



This **Summary Report** is meant to organize any **Moderate Recommendations** and **Significant and/or Safety Concerns** into a shorter, straight to-the-point format. It does not, however, include **Upgrade/Maintenance** recommendations or Informational data that can be found in the Full Report.

This section is provided as a courtesy and cannot be considered a substitute for reading the entire report.

*This is meant to be an Honest, Impartial, Third-Party assessment. I am more than happy to discuss anything in more detail.*

*Please reach out if you have any questions or need further explanation on anything identified in this report.*

1.2.1 General

**OBTAIN INFORMATION**



We recommend obtaining from the Owner (and Public Records) all available Information, User's Guides/Owner's Manuals, Receipts, Warranties, Permits, Insurance Claims, and Warranty Transferability & Fees regarding the Repairs, Upgrades, and Components of the Home & Lot.

1.2.2 General

**EVIDENCE OF INSECTS, BIRDS OR RODENTS PRESENT**



We observed evidence that the home appears to be infested with insects, birds and/or rodents. We recommend having the home treated for insects and/or rodents prior to occupation.

Recommendation  
Contact a qualified professional.



Carpenter bees. Detached building

2.2.1 Window Exteriors

**SCREENS - DAMAGED AND/OR MISSING.**

 Moderate Item

One or more screens were damaged and/or missing at the time of the inspection.

Recommendation

Contact a qualified window repair/installation contractor.



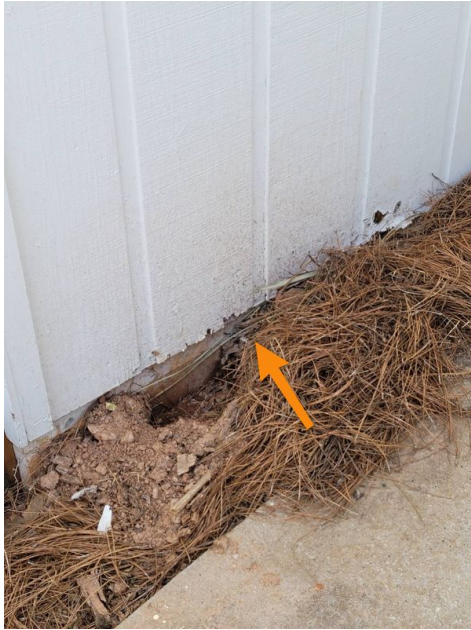
No screens present

### WOOD ROT

There is wood rot that should be repaired to prevent further damage and deterioration.

Recommendation

Contact a qualified siding specialist.



Right front



Right rear



Rear



Left around kitchen bay window.  
Multiple locations

### 2.3.2 Siding, Flashing & Trim

#### **GAP NEEDS FILLED**

 Moderate Item

Recommend sealing or filling gaps to prevent moisture, rodent, or insect damage.



All penetrations

### 2.3.3 Siding, Flashing & Trim

#### **SIDING ROOF CLEARANCE**

 Moderate Item

Siding on the home did not have the recommended clearance of 1.5" to the roof. Running siding close to asphalt shingles results in moisture damage and premature failure. Recommend trimming or replacing the siding for proper clearance.

Recommendation

Contact a qualified professional.



Right front and back

2.6.1 Patios, Decks, Balconies, Appurtenances

**DECK/BALCONY UNSTABLE SUPPORT**

 Moderate Item

One of more areas of the deck or balcony support appears unstable. This could cause a safety hazard and further deterioration of the deck or balcony



Warped post

2.6.2 Patios, Decks, Balconies, Appurtenances

**JOIST HANGERS**

 Moderate Item

Joist hanger(s) are missing or improperly installed. This could cause the deck structure to fail.



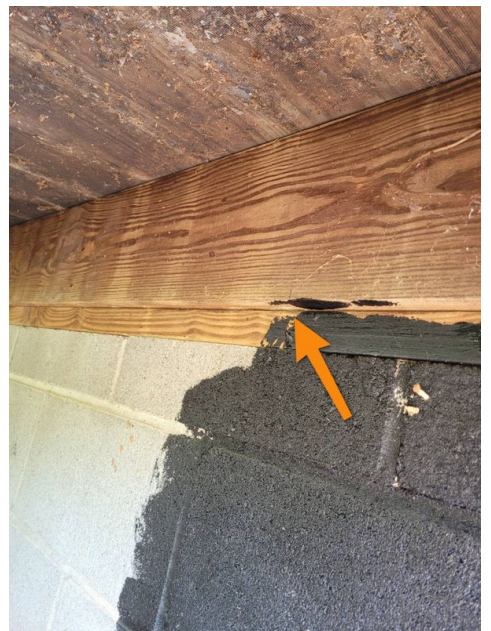
Throughout deck

2.6.3 Patios, Decks, Balconies, Appurtenances

**LEDGER BOARD IMPROPERLY INSTALLED**

 Moderate Item

The ledger board is not properly attached to the building. This can cause the deck to pull away from the building and possibly collapse.



