

① East  
1/8" = 1'-0"

GENERAL SHEET NOTES

1. EXTERIOR WALLS:

A.) 10" (TYP.) CONSTRUCTION. 7/8" EXTERIOR OSB SIDING, 2"X4" PRESSURE TREATED WOOD STUD, 1" AIR GAP, 2"X4" PRESSURE TREATED WOOD STUD, 1/2" INTERIOR GRADE GYPSUM BOARD.

B.) 7" (TYP.) CONSTRUCTION. 7/8" EXTERIOR OSB SIDING, 2"X6" PRESSURE TREATED WOOD STUD, 1/2" INTERIOR GRADE GYPSUM BOARD.

2. INTERIOR WALLS:

A.) 4.5" (TYP.) CONSTRUCTION. 1/2" INTERIOR GRADE GYPSUM BOARD, 2"X4" PRESSURE TREATED WOOD STUD, 1/2" INTERIOR GRADE WOOD STUD.

3. EXTERIOR CLADDING:

A.) RECYCLED VINYL SIDING - 3" (TYP.) CONSTRUCTION. SLATE BLUE EXTERIOR GRADE PAINT TREATMENT

B.) VINYL SIDING - 3" (TYP.) CONSTRUCTION. SLATE BLUE EXTERIOR GRADE PAINT TREATMENT

C.) ASHLAR OR SIMILAR STONE - 5" (TYP.) CONSTRUCTION

FOUNDATION:

A.) EXISTING FOUNDATION - STEM WALL AND FOOTING SYSTEM. CRAWLSPACE CONTAINED M WITHIN STEM WALLS. EXISTING STEM WALL EXTENDS BELOW THE FROST LINE (42")



Maria McKendrick, Maycrest Nestegg LLC  
4741 Maycrest Dr, Waterford TWP, MI 48328

