

LEGEND UNLESS OTHERWISE NOTED

- = 1/2" STEEL ROD FOUND CAPPED LETH
- = 1/2" STEEL ROD SET CAPPED M&A
- = 1/2" STEEL ROD FOUND CAPPED 1519
- = 3/8" STEEL ROD FOUND
- = 5/8" STEEL ROD FOUND

CURVE	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH	DELTA ANGLE
C1	S50°13'56"W	49.02'	180.00'	149.17'	15°39'08"
C2	S70°23'50"W	73.94'	50.00'	83.22'	95°21'29"
C3	N47°02'48"E	75.44'	50.00'	85.47'	97°56'27"
C4	S63°08'39"E	35.57'	50.00'	36.37'	41°40'40"
C5	S57°26'10"W	1.09'	50.00'	1.09'	1°14'39"
C6	N34°54'42"E	94.34'	120.00'	96.96'	46°17'36"
C7	S10°43'45"E	92.42'	50.00'	117.89'	135°05'11"
C8	N47°04'44"E	81.56'	50.00'	95.38'	109°17'52"
C9	N19°45'21"W	21.11'	50.00'	21.27'	24°22'18"

LINE	BEARING	DISTANCE
L1	S58°03'30"W	25.00'
L2	N11°43'40"E	15.47'
L3	S31°56'30"E	14.08'
L4	S33°15'13"E	16.97'
L5	N78°16'20"W	17.67'
L6	S58°03'30"W	21.56'
L7	S58°02'43"W	6.54'
L8	N58°02'43"E	6.57'
L9	S78°16'20"E	50.79'
L10	N11°45'54"E	20.23'
L11	N58°03'30"E	21.56'
L12	N31°56'30"W	33.96'

**PHASE II**

LOT 17, BLOCK 5	0.18 ACRES
LOT 18, BLOCK 5	0.18 ACRES
LOT 19, BLOCK 5	0.18 ACRES
LOT 20, BLOCK 5	0.18 ACRES
LOT 21, BLOCK 5	0.18 ACRES
LOT 22, BLOCK 5	0.33 ACRES

LOT 2, BLOCK 6	0.18 ACRES
LOT 3, BLOCK 6	0.18 ACRES
LOT 4, BLOCK 6	0.18 ACRES
LOT 5, BLOCK 6	0.18 ACRES
LOT 6, BLOCK 6	0.18 ACRES
LOT 7, BLOCK 6	0.18 ACRES
LOT 8, BLOCK 6	0.26 ACRES
LOT 9, BLOCK 6	0.44 ACRES

**PHASE III**

LOT 6, BLOCK 1	0.20 ACRES
LOT 7, BLOCK 1	0.20 ACRES
LOT 8, BLOCK 1	0.20 ACRES
LOT 9, BLOCK 1	0.20 ACRES
LOT 10, BLOCK 1	0.23 ACRES
LOT 11, BLOCK 1	0.22 ACRES
LOT 12, BLOCK 1	0.22 ACRES

LOT 12, BLOCK 3	0.19 ACRES
LOT 13, BLOCK 3	0.18 ACRES
LOT 14, BLOCK 3	0.18 ACRES
LOT 15, BLOCK 3	0.18 ACRES
LOT 16, BLOCK 3	0.18 ACRES
LOT 17, BLOCK 3	0.18 ACRES
LOT 18, BLOCK 3	0.18 ACRES
LOT 19, BLOCK 3	0.18 ACRES
LOT 20, BLOCK 3	0.29 ACRES

LOT 1, BLOCK 4	0.27 ACRES
LOT 2, BLOCK 4	0.17 ACRES
LOT 3, BLOCK 4	0.17 ACRES
LOT 4, BLOCK 4	0.18 ACRES
LOT 5, BLOCK 4	0.22 ACRES

**PHASE IV**

LOT 13, BLOCK 1	0.23 ACRES
LOT 14, BLOCK 1	0.24 ACRES

LOT 6, BLOCK 4	0.22 ACRES
LOT 7, BLOCK 4	0.18 ACRES
LOT 8, BLOCK 4	0.18 ACRES
LOT 9, BLOCK 4	0.18 ACRES
LOT 10, BLOCK 4	0.20 ACRES
LOT 11, BLOCK 4	0.20 ACRES