Rear deck

### WOOD TO GROUND CONTACT

One or more parts of the structure were in direct contact with the ground. This can cause premature deterioration and should be fixed to prevent further damage.

Recommendation

Contact a qualified professional.



Front & Rear Porches

### INACCESSIBLE

One or more portions of the exterior decks were inaccessible and unable to be inspected.

Recommendation

Contact a qualified professional.



Underneath front porch

**LIVING SPACE BUILT OVER PORCH****Significant and/or Safety Concern**

One or more additions to the home were added above an existing porch. In addition to plumbing, wiring, and ductwork being exposed to the elements, this may also be of structural or safety concerns. Recommend further evaluation by a qualified contractor in addition to asking for permits in reference to the additions.

**Recommendation**

Contact a qualified professional.



Master Bath & middle rear room bumpout



## 2.7.1 Exterior Steps &amp; Stairs

**HANDRAIL(S) - MODERN REQUIREMENTS****Moderate Item**

Although it may have met with generally-accepted standards during the time period in which it was built, this exterior staircase handrail did not meet generally-accepted current standards. Standards change over time. Homes are not required to be constantly upgraded to meet newly-enacted building codes or standards. Some generally-accepted current standards regarding handrails are as follows:

1. A 4 3/8 inch sphere may not pass through the handrail at any point.
2. The handrail should not be climbable (especially by children).
3. Handrail height should be between 34 and 38 inches from tread nosing.
4. The handrail should protect the entire staircase and be continuous.

5. The handrail should be graspable.

All corrections should be made by a qualified contractor.

**Recommendation**

Contact a qualified professional.



Front porch

### 2.7.2 Exterior Steps & Stairs

## EXTERIOR STAIRS (MODERATE DETERIORATION)

 Moderate Item

At the time of the inspection, these exterior stairs exhibited moderate general deterioration. Good maintenance practices will maximize the lifespan of this staircase.

#### Recommendation

Contact a qualified professional.



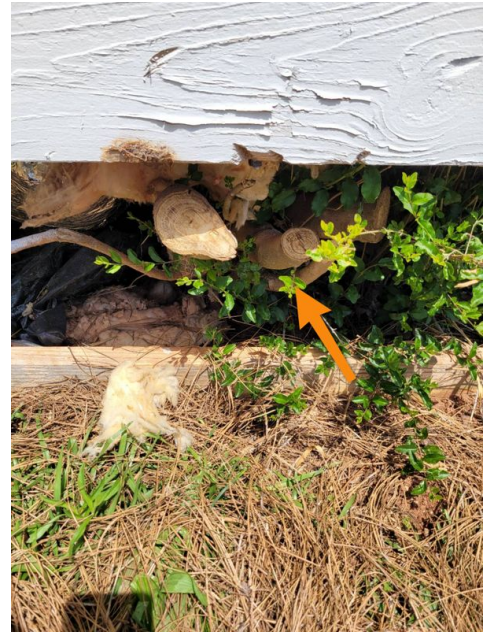
Rear steps

### 2.8.1 Vegetation, Grading, Drainage & Retaining Walls

## TREES AT FOUNDATION

 Moderate Item

Trees are growing too close to the foundation.



Rear

### 3.1.1 Coverings

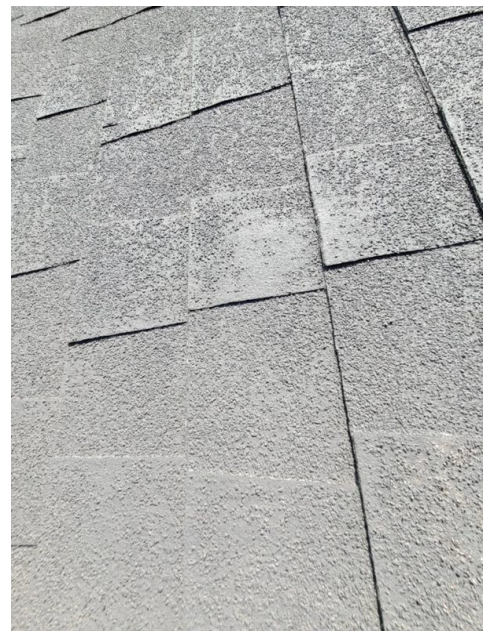
## SUBSTANDARD ROOF INSTALLATION

 Moderate Item

The roof appeared to be modified, installed, and/or added on to in a manner that is inconsistent with modern building practices. The roof covering may have been installed incorrectly which could lead to moisture intrusion or structural issues. Further evaluation by a licensed roofing contractor is recommended.

#### Recommendation

Contact a qualified professional.



Roof appears to have been painted



### 3.1.2 Coverings

## AGING ROOF

Moderate Item

Though fully functional at the time of the inspection the roof shows signs of aging. These signs include accumulated granular loss, fading, and wear. The roof is near the end of its life span.

Recommendation  
Contact a qualified professional.

