board of Supervisors.

Anne Felber, Chairperson

Attest: _____
Town Clerk



Special Meeting
Monday, July 12, 2025 – 10:00AM

The Orrock Township Board met in a special session, on Saturday, July 12th, 2025 at Orrock Town Hall, 26401 180th Street NW, Big Lake, MN.

In attendance were Chair Anne Felber, Supervisors: Paul Ellinger, Bryan Adams, Dalton Keiderling and Peter Owen, Clerk Shelley Erickson and the Township Engineer Kevin Krueger. Also, in attendance were 6 members in the audience.

A quorum was present and the meeting was called to order by Chair Anne Felber at 10:00 AM. The Pledge of Allegiance was recited by all present.

Approval Of Special Meeting Agenda

Anne Felber asked if there were any corrections to the agenda. Hearing none, she called for a vote.

Motion to approve the special meeting agenda was made by Paul Ellinger, seconded by Dalton Keiderling. The motion carried unanimously.

Special Meeting Business

West Eagle Lake Road Improvement

Kevin Kruger gave a presentation on the general scope and look of the West Eagle Lake Road improvement project. He explained that the project would cover 232nd Ave from Co. Rd. 75 E to corner of 232nd Ave/188th St., 188th St NW to the dead end, and 232nd Ave west to Co. Rd. 75.

Kruger outlined the general process of road reconstruction:

1. Tree clearing and pavement removal
2. Installation of erosion control measures
3. Stripping of topsoil
4. Storm sewer installation
5. Roadbed construction
6. Curb installation
7. First lift of paving
8. Driveway repairs and topsoil/seeding
9. Final lift of paving

He estimated the project would take about 5 weeks to complete depending on the weather. Kruger showed photos from a similar project to illustrate the various stages of construction.

The board and residents discussed several aspects of the project:

1. Road width: The current road varies from 16-20 feet wide. The plan is to widen it to 22 feet where possible but may need to go down to 20 feet in some narrow areas.
2. Right-of-way and property lines: In some areas, the existing road is outside the right-of-way. Kruger explained they would try to shift the road to stay within the right-of-way where possible.
3. Drainage: Plans include installing curb and gutter in steep areas and a new storm system to address flooding issues. Kruger proposed running a pipe from a low area to nearby wetlands to improve drainage on 188th St NW.
4. Tree removal: The board agreed that trees could be removed if necessary for the project, but wanted to minimize removal where possible.
5. Retaining walls: There was discussion about how to handle existing retaining walls that may be within the right-of-way.
6. Construction timing: The board discussed whether to do the project in spring or fall, considering factors like weather, school buses, and seasonal residents.
7. Cost estimate: Kruger estimated the project would cost between \$600,000 - \$650,000.

The board requested the idea of pursuing an easement for storm water installation on nearby property. They also agreed to look into purchasing a small portion of land at a problematic corner to improve drainage.

Kruger recommended bidding the project in fall for construction next spring/summer. The board seemed amenable to this timeline.

Announcements

Anne Felber reminded everyone that the regular July board meeting would be held on Wednesday, July 23rd at 7 PM at the Orrock Town Hall.

Adjournment

Motion to adjourn the meeting was made by Paul Ellinger, seconded by Dalton Keiderling. The motion carried unanimously.

The meeting was adjourned at 11:51AM.

Respectfully Submitted,
Shelley Erickson
Town of Orrock, Clerk

Accepted this 23rd day of July 2025 by the Orrock Township Board of Supervisors.

Anne Felber, Chair

Attest: _____
Shelley Erickson, Town Clerk



AGENDA ITEM
Orrock Town Board

Prepared By: Shelley Erickson, Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 7A
Item Description: 2024 Audit Presentation	Reviewed By: N/A		
	Reviewed By: Shelley Erickson/Kellie McConville		

ACTION REQUESTED

Motion to accept the 2024 audit as presented

BACKGROUND/DISCUSSION

Schlenner and Wenner will be presenting the 2024 Audit reports

ATTACHMENTS

Audit report presentation

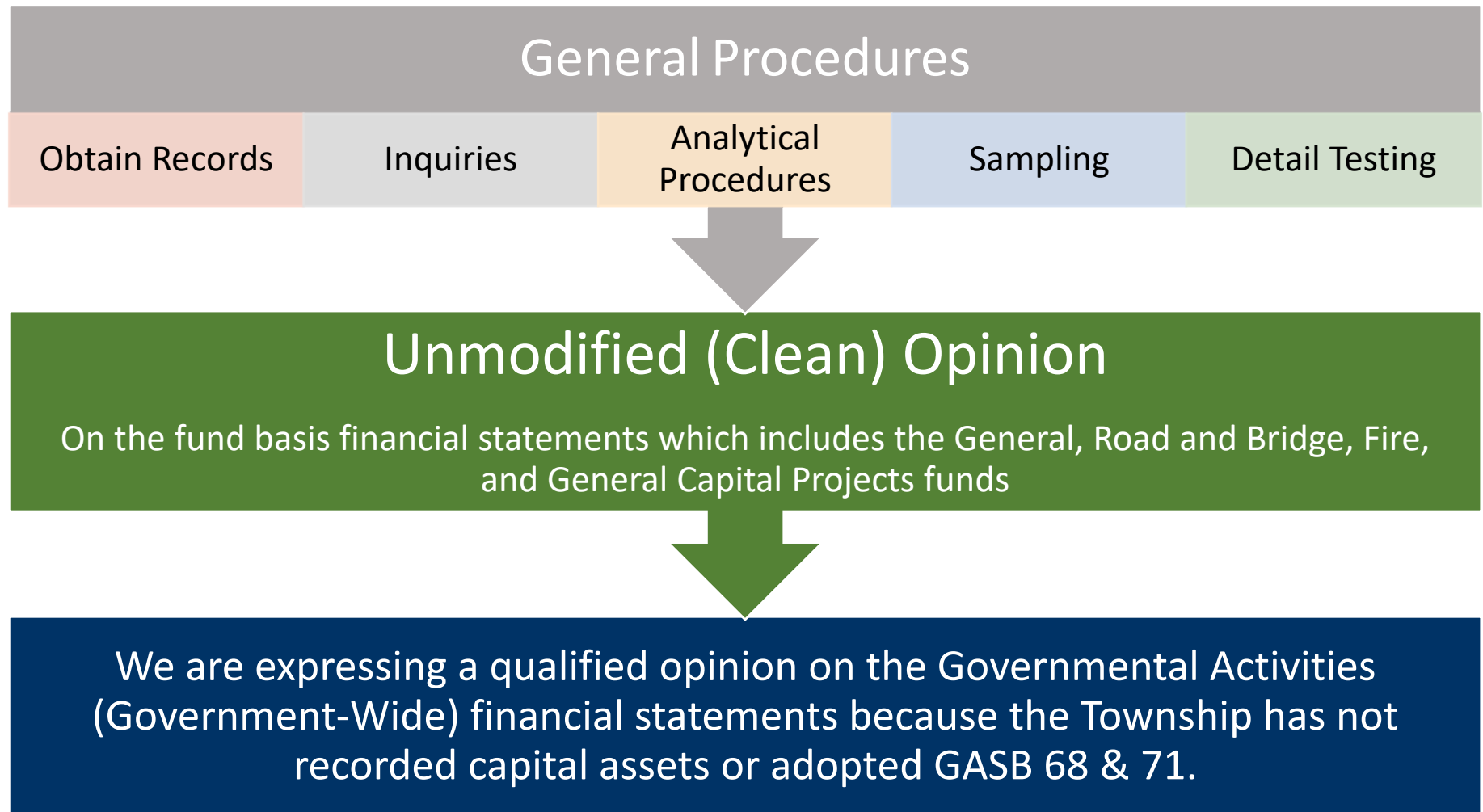


Orrock Township, Minnesota

Presentation of the Audited Financial Statements

Fiscal Year Ended December 31, 2024

Audit Process and Opinion



Required Communications



Audit went smoothly



Positive Working
Relationship with
Management



Nothing unusual noted in
terms of recorded
transactions or accounting
policies/treatments

Internal Controls Over Financial Reporting



AUDIT ADJUSTMENTS

- We proposed audit adjustments that we consider to be material.



DEPARTURE FROM U.S. GAAP

- The Township has elected not to adopt GASB Statement No. 68 & 71 and has elected to not record capital assets.



SEGREGATION OF DUTIES

- Your Township has a lack of proper segregation of duties, which is very common for a Township of your size.



FINANCIAL STATEMENT PREPARATION

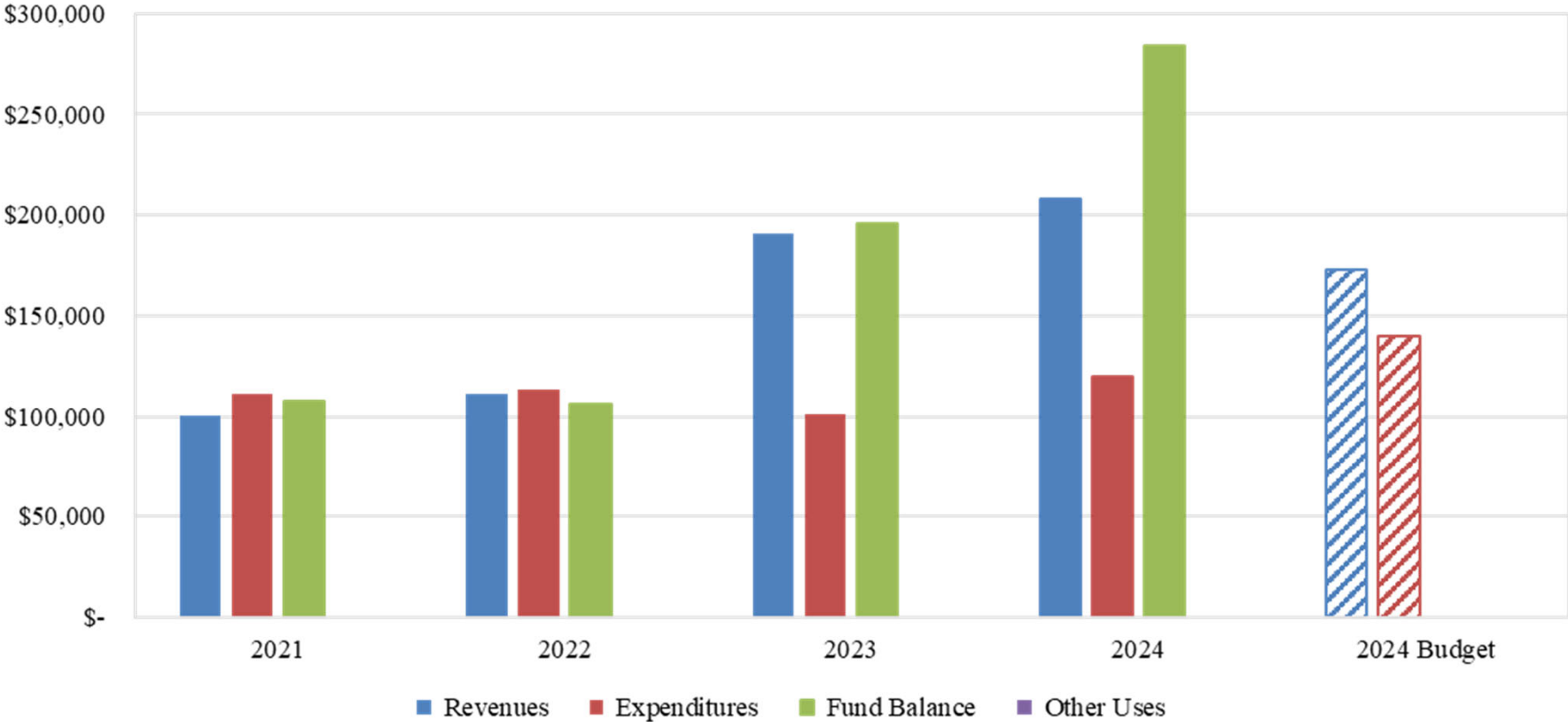
- We have prepared the financial statements on behalf of the Township.

Minnesota Legal Compliance

- Areas Reviewed
 - Contracting and Bidding
 - Depositories of Public Funds
 - Conflicts of Interest
 - Claims and Disbursements
 - Miscellaneous Provisions
- Findings:
 - Deposits in Excess of Insured Limits



General Fund - Trend Analysis & Budgetary Comparison

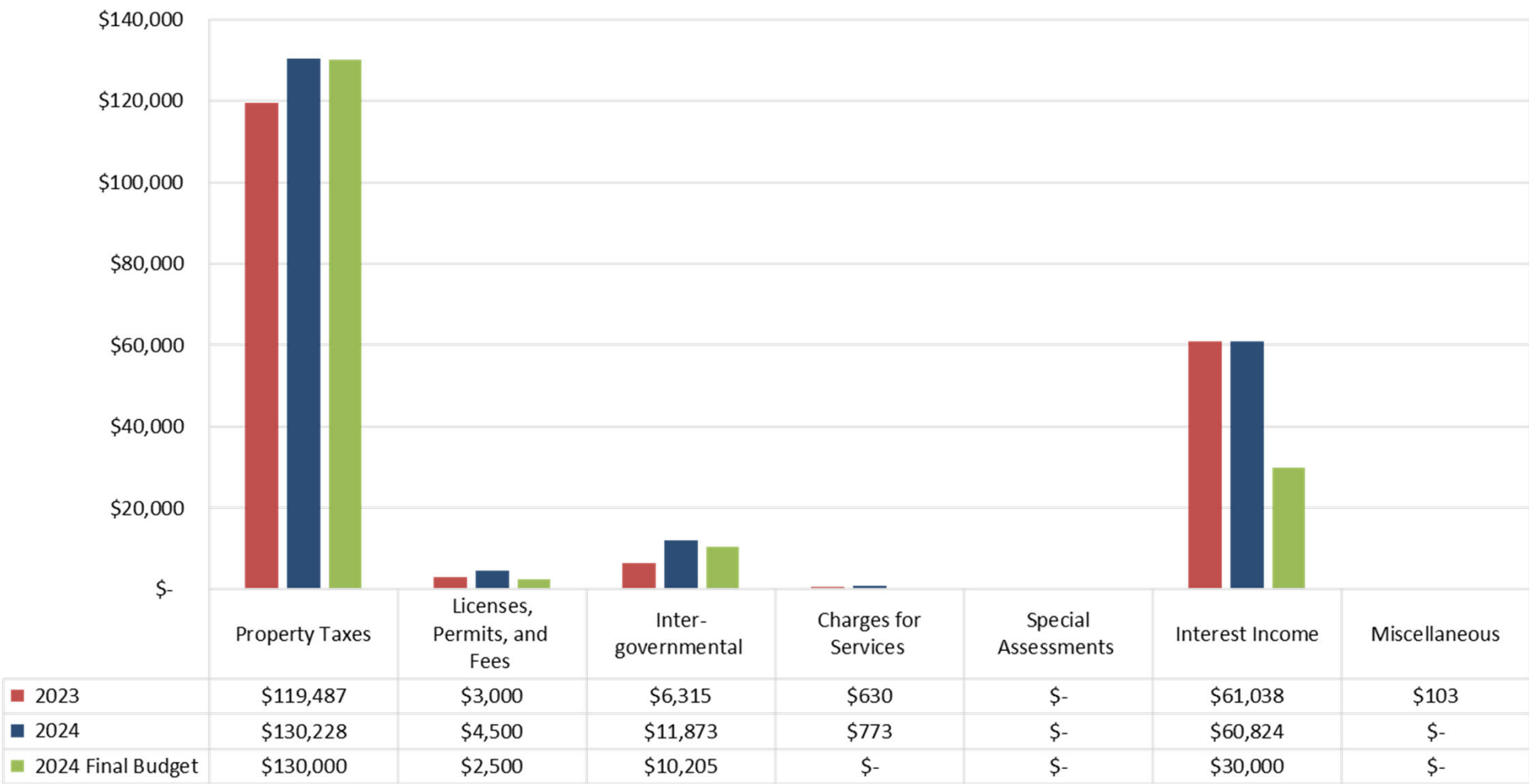


- Expenditures were under budget, primarily due to general government expenses being under budget.
- Revenues were above budget, primarily due to the Township receiving more interest earnings than expected.

