



BARTON COUNTY

ASSESSOR

Field Appraiser Position

Position Summary:

The Field Appraiser is responsible for conducting on-site property inspections and data collection to determine the accurate valuation of real estate for tax assessment purposes. This role plays a critical part in ensuring fair and equitable property assessments in compliance with local, state, and federal regulations.

Key Responsibilities:

- Conduct field inspections of residential, commercial, agricultural, and/or industrial properties.
- Collect and verify property data including dimensions, building characteristics, usage, condition, and improvements.
- Take measurements and photographs to document findings.
- Work with property owners or occupants to obtain relevant property information.
- Interpret construction plans, deeds, plats, maps, and other property records.
- Accurately update property data, sketching building layouts and dimensions in the Computer-Assisted Mass Appraisal (CAMA) system.
- Assist in calculating property values using standardized appraisal methods.
- Respond to inquiries from the public regarding property assessments and procedures.
- Stay current on appraisal techniques, laws, and local market trends.
- Perform other duties as assigned.



417.682.3553



assessor@countyofbarton.gov



1004 Gulf St RM 109
Lamar, MO 64759

Qualifications:

Education and Experience:

- High school diploma or GED required.
- Prior experience in appraisal, real estate, construction, or a related field is desirable.
- Completion of or willingness to complete relevant appraisal training courses/certifications.

Licenses/Certifications:

- Valid driver's license and good driving record.
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Knowledge, Skills, and Abilities: (Will train the right person)

- Basic knowledge of appraisal methods and property valuation principles.
 - Ability to read and interpret property maps, deeds, and construction plans.
 - Strong attention to detail and accuracy.
 - Good verbal and written communication skills.
 - Ability to work independently and manage time effectively.
 - Comfortable working outdoors in varying weather conditions.
 - Proficient with computers, including Microsoft Office and property appraisal software.
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Work Environment:

The Assessor's Office provides a professional and supportive environment that values courteous public service, collaboration, and integrity. As a representative of the office, the Field Appraiser will regularly interact with property owners, residents, and colleagues in a calm, respectful, and professional manner.

- Work is performed both in an office setting and in the field.
- Fieldwork may involve walking distances, navigating uneven terrain, and exposure to outdoor elements.
- Use of county vehicles for property inspections.
- Must work with the public and have a good temperament. We are highly team oriented.

County Benefits:

- CERF Retirement (8 years vested)
 - Health Insurance Paid (Employee only) *after 30 days
 - Life Insurance
 - 401(a)
 - 457 savings
 - Paid Holidays (15 days)
 - Personal Days (2 days per year)
 - Sick Pay (12 days *1 day earned per month) *after 30 days
 - Vacation (12 days *1 day earned per month) *after 30 days
 - Bi-Weekly Payroll
 - Paid Training
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If you are interested in applying

- Drop off resume at the Assessor's Office
- Email- assessor@countyofbarton.gov
- Mail to the office - 1004 Gulf St. RM 109 Lamar, MO 64759