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### 3.3.1 Roof Drainage Systems

## DOWNSPOUTS DRAIN NEAR HOUSE

Moderate Item

One or more downspouts drain too close to the home's foundation. [Adjust downspout extensions to drain at least 4-6 feet from the foundation.](#)

Recommendation  
Contact a qualified gutter contractor



Multiple locations

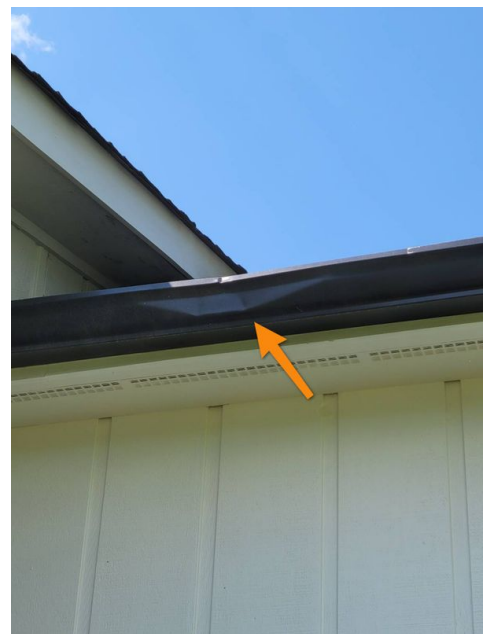
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### 3.3.2 Roof Drainage Systems

## GUTTER DAMAGED

Moderate Item

Gutters were damaged. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement.



Left rear

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### MISSING KICKOUT FLASHING

Kick-out flashing was missing where walls extended past roof edges.



Right front and back

Left rear

### ROOF EDGE FLASHING MISSING

Areas of the roof were missing roof edge flashing. Lack of roof edge flashing leaves the edges of roof sheathing and underlayment exposed to potential moisture damage from wood decay and/or delamination. The inspector recommends replacement of roof edge flashing in areas where it is missing. All work should be performed by a qualified contractor.

It is worth noting this was not a requirement in the state of GA until January 2014.

Recommendation

Contact a qualified roofing professional.



### PLUMBING VENT - DAMAGED BOOT

One or more plumbing vents were damaged. Recommend repair.

Recommendation

Contact a qualified professional.



Painted over. Separated



Boot from inside



Separation of another boot (multiple locations)

### MOISTURE STAINS

Stains were visible in one or more areas. The stains may be caused by a past leak. Recommend asking the property owner(s) about past leaks. The client(s) should monitor these areas in the future, especially after heavy rains, to determine if active leaks exist. If leaks are found, a qualified roofing contractor should evaluate and repair as necessary.

Recommendation

Contact a qualified professional.



Front porch



Front porch



Left front



Left front



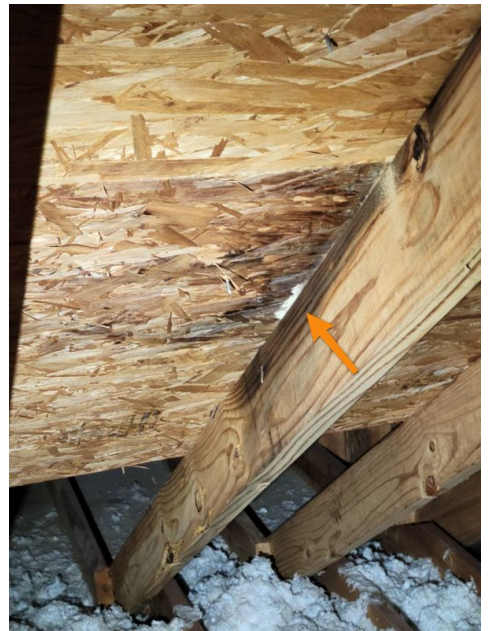
Rear

#### 4.1.2 Roof Structure & Attic **POSSIBLE MOLD AND/OR MILDEW**

 Moderate Item

A possible source of moisture is the bathroom exhaust venting into the attic.

Recommendation  
Contact a qualified professional.



Multiple locations

#### 4.1.3 Roof Structure & Attic **NO H-CLIPS**

 Upgrade/Maintenance Item

There were no h-clips installed between the edges of the roof sheathing. The lack of h-clips decreases the stiffness and the ability of the roof sheathing to withstand vertical forces at or near the edges of abutting roof sheathing.

Recommendation  
Contact a qualified roofing professional.

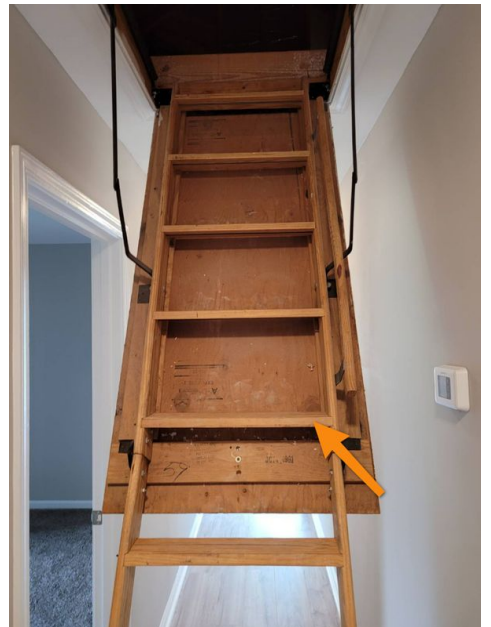


#### 4.2.1 Attic Ladder & Attic Access **ATTIC DOOR NOT INSULATED**

 Moderate Item

The attic door was not insulated. This leads to increased heat transfer and lower energy efficiency.