	2023	2024	2024 Budget
Revenues	\$ 190,573	\$ 208,198	\$ 172,705
Expenditures	100,801	119,822	139,708
Other Sources (Uses)	-	(443)	-
Change in Fund Balance	89,772	87,933	32,997
Fund Balance	\$ 195,855	\$ 283,788	N/A

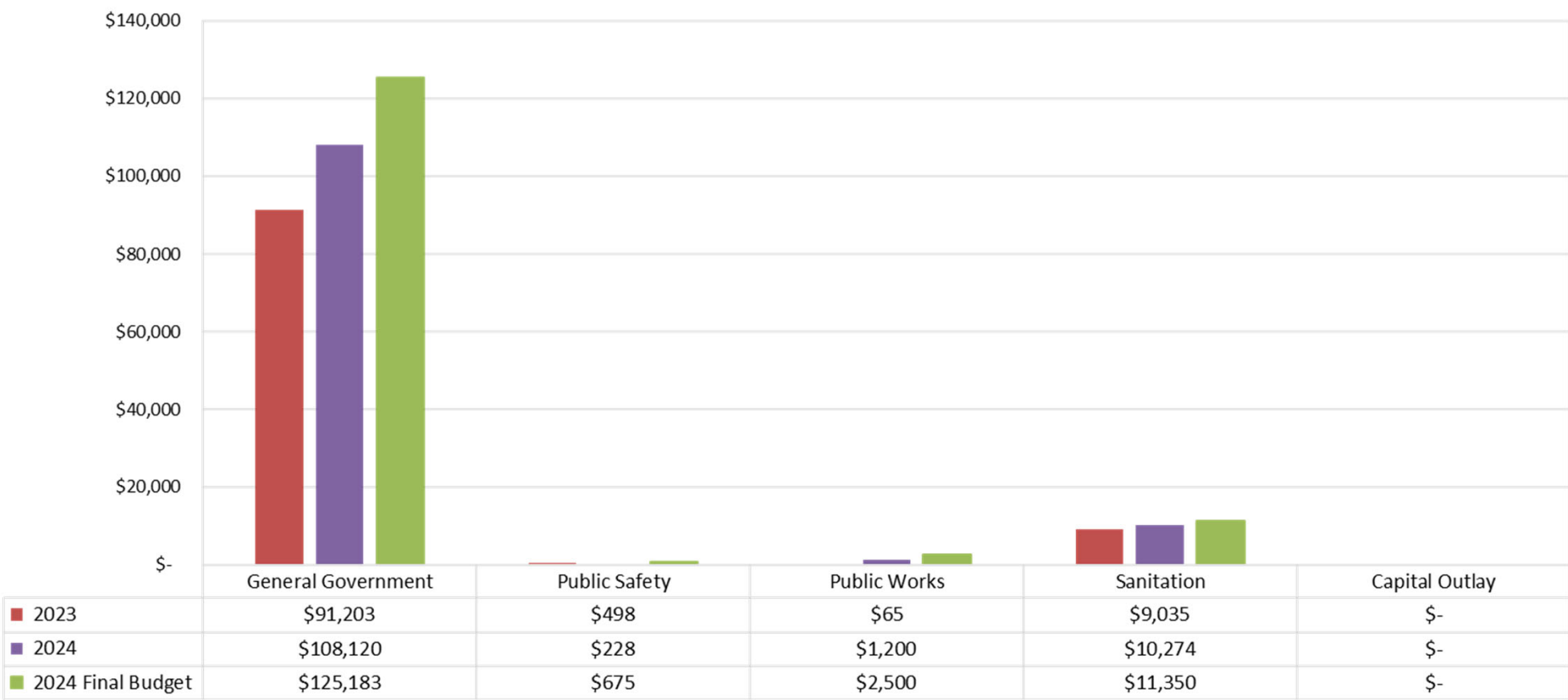
General Fund

Detailed Revenue Analysis

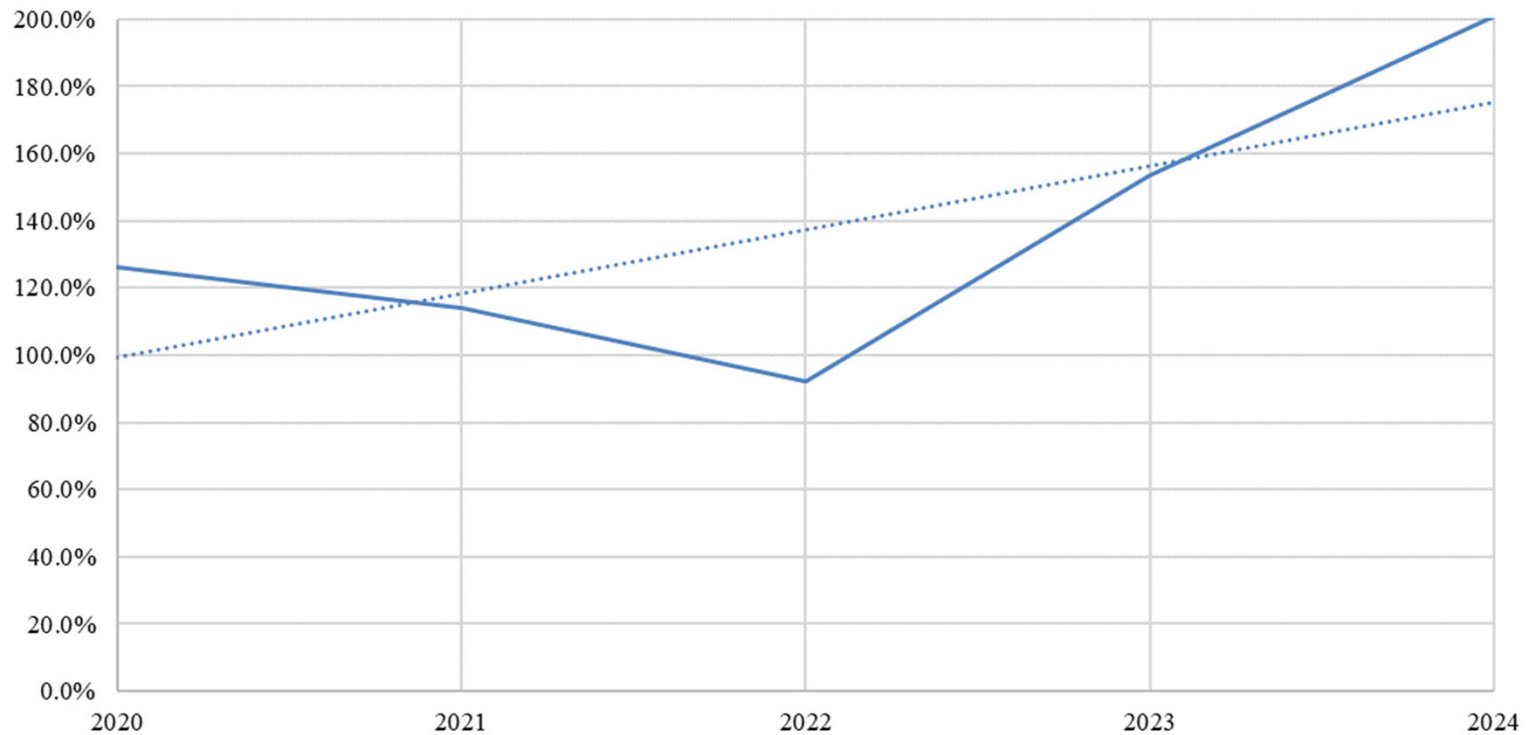


General Fund

Detailed Expenditure Analysis



Unassigned Fund Balance as a Percentage of the Annual General Fund Budget

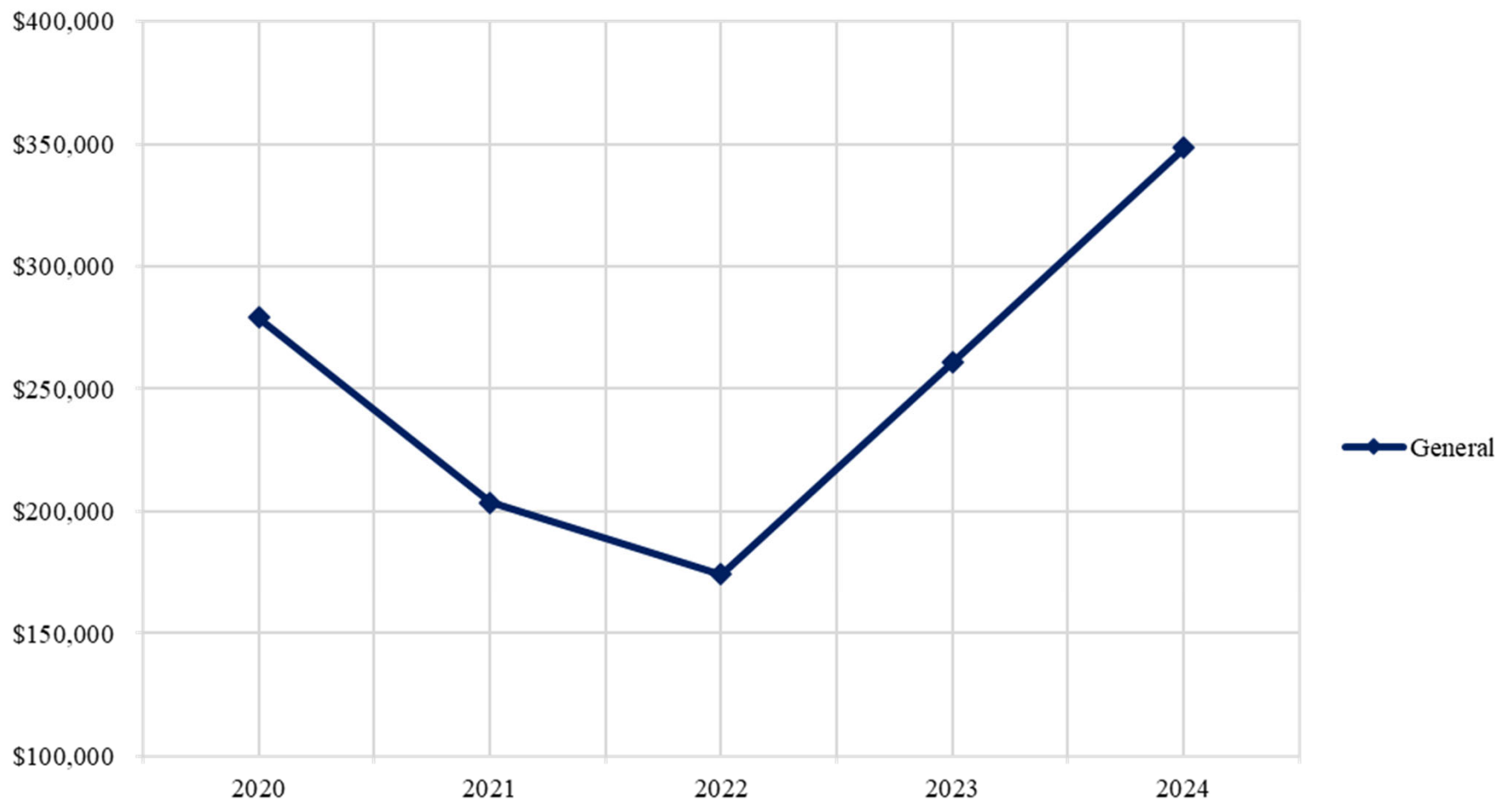


Year	Percentage
2020	126.1%
2021	114.1%
2022	92.1%
2023	153.3%
2024	201.0%

- The Township will maintain an unassigned General Fund balance of not less than 50% of budgeted operating expenditures.

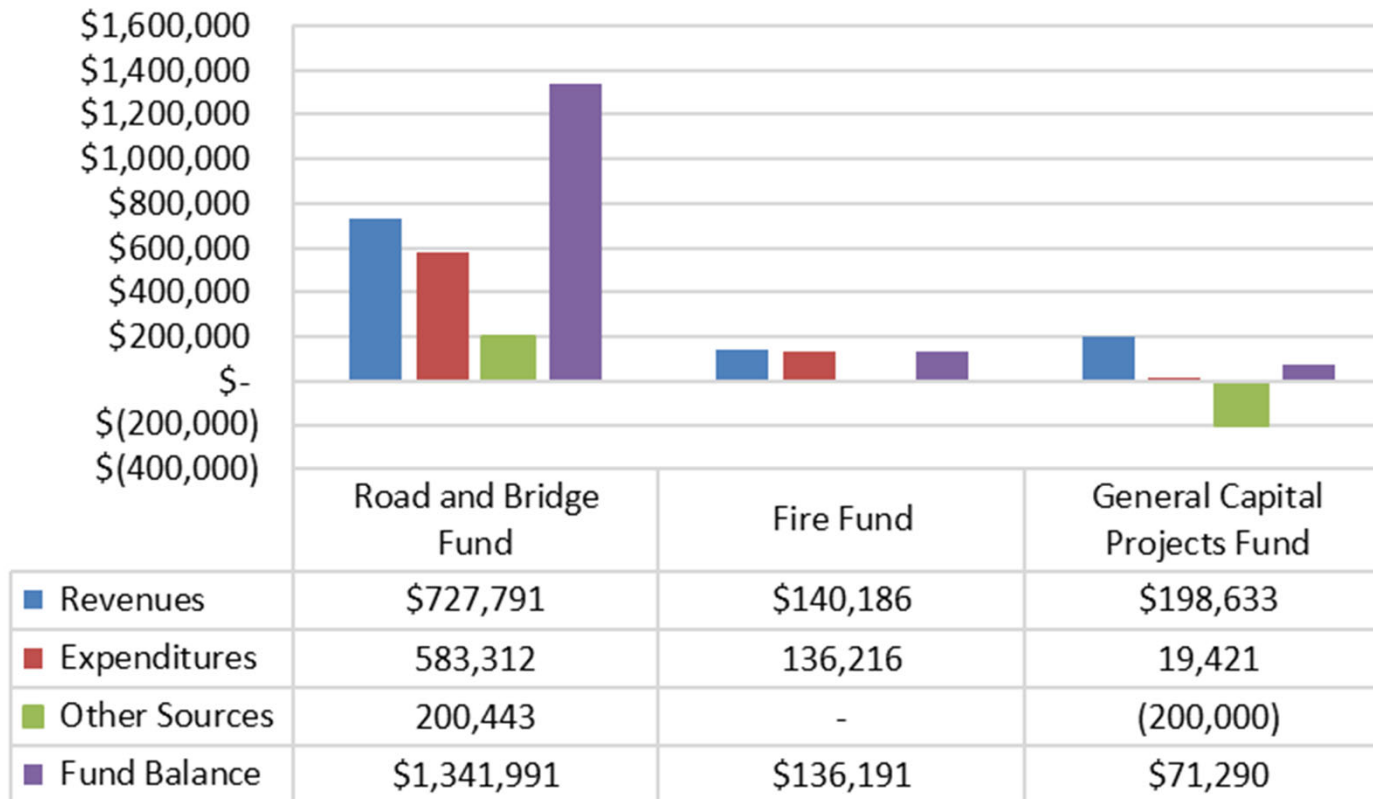
General Fund

Cash Trend Analysis



Financial Highlights

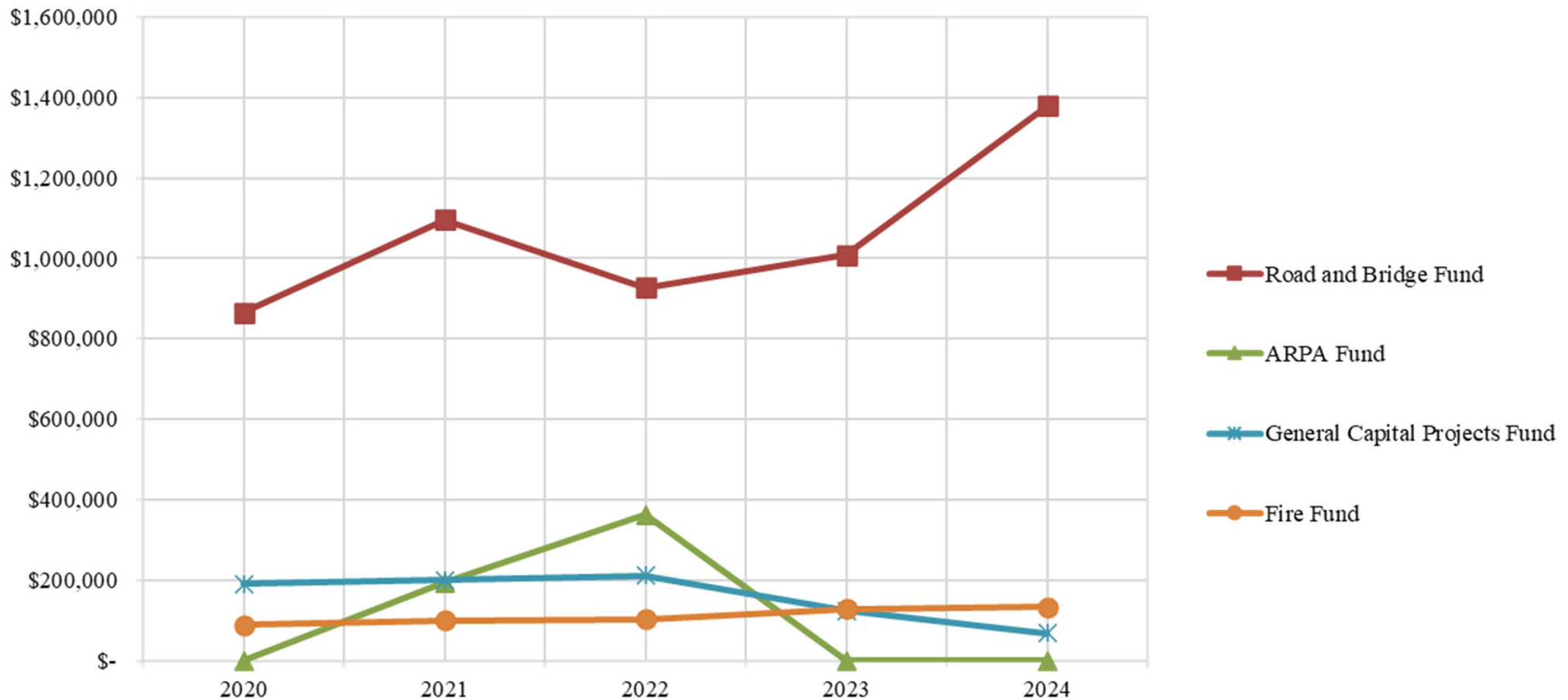
Remaining Governmental Funds



* Details for the major governmental funds noted above can be found on pages 10-13 in the audited financial statements.

