LAKE TERRACE SITE PLAN PROJECT NUMBER: 24-P-375-SD

NOTES:

1) THIS SITE CONTAINS 7.716 ACRES COMPRISED OF TWO TRACTS OF LAND:

- 1.1 TRACT I IS ±5.08 ACRES OUT OF THE S. HAYFORD SURVEY NO. 54 AND THE C.S. HEARTT SURVEY NO. 607 IN TRAVIS COUNTY AS DESCRIBED IN A DEED OF RECORD IN VOL.3457, PG 1167.
- 1.2 TRACT 2 IS ±2.65 ACRES OUT OF THE C.S. HEARTT SURVEY NO. 607 IN TRAVIS COUNTY AS DESCRIBED IN A DEED OF RECORD IN VOL.3457, PG 1167.
- 1.3 TRACT I IS WITHIN THE CITY OF JONESTOWN EXTRATERRITORIAL JURISDICTION. TRACT 2 IS WITHIN THE CITY OF JONESTOWN FULL PURPOSE JURISDICTION.
- 1.4 THE PROPERTY IS TO BE RESUBDIVIDED TO CREATE A SINGLE LOT FROM THE ABOVE DESCRIBED TWO LOTS.
- 1.5 THE PROPERTY OWNER HAS ELECTED TO GO THROUGH A VOLUNTARY ANNEXATION TO BRING THE ENTIRE SITE INTO THE CITY OF JONESTOWN FULL PURPOSE JURISDICTION.
- 1.6 SUBSEQUENT TO THE VOLUNTARY ANNEXATION, THE PROPERTY WILL BE ASSIGNED A "T" (TEMPORARY) ZONING CATEGORY. A ZONING CASE WILL BE SUBMITTED TO THE CITY OF JONESTOWN TO REQUEST THE "GUI" ZONING DESIGNATION FOR THE ENTIRE SITE.
- 2) A 50' WIDE INGREES/EGRESS EASEMENT AS DESCRIBED IN VOL. 10360, PG. 958 EXISTING ALONG THE WEST PROPERTY LINE OF THE TWO TRACTS DESCRIBED ABOVE IS PROPOSED TO BE PARTIALLY VACATED AND REDEDICATED AS A 25' WIDE INGRESS/EGRESS EASEMENT THROUGH THE ABOVE DESCRIBED TWO TRACTS.
- 2.1 A "ROAD MAINTENANCE AGREEMENT" AS DESCRIBED IN VOL. 11471, PG. 2034 APPLIES TO THE EXISTING 50' INGRESS/EGRESS EASEMENT.
- 3) THIS SITE IS WITHIN THE LOWER COLORADO RIVER AUTHORITY'S HIGHLAND LAKES WATERSHED ORDINANCE JURISDICTION. ALL WATER QUALITY CONTROLS MUST BE DESIGNED, INSTALLED AND MAINTAINED IN COMPLIANCE WITH
- 3.1 WATER QUALITY WILL BE ACHIEVED BY USE OF AN EXTENDED DETENTION POND AND DOWN GRADIENT ENGINEERED
- 4) THIS SITE IS WITHIN THE LOWER COLORADO RIVER AUTHORITY'S ON-SITE SEWAGE FACILITY PERMITTING JURISDICTION. THE ON-SITE WASTEWATER TREATMENT AND DISPOSAL SYSTEM MUST BE DESIGNED, INSTALLED AND MAINTAINED IN COMPLIANCE WITH 30 TAC CHAPTER 285 AND THE LCRA RULES PERTAINING TO ON-SITE SEWAGE FACILITIES.
- 4.1 AN ON SITE SEWAGE TREATMENT AND DISPOSAL FACILITY IS PROPOSED WITH THIS DEVELOPMENT. THE OSSF WILL BE A STANDARD ABSORPTIVE SYSTEM CONSISTING OF A 1,000 GALLON DUAL COMPARTMENT PRECAST CONCRETE TANK FOR TREATMENT, AND 3,084 SQUARE FOOT DRAIN FIELD UTILIZING LEACHING CHAMBERS FOR EFFLUENT DISPOSAL
- 5) NO PORTION OF THIS SITE IS WITHIN THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.
- 6) A PORTION OF THIS SITE IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO FEMA FIRM PANELS 48453C0205H AND 48453C0210H DATE SEPTEMBER 26, 2008. NO DEVELOPMENT IS PLANNED TO OCCUR WITHIN THE 100 YEAR FLOODPLAIN.
- 7) SITE ACCESS IMPROVEMENTS PLANNED TO OCCUR WITHIN THE FM 1431 RIGHT-OF-WAY MUST BE APPROVED AND PERMITTED BY THE TEXAS DEPARTMENT OF TRANSPORTATION.