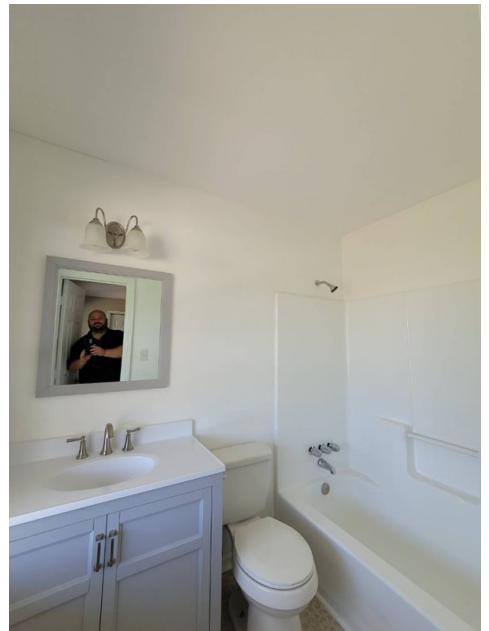
Recommendation  
Contact a qualified professional.



4.5.1 Exhaust Systems  
**NO VENTILATION IN BATHROOM**

 Upgrade/Maintenance Item

There is no ventilation in the bathroom other than a window. Install an exhaust fan or ventilation system that discharges to the exterior.



Front center bedroom attached bathroom

4.6.1 Vapor Retarders (Crawlspace or Basement)  
**IMPROPER INSTALLATION**

 Moderate Item

Vapor barrier is improperly installed. This can result in unwanted moisture. The inspector recommends having a qualified insulation contractor evaluate and repair.



Multiple locations

5.2.1 Doors

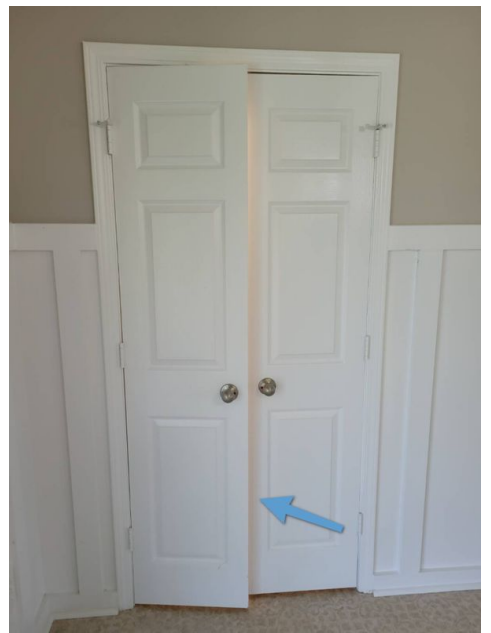
**DOOR DOESN'T LATCH**

Door doesn't latch properly.

Recommendation

Contact a handyman or DIY project

 Upgrade/Maintenance Item



Laundry

5.2.2 Doors

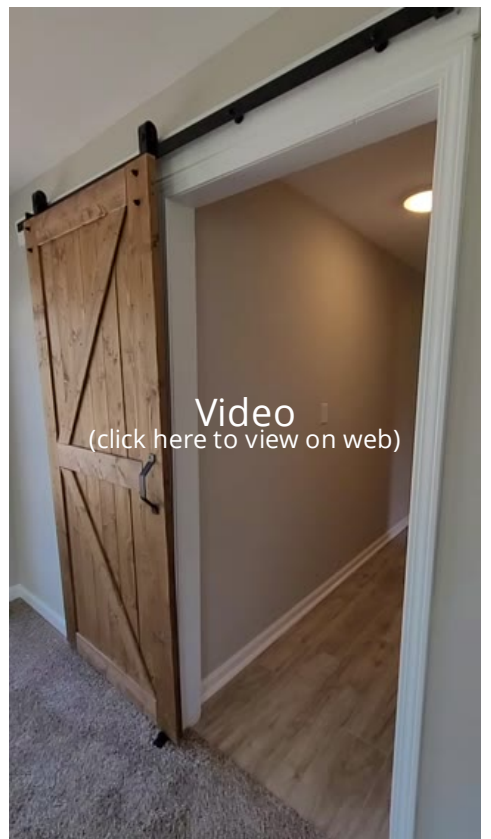
**NON-PROFESSIONAL INSTALLATION**

Multiple doors appeared to have been installed by persons lacking adequate skills.

Recommendation

Contact a qualified professional.

 Moderate Item



### 5.3.1 Windows

## OPERATION DIFFICULT

 Upgrade/Maintenance Item

One or more windows throughout the home were difficult to operate. Adjust/repair as needed.