Remaining Governmental Funds

Cash Trend Analysis



Questions?

Molly Thompson, CPA, Partner
mthompson@schlennerwenner.cpa

Riann George, CPA, Manager
regorge@schlennerwenner.cpa

320-251-0286



AGENDA ITEM

Orrock Town Board

Prepared By: <i>Shelley Erickson, Clerk</i>	Meeting Date: <i>07/23/2025</i>	Regular Agenda Item	Item No. 7B
Item Description: <i>Variance Request</i>	Reviewed By: <i>N/A</i>		
	Reviewed By: <i>Shelley Erickson</i>		

ACTION REQUESTED

Motion to approve variance request.

BACKGROUND/DISCUSSION

Cody Slocum is requesting a 9ft variance to the right of way at 256th Ave NW for a new single-family dwelling. The required setback to the right of way is 67ft.

ATTACHMENTS

Township Comment Form
Variance Review Letter
Building Plans
Septic Design
Survey



Planning and Zoning Administration
Sherburne County Government Center
13880 Business Center Drive, Suite 100
Elk River, MN 55330-4668
zoning@co.sherburne.mn.us
(763) 765-4450

July 1, 2025

Cody Slocum
25674 110th St NW
Zimmerman, MN 55398

Sent by email to: codysloum@gmail.com

Re: Variance request on PID #35-00408-0634 (application submitted 06/20/25)

Dear Mr. Slocum,

This letter is regarding the variance you are requesting for a property located at the PID listed above. The variance is required for Sherburne County Zoning Ordinance Section 8 – General Rural, Subdivision 6 – Dimensional Regulations. You are requesting a 9 ft. variance in setback to 256th Ave NW right-of-way to construct a new single-family home where a 67 ft. setback is required.

Your Variance application has been assigned to me for review. Please send all future correspondence related to this variance to my attention. Your application is incomplete. In order for the application to be deemed complete, the Zoning Department requires the following:

1. Comments from the Town Board are needed. Please contact Shelly Erickson, the Orrock Township Clerk, and request to be placed on their next agenda. The Township's phone number and email are (763)-263-6411 and clerk@orrocktownship.com. I will forward this letter, and all information submitted to the Town Board.
2. Your submitted Certificate of Survey does not specifically show proposed setback measurement to 256th Ave NW. Please add to survey.
3. A completed septic design by a certified licensed septic designer will be required per this variance
4. Based on the septic design submitted, I am unsure if the drain field will meet the required 20ft setback from both the primary and secondary septic locations. Please have a septic designer review and comment.
5. Please add the impervious surface coverage to the Certificate of Survey.
6. Additional changes or information may be required once the Zoning Office has received comments from other offices/organizations.

Once the required information has been submitted for your project, you can be scheduled for the next available public hearing with the County Planning Advisory Board. We reserve the right to postpone this hearing pursuant to the provisions of Minnesota Statute Section § 15.99.

Please Note:

1. Incomplete applications shall be considered denied one (1) year from the date of the application if the proposal has not obtained the required approvals. The Zoning Administrator may grant one 6-month extension if the Zoning Administrator determines that continuous progress has been made to keep the application moving toward approval.
2. The width of the lot is 200ft. The proposed building has 15ft and 67ft side yard setbacks. 25ft rear yard setbacks. This demonstrates that this building can meet all the required setbacks except the front yard setback from 256th Ave NW, which in this variance is requesting a 58ft front yard setback.

If you have any questions or concerns, please contact me at (763)765-4462 or at Matt.Holzworth@co.sherburne.mn.us.

Sincerely,

A handwritten signature in black ink, appearing to be 'MH' with a stylized flourish extending to the right.

Matt Holzworth
Sherburne County Planner

Cc: Orrock Township Clerk



TOWNSHIP COMMENT FORM

Sherburne County Planning & Zoning Department
13880 Business Center Drive NW, Suite 100
Elk River, MN 55330

Date Paid: 06/20/2025

Receipt No: 78780

Permit No: 25-982

763-765-4450 Fax: 763-765-4467
zoning@co.sherburne.mn.us

APPLICATION IS HEREBY MADE FOR: Variance

APPLICANT:

Cody James Slocum

25674 110th ST NW

Zimmerman, MN 55398

OWNER: SLOCUM, CODY

25674 110TH ST NW

ZIMMERMAN MN 55398

PHONE: 763-244-9231

E-MAIL: codyslocum@gmail.com

OTHER CONTACTS:

SHERBURNE COUNTY, MINNESOTA

PID: 35-00408-0634

OTHER PARCELS: 35-00408-0636, 0652, 0653, 0654

PLAT NAME: ANN LAKE BEACH

DEEDED ACRES: 0.61

LEGAL:

S 1-2 OF LOT 19 & ALL OF 18, BLK 6, N 1/2 of Lot 19 & All of Lot 20, Blk 6, Part of 29, 30, 31,

TOWNSHIP NAME: ORROCK

SECTION: 15

TOWNSHIP: 34

RANGE: 27

OVERLAY ZONING DISTRICT:

PROPERTY ADDRESS: null

ZONING DISTRICT: General Rural

null null

SHORELAND:

MISCELLANEOUS NOTES:

NON-RIPARIAN: ANN LAKE - 71006900 - RECREATIONAL DEVELOPMENT

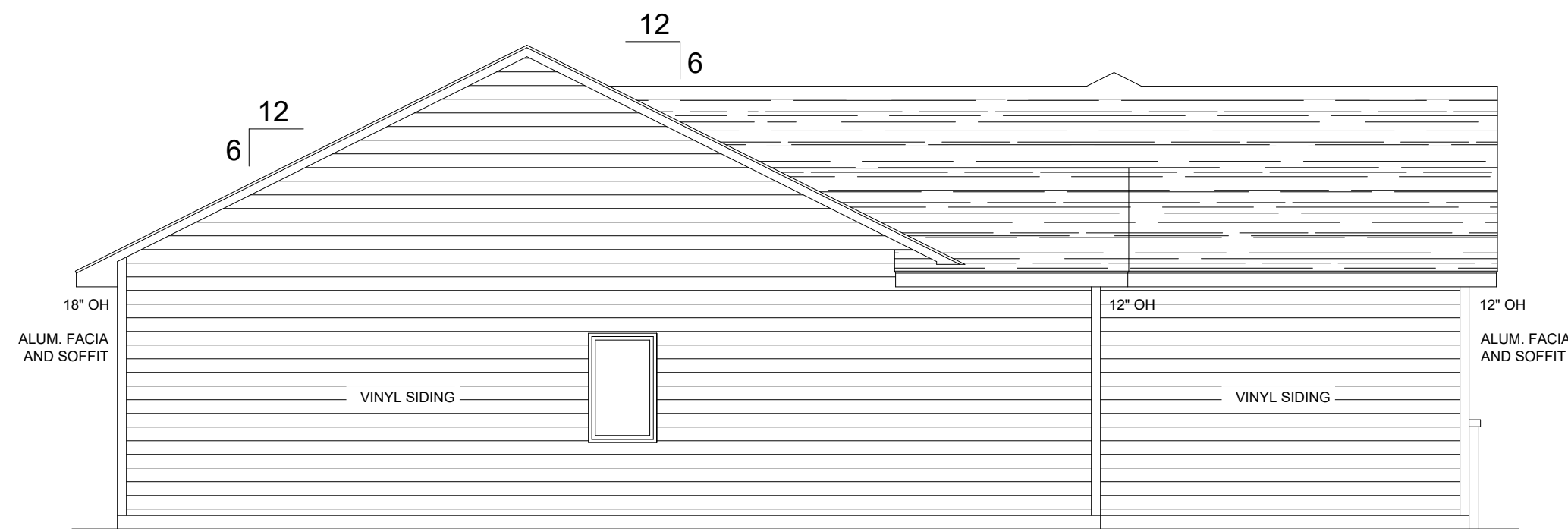
EXPLANATION OF REQUEST:

Requesting a 9ft variance to the right of way of 256th Ave NW for a new single-family dwelling. The required setback to the right of way is 67ft.

TOWNSHIP COMMENTS:

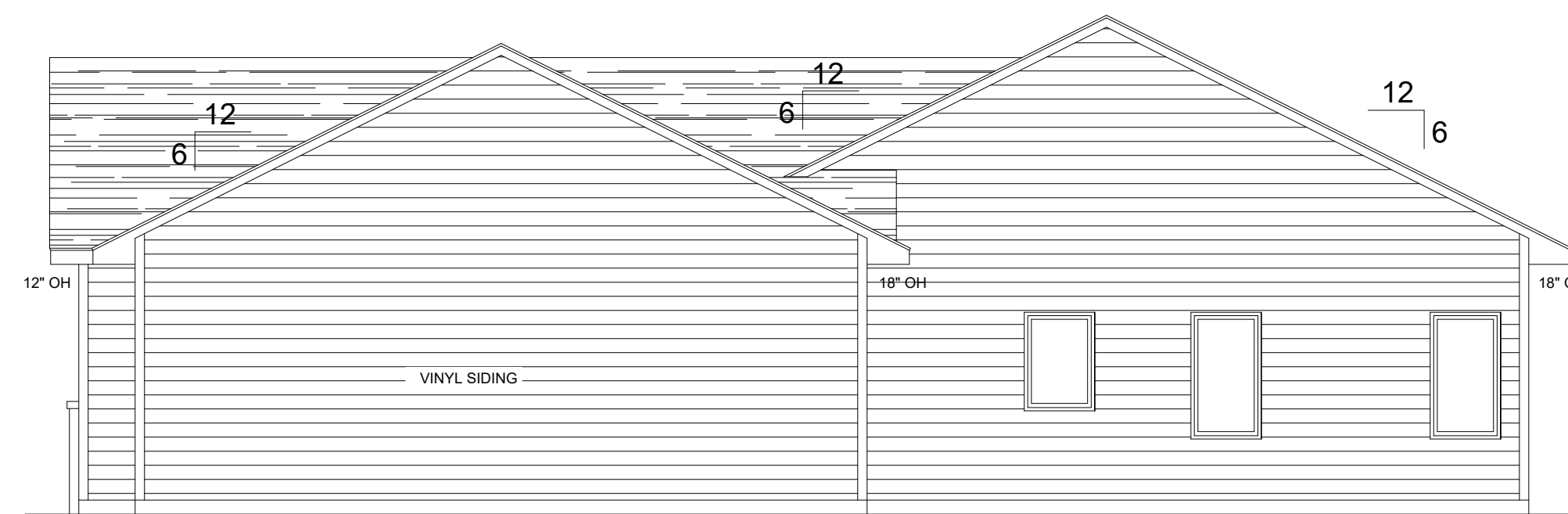
APPLICATION IS: APPROVED: ☐ DENIED: ☐ OTHER: _____

SIGNATURE OF TOWN BOARD: _____ DATE: _____



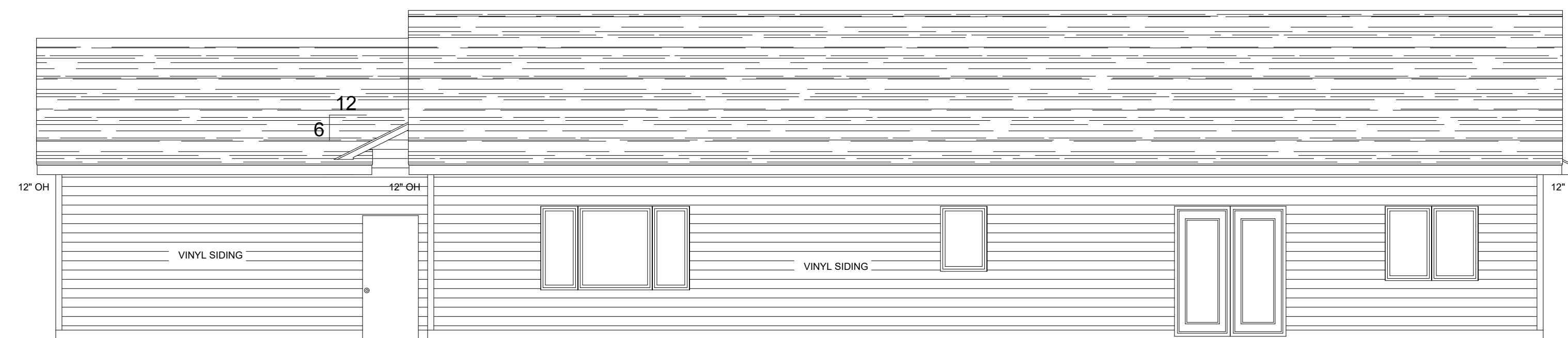
LEFT ELEVATION

SCALE: 1/8"=1'-0"



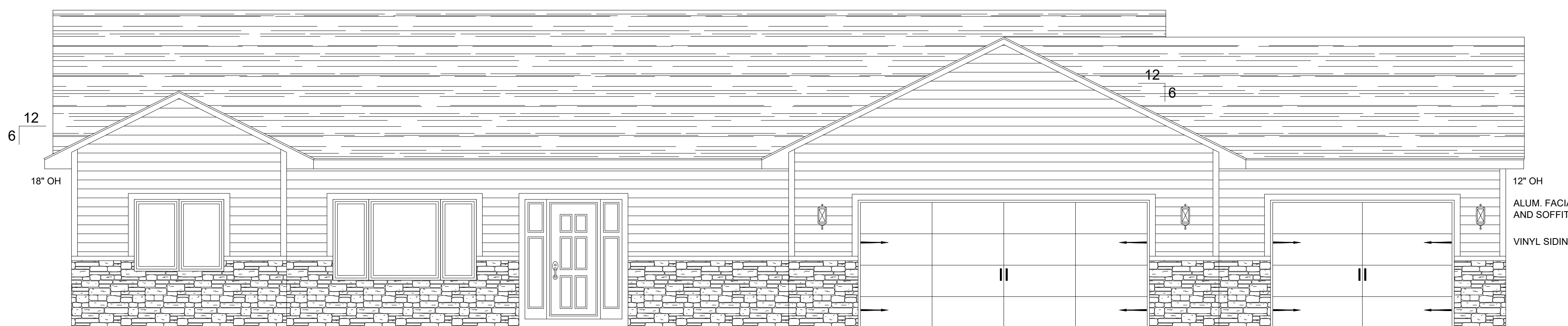
RIGHT ELEVATION

SCALE: 3/16"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



FRONT ELEVATION

1584 SQ. FT.

SCALE: 1/4"=1'-0"