No.	Description	Date

**East Elevation**

Project number 01.1019

Date 01, January 2020

Drawn by Author

Checker

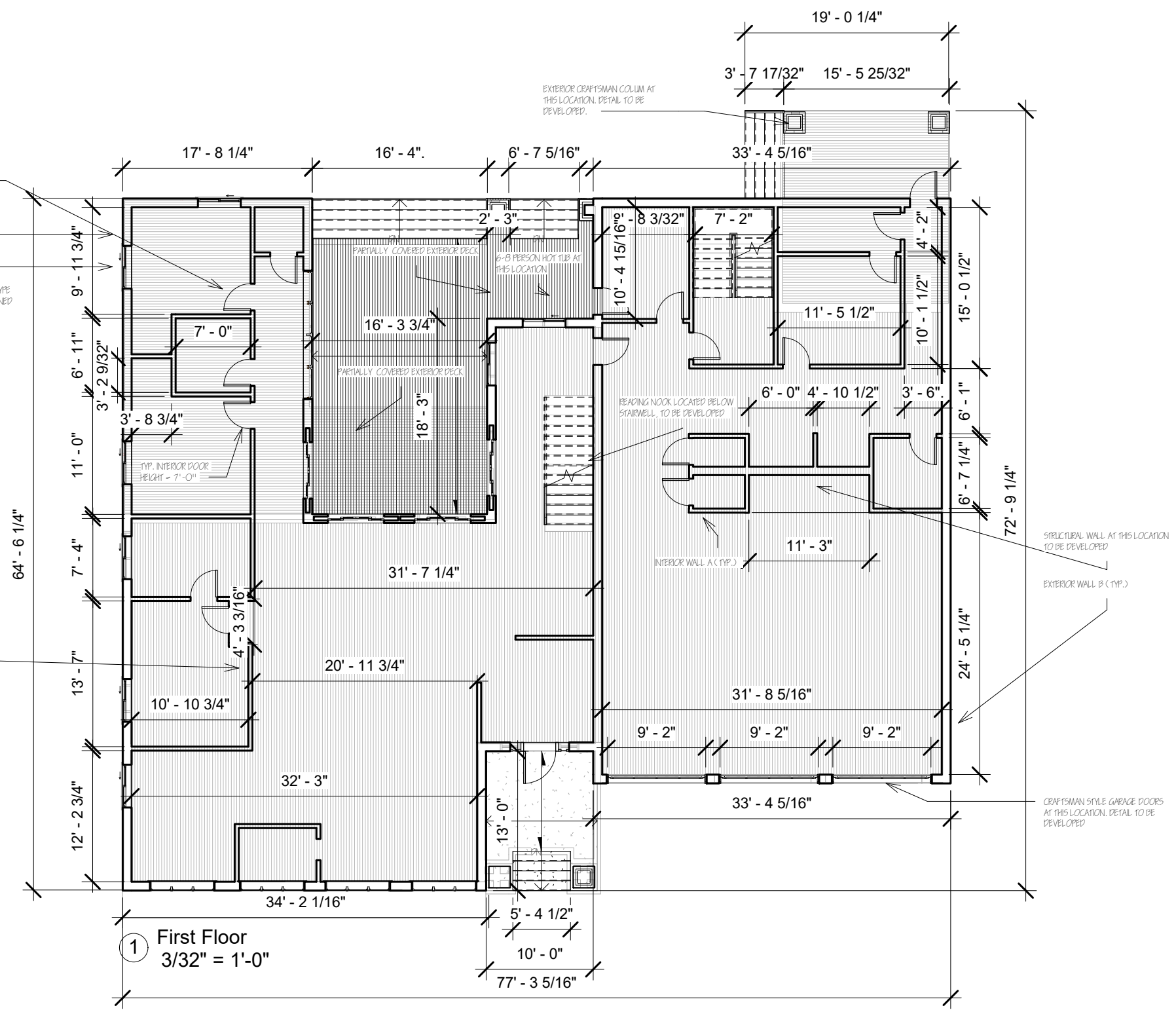
**A6**

Scale 1/8" = 1'-0"

EXACT DOOR MANUFACTURER, TYPE AND PLACEMENT TO BE DETERMINED AT A LATER DATE.

EXACT WINDOW MANUFACTURER, TYPE AND PLACEMENT TO BE DETERMINED AT A LATER DATE.

INTERIOR WALL A (TYP.)



GENERAL SHEET NOTES

1. EXTERIOR WALLS:
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  2. INTERIOR WALLS:
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    - C.) ASHLAR OR SIMILAR STONE - 5" (TYP.) CONSTRUCTION
- FOUNDATION:
- A.) EXISTING FOUNDATION - STEM WALL AND FOOTING SYSTEM. CRAWLSPACE CONTAINED M WITHIN STEM WALLS. EXISTING STEM WALL EXTENDS BELOW THE FROST LINE (42")



Maria McKendrick, Maycrest Nestegg LLC  
4741 Maycrest Dr, Waterford TWP, MI 48328

No.	Description	Date

First Floor Plan		
Project number	01.1019	<b>A1</b>
Date	01, January 2020	
Drawn by	Jalen Davis	
Current Drawings May Be Incomplete*	Scale 3/32" = 1'-0"	



① North  
1/8" = 1'-0"

GENERAL SHEET NOTES

- 1. EXTERIOR WALLS:
  - A.) 10" ( TYP.) CONSTRUCTION. 7/ 8" EXTERIOR OSB SIDING, 2"X4" PRESSURE TREATED WOOD STUD, 1" AIR GAP, 2"X4" PRESSURE TREATED WOOD STUD, 1/ 2" INTERIOR GRADE GYPSUM BOARD.
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- 3. EXTERIOR CLADDING:
  - A.) RECYCLED VINYL SIDING - 3" ( TYP.) CONSTRUCTION. SLATE BLUE EXTERIOR GRADE PAINT TREATMENT
  - B.) VINYL SIDING - 3" ( TYP.) CONSTRUCTION. SLATE BLUE EXTERIOR GRADE PAINT TREATMENT
  - C.) ASHLAR OR SIMILAR STONE - 5" ( TYP.) CONSTRUCTION
- FOUNDATION:
  - A.) EXISTING FOUNDATION - STEM WALL AND FOOTING SYSTEM. CRAWLSPACE CONTAINED M WITHIN STEM WALLS. EXISTING STEM WALL EXTENDS BELOW THE FROST LINE ( 42" )