Multiple locations

### 5.4.1 Floors

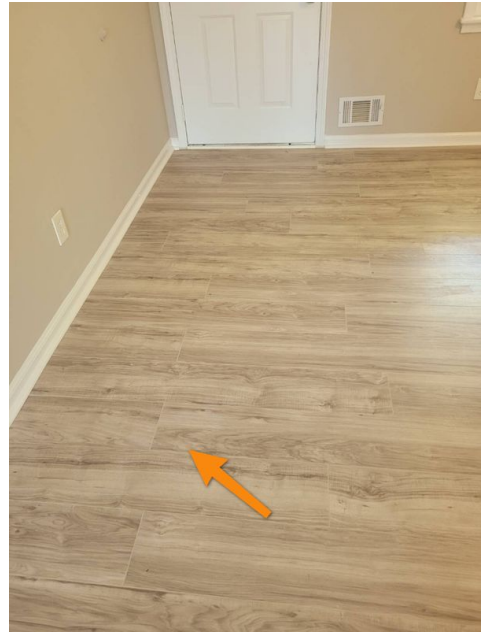
## FLOORING - SOFT AND/OR EXCESSIVE MOVEMENT

 Moderate Item

Flooring was soft and/or moved excessively when pressure was applied. This could be the result of deteriorated floor sheathing/structure, fastener failure, or foundation degradation.

Recommendation

Contact a qualified professional.



Lifted flooring



### POOR INSTALLATION PRACTICES

Wall covering exhibited signs of poor installation practices.



Multiple locations



Abandoned old pipe system



Dryer vent recessed and not sealed off to crawl

5.5.2 Walls

### MOISTURE DAMAGE- ACTIVE LEAKS

Stains on the walls were visible at the time of the inspection appeared to be the result of moisture intrusion. The moisture meter showed elevated moisture levels in the affected areas at the time of the inspection, indicating that the leakage has been recent. The Inspector recommends consultation with a qualified contractor to discuss options and costs for correction and repair.



Detached building

5.6.1 Ceilings

### CEILING DAMAGE

General damage to the ceilings was visible at the time of the inspection.



Master Closet

5.9.1 Countertops & Cabinets  
**COUNTERTOP NOT SECURE**

Moderate Item

Countertop was not completely fastened to the cabinets.



Front center bedroom attached bathroom

5.10.1 Tiled Areas- Kitchen, Bath & Laundry

Upgrade/Maintenance Item

**SEALANT MAINTENANCE**

Sealant maintenance is recommended around tubs, showers and sinks to prevent moisture intrusion.

Recommendation  
Recommended DIY Project



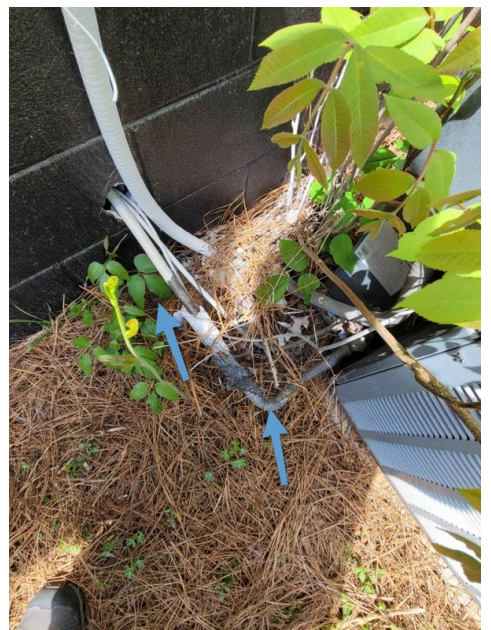
Multiple locations

6.1.1 Cooling Equipment  
**INSULATION MISSING OR DAMAGED**

Upgrade/Maintenance Item

Refrigerant line insulation is missing and/or damaged. Missing or damaged insulation on refrigerant lines can cause energy loss and condensation buildup - leading to moisture intrusion. Recommend repair area of concern by owner or hvac contractor.

Recommendation  
Contact a qualified HVAC professional.



### 6.1.2 Cooling Equipment

#### **NOT COOLING EFFECTIVELY**

 Moderate Item

Air conditioning system is not cooling effectively. The inspector recommends evaluation, service, and repair by a licensed HVAC professional.

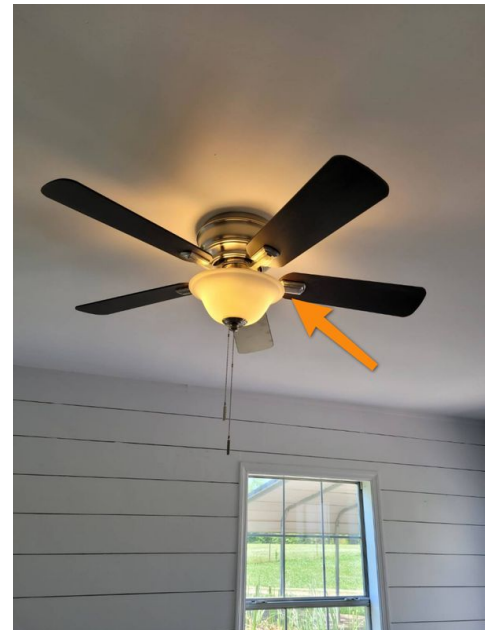
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### 6.2.1 Ceiling Fans

#### **INOPERABLE**

 Moderate Item

The ceiling fan was inoperable at the time of the inspection. It might be operated by a remote control which was not found during the inspection.