LOT 1, BLOCK 5	0.21 ACRES
LOT 2, BLOCK 5	0.18 ACRES
LOT 3, BLOCK 5	0.21 ACRES
LOT 4, BLOCK 5	0.19 ACRES
LOT 5, BLOCK 5	0.19 ACRES
LOT 6, BLOCK 5	0.25 ACRES
LOT 7, BLOCK 5	0.23 ACRES
LOT 8, BLOCK 5	0.18 ACRES
LOT 9, BLOCK 5	0.18 ACRES
LOT 10, BLOCK 5	0.18 ACRES
LOT 11, BLOCK 5	0.24 ACRES
LOT 12, BLOCK 5	0.40 ACRES
LOT 13, BLOCK 5	0.27 ACRES
LOT 14, BLOCK 5	0.32 ACRES

**FINAL PLAT**  
**SADDLE CREEK II ADDITION**  
 PHASE II, LOTS 17 THROUGH 22 BLOCK 5, & LOTS 2 THROUGH 9 BLOCK 6,  
 PHASE III, LOTS 6 THROUGH 12 BLOCK 1, LOTS 12 THROUGH 20 BLOCK 3 & LOTS 1  
 THROUGH 5 BLOCK 4  
 PHASE IV, LOTS 13 & 14, BLOCK 1, LOTS 6 THROUGH 11 BLOCK 4, & LOTS 1  
 THROUGH 14 BLOCK 5,  
 TO THE CITY OF WACO, MCLENNAN COUNTY, TEXAS. BEING 15.99 ACRES OF LAND  
 OUT OF THE JAMES LANE SURVEY, ABSTRACT NUMBER 531, MCLENNAN COUNTY, TEXAS,  
 BEING OUT OF THAT CALLED 23.801 ACRES OF LAND DESCRIBED IN A DEED TO ESTES  
 FIVE DEVELOPMENT, LLC, RECORDED UNDER MCLENNAN COUNTY CLERK'S FILE NUMBER  
 2018001310 OF THE OFFICIAL PUBLIC RECORDS OF MCLENNAN COUNTY, TEXAS.

**FIELD NOTE**  
 POINT OF BEGINNING  
 TEXAS GRID COORDINATES,  
 CENTRAL ZONE, NAD 83  
 ORIENTATED WITHIN 10'  
 FOR CITY OF WACO USE  
 N:10570797.03  
 E:3260889.64

COUNTY CLERK'S FILE NUMBER

1. CORDOBA CT  
 2. SEVILLE CT  
 3. VALENCIA DR  
 4. BARCELONA CT  
 5. SEGOVIA DR  
 6. MADRID DR  
 7. ARAGON DR  
 8. GRANADA DR

SCALE: 1"=1500'

VICINITY MAP

PROJECT LOCATION

CHINA SPRING RD

PRELIMINARY FOR CITY REVIEW  
 PROCESS ONLY, THIS  
 DOCUMENT SHALL NOT BE  
 RECORDED FOR ANY PURPOSE  
 NOR USED IN ANY  
 CONVEYANCE OF PROPERTY

CALLLED TRACT THREE (11.56 ACRES)  
 JANET LEACH COMBS  
 MCC# 2011014472 O.P.R.

CALLLED 16.48 ACRES  
 BETTY SCOTT COURTER  
 VOLUME 1243, PAGE 301 M.C.D.R.

RESIDUE OF A CALLED 4.225 ACRES  
 MICHAEL P. MCNAMARA, SR.  
 MCC# 2009031763 O.P.R.

20' DRAINAGE EASEMENT  
 INSTRUMENT  
 OFFICIAL PUBLIC RECORDS  
 CALLLED TRACT TWO (3 ACRES)  
 JOANN D. MCNAMARA  
 MCC# 2006008445 O.P.R.

CALLLED 2.00 ACRES  
 MICHAEL P. MCNAMARA, SR.  
 MCC# 2013011069 O.P.R.

CALLLED TRACT ONE (5.00 ACRES)  
 JOANN D. MCNAMARA  
 MCC# 2006008446 O.P.R.