Maria McKendrick, Maycrest Nestegg LLC  
4741 Maycrest Dr, Waterford TWP, MI 48328

No.	Description	Date

North Elevation		
Project number	01.1019	<b>A8</b>
Date	01, January 2020	
Drawn by	Author	
Checker		
Scale		1/8" = 1'-0"



① South  
1/8" = 1'-0"

GENERAL SHEET NOTES

1. EXTERIOR WALLS:

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- B.) 7" (TYP.) CONSTRUCTION. 7/8" EXTERIOR OSB SIDING, 2"X6" PRESSURE TREATED WOOD STUD, 1/2" INTERIOR GRADE GYPSUM BOARD.

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- C.) ASHLAR OR SIMILAR STONE - 5" (TYP.) CONSTRUCTION

FOUNDATION:

- A.) EXISTING FOUNDATION - STEM WALL AND FOOTING SYSTEM. CRAWLSPACE CONTAINED IN WITHIN STEM WALLS. EXISTING STEM WALL EXTENDS BELOW THE FROST LINE (42")

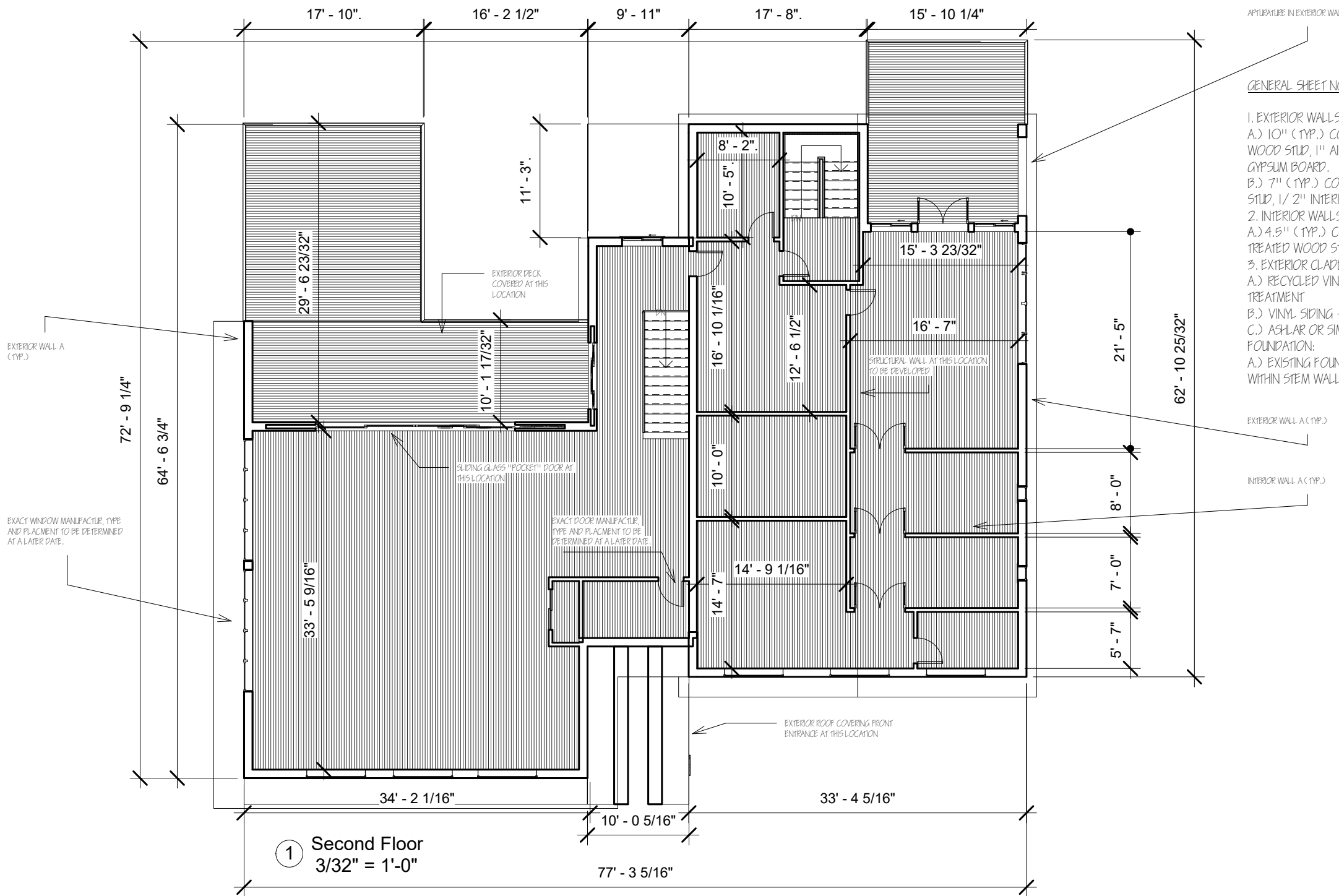


Maria McKendrick, Maycrest Nestegg LLC  
4741 Maycrest Dr, Waterford TWP, MI 48328

No.	Description	Date

**South Elevation**

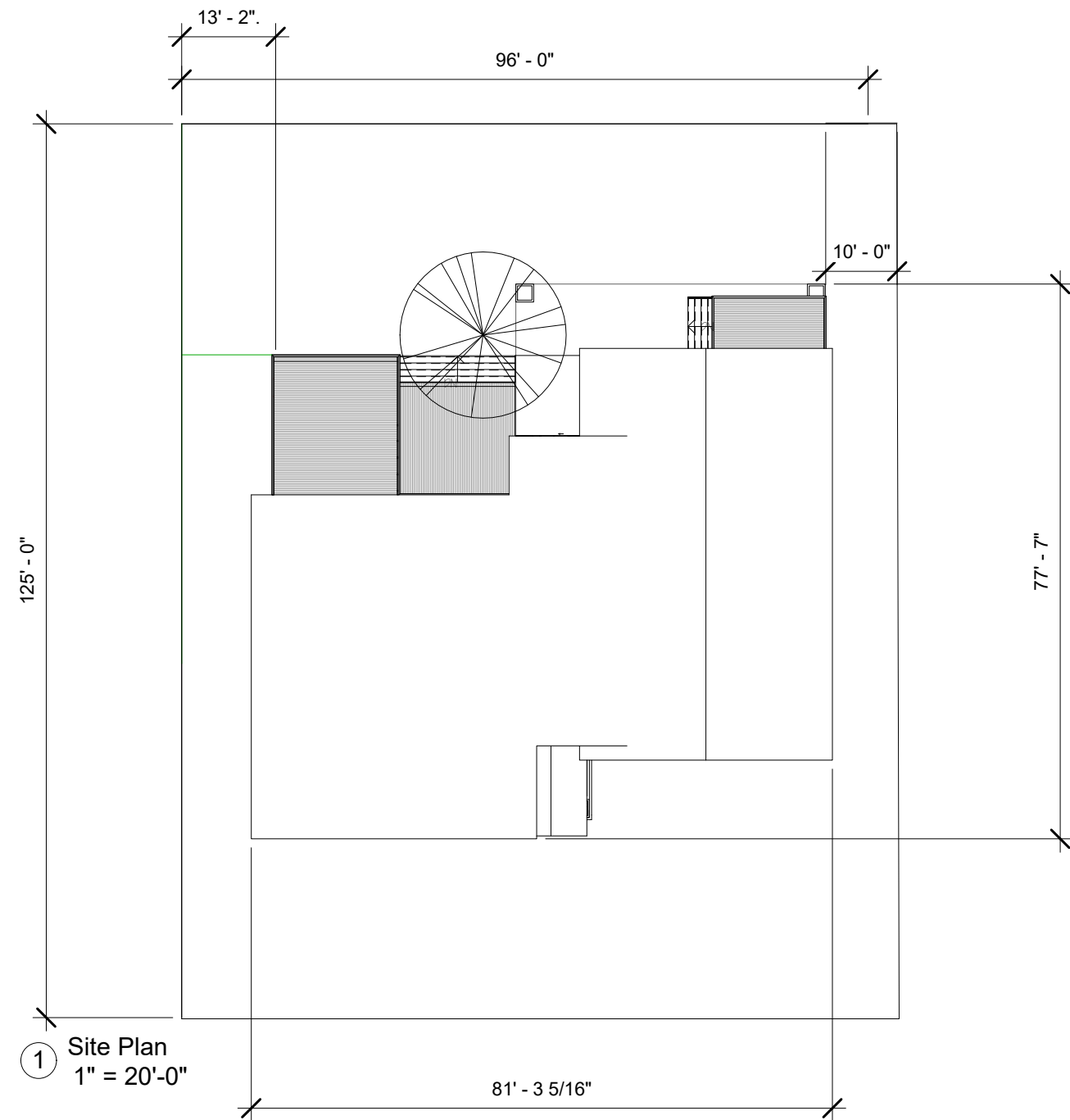
Project number	01.1019	<b>A7</b>
Date	01, January 2020	
Drawn by	Author	
Checker		
Scale		1/8" = 1'-0"