RAO VASAMSETTI, P.E.
RAO'S CONSULTING ENGINEERS, LLC
P.O.BOX 592991
SAN ANTONIO, TX 78258
PHONE: 210-549-7557

CITY OF JONESTWON

DAT

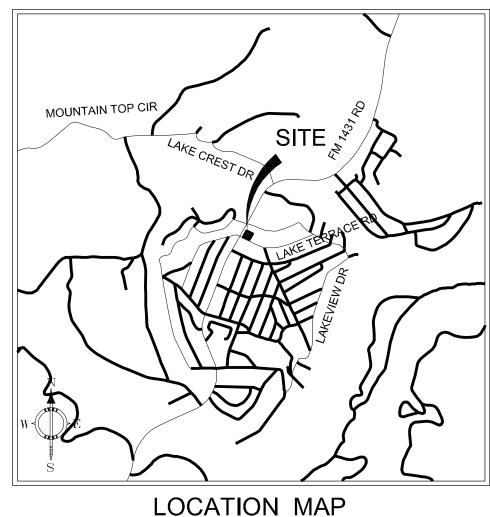
TRAVIS COUNTY FIRE MARSHAL

LOWER COLORADO RIVER AUTHORITY

DATE

TEXAS DEPARTMENT OF TRANSPORTATION

REVISION #	DESCRIPTION	APPROVAL



1:2000

OWNER/DEVELOPER: SHARP RALPH & KIMBERLY MARIE 20107 CONTINENTAL DR UNIT A LAGO VISTA TX 78645-2217

PROJECT AGENT/CIVIL ENGINEER:
RAO VASAMSETTI, P.E.
RAO'S CONSULTING ENGINEERS, LLC
P.O.BOX 592991
SAN ANTONIO, TX 78258
PHONE: 210-549-7557
SURVEYOR
STEVEN WARNER WORNACK, RPLS #5025
RRP SURVEYING, LLC
206 CRESTON
ST. HUTTO, TX

512-820-2525 (PHONE)

<u>SITE ADDRESS:</u> 18506 E LAKE TERRACE DRIVE,
JONESTOWN, TX

ACRES: 0.50 ACRES

ZONING: BUSINESS GENERAL DISTRICT (B-2)

PROPOSED USE: GENERAL OFFICE

SURVEY: SUR 96 HARRIS J H ABS 2280 SUR 73 DAVIS B F

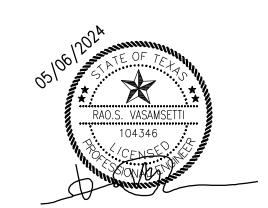
NUMBER OF LOTS: 2

NUMBER OF BLOCKS: 1

SUBMITTAL DATE: 01/16/2024

LEGAL DESCRIPTION:

LOT 331-A, RETIREMENT VILLAGE #3, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN BOOK 10, PAGE 40, PLAT RECORDS, TRAVIS COUNTY,



PRIMARY CONTACT PERSON: RAO VASAMSETTI, P.E.

RAO'S CONSULTING
ENGINEERS

TXPE FIRM#17655

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PHONE: 210.549.7557. FAX:512.856.4595
ww.raosengineering.com

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TITLE: COVER SHEET

NOTE: THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, REGULATORY COMPLIANCE, AND ADEQUACY OF THESE PLANS AND/OR SPECIFICATIONS WHETHER OR NOT THE PLANS AND/OR SPECIFICATIONS WERE REVIEWED BY THE CITY ENGINEER(S).

ATE: 01/09/24	JOB NO. 2023-1173
ESIGNED BY : RV	DRG NO
RAWN BY : MF	1 OF 13
HECKED BY : RV	

TRAVIS COUNTY CONSTRUCTION NOTES FOR SITE DEVELOPMENT.