PROJECT NAME & ADDRESS

CODY SLOCUM

25628 165TH ST NW

BIG LAKE, MN. 55309

EXTERIOR ELEVATIONS

DRAWN BY: S. RIPLEY

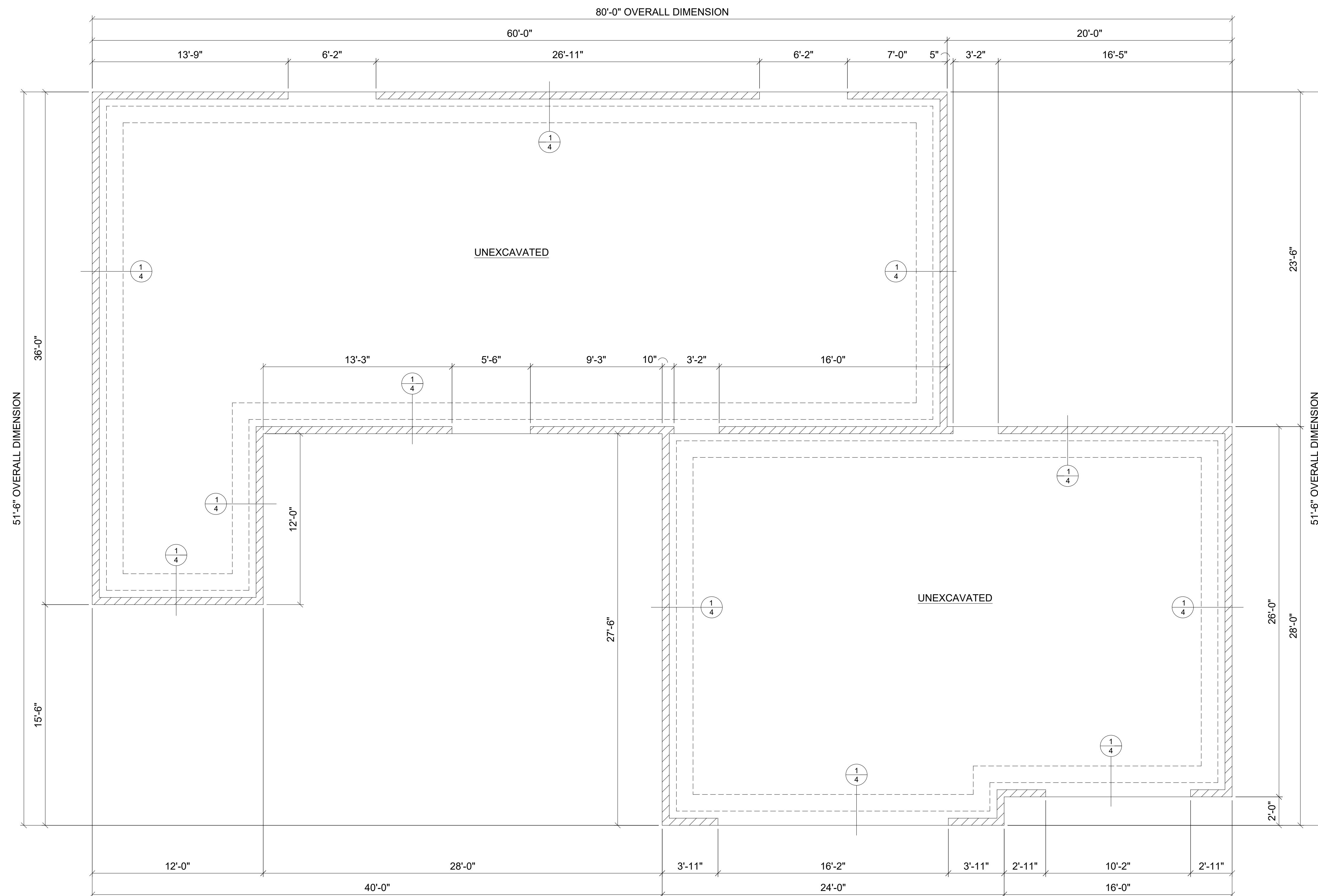
SCALE: AS NOTED

DATE DRAWN: 03/04/2025

SCOTT RIPLEY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS. THIS SET OF PLANS WERE DONE TO THE BEST OF MY ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION. ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY. PLACEMENT AS BUILT MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY THE BUILDER FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REFLECT ACTUAL FINISH GRADE ON ELEVATIONS.

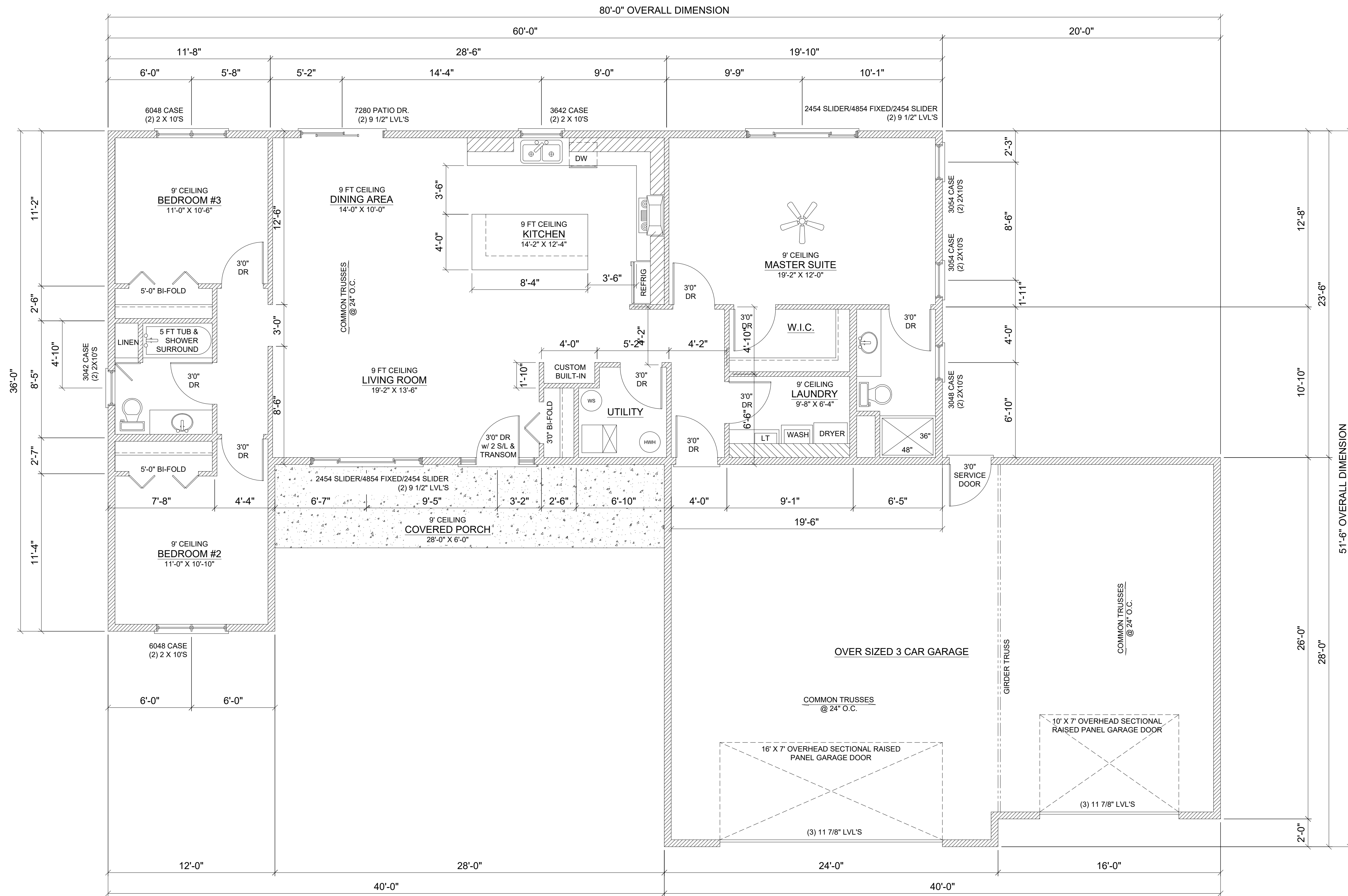
SHEET
1 OF 4

PLAN NUMBER
004-025



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

PROJECT NAME & ADDRESS	FOUNDATION PLANS	SCOTT RIPLEY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS. THIS SET OF PLANS WERE DONE TO THE BEST OF MY ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION. ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY. PLACEMENT AS BUILT MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY THE BUILDER FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REFLECT ACTUAL FINISH GRADE ON ELEVATIONS.	SHEET
CODY SLOCUM	DRAWN BY: S. RIPLEY		2 OF 4
25628 165TH ST NW	SCALE: 1/4"=1'-0"		PLAN NUMBER
BIG LAKE, MN. 55309	DATE DRAWN: 03/04/2025		004-025



MAIN FLOOR PLAN

1584 SQ. FT.

SCALE: 1/4"=1'-0"

PROJECT NAME & ADDRESS

CODY SLOCUM

25628 165TH ST NW

BIG LAKE, MN. 55309

MAIN FLOOR PLAN

DRAWN BY: S. RIPLEY

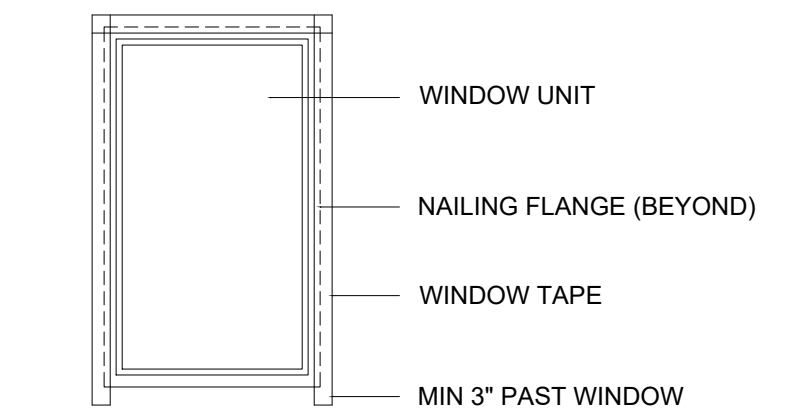
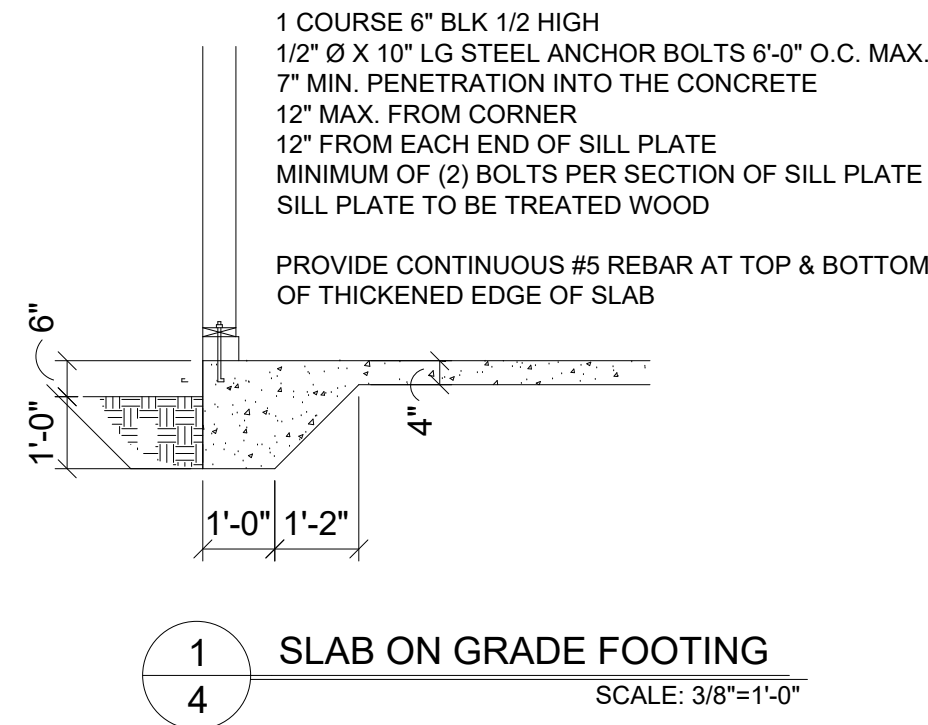
SCALE: 1/4"=1'-0"

DATE DRAWN: 03/04/2025

SCOTT RIPLEY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS. THIS SET OF PLANS WERE DONE TO THE BEST OF MY ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION. ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY. PLACEMENT AS BUILT MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY THE BUILDER FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REFLECT ACTUAL FINISH GRADE ON ELEVATIONS.

SHEET
3 OF 4

PLAN NUMBER
004-025

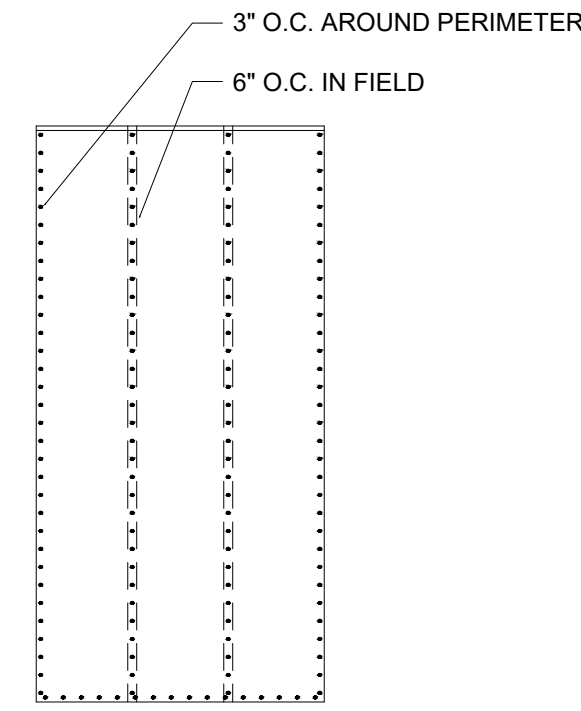


WINDOW TAPE DETAIL

SCALE: 3/8"=1'-0"

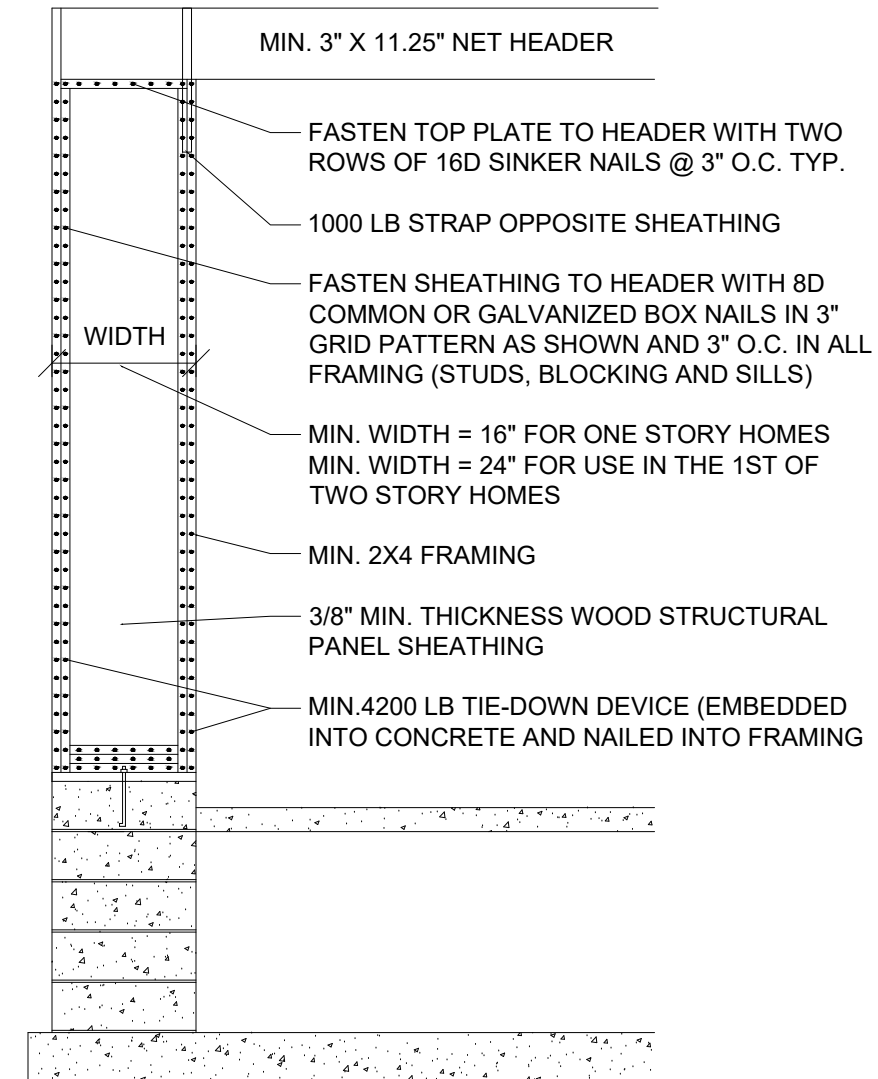
NOTE:
ALL WINDOW/DOOR OPENINGS TO
HAVE (2) 2X10'S #2 GRADE HEADER
OR BETTER (U.N.O.)