**MITCHELL & ASSOCIATES, INC.**  
 ENGINEERING & SURVEYING  
 600 Austin Ave. Ste. 29, Waco Texas (254) 776-5151  
 T. B. P. L. S. FIRM REGISTRATION NO. 10194044

SURVEYORS RED SEAL



SURVEYORS CERTIFICATION

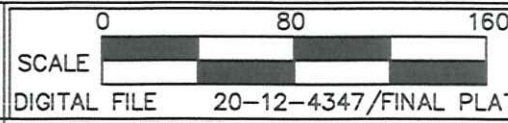
THE PLAT SHOWN HEREON WAS PREPARED FROM AN ON THE  
 GROUND SURVEY PERFORMED BY ME IN NOVEMBER, 2020 AND  
 CORNER MONUMENTS ARE AS SHOWN.

*Robert E. Mitchell*  
 ROBERT E. MITCHELL R.P.L.S. 5801

SURVEYED: 11/2020

Sheet:

1 of 2



ADDRESS: SADDLE CREEK RD DATE: DECEMBER 2020  
 WORK ORDER NO. 20-12-4347 DRAWN BY: CKM/GGA  
 DIGITAL FILE 20-12-4347/FINAL PLAT SADDLE CREEK ADDITION ACAD 2000.dwg FIELDBOOK/Pg. TNFD5\_103/12

STATE OF TEXAS  
COUNTY OF MCLENNAN

BEING ALL THAT TRACT OF LAND OUT OF THE JAMES LANE SURVEY, ABSTRACT NUMBER 531, MCLENNAN COUNTY, TEXAS, BEING OUT OF THAT CALLED 23.801 ACRES OF LAND DESCRIBED IN A DEED TO ESTES FIVE DEVELOPMENT, LLC, RECORDED UNDER MCLENNAN COUNTY CLERK'S FILE NUMBER 2018001310 OF THE OFFICIAL PUBLIC RECORDS OF MCLENNAN COUNTY, TEXAS, AND BEING FURTHER DESCRIBED AS FOLLOWS WITH BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83.

BEGINNING AT A 3/8-INCH STEEL ROD FOUND AT THE NORTHEAST CORNER OF SAID 23.801 ACRES AND AT THE NORTHEAST CORNER OF THIS;

THENCE SOUTH 31 DEGREES 57 MINUTES 17 SECONDS EAST 1425.62 FEET TO A 1/2-INCH STEEL ROD FOUND CAPPED 1519 AT THE SOUTHEAST CORNER OF SAID 23.801 ACRES AND AT THE SOUTHEAST CORNER OF THIS;

THENCE NORTH 78 DEGREES 15 MINUTES 32 SECONDS WEST 692.59 FEET ALONG THE SOUTHWEST LINE OF SAID 23.801 ACRES TO A 1/2-INCH STEEL ROD FOUND CAPPED 1519 AT THE SOUTHEAST CORNER OF SADDLE CREEK II ADDITION, PHASE 1, TO THE CITY OF WACO, MCLENNAN COUNTY, TEXAS, AS PER PLAT OF SAID ADDITION RECORDED UNDER MCLENNAN COUNTY CLERK'S FILE NUMBER 2019021865 OF THE OFFICIAL PUBLIC RECORDS OF MCLENNAN COUNTY, TEXAS, AND AT THE SOUTHWEST CORNER OF THIS;

THENCE NORTH 11 DEGREES 45 MINUTES 54 SECONDS EAST 290.00 FEET TO A 1/2-INCH STEEL ROD SET CAPPED M&A AT THE NORTHEAST CORNER OF SAID SADDLE CREEK II ADDITION AND AT AN INTERIOR CORNER OF THIS;

THENCE NORTH 78 DEGREES 16 MINUTES 20 SECONDS WEST 824.07 FEET TO A 1/2-INCH STEEL ROD FOUND CAPPED 1519 IN THE SOUTH LINE OF SADDLE CREEK ROAD AT A SOUTHWESTERLY CORNER OF THIS;

THENCE NORTH 31 DEGREES 37 MINUTES 11 SECONDS WEST 171.93 FEET TO A 1/2-INCH STEEL ROD FOUND CAPPED 1519 IN THE NORTHWEST LINE OF SAID 23.801 ACRES AND AT THE NORTHWEST CORNER OF THIS;

THENCE NORTH 58 DEGREES 16 MINUTES 13 SECONDS EAST 895.28 FEET TO THE POINT OF BEGINNING, CONTAINING 15.99 ACRES OF LAND.