Maria McKendrick, Maycrest Nestegg LLC  
 4741 Maycrest Dr, Waterford TWP, MI 48328

No.	Description	Date

Second Floor Plan		
Project number	01.1019	<b>A2</b>
Date	01, January 2020	
Drawn by	Jalen Davis	
Current Drawings May Be Incomplete*		Scale 3/32" = 1'-0"



GENERAL SHEET NOTES

1. THE LOT IS LOCATED AT 4741 MAYCREST DR, WATERFORD TWP, MI 48328
2. 4741 MAYCREST DR RESIDENTIAL LOT MEASURES 125'X100' AS RECORDED BY FENN & ASSOCIATES, INC. LAND SURVEYING AND CIVIL ENGINEERING

① Site Plan  
1" = 20'-0"

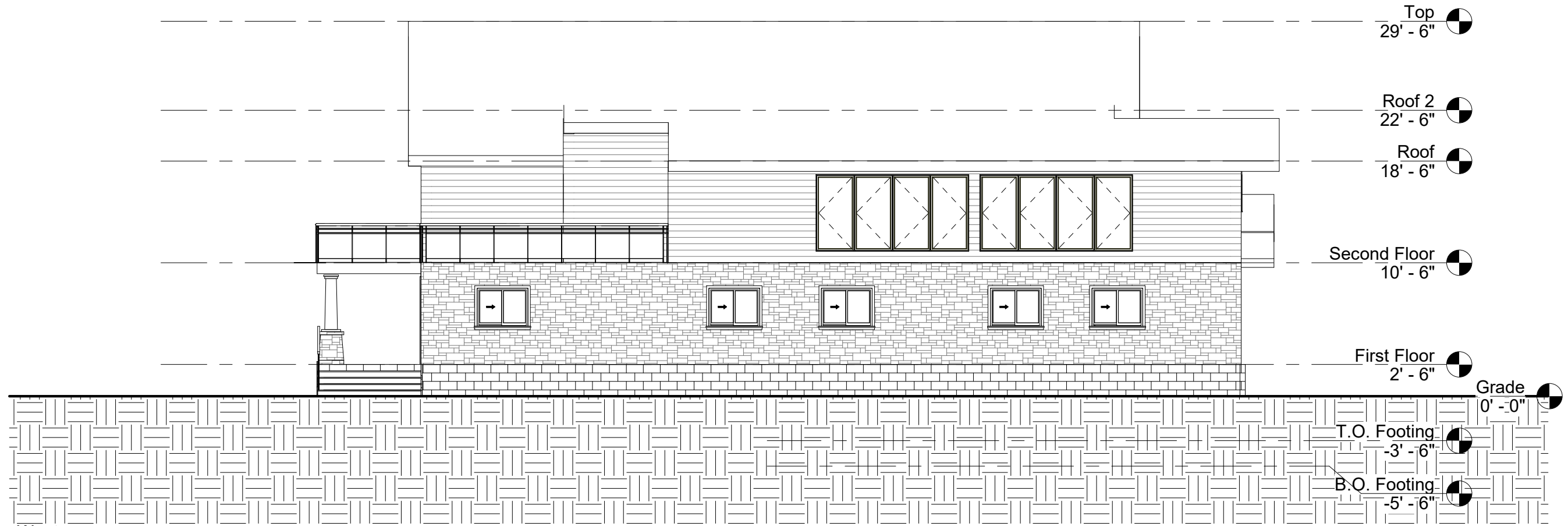


Maria McKendrick, Maycrest Nestegg LLC  
4741 Maycrest Dr, Waterford TWP, MI 48328

No.	Description	Date

Site Plan	
Project number	01.1019
Date	01, January 2020
Drawn by	Jalen Davis
Current Drawings May Be Incomplete*	Scale 1" = 20'-0"

**C1**



① West  
1/8" = 1'-0"

GENERAL SHEET NOTES

1. EXTERIOR WALLS:

- A.) 10" (TYP.) CONSTRUCTION. 7/8" EXTERIOR OSB SIDING, 2"x4" PRESSURE TREATED WOOD STUD, 1" AIR GAP, 2"x4" PRESSURE TREATED WOOD STUD, 1/2" INTERIOR GRADE GYPSUM BOARD.
- B.) 7" (TYP.) CONSTRUCTION. 7/8" EXTERIOR OSB SIDING, 2"x6" PRESSURE TREATED WOOD STUD, 1/2" INTERIOR GRADE GYPSUM BOARD.

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- C.) ASHLAR OR SIMILAR STONE - 5" (TYP.) CONSTRUCTION

FOUNDATION:

- A.) EXISTING FOUNDATION - STEM WALL AND FOOTING SYSTEM. CRAWLSPACE CONTAINED M WITHIN STEM WALLS. EXISTING STEM WALL EXTENDS BELOW THE FROST LINE (42")



Maria McKendrick, Maycrest Nestegg LLC  
4741 Maycrest Dr, Waterford TWP, MI 48328

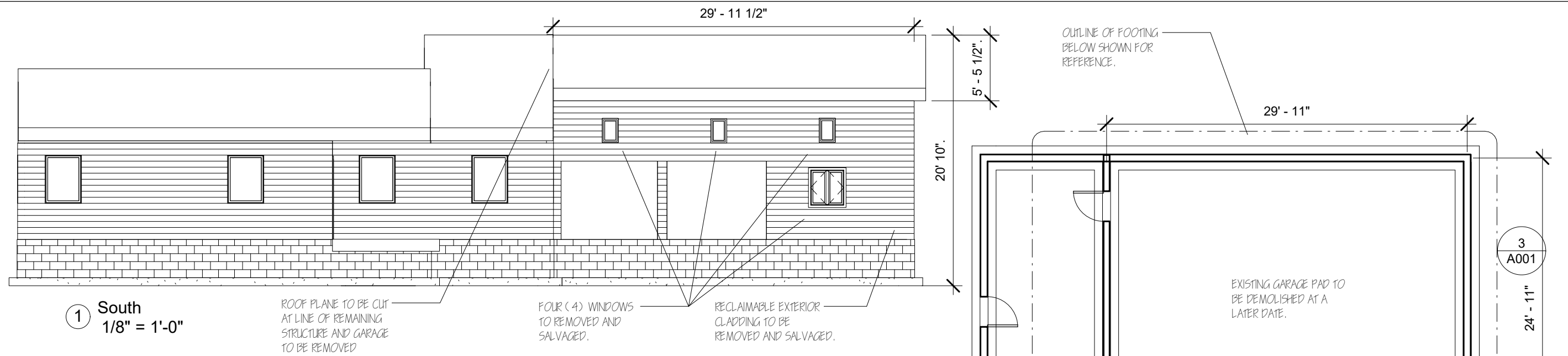
No.	Description	Date

**West Elevation**

Project number 01.1019  
Date 01, January 2020  
Drawn by Author  
Checker

**E3**

Scale 1/8" = 1'-0"