NOTE:
PROVIDE 2" (R10) FOAM BOARD
INSULATION @ EXTERIOR CONC.
FOUNDATION HOUSE WALLS AND 1"
(R5) FOAM BOARD INSULATION @
INTERIOR CONC. FOUNDATION
HOUSE WALLS (TYP.)



1/2" OSB SHEATHING

SCALE: 3/8"=1'-0"



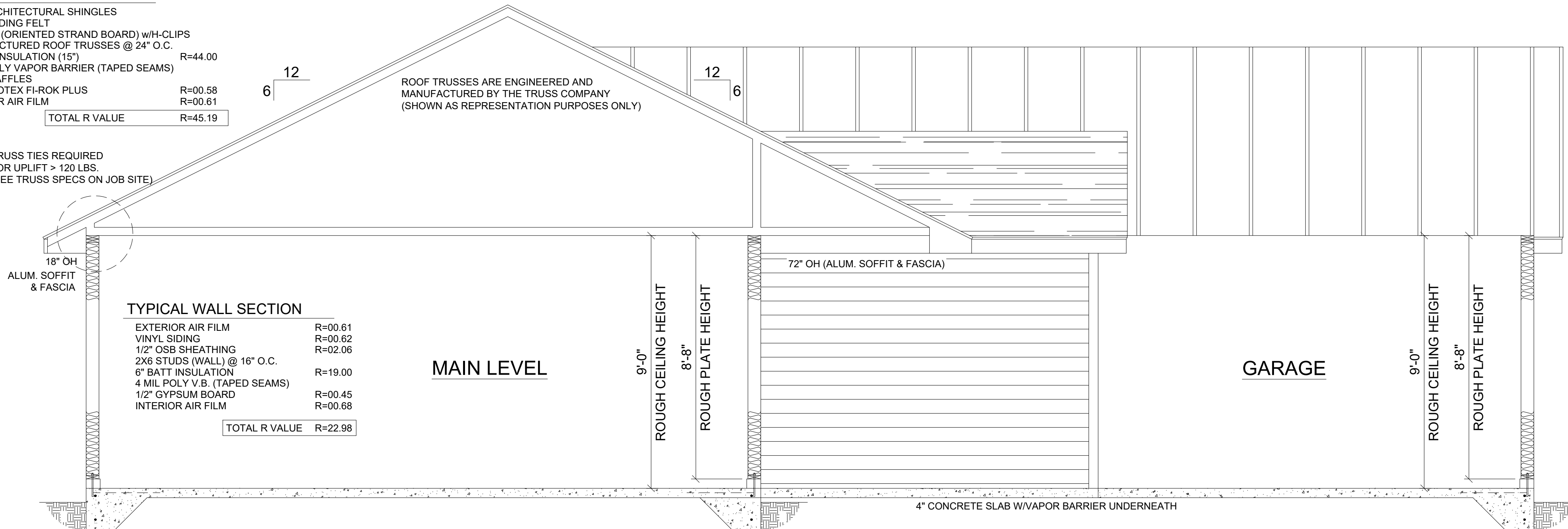
BRACED WALL PANEL "BP"

SCALE: 3/8"=1'-0"

TYPICAL ROOF SECTION

220# ARCHITECTURAL SHINGLES	
15# BUILDING FELT	
1/2" OSB (ORIENTED STRAND BOARD) w/H-CLIPS	
MANUFACTURED ROOF TRUSSES @ 24" O.C.	R=44.00
BLOWN INSULATION (15")	
4 MIL POLY VAPOR BARRIER (TAPED SEAMS)	
1" AIR BAFFLES	
5/8" CELOTEX FI-ROK PLUS	R=00.58
INTERIOR AIR FILM	R=00.61
TOTAL R VALUE	R=45.19

TRUSS TIES REQUIRED
FOR UPLIFT > 120 LBS.
(SEE TRUSS SPECS ON JOB SITE)

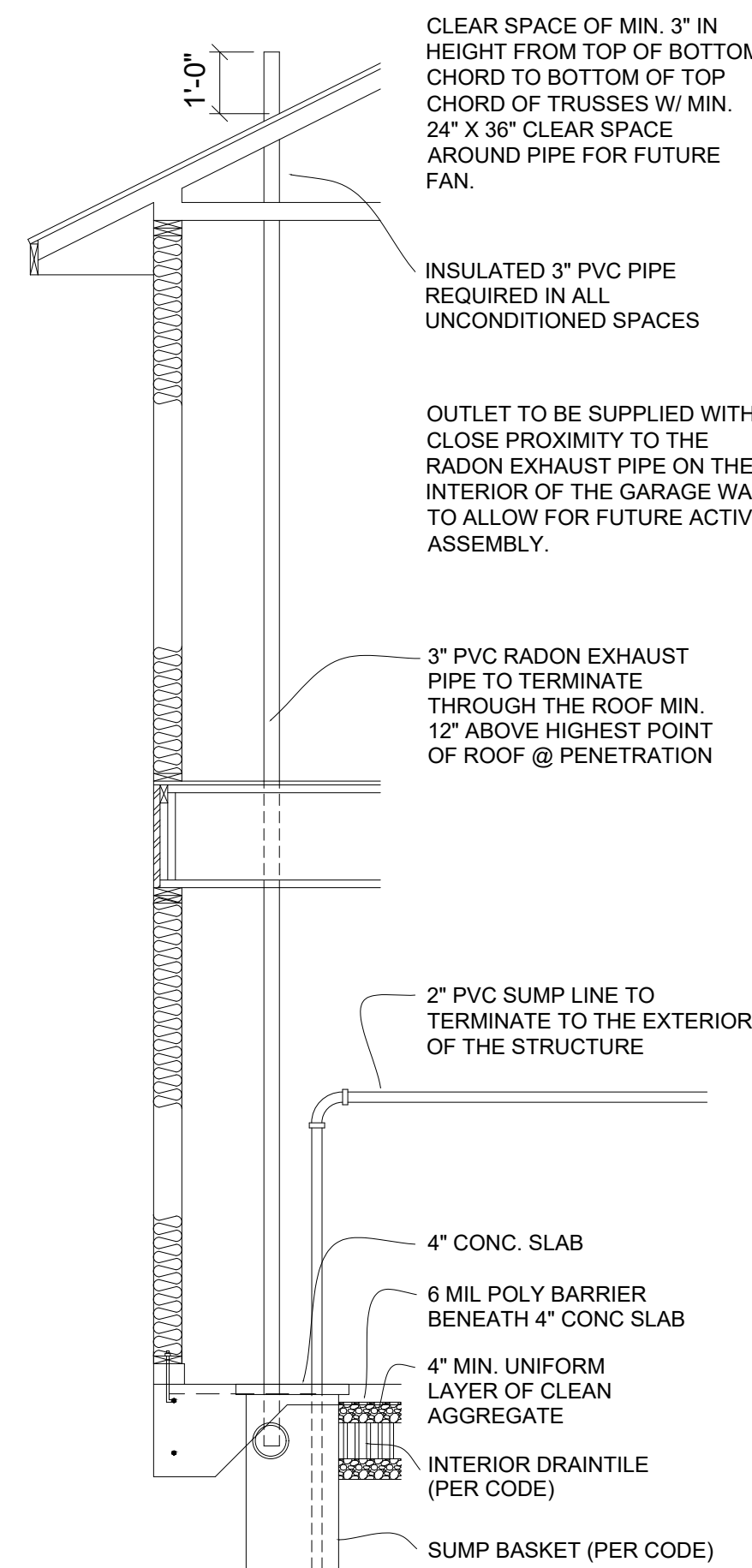


TYPICAL WALL SECTION

EXTERIOR AIR FILM	R=00.61
VINYL SIDING	R=00.62
1/2" OSB SHEATHING	R=02.06
2X6 STUDS (WALL) @ 16" O.C.	
6" BATT INSULATION	R=19.00
4 MIL POLY V.B. (TAPED SEAMS)	
1/2" GYPSUM BOARD	R=00.45
INTERIOR AIR FILM	R=00.68
TOTAL R VALUE	R=22.98

BUILDING SECTION

SCALE: 3/8"=1'-0"



RADON DETAIL

SCALE: 3/8"=1'-0"

PROJECT NAME & ADDRESS

CODY SLOCUM

25628 165TH ST NW

BIG LAKE, MN. 55309

BUILDING SECTION

DRAWN BY: S. RIPLEY

SCALE: 3/8"=1'-0"

DATE DRAWN: 03/04/2025

SCOTT RIPLEY ASSUMES NO RESPONSIBILITY FOR ERRORS OR OMISSIONS. THIS SET OF PLANS WERE DONE TO THE BEST OF MY ABILITY. THE CONTRACTOR AND/OR BUILDER MUST VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS FROM START TO FINISH AND BE RESPONSIBLE DURING CONSTRUCTION. ELECTRICAL, HEATING AND CABINET LAYOUTS ARE SHOWN FOR EXAMPLE ONLY. PLACEMENT AS BUILT MAY VARY FROM THESE PLANS. ALL BEAM, POST AND FOOTING SIZES SHOULD BE VERIFIED BY THE BUILDER FOR ADHERENCE TO UNIFORM BUILDING CODE PRIOR TO CONSTRUCTION. DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT REFLECT ACTUAL FINISH GRADE ON ELEVATIONS.

SHEET
4 OF 4

PLAN NUMBER
004-025

Absolute Septic Inc.

12245 120th Street

Milaca, MN 56353

(612)805-5438

absoluteseptic@yahoo.com

Sherburne County Planning and Zoning

Subject: Soil Observations and Site Map for Septic Location – 16514 256th Avenue NW Big Lake, MN 55309 (PID#35-00408-0634)

Dear Sherburne County Planning and Zoning,

On Monday, April 23, 2025, I conducted six soil observations on the property located at 16514 256th Avenue NW Big Lake, MN 55309 (PID#35-00408-0634)

Based on the findings, I observed 65 inches of suitable soil. This site meets the requirements for a buildable lot and is suitable for a Type 1 septic system installation. We understand a soil verification will need to be set up with the county for septic permitting.

The proposed septic location and alternate site have been staked out. There is no well location currently proposed, and all setbacks are met with neighboring wells, buildings, property lines and roadways. The proposed 1600 2compartment septic/lift tank will be 10' plus from the proposed home (not staked out). Please see the site map and soil observations attached.

Please feel free to contact me if you need any additional information or documentation.

Sincerely,

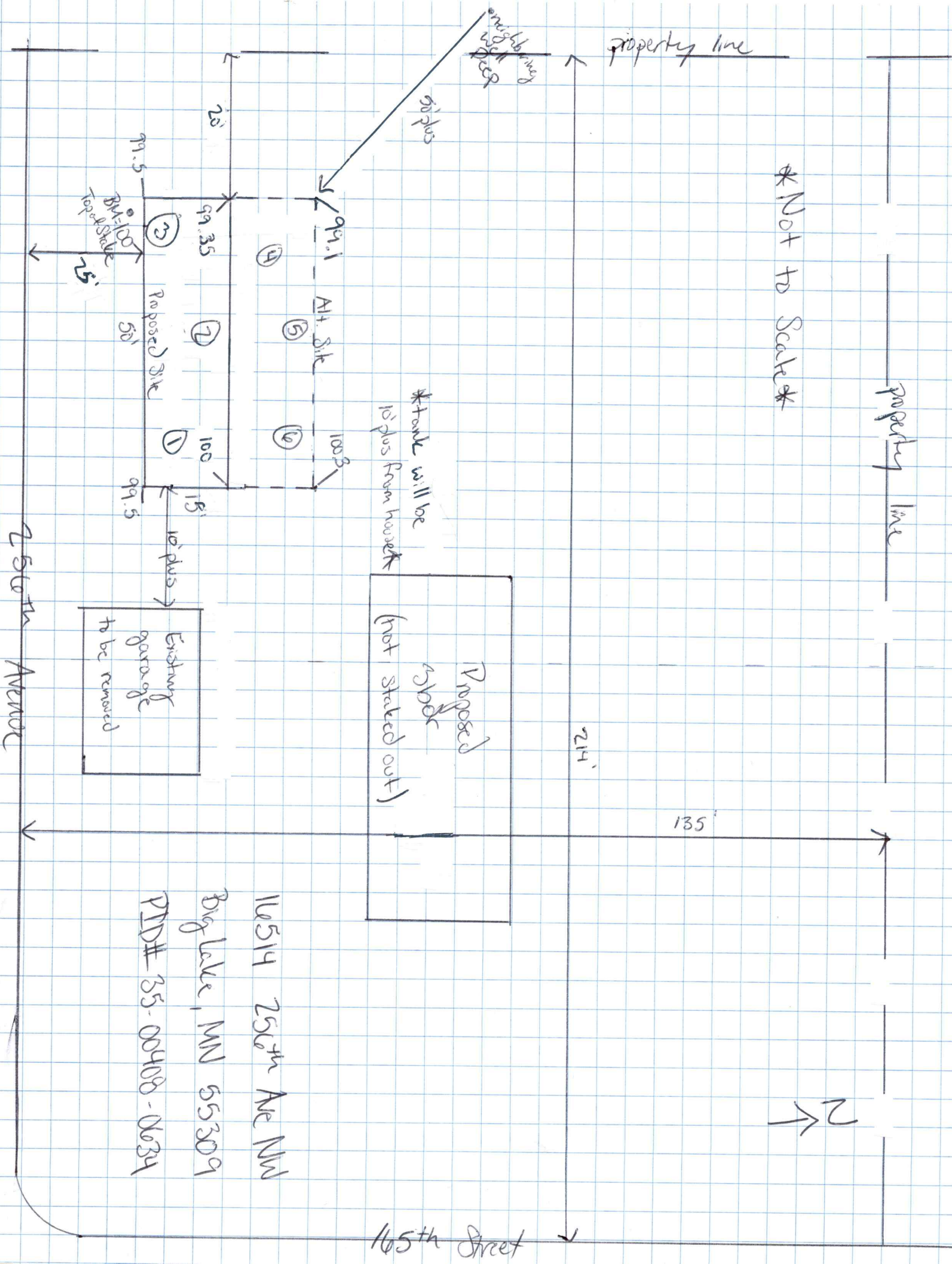
A handwritten signature in dark ink, appearing to read "Dennis Earl". The signature is fluid and cursive, with a large initial "D" and a long, sweeping underline.