STATE OF TEXAS  
COUNTY OF MCLENNAN

THAT ESTES FIVE DEVELOPMENT, LLC, BEING THE OWNERS OF THE PROPERTY DESCRIBED ABOVE AND WISHING TO SUBDIVIDE SAME INTO LOTS AND BLOCKS DO HEREBY ADOPT THE PLAT ATTACHED HERETO AND TITLED

FINAL PLAT  
SADDLE CREEK II ADDITION  
PHASE II, LOTS 17 THROUGH 22 BLOCK 5, & LOTS 2 THROUGH 9 BLOCK 6,  
PHASE III, LOTS 6 THROUGH 12 BLOCK 1, LOTS 12 THROUGH 20 BLOCK 3 & LOTS 1 THROUGH 5 BLOCK 4  
PHASE IV, LOTS 13 & 14, BLOCK 1, LOTS 6 THROUGH 11 BLOCK 4, & LOTS 1 THROUGH 14 BLOCK 5,  
TO THE CITY OF WACO, MCLENNAN COUNTY, TEXAS, BEING 15.99 ACRES OF LAND OUT OF THE JAMES LANE SURVEY, ABSTRACT NUMBER 531, MCLENNAN COUNTY, TEXAS, BEING OUT OF THAT CALLED 23.801 ACRES OF LAND DESCRIBED IN A DEED TO ESTES FIVE DEVELOPMENT, LLC, RECORDED UNDER MCLENNAN COUNTY CLERK'S FILE NUMBER 2018001310 OF THE OFFICIAL PUBLIC RECORDS OF MCLENNAN COUNTY, TEXAS.

AS OUR LEGAL SUBDIVISION OF SAME AND DO HEREBY DEDICATE ALL RIGHTS-OF-WAY AND EASEMENTS SHOWN HEREON TO THE USE OF THE PUBLIC FOREVER. ANY PRIVATE IMPROVEMENTS PLACED IN SAID RIGHTS-OF-WAY AND EASEMENTS SHALL BE PLACED AT NO RISK OR OBLIGATION TO THE PUBLIC AND THE CITY OF WACO, TRUSTEE OF THE PUBLIC TO HOLD THESE EASEMENTS AND THE CITY SHALL HAVE NO RESPONSIBILITY TO REPAIR OR REPLACE SUCH IMPROVEMENTS IF THEY ARE DAMAGED OR DESTROYED IN THE UTILIZATION OF THESE RIGHTS-OF-WAY OR EASEMENTS. THE SALE OF THE LOTS SHOWN ON THIS PLAT SHALL BE MADE IN ACCORDANCE THEREWITH, SUBJECT TO ALL RESTRICTIONS AND CONDITIONS RECORDED IN MCLENNAN COUNTY, TEXAS REAL PROPERTY RECORDS PERTAINING TO SUCH SUBDIVISION.

BY: ESTES FIVE DEVELOPMENT, LLC.

BY: AUTUMN BROOK HANSON, MANAGER  
575 ESTES ROAD,  
LORENA, TX, 76655  
ATTEST: THOMAS CHADWICK HANSON, MANAGER  
575 ESTES ROAD,  
LORENA, TX, 76655

STATE OF TEXAS  
COUNTY OF MCLENNAN

BEFORE ME, THE UNDERSIGNED AUTHORITY, NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED AUTUMN BROOK HANSON, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND SHE ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

THE STATE OF TEXAS  
COUNTY OF MCLENNAN

I HEREBY CERTIFY THAT THE ATTACHED AND FOREGOING PLAT AND FIELD NOTES OF THE

FINAL PLAT  
SADDLE CREEK II ADDITION  
PHASE II, LOTS 17 THROUGH 22 BLOCK 5, & LOTS 2 THROUGH 9 BLOCK 6,  
PHASE III, LOTS 6 THROUGH 12 BLOCK 1, LOTS 12 THROUGH 20 BLOCK 3 & LOTS 1 THROUGH 5 BLOCK 4  
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WAS APPROVED ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

BY: ESMERALDA HUDSON - CITY SECRETARY

FINAL PLAT  
SADDLE CREEK II ADDITION  
PHASE II, LOTS 17 THROUGH 22 BLOCK 5, & LOTS 2 THROUGH 9 BLOCK 6,  
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PHASE IV, LOTS 13 & 14, BLOCK 1, LOTS 6 THROUGH 11 BLOCK 4, & LOTS 1 THROUGH 14 BLOCK 5,  
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COUNTY CLERK'S FILE NUMBER

BASED UPON WHAT CAN BE SCALED FROM THE GRAPHICS SHOWN ON FEDERAL INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 48309C0190D, EFFECTIVE ON 12/20/2019, THE PROPERTY SHOWN ON THIS PLAT APPEARS TO BE SITUATED IN ZONE "X".