Master

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### 6.3.1 Heating Equipment

#### **NEEDS SERVICING/CLEANING**

 Moderate Item

Furnace should be cleaned and serviced annually. We recommend a qualified HVAC contractor clean, service and certify furnace.

[Here is a resource](#) on the importance of furnace maintenance.

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### 6.3.2 Heating Equipment

#### **NO SECONDARY CONDENSATE LINE**

 Moderate Item

It is recommended that a secondary condensate line such as a float disconnect switch be installed to prevent condensate from leaking into habitable areas. Have a qualified professional repair/replace as needed.

Recommendation

Contact a qualified professional.

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### 6.7.1 Wood-Burning Fireplace, Insert, or Stove

#### **NFPA RECOMMENDATION**

 Moderate Item

The wood-burning fireplace should be inspected and cleaned prior to burning solid fuel initially and annually. The National Fire Protection Association (NFPA) recommends that chimneys burning solid fuelwood, coal, or pellets be inspected yearly and cleaned as often as needed. Such upkeep helps to ensure structural integrity, identify defects that might allow deadly combustion gases to vent into living spaces, and prevent chimney fires caused by the buildup of creosote, a natural byproduct of burning wood.

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### VENTED INTO ATTIC

The wood burning stove was vented directly into the attic. This is a fire hazard and should be remedied immediately.

Recommendation  
Contact a qualified professional.



### CLOGGED DRAIN

One or more drain lines were clogged at the the time of inspection. Recommend a licensed plumber for further evaluation.

Recommendation  
Contact a qualified plumbing contractor.



As dishwasher drains

7.2.2 Sewage & Drain, Waste, & Vent (DWV) Systems

Moderate Item

**FLEXIBLE DRAIN PIPE**

Ribbed, flexible drain pipe was used at one or more locations of the drain system. This type of drain pipe accumulates debris more easily than smooth wall pipe and is likely to clog. Recommend that a qualified plumber replace flexible piping with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation  
Contact a qualified plumbing contractor.



Multiple locations throughout

7.2.3 Sewage & Drain, Waste, & Vent (DWV) Systems

Moderate Item

**PLUMBING VENT IN ATTIC**

One or more plumbing vents were routed into the attic instead of through the roof. This allows moisture into the attic and should be extended through the roof by a licensed professional.

Recommendation  
Contact a qualified professional.



7.3.1 Fixtures, Water Supply, & Distribution Systems

Moderate Item

**DISTRIBUTION PIPE LEAKING**

Actively leaking water distribution pipes visible and should be repaired by a qualified plumbing contractor to avoid damage to home materials or the development of conditions which encourage the growth of microbes such as mold.

Recommendation  
Contact a qualified plumbing contractor.



Front center bedroom attached bathroom

### TOILET TANK LOOSE

One or more toilet tanks are loose where the tank meets the bowl. Secure as needed.

Recommendation  
Contact a qualified professional.



Master bath

### NO DRIP PAN

No drip pan was present at the water heater.

Recommendation  
Contact a qualified plumbing contractor.



Not required, but good idea

### WIRE OUTSIDE OF CONDUIT

One or more sections of wiring were exposed and subject to damage. This is a potential shock hazard. Recommend that a qualified electrician repair per standard building practices. For example, by installing conduit, re-routing wires or replacing wiring.

**Recommendation**

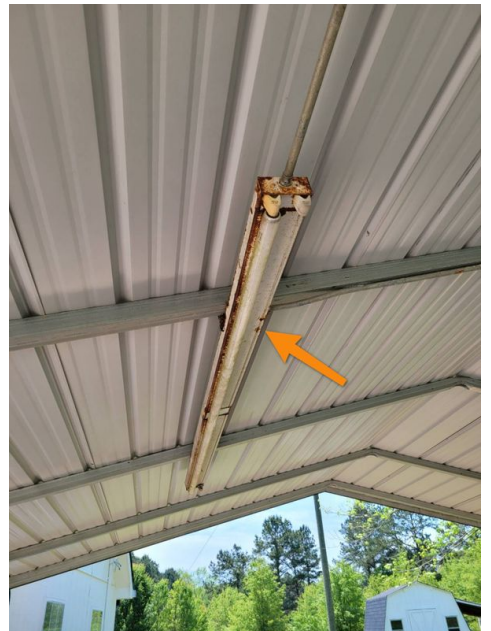
Contact a qualified electrical contractor.



Back porch. Hot!

### LIGHT INOPERABLE

Light fixture did not respond to the switch. The bulb may need to be replaced or there may be a problem with the switch, wiring or light fixture.