Dennis Earl C6637

Absolute Septic Inc. L2633

Cell- (612)805-5438

Not to Scale



116514 25th Ave NW
Big Lake, MN 55309
PID# 35-00408-0634

165th Street



Soil Observation Log

Project ID: v 04.07.2025

Client:		Cody Slocum		Location / Address:		16514 256th Ave NW Big Lake MN			
Soil parent material(s): (Check all that apply)		<input checked="" type="checkbox"/> Outwash	<input type="checkbox"/> Lacustrine	<input type="checkbox"/> Loess	<input type="checkbox"/> Till	<input type="checkbox"/> Alluvium	<input type="checkbox"/> Bedrock	<input type="checkbox"/> Organic Matter	<input type="checkbox"/> Disturbed/Fill
Landscape Position:		Slope %:		0-1		Slope shape:		Flooding/Run-On potential:	
Vegetation:		Grass		Soil survey map units:		3 Zimmerman Fine Sand, thick		Surface Elevation-Relative to benchmark: 99.50	
Date/Time of Day/Weather Conditions:		4/23/2024		11:00 AM		sunny		Limiting Layer Elevation: 94.10	
Observation #/Type/Location:		1		Auger		see drawing		Depth to Standing Water-inches:	
Depth (in)	Texture	Rock Frag. %	Matrix Color(s)	Mottle Color(s)	Redox Kind(s)	Indicator(s)	Shape	Grade	Consistence
0-5	Fine Sand	<35	10YR 3/2						
5-12	Fine Sand	<35	10YR 4/3						
12-40	Fine Sand	<35	10YR 4/4						
40-65	Fine Sand	<35	10YR 5/4						
65-72	Fine Sand	<35	10YR 5/4	7.5YR 5/8	Concentrations	s1,s4			
Comments:									
I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.									
Dennis Earl		(Designer /Inspector)		(Signature)		L2633		(License #)	
								4/23/2024 (Date)	
Optional Verification: I hereby certify that this soil observation was verified according to Minn. R. 7082.0500 subp. 3 A. The signature below represents an infield verification of the periodically saturated soil or bedrock at the proposed soil treatment and dispersal site.									
(LGU/Designer/Inspector)		(Signature)		(Cert #)				(Date)	



Soil Observation Log

Project ID: v 04.07.2025

Client: Cody Slocum		Location / Address: 16514 256th Ave NW Big Lake MN	
Soil parent material(s): (Check all that apply) <input checked="" type="checkbox"/> Outwash <input type="checkbox"/> Lacustrine <input type="checkbox"/> Loess <input type="checkbox"/> Till <input type="checkbox"/> Alluvium <input type="checkbox"/> Bedrock <input type="checkbox"/> Organic Matter <input type="checkbox"/> Disturbed/Fill			
Landscape Position:		Slope %: 0-1	Slope shape:
Vegetation: Grass		Soil survey map units: 3 Zimmerman Fine Sand, thick	
Date/Time of Day/Weather Conditions:		4/23/2024	11:00 AM
Observation #/Type/Location:		2	Auger
Depth (in)	Texture	Rock Frag. %	Matrix Color(s)
0-6	Fine Sand	<35	10YR 3/2
6-18	Fine Sand	<35	10YR 4/3
18-30	Fine Sand	<35	10YR 4/4
30-68	Fine Sand	<35	10YR 5/4
68-72	Fine Sand	<35	10YR 5/4
			7.5YR 5/8
			Concentrations
			s1,s4
Comments:			
I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.			
Dennis Earl		L2633	4/23/2024
(Designer/Inspector)		(License #)	(Date)
Optional Verification: I hereby certify that this soil observation was verified according to Minn. R. 7082.0500 subp. 3 A. The signature below represents an infield verification of the periodically saturated soil or bedrock at the proposed soil treatment and dispersal site.			
(LGU/Designer/Inspector)		(Cert #)	(Date)



Soil Observation Log

Project ID: v 04.07.2025

Client: Cody Slocum

Location / Address: 16514 256th Ave NW Big Lake MN

Soil parent material(s): (Check all that apply) ☒ Outwash ☐ Lacustrine ☐ Loess ☐ Till ☐ Alluvium ☐ Bedrock ☐ Organic Matter ☐ Disturbed/Fill

Landscape Position:

Slope %: 0-1

Slope shape:

Flooding/Run-On potential:

Vegetation: Grass

Soil survey map units: 3 Zimmerman Fine Sand, thick

Surface Elevation-Relative to benchmark: 99.40

Date/Time of Day/Weather Conditions: 4/23/2024 11:00 AM

soil survey map units: sunny

Limiting Layer Elevation: 93.55

Observation #/Type/Location: 3

Auger

see drawing

Depth (in)	Texture	Rock Frag. %	Matrix Color(s)	Mottle Color(s)	Redox Kind(s)	Indicator(s)	Structure	
							Shape	Grade
0-6	Fine Sand	<35	10YR 3/2					
6-18	Fine Sand	<35	10YR 4/3					
18-28	Fine Sand	<35	10YR 4/4					
28-70	Fine Sand	<35	10YR 5/4					
70-72	Fine Sand	<35	10YR 5/4	7.5YR 5/6	Concentrations	s1,s4		

Comments:

I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.

Dennis Earl

(Designer/Inspector)

L2633

(License #)

4/23/2024

(Date)

Optional Verification: I hereby certify that this soil observation was verified according to Minn. R. 7082.0500 subp. 3 A. The signature below represents an infield verification of the periodically saturated soil or bedrock at the proposed soil treatment and dispersal site.

(Signature)

(Cert #)

(Date)



Soil Observation Log

Project ID:

v 04.07.2025

Client:		Cody Slocum		Location / Address:		16514 256th Ave NW Big Lake MN					
Soil parent material(s): (Check all that apply)				<input checked="" type="checkbox"/> Outwash	<input type="checkbox"/> Lacustrine	<input type="checkbox"/> Loess	<input type="checkbox"/> Till	<input type="checkbox"/> Alluvium	<input type="checkbox"/> Bedrock	<input type="checkbox"/> Organic Matter	<input type="checkbox"/> Disturbed/Fill
Landscape Position:		Slope %:		0-1		Slope shape:		Flooding/Run-On potential:			
Vegetation:		Grass		Soil survey map units:		3 Zimmerman Fine Sand, thick		Surface Elevation-Relative to benchmark:		99.35	
Date/Time of Day/Weather Conditions:		4/23/2024		11:00 AM		sunny		Limiting Layer Elevation:		93.95	
Observation #/Type/Location:				4		Auger		see drawing		Depth to Standing Water-inches:	
Depth (in)	Texture	Rock Frag. %	Matrix Color(s)	Mottle Color(s)	Redox Kind(s)	Indicator(s)	Shape	Grade	Consistence		
0-6	Fine Sand	<35	10YR 3/2								
6-18	Fine Sand	<35	10YR 4/3								
18-33	Fine Sand	<35	10YR 4/4								
33-65	Fine Sand	<35	10YR 5/4								
65-72	Fine Sand	<35	10YR 5/4	7.5YR 5/8	Concentrations	s1,s4					
Comments:											
I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.											
Dennis Earl				(Signature)				L2633		(License #)	
(Designer/Inspector)										4/23/2024 (Date)	
Optional Verification: I hereby certify that this soil observation was verified according to Minn. R. 7082.0500 subp. 3 A. The signature below represents an infield verification of the periodically saturated soil or bedrock at the proposed soil treatment and dispersal site.											
(LGU/Designer/Inspector)				(Signature)				(Cert #)		(Date)	



Soil Observation Log

Project ID:

v 04.07.2025

Client:		Cody Slocum										Location / Address: 16514 256th Ave NW Big Lake MN			
Soil parent material(s): (Check all that apply)		<input checked="" type="checkbox"/> Outwash	<input type="checkbox"/> Lacustrine	<input type="checkbox"/> Loess	<input type="checkbox"/> Till	<input type="checkbox"/> Alluvium	<input type="checkbox"/> Bedrock	<input type="checkbox"/> Organic Matter	<input type="checkbox"/> Disturbed/Fill						
Landscape Position:		Slope %: 0-1		Slope shape:		Flooding/Run-On potential:									
Vegetation: Grass		Soil survey map units: 3 Zimmerman Fine Sand, thick		Surface Elevation-Relative to benchmark: 99.60											
Date/Time of Day/Weather Conditions:		4/23/2024		11:00 AM		sunny		Limiting Layer Elevation: 94.20							
Observation #/Type/Location:		5		Auger		see drawing		Depth to Standing Water-inches:							
Depth (in)	Texture	Rock Frag. %	Matrix Color(s)	Mottle Color(s)	Redox Kind(s)	Indicator(s)	Shape	Grade	Consistence						
0-6	Fine Sand	<35	10YR 3/2												
6-17	Fine Sand	<35	10YR 4/3												
17-28	Fine Sand	<35	10YR 4/4												
28-65	Fine Sand	<35	10YR 5/4												
65-72	Fine Sand	<35	10YR 5/4	7.5YR 5/8	Concentrations	s1,s4									
Comments:															
I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.															
Dennis Earl (Designer/Inspector)															
L2633 (License #)															
4/23/2024 (Date)															
Optional Verification: I hereby certify that this soil observation was verified according to Minn. R. 7082.0500 subp. 3 A. The signature below represents an infield verification of the periodically saturated soil or bedrock at the proposed soil treatment and dispersal site.															
(Signature)															
(Cert #)															
(Date)															



Soil Observation Log

Project ID: v 04.07.2025

Client:		Cody Slocum		Location / Address:		16514 256th Ave NW Big Lake MN			
Soil parent material(s): (Check all that apply)		<input checked="" type="checkbox"/> Outwash	<input type="checkbox"/> Lacustrine	<input type="checkbox"/> Loess	<input type="checkbox"/> Till	<input type="checkbox"/> Alluvium	<input type="checkbox"/> Bedrock	<input type="checkbox"/> Organic Matter	<input type="checkbox"/> Disturbed/Fill
Landscape Position:		Slope %:		0-1		Slope shape:		Flooding/Run-On potential:	
Vegetation:		Grass		Soil survey map units:		3 Zimmerman Fine Sand, thick		Surface Elevation-Relative to benchmark: 99.90	
Date/Time of Day/Weather Conditions:		4/23/2024		11:00 AM		sunny		Limiting Layer Elevation: 94.05	
Observation #/Type/Location:		6		Auger		see drawing		Depth to Standing Water-inches:	
Depth (in)	Texture	Rock Frag. %	Matrix Color(s)	Mottle Color(s)	Redox Kind(s)	Indicator(s)	Shape	Grade	Consistence
0-6	Fine Sand	<35	10YR 3/2						
6-18	Fine Sand	<35	10YR 4/3						
18-29	Fine Sand	<35	10YR 4/4						
29-70	Fine Sand	<35	10YR 5/4						
70-72	Fine Sand	<35	10YR 5/4	7.5YR 5/8	Concentrations	s1,s4			
Comments:									
I hereby certify that I have completed this work in accordance with all applicable ordinances, rules and laws.									
Dennis Earl		(Designer/Inspector)		L2633		(License #)		4/23/2024 (Date)	
Optional Verification: I hereby certify that this soil observation was verified according to Minn. R. 7082.0500 subp. 3 A. The signature below represents an infield verification of the periodically saturated soil or bedrock at the proposed soil treatment and dispersal site.									
		(Signature)				(Cert #)		(Date)	
(LGU/Designer/Inspector)									

Soil Map—Sherburne County, Minnesota



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
1258B	Zimmerman fine sand, thick solum, 1 to 6 percent slopes	0.7	100.0%
Totals for Area of Interest		0.7	100.0%

Sherburne County, Minnesota

1258B—Zimmerman fine sand, thick solum, 1 to 6 percent slopes

Map Unit Setting

National map unit symbol: ggyl
Elevation: 930 to 1,000 feet
Mean annual precipitation: 25 to 34 inches
Mean annual air temperature: 37 to 46 degrees F
Frost-free period: 120 to 180 days
Farmland classification: Not prime farmland

Map Unit Composition

Zimmerman, thick solum, and similar soils: 95 percent
Minor components: 5 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Zimmerman, Thick Solum

Setting

Landform: Hills on outwash plains
Landform position (two-dimensional): Backslope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Outwash

Typical profile

A - 0 to 2 inches: fine sand
Bw,E - 2 to 62 inches: fine sand
E'&Bt - 62 to 80 inches: fine sand

Properties and qualities

Slope: 1 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Excessively drained
Capacity of the most limiting layer to transmit water (Ksat): High to very high (5.95 to 19.98 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply, 0 to 60 inches: Low (about 4.8 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4s
Hydrologic Soil Group: A
Ecological site: F091XY015WI - Dry Upland
Forage suitability group: Sandy (G091XN022MN)
Other vegetative classification: Sandy (G091XN022MN)
Hydric soil rating: No

Minor Components

Cantlin

Percent of map unit: 2 percent

Hydric soil rating: No

Lino

Percent of map unit: 2 percent

Hydric soil rating: No

Isanti

Percent of map unit: 1 percent

Landform: Depressions

Hydric soil rating: Yes

Data Source Information

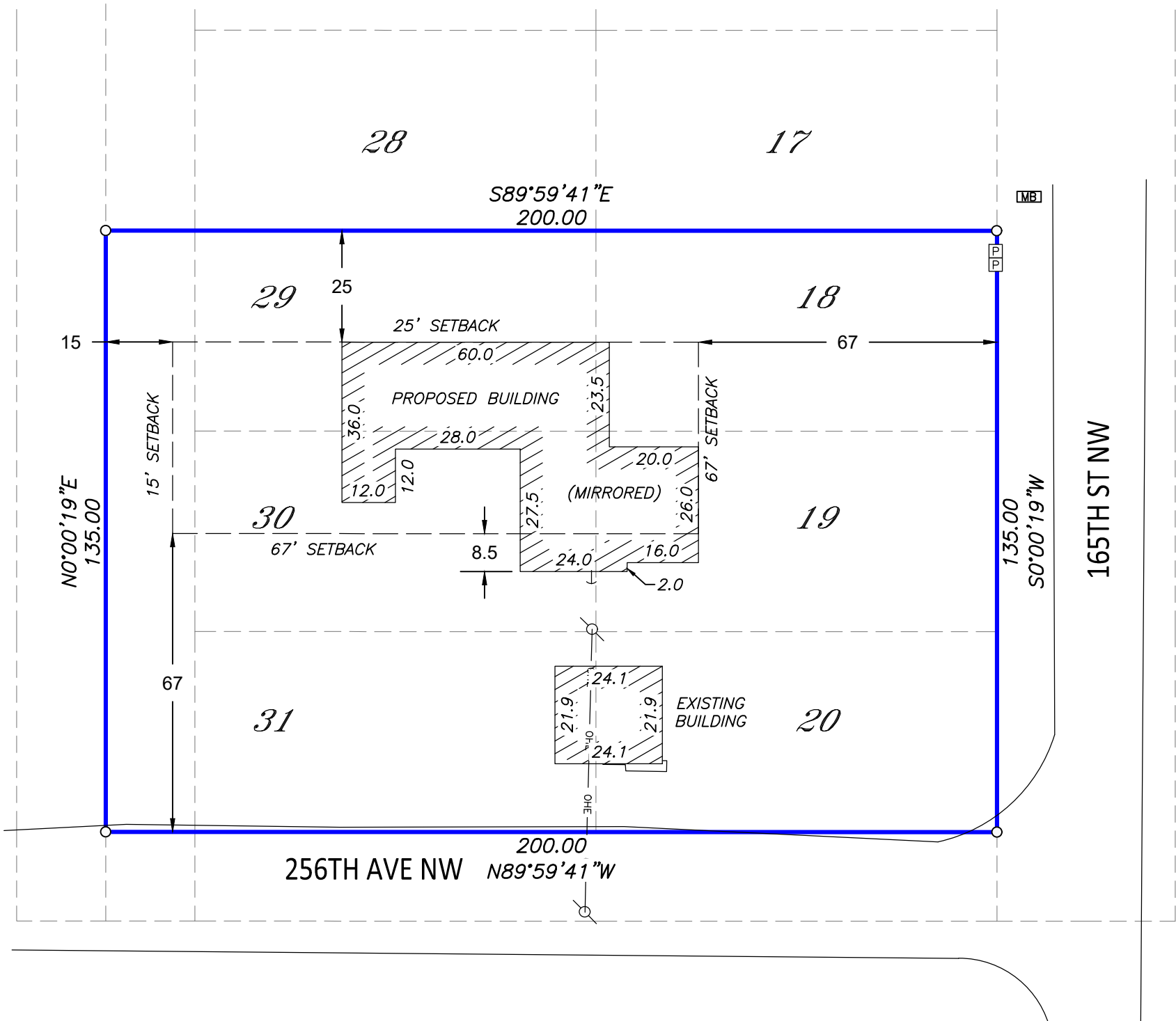
Soil Survey Area: Sherburne County, Minnesota

Survey Area Data: Version 22, Sep 7, 2024



CERTIFICATE OF SURVEY

LOTS 18-20, 29-31 BLOCK 6 ANN LAKE BEACH AND
THE EASTERLY HALF OF VACATED BEUCLER STREET
LYING SOUTHERLY OF THE NORTHERLY LINE OF 18
AND 29 EXTENDED, SHERBURNE COUNTY MINNESOTA.