BEARINGS BASED ON THE TEXAS COORDINATE SYSTEM, CENTRAL ZONE, NAD 83.  
THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.

M.C.D.R. - DEED RECORDS OF MCLENNAN COUNTY, TEXAS  
O.P.R. - OFFICIAL PUBLIC RECORDS OF MCLENNAN COUNTY, TEXAS

WATER PROVIDED BY: CITY OF WACO CCN # 10039  
ELECTRIC SERVICE PROVIDED BY: ONCOR  
SEWER SERVICE PROVIDED BY: CITY OF WACO CCN # 10039  
SCHOOL DISTRICT: BOSQUEVILLE ISD

PRELIMINARY FOR CITY REVIEW PROCESS ONLY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE NOR USED IN ANY CONVEYANCE OF PROPERTY

STATE OF TEXAS  
COUNTY OF MCLENNAN

DEED OF TRUST HOLDER ACKNOWLEDGMENT

THE DEED OF TRUST HOLDER SIGNED BELOW HEREBY ACKNOWLEDGES THAT THEY HAVE REVIEWED THE SUBDIVISION OF THE PROPERTY DESCRIBED IN THE ABOVE DEDICATION AND ARE FAMILIAR WITH THE EFFECT OF THAT SUBDIVISION UPON PROPERTY ON WHICH THEY HOLD A DEED OF TRUST. THOSE BELOW HEREBY CONCUR IN AND JOIN IN THE DEDICATION OF THE SUBDIVISION OF THE PROPERTY DESCRIBED IN THE DEDICATION.

NAME OF TRUST HOLDER: THE FIRST NATIONAL BANK OF CENTRAL TEXAS

THE FIRST NATIONAL BANK OF CENTRAL TEXAS  
1835 N VALLEY MILLS DR, WACO, TEXAS 76710  
(254) 772-9330

BY: SLOAN KUEHL, President and Chief Lending Officer

PROPERTY ON WHICH YOU HOLD A DEED OF TRUST:

FINAL PLAT  
SADDLE CREEK II ADDITION  
PHASE II, LOTS 17 THROUGH 22 BLOCK 5, & LOTS 2 THROUGH 9 BLOCK 6,  
PHASE III, LOTS 6 THROUGH 12 BLOCK 1, LOTS 12 THROUGH 20 BLOCK 3 & LOTS 1 THROUGH 5 BLOCK 4  
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STATE OF TEXAS  
COUNTY OF MCLENNAN

BEFORE ME, THE UNDERSIGNED AUTHORITY, NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED SLOAN KUEHL, KNOWN TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

COUNTY CLERK'S FILE NUMBER



MITCHELL & ASSOCIATES, INC.  
ENGINEERING & SURVEYING  
600 Austin Ave. Ste. 29, Waco Texas (254) 776-5151  
T. B. P. L. S. FIRM REGISTRATION NO. 10194044

SURVEYORS RED SEAL



SURVEYED: 11/2020

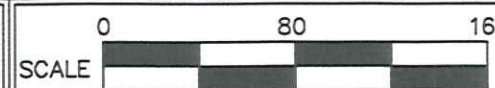
SURVEYORS CERTIFICATION

THE PLAT SHOWN HEREON WAS PREPARED FROM AN ON THE GROUND SURVEY PERFORMED BY ME IN NOVEMBER, 2020 AND CORNER MONUMENTS ARE AS SHOWN.

ROBERT E. MITCHELL R.P.L.S. 5801

Sheet:

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ADDRESS: SADDLE CREEK RD DATE DECEMBER, 2020  
WORK ORDER NO. 20-12-4347 DRAWN BY CKM  
DIGITAL FILE 20-12-4347PRE.dwg FIELDBOOK/P.G. TNEFS - 103/12