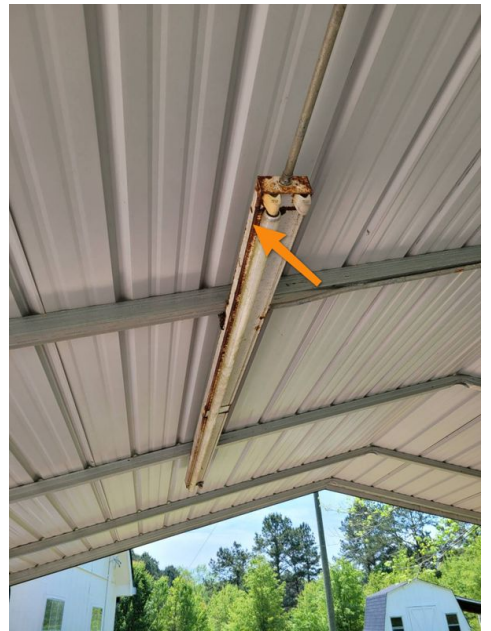
Both carport lights

8.3.2 Lighting Fixtures, Switches & Receptacles

**DAMAGED/LOOSE LIGHT FIXTURE**

 Moderate Item

A light fixture showed visible damage or was not secure at time of inspection.



Rust on carport fixtures

8.3.3 Lighting Fixtures, Switches & Receptacles

**INOPERABLE RECEPTACLE(S)**

 Moderate Item

An electrical receptacle was inoperable at the time of the inspection.

Recommendation

Contact a qualified electrical contractor.



Carport



Center rear bedroom bump out



8.3.4 Lighting Fixtures, Switches & Receptacles  
**NO POWER TO DETACHED BUILDING**

 Moderate Item

The detached building did not have power at time of inspection.

Recommendation

Contact a qualified professional.



8.4.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

 Moderate Item

**FEDERAL PACIFIC, SYLVANIA, OR CHALLENGER PANEL**

While it appears to be in good condition, the electrical panels would be an item to consider upgrading and/or having a licensed electrician evaluate to ensure all components are in safe, working order.

These panels have been recalled due to fire hazard issues and may require replacement before the home can be insured. Refer to your insurance agency for further details.

Recommendation

Contact a qualified electrical contractor.



Challenger

8.4.2 Main & Subpanels, Service & Grounding, Main Overcurrent Device

 Moderate Item

**NO GROUND WIRE**

Missing ground wire. Recommend qualified electrician evaluate and install.

8.4.3 Main & Subpanels, Service & Grounding,  
Main Overcurrent Device

Moderate Item

**MISSING BUSHING**

Missing bushings should be repaired by a licensed electrician.



Multiple locations

8.4.4 Main & Subpanels, Service & Grounding,  
Main Overcurrent Device

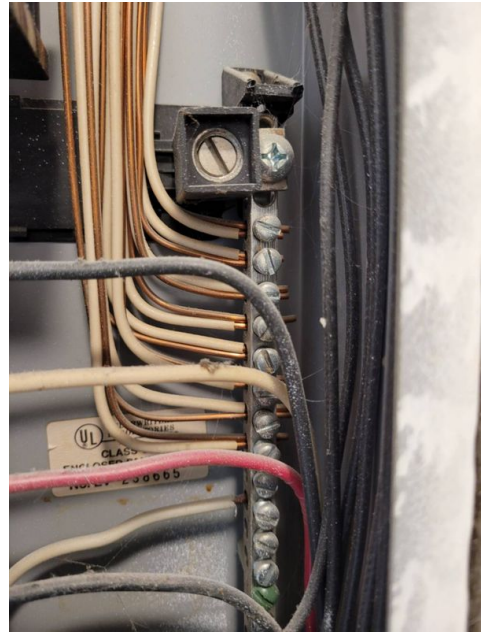
Moderate Item

**DOUBLE TAPPED NEUTRALS**

There were lug(s) on the neutral/ground bus bar that have more than one neutral wire connected to them. Each neutral wire should be attached to a separate lug to ensure a proper physical connection and to make sure that each circuit can be worked on independently. Recommend to have this corrected.

Recommendation

Contact a qualified electrical contractor.



Multiple locations. Neutrals with ground under same lug

8.5.1 GFCI & AFCI

**NO AFCI PROTECTION**

Upgrade/Maintenance Item

There is no AFCI protection installed at one or more places in the electrical panel. This feature is commonly added to homes newer than 2001 and required in homes built in 2014 or newer.

8.6.1 Smoke Detectors & Carbon Monoxide Detectors

**CARBON MONOXIDE DETECTORS**

Upgrade/Maintenance Item

We recommend carbon monoxide detectors are installed in the home and maintained according to manufacturer's instructions.