1 South  
1/8" = 1'-0"

ROOF PLANE TO BE CUT AT LINE OF REMAINING STRUCTURE AND GARAGE TO BE REMOVED

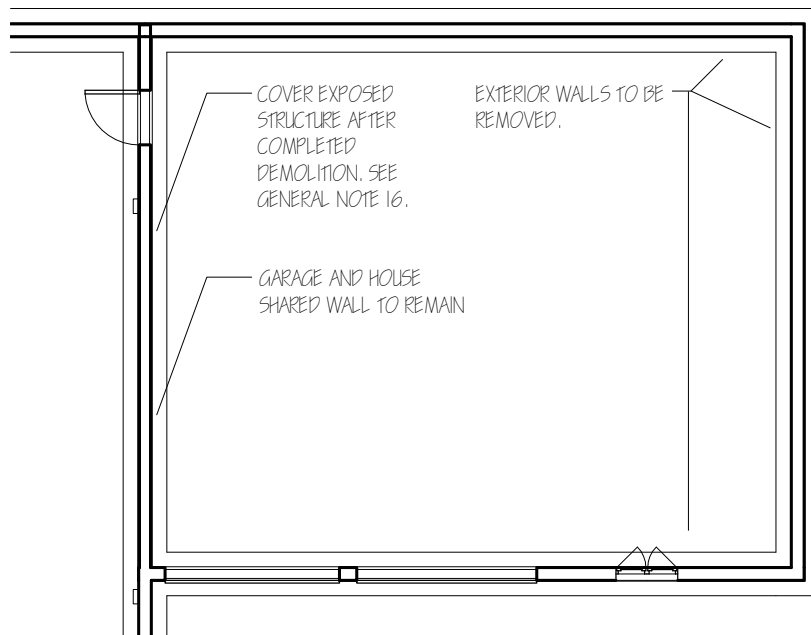
FOUR (4) WINDOWS TO BE REMOVED AND SALVAGED.

RECLAIMABLE EXTERIOR CLADDING TO BE REMOVED AND SALVAGED.

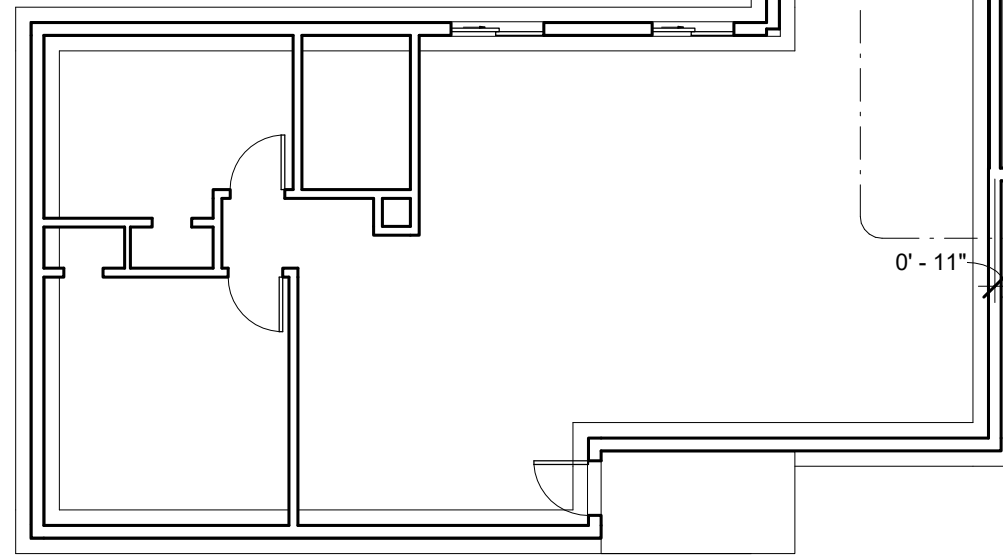
OUTLINE OF FOOTING BELOW SHOWN FOR REFERENCE.