LEGEND

○ IRON MONUMENT SET

— PROPERTY BOUNDARY

- - - SETBACK LINES

SCALE
1" = 30'

30 0 30 60

BEARINGS ARE BASED ON NAD83(2011)
SHERBURNE COUNTY COORDINATE SYSTEM

NORTHWESTERN SURVEYING AND ENGINEERING, INC. PREPARED THIS SURVEY WITHOUT THE BENEFIT OF CURRENT TITLE WORK. THE PROPERTY SHOWN IS BASED ON A LEGAL DESCRIPTION PROVIDED BY YOU THE CLIENT OR A GENERAL REQUEST AT THE APPROPRIATE COUNTY RECORDER'S OFFICE. EASEMENTS, SITE RESTRICTIONS OR ADJOINING DEED CONFLICTS MAY EXIST WHICH AFFECT SUBJECT PROPERTY AND ARE NOT SHOWN BY THIS SURVEY. WE RESERVE THE RIGHT TO REVISE THE SURVEY UPON RECEIPT OF A CURRENT TITLE COMMITMENT OR TITLE OPINION.

NORTHWESTERN
SURVEYING & ENGINEERING, INC.
P.O. Box 3067 ~ Bemidji Minnesota ~ 56619

CODY SLOCUM 16514
256TH AVE, BIG LAKE,
SHERBURNE COUNTY,
MINNESOTA

JOB#:	251173	DRAWN BY:	JS
FILENAME:	251173.DWG		
REV#	DESCRIPTION	DATE	

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Theodore S. Brown
THEODORE S. BROWN (LIC. NO. 54678)

DATE:06/06/2025



AGENDA ITEM
Orrock Town Board

Prepared By: Shelley Erickson, Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 7C
Item Description: IT Update	Reviewed By: N/A		
	Reviewed By: Shelley Erickson		

ACTION REQUESTED
Update

BACKGROUND/DISCUSSION

Tablets for the Supervisors have been ordered, received and programming is in process. We will finish them up next week. The security for the treasurers computer, the townhall computer and clerks computer have all been updated. There are just a few more things to look at on the clerks computer. On the townhall computer we need to make sure the programs already installed will work with Windows 11 before we update it to Windows 11.



AGENDA ITEM
Orrock Town Board

Prepared By: Shelley Erickson, Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 7D
Item Description: LBRP & LRIP Funding Available	Reviewed By: N/A		
	Reviewed By: Shelley Erickson		

ACTION REQUESTED
Information

BACKGROUND/DISCUSSION

Funding Available: Local Bridge Replacement Program (LBRP) and Local Road Improvement Program (LRIP)

Our District 7 MAT director sent this information regarding available funding. The legislature was able to set aside some extra road & bridge money for townships, and it is on a first come first served basis. If this is something we are interested in, we will need to gather more information.

ATTACHMENT
Funding Info

Funding Available: Local Bridge Replacement Program (LBRP) and Local Road Improvement Program (LRIP)

The 2025 Minnesota State Legislature appropriated significant funding that townships can apply for:

Local Bridge Replacement Program (LBRP)

- \$20 million in general obligation (GO) bonds was approved for competitive LBRP grants.
- Townships are eligible.
- Funding is being distributed on a first come, first served basis after priority projects on the waiting list are funded (~\$10 million needed for those projects).
- State Aid will continue to reserve bridge funds for required matches on federally funded projects.
- If your township has an eligible bridge project, act soon!

For questions about LBRP, contact Jerilyn Swenson at 612-409-3158 or jerilyn.swenson@state.mn.us.

Local Road Improvement Program (LRIP)

- \$47 million in GO bonds was also approved for competitive LRIP grants, with at least \$5 million reserved for townships.
- The next solicitation is expected in fall 2025, with informational webinars beforehand.
- For questions about LRIP, contact Rashmi Brewer at 651-366-3830 or rashmi.brewer@state.mn.us.



AGENDA ITEM

Orrock Town Board

Prepared By: Shelley Erickson, Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 8A
Item Description: Golden Oaks	Reviewed By: N/A		
	Reviewed By: Dalton Keiderling		

ACTION REQUESTED

Decision/Motion

BACKGROUND/DISCUSSION

Golden Oaks Estate

- Residents are determining how best to build on their property
- Original ask was to vacate a portion of the platted, but unbuilt road (Cherokee Lane)
- Dalton visited the property to see proposed site and discuss with residents
- Site plans were drawn; requested that they add Cherokee road and distance from where it's platted

ATTACHMENTS

Map

GOLDEN OAKS ESTATES

2ND ADDITION

Orrock Township
Sherburne County, Minnesota

KNOW ALL MEN BY THESE PRESENTS: That Reuben T. Leines, and Joyce J. Leines, husband and wife, fee owners of the following described property situated in the State of Minnesota, County of Sherburne to-wit:

All that part of Government Lot 2, Section 22, Township 34, Range 27 lying Easterly of a line described as commencing at the Northeast corner of said Government Lot 2, being a brass capped concrete monument set as a boundary corner of the Sherburne National Wildlife Refuge; thence West, assumed bearing, along the North line of said Government Lot 2 a distance of 856.00 feet to the center line of a Township Road (formerly County State Aid Highway #15) and the actual point of beginning of the line to be hereby described; thence South 44° 38' West along said center line and parallel with the South-easterly line of the duly recorded plat of PALM BEACH for a distance of 1291.04 feet; thence continue on said center line along a tangential curve to the left, central angle 39° 14' 50", radius 490.82 feet, length 336.21 feet; thence South 5° 23' 10" West and tangent to said curve for a distance of 102.81 feet, more or less, to intersect the South line of said Government Lot 2 and there terminating.

Have caused the same to be surveyed and platted as GOLDEN OAKS ESTATES 2ND ADDITION, and do hereby donate and dedicate to the public for the public use forever the road, highway, lane and circles as shown on this plat. Also dedicating, for utility and drainage purposes, the utility and drainage easements as shown on this plat. Also dedicating, to the County of Sherburne, the right of access to County State Aid Highway No. 15 from Lots 1, 8, 9, & 16 of Block 2 of this plat and from Lots 1, 2, 3, & 4 of Block 3 of this plat and from Lot 8 of Block 1 of this plat.

In witness whereof, we have hereunto set our hands and seals this 5TH day of APRIL, 1974, A.D.

Signed:

Reuben T. Leines Reuben T. Leines

Joyce J. Leines Joyce J. Leines

State of Minnesota
County of SHERBURNE

The foregoing instrument was acknowledged before me this 5TH day of APRIL, 1974, A.D. by Reuben T. Leines and Joyce J. Leines, husband and wife

Jeffrey E. M. Rector
Notary Public, Sherburne County, Minnesota
Serial No. 0-11253

I hereby certify that I have surveyed and platted the property described in this plat as GOLDEN OAKS ESTATES 2ND ADDITION and that this plat is a correct representation of said survey; that all monuments have been correctly placed in the ground as shown on the plat; that all distances are correctly shown on the plat in feet and decimals of a foot; that the outside boundary lines are correctly designated on the plat; and that there are no wet lands or public highways to be designated on the plat other than as shown thereon.

John O. Oliver
John O. Oliver, Land Surveyor
Minnesota Registration No. 8194

State of Minnesota The above certificate was subscribed and sworn to before me this 1ST day of APRIL, 1974, A.D.

Jeffrey E. M. Rector
Notary Public, Sherburne County, Minnesota
Serial No. 0-11253

Approved and accepted by the Board of Township Supervisors of the Township of Orrock, this 28th day of May, 1974, A.D.

Ronald W. Anderson Signed: Chairman

Examined and recommended for approval for Sherburne County this 29th day of March, 1974, A.D.

Roland W. Anderson Registered Land Surveyor No. 5715

Approved as to form and execution this 6th day of JUNE, 1974, A.D. John E. MacKubin Sherburne County Attorney

Recommended for approval this 30TH day of APRIL, 1974, A.D. Robert W. Anderson Sherburne County Highway Engineer

Approved by the Sherburne County Planning Commission this 14th day of March, 1974, A.D.

Lawrence W. Nordlund Signed: Chairman Kenneth L. Mitchell Attest: Secretary

Approved by Sherburne County, Minnesota, this 6th day of June, 1974, A.D.

Lytle R. Smith Signed: Chairman, Board of County Commissioners, Richard A. Gray Attest: County Auditor

OFFICE OF REGISTER OF DEEDS
STATE OF MINNESOTA
COUNTY OF SHERBURNE

I HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WAS FILED IN THIS OFFICE FOR RECORD ON June 12, 1974 at 9 AM AND WAS RECORDED IN SAID OFFICE AS INSTRUMENT NO. 127688 DAN BAILEY, REGISTER OF DEEDS Lorraine Thompson DEPUTY.

Transfer entered this 10th day of June, 1974
Richard A. Gray
By _____

ORROCK TOWNSHIP
SHERBURNE COUNTY, MINNESOTA

OFFICE OF REGISTER OF DEEDS
STATE OF MINNESOTA
COUNTY OF SHERBURNE

I HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WAS FILED IN THIS OFFICE FOR RECORD
ON June 12 1977 at 9:10 AM
AND WAS RECORDED IN SAID OFFICE AS
INSTRUMENT NO. 127688
DAN BAILEY, REGISTER OF DEEDS
Lorraine Thompson DEPUTY.

Sheet 2 of 2 Sheets

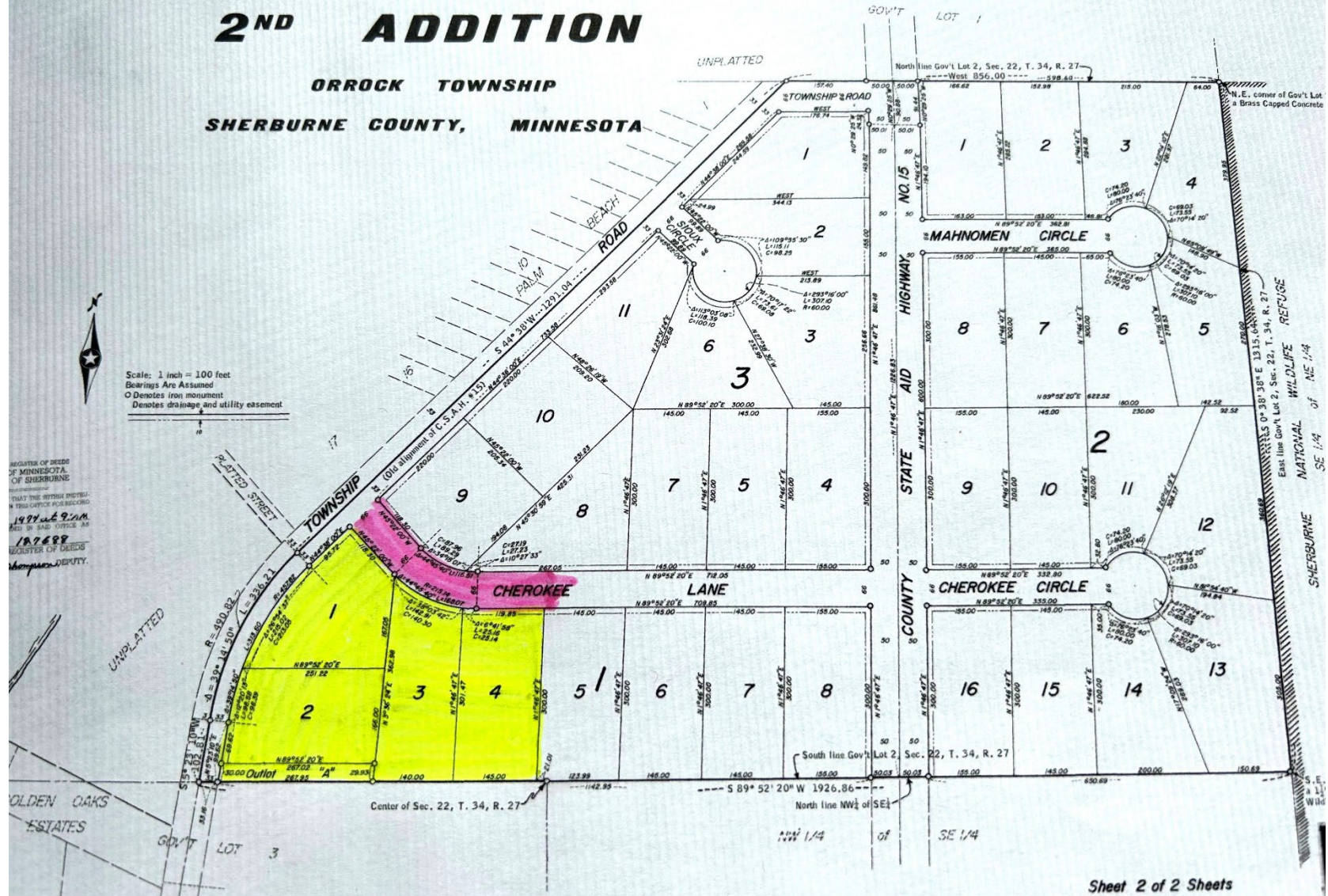
**JOHN
OLIVER
&
ASSOC.
INC.**

**LAND
SURVEYORS**

Elk River, Minn.

ORROCK TOWNSHIP
SHERBURNE COUNTY, MINNESOTA

REGISTER OF DEEDS
OF MINNESOTA
OF SHERBURNE
THAT THE WITHIN INSTRUMENT
IN THIS OFFICE FOR RECORD
1997 at 9:10 AM
FILED IN SAID OFFICE AS
187688
REGISTER OF DEEDS
Chapman DEPUTY.





AGENDA ITEM

Orrock Town Board

Prepared By: <i>Shelley Erickson, Clerk</i>	Meeting Date: <i>07/23/2025</i>	Regular Agenda Item	Item No. 8B
Item Description: <i>Easement on 16376 230th Ave NW</i>	Reviewed By: <i>N/A</i>		
	Reviewed By: <i>Dalton Keiderling</i>		

ACTION REQUESTED

Discuss/Motion

BACKGROUND/DISCUSSION

Residents just purchased the property and found out a week before closing that their accessory storage unit and driveway are in the easement

- Title insurance is not free and clear because of this
- Easement is for a drainage pond and utilities
- Because a drainage pond is no longer practical, the residents are requesting the easement be vacated
- Permits for both the house and accessory storage unit were issued, approved, and closed by the county (pulled in 1989 and 1998 respectively) with no mention of an easement or variance
- Diagram from resident is attached

ATTACHMENTS

Diagram

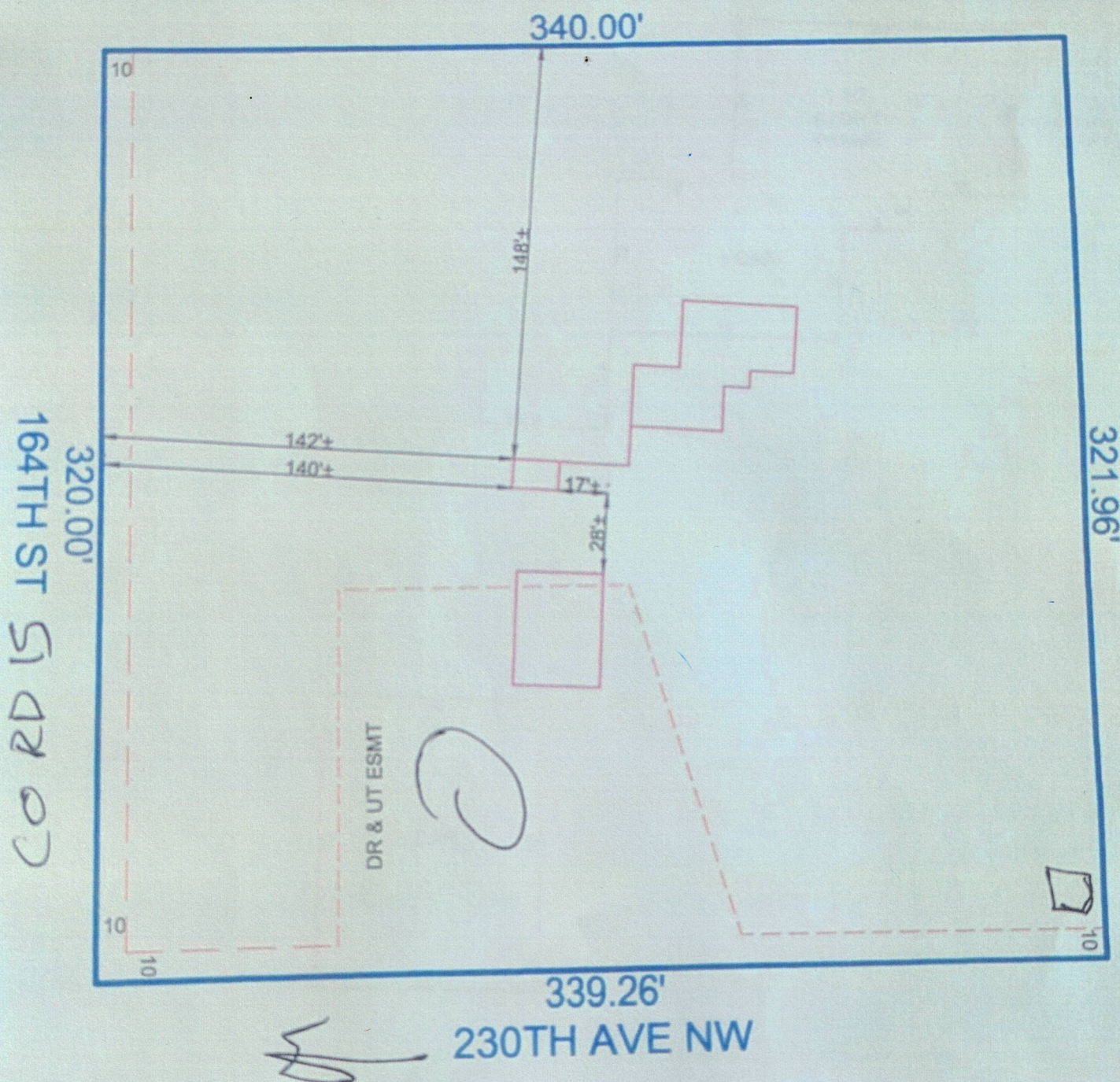


EPIC PROPERTY SERVICES

PROPERTY SKETCH

50 Scale

ENCROACHED



16376 230TH AVE NW

ELK RIVER

THIS IS NOT A SURVEY NOR SHOULD THIS BE USED AS A SURVEY TO LOCATE FUTURE IMPROVEMENTS. This drawing is for residential mortgage informational purposes only. The information relating to the property dimensions is based upon the recorded plat or maps in the county records. The improvements location and dimensions shown are approximate and based upon a visual inspection.