## SMOKE DETECTORS

We recommend having smoke detectors in the home: (1) In all sleeping rooms, (2) Hallways outside of sleeping areas in immediate vicinity of the sleeping rooms. (3) On each level of the dwelling unit including basements. (4) If separated by a door, we also recommend having smoke detectors in the dining room, furnace room, utility room, and hallways not protected by the required Smoke Alarms. The installation of Smoke Alarms in kitchens, unfinished attics, or garages is not normally recommended, as these locations occasionally experience conditions that can result in improper operation. We recommend installing smoke detectors according to the manufacturers instructions as well as regularly testing and monitoring smoke detectors as their batteries need to be replaced and/or the smoke detectors expire and should be replaced periodically per the manufacturer's instructions.

### 10.1.1 Foundation

## WATER INTRUSION

 Moderate Item

Water intrusion was evident on the surface of the floor slab or in the basement/crawlspace. This can compromise the soil's ability to stabilize the structure and could cause damage.



Multiple locations

### 10.2.1 Floor Structure

## EVIDENCE OF WATER INTRUSION

 Moderate Item

There were signs of water intrusion in the underlying floor structure.



Multiple locations. Previous water damage



Multiple locations. Previous water damage

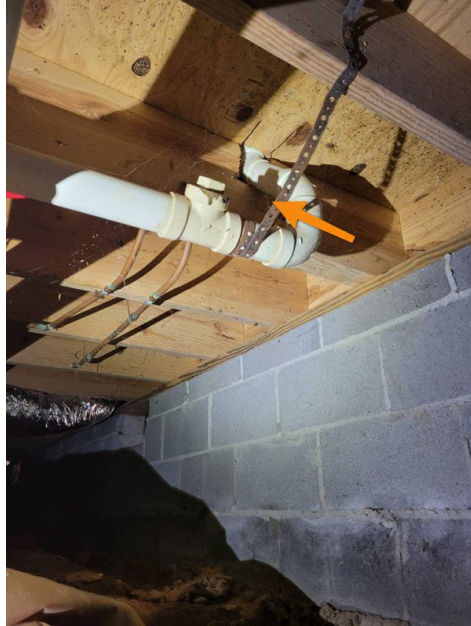
10.2.2 Floor Structure  
**JOISTS NEED REPAIR**

Moderate Item

One or more floor joists were damaged or improperly installed. This can cause damage to the structural integrity of the home.



Multiple joists cut for plumbing

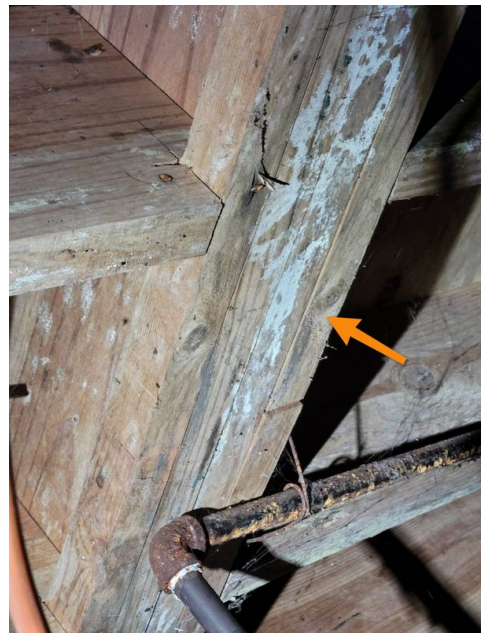


Multiple joist cut for plumbing

10.2.3 Floor Structure  
**MOLD/MILDEW**

Moderate Item

Observed signs of mold or mildew in one or more areas of the structure.



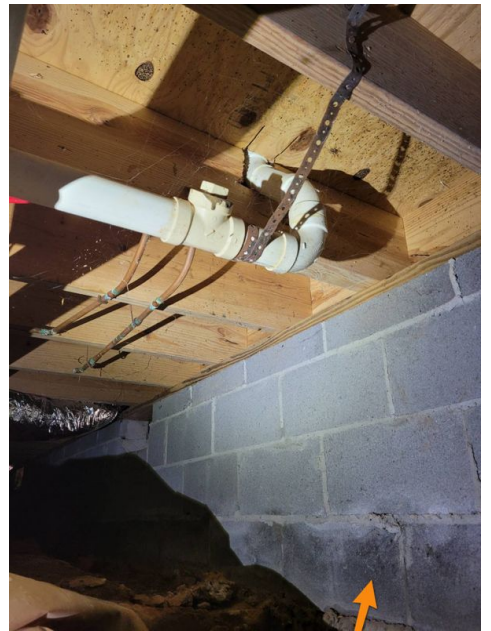
Multiple locations

10.5.1 Basements & Crawl Space

**EFFLORESCENCE**

 Moderate Item

Efflorescence noted on the basement or crawl space surfaces.



Multiple locations

10.5.2 Basements & Crawl Space

**DAMAGED OR MISSING INSULATION**

 Moderate Item

At time of Inspection, one or more areas of insulation were falling, damaged, or missing. Recommend repairing or replacing

Recommendation  
Contact a qualified professional.



None present

11.3.1 Floor

**SETTLEMENT**

 Moderate Item

Carport exhibits signs of settlement. As it is poured independently of the foundation, this is not a structural concern.

Recommendation  
Contact a qualified professional.



Multiple locations