EXISTING GARAGE PAD TO BE DEMOLISHED AT A LATER DATE.

3  
A001



3 Bottom of Footing - Callout 1  
1/8" = 1'-0"



GENERAL NOTES

1. DASHED LINES DENOTE EXISTING STRUCTURE TO BE REMOVED
2. SOLID LINES DENOTE EXISTING STRUCTURE TO REMAIN.
3. CONSTRUCTION DOCUMENTS ARE FOR REFERENCE ONLY. DESIGNER DOES NOT GUARANTEE ACCURACY OF EXISTING CONDITIONS.
4. ALL SALVAGEABLE MATERIALS ARE TO BE REMOVED AND STORED IN PRE-DETERMINED LOCATION.
5. ALL RECLAIMABLE FRAMING MATERIALS TO BE SALVAGED.
6. ALL RECLAIMABLE SIDING MATERIALS TO BE SALVAGED
7. EXISTING GARAGE PAD TO BE DEMOLISHED AT A LATER DATE, CARE DOES NOT HAVE TO BE TAKEN TO PRESERVE PAD DURING DEMOLITION.

GENERAL NOTES

8. ALL VENTILATION FIXTURES TO BE REMOVED AND SALVAGED.
9. ALL PLUMBING FIXTURES TO BE REMOVED AND SALVAGED.
10. ALL ELECTRICAL FIXTURES TO BE REMOVED AND SALVAGED
11. ALL ITEMS AND MATERIALS IN GARAGE TO BE REMOVED AND SALVAGED.
12. WHERE WALL IS DESIGNATED TO REMAIN, PLUMBING ITEMS AND RELATED PIPING BACK TO WALL AND CAP INSIDE WALL.
13. WHERE WALL IS DESIGNATED TO REMAIN, ELECTRICAL ITEMS AND FIXTURES TO BE REMOVED.
14. ROOF PLANE TO BE CUT AT INTERSECTION OF REMAINING STRUCTURE AND GARAGE TO BE DEMOLISHED.
15. ENTIRE WALL STRUCTURE OF ATTACHED GARAGE TO BE REMOVED.
16. EXPOSED STRUCTURE TO BE COVERED WITH SALVAGED PLYWOOD AND TYVEK HOUSE WRAP.
17. PRESERVATION OF EXISTING GARAGE PAD IS NOT NECESSARY DURING DEMOLITION.
18. UNSALVAGEABLE MATERIALS TO BE DISPOSED OF IN DUMPSTER ON SITE OR OTHER PREDETERMINED AREA.
19. PROTECT ALL EXISTING STRUCTURE, SYSTEMS, FINISHES AND GENERAL CONSTRUCTION THAT ARE TO REMAIN THROUGHOUT THE COURSE OF THE WORK TO PREVENT DAMAGE OR LOSS. ANY SUCH DAMAGE CAUSED DURING THE COURSE OF THIS WORK WILL BE REPAIRED AT THE CONTRACTORS EXPENSE BEFORE THIS WORK IS CONCLUDED.
20. CONTRACTOR IS TO ARRANGE FOR SHUT OFF OF EXISTING POWER AND UTILITIES. CONTRACTOR WILL ARRANGE ALL TEMPORARY POWER.



# Maycrest Nestegg LLC

4741 Maycrest Dr, Waterford Twp, MI 48328

No.	Description	Date

Demolition Plan		A001
Project number	01.1019	
Date	10.01.2019	
Drawn by	JTD	
Checked by	.	
Scale		1/8" = 1'-0"