AGENDA ITEM

Orrock Town Board

Prepared By: Shelley Erickson, Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 8C
Item Description: Easement for drainage use on 233rd Ave NW	Reviewed By: N/A		
	Reviewed By: Dalton Keiderling		

ACTION REQUESTED

Discuss/Motion

BACKGROUND/DISCUSSION

Have we heard back from our lawyer or WSB about how this easement was formed?

- Need to determine if this easement can be used or if it has been lost

- If not lost, need to continue discussing drainage

- If lost, Dalton to reach out to the residents who appeared earlier this year asking us to vacate the road easement as they were trying to build an accessory storage unit







AGENDA ITEM

Orrock Town Board

Prepared By: Shelley Erickson, Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 8D
Item Description: Greenways	Reviewed By: N/A		
	Reviewed By: Dalton Keiderling		

ACTION REQUESTED

Discussion

BACKGROUND/DISCUSSION

Dalton has received two voicemails this week from different residents about vacating easements. He is trying to get exact addresses for them. One is on the East side of Ann Lake and is "basically his driveway". Peter has been working with a resident on the West side of Eagle Lake about an easement similar to the one described on Ann Lake.

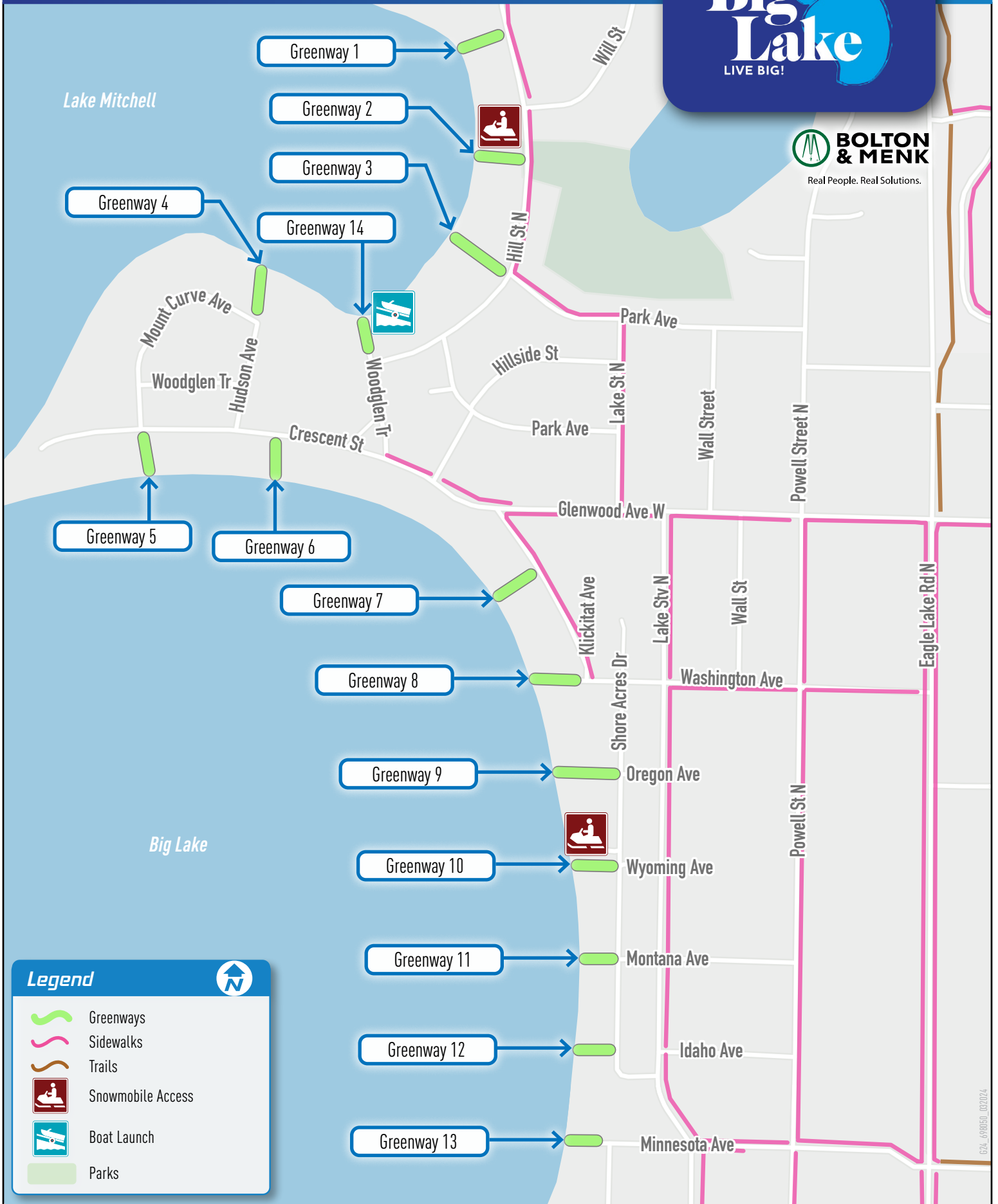
The question is how we want to proceed with maintaining these easements.

Greenways Map

To view information on greenway guidelines visit biglakemn.org

CITY OF
Big Lake
LIVE BIG!

BOLTON & MENK
Real People. Real Solutions.





AGENDA ITEM
Orrock Town Board

Prepared By: <i>Shelley Erickson , Clerk</i>	Meeting Date: <i>7/23/2025</i>	Regular Agenda Item	Item No. 9A
Item Description: <i>Tree Trimming Update</i>	Reviewed By: N/A		
	Reviewed By: Peter Owen		

ACTION REQUESTED
Discussion

BACKGROUND/DISCUSSION
Report by Supervisor Owen who has been working with Waletzko, LLC to trim trees in the right-of-way throughout the Township.



AGENDA ITEM
Orrock Town Board

Prepared By: <i>Shelley Erickson , Clerk</i>	Meeting Date: <i>7/23/2025</i>	Regular Agenda Item	Item No. 9B
Item Description: <i>Pothole Patching Update</i>	Reviewed By: <i>N/A</i>		
	Reviewed By: <i>Peter Owen</i>		

ACTION REQUESTED
Discussion

BACKGROUND/DISCUSSION
Report by Supervisor Owen who has been working with Erickson Asphalt to patch potholes in the Township.

"Named One of the Top 50
Pavement Contractors
in the USA!"

Pavement Magazine
June 2002-2022

Licensed and Insured



P.O. Box 176
Princeton, MN 55371
Phone: (763) 389-5267
Fax (763) 389-9988
Info@ericksonasphalt.com
www.ericksonasphalt.com

Date: June 13, 2025

Estimate No.: 43854

Proposal Submitted To: Orrock Township	Date: June 13, 2025	Estimate No.: 43854
Attn: Peter Owen	SupervisorD@orrocktownship.com	Ph1: 763-250-4109
Property Name:	Job Name:	
Address: 26401 180th St NW Big Lake, MN 55309	Job Address: 206th and county rd 75 Big Lake, MN 55309	

SCOPE OF WORK

Infrared Patching: Township will mark and supply a map

Repair potholes and damaged asphalt using the infrared method of asphalt pavement patching.
These are/will be marked with marking paint.

Each patch repair approx. 5' x 7'

The Infrared process includes:

- 28 Patches spread around township 1 shovel patch
- Clean areas of the dirt and debris.
- Heat the asphalt to a working temperature of 300 F.
- Rake heated area and remove any oxidized deteriorated asphalt.
- Add new asphalt and compact with vibratory roller.
- Clean up all job debris.

half is
\$ 3,179.00
According to this we
pay half up front
Need to sign ✓

All of the above work to be completed in substantial and workmanlike manner for the total of **\$6,358.00** Terms: 1/2 down, 1/2 remainder due upon completion. Any unpaid balance will accrue at 1.5% per month. Good for 15 days.

Erickson Asphalt Services, Inc. agrees to carry Workmans' Compensation and Public Liability Insurance, also to pay all Sales Taxes, upon the material furnished under this contract, as required by the United States Government and the State in which the work is performed. Erickson Asphalt Services, Inc. agrees to complete outlined work in a workmanlike manner in accordance to standard construction practices. All agreements are contingent upon delays beyond the control of Erickson Asphalt Services, Inc. Erickson Asphalt Services, Inc. has the right to refuse to accept any proposal.

I have read the contract terms and conditions on the back of this proposal and have been informed about water drainage. By signing this proposal, I acknowledge agreement to all of the stated contract terms and conditions

Eli Erickson (612-449-2447)

Signature of Owner

Date

Signature of Contractor

Date

Please Sign and Return to accept this Proposal • We accept these major credit cards





AGENDA ITEM
Orrock Town Board

Prepared By: Shelley Erickson , Clerk	Meeting Date: 07/23/2025	Regular Agenda Item	Item No. 9C
Item Description: West Eagle Lake RD Improvement Update	Reviewed By: N/A		
	Reviewed By: Kevin Krueger		

ACTION REQUESTED
Discussion

BACKGROUND/DISCUSSION
Kevin Krueger will give an update on the West Eagle Lake Road Improvement project which will cover 232nd Ave from Co. Rd. 75 E to corner of 232nd Ave/188th St., 188th St NW to the dead end, and 232nd Ave west to Co. Rd. 75.

ATTACHMENTS
Map

EXISTING PLAN SYMBOLS

PROPERTY LINE/RIGHT-OF-WAY
UTILITY EASEMENT
TREE LINE
SEMI
DECIDUOUS TREE
SHRUB
CONIFEROUS TREE

EXISTING UTILITY SYMBOLS

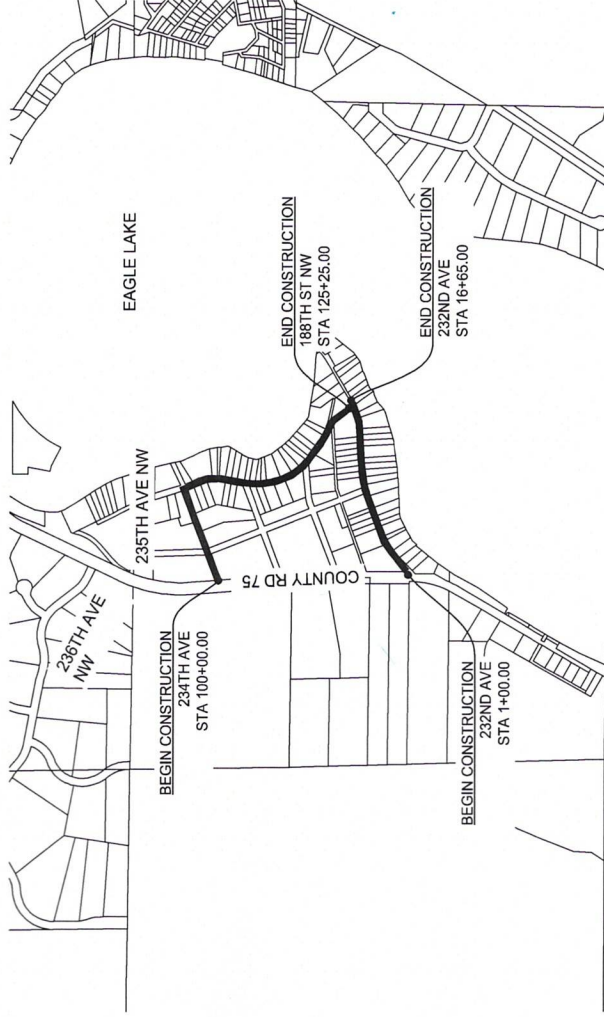
TRUNK OPTIC LINE
TRUNK POWER LINE
COMMUNICATION LINE
ELECTRIC POWER LINE
WATER MAIN
SANITARY SEWER
STORM SEWER
COMMUNICATIONS FIBER OPTIC
POWER POLE
ELECTRIC BOX
CATCH BASIN
STORM DRAIN
STORM SEWER MANHOLE
GATE VALVE
HYDRANT
SANITARY SEWER MANHOLE

2025 ROADWAY IMPROVEMENTS

ORROCK TOWNSHIP

CONSTRUCTION PLAN FOR BITUMINOUS RECLAMATION, GRADING, BITUMINOUS PAVING

LOCATED ON 232ND AVE FROM COUNTY RD 75 TO DEAD END
234TH AVE & 188TH ST NW FROM COUNTY RD 75 TO 232ND AVE



PROJECT LOCATION MAP

EXCAVATION NOTICE SYSTEM

A CALL TO GOPHER STATE ONE (861-464-0023) IS REQUIRED A MINIMUM OF 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION.



PROJECT LOCATION
COUNTY: SHERBURNE

SECT 31, TWP 034, RING 27

UTILITY INFORMATION
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF GIASCE 38-22, ENTITLED, "STANDARD GUIDELINES FOR INVESTIGATING AND DOCUMENTING EXISTING UTILITIES".
GOPHER ONE CALL TICKET NUMBER: 251700213, 251700214, 251700215

PLAN REVISIONS	
DATE	APPROVED BY

GOVERNING SPECIFICATIONS
THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR CONSTRUCTION' SHALL GOVERN.
ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION 'STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES' INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

PLAN SET INDEX

SHEET NO.	DESCRIPTION
1	TITLE
2	STATEMENT OF ESTIMATED QUANTITIES
3-4	TYPICAL SECTIONS
5-8	REMOVAL PLANS
9-15	PLAN & PROFILE PLANS
16-19	EROSION CONTROL PLANS
20-30	CROSS SECTIONS

THIS PLAN SET CONTAINS XXX SHEETS

THIS PLAN SET HAS BEEN PREPARED FOR:

ORROCK TOWNSHIP
26401 180TH STREET
ORROCK, MN 55309
(763) 263-6411

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.



I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

KEVIN L. KRUGER, P.E.

DATE: MM/DD/YYYY LICENSE NUMBER: 57791

WSB PROJ. NO. 026944-000
SHEET 1 OF XXX



SWCD Tour of Conservation Practices

AUGUST
28
8:30 AM

SWCD Tour of Practices
Thursday, August 28th
8:30am - 2:00pm

Tour Meeting Location
Big Lake Township Hall
21960 Co Rd 5, Big Lake, MN 55309

Join us for our annual conservation tour featuring innovative practices in action! Stops include a cover crop drone seeding, soil pit exploration, native lakeshore buffer, thriving prairie restoration, and machine tree planting demonstration. Discover how these techniques protect our land and water! Lunch and transportation provided. More information to come.



Sherburne Soil and Water Conservation District

763-220-3434 | 425 Jackson Ave NE
www.sherburneswcd.org | Elk River, MN 55330

Register Online At:

<https://www.sherburneswcd.org/2025-tour-of-conservation-practices.html>

Thank you so much to Chris Weber for donating this framed photo of the Town Hall.