-) EACH DRIVEWAY MUST BE CONSTRUCTED IN ACCORDANCE WITH TRAVIS COUNTY CODE SECTION 42.302(G), AND EACH DRAINAGE STRUCTURE OR SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF AUSTIN DRAINAGE CRITERIA MANUAL, UNLESS OTHER DESIGN CRITERIA ARE APPROVED BY TRAVIS COUNTY
- 2) BEFORE BEGINNING ANY CONSTRUCTION, THE OWNER MUST OBTAIN A TRAVIS COUNTY DEVELOPMENT PERMIT AND POST THE DEVELOPMENT PERMIT, THE TCEQ SITE NOTICE AND ANY OTHER REQUIRED PERMITS AT THE JOB SITE.
- 3) CONSTRUCTION MAY NOT TAKE PLACE WITHIN TRAVIS COUNTY RIGHT-OF-WAY UNTIL AFTER THE OWNER HAS SUBMITTED A TRAFFIC CONTROL PLAN TO TRAVIS COUNTY AND OBTAINED WRITTEN APPROVAL OF THE TRAFFIC CONTROL PLAN FROM TRAVIS COUNTY.
- THE CONTRACTOR AND PRIMARY OPERATOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION AND THE SWPJ IN THESE APPROVED PLANS, THE CONTRACTOR AND PRIMARY OPERATOR SHALL REQUEST TRAVIS COUNTY INSPECTION AT SPECIFIC MILESTONES IN THE SEQUENCE OF THE CONSTRUCTION OF THE SITE DEVELOPMENT CORRESPONDING TO THE PRIORITY INSPECTIONS SPECIFIED IN CONSTRUCTION SEQUENCING NOTES IN THESE APPROVED PLANS. DEVELOPMENT OUTSIDE THE LIMITS OF CONSTRUCTION SPECIFIED IN THE APPROVED PERMIT AND CONSTRUCTION PLANS IS PROHIBITED.
- BEFORE BEGINNING ANY CONSTRUCTION. ALL STURM WATER POLLUTION PREVENTION PLAN (SWP3)
 REQUIREMENTS SHALL BE MET. AND THE FIRST PHASE OF THE TEMPORARY EROSION CONTROL (ESC) PLAN INSTALLED WITH A SWP3 INSPECTION REPORT UPLOADED TO MYPERMITNOW.ORG. ALL SWP3 AND LSC PLAN MEASURES AND PRIMARY OPERATOR SWPJ INSPECTIONS MUST BE PERFORMED BY THE PRIMARY OPERATOR IN ACCORDANCE WITH THE APPROVED PLANS AND SWP3 AND ESC PLAN NOTES THROUGHOUT THE CONSTRUCTION PROCESS.
- BEFORE STARTING CONSTRUCTION, THE OWNER OR CONTRACTOR OR THEIR DESIGNATED REPRESENTATIVES SHALL SUBMIT A REQUEST VIA THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY TO REQUEST AND SCHEDULE A MANDATORY PRECONSTRUCTION CONFERENCE AND ESC INSPECTION. IF FURTHER ASSISTANCE IS NEEDED. THE TNR PLANNING AND ENGINEERING DIVISION STAFF OR TNR STORM WATER MANAGEMENT PROGRAM STAFF CAN BE CONTACTED BY TELEPHONE AT 512-854-9383,
- THE CONTRACTOR SHALL KEEP TRAVIS COUNTY TOR ASSIGNED INSPECTION STAFF CURRENT ON THE STATUS OF SITE DEVELOPMENT AND UTILITY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY TRAVIS COUNTY AND REQUEST PRIORITY INSPECTIONS THROUGH THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY IN ACCORDANCE WITH THE SPECIFIC MILESTONES IN THE CONSTRUCTION SEQUENCING NOTES IN THESE APPROVED BLANS
- FILL MATERIAL MUST BE MANAGED AND DISPOSED OF IN ACCORDANCE WITH ALL REQUIREMENTS SPECIFIED IN THE APPROVED PLANS. SWP3, AND THE TRAVIS COUNTY CODE THE CONTRACTOR SHALL STOCKPILE FILL AND CONSTRUCTION MATERIALS ONLY IN THE AREAS DESIGNATED ON THE APPROVED PLANS AND NOT WITHIN THE 02 PERCENT ANNUAL CHANCE FLOODPLAIN OR THE PERCENT ANNUAL CHANCE FLOODPLAIN, WATERWAY SETBACK, CRITICAL ENVIRONMENTAL FEATURE SETBACK. OR OUTSIDE THE LIMITS OF CONSTRUCTION. DISPOSAL OF SOLID WASTE MATERIALS, AS DEFINED BY STATE LAW (B.G.. LITTER, TIRES DECOMPOSABLE WASTES, ETC.) IS PROHIBITED IN PERMANENT FILL SITES
- BEFORE DISPOSING ANY EXCESS FILL MATERIAL OFF-SITE, THE CONTRACTOR OR PRIMARY OPERATOR MUST PROVIDE THE COUNTY INSPECTOR DOCUMENTATION THAT DEMONSTRATES THAT ALL REQUIRED PERMITS FOR THE PROPOSED DISPOSAL SITE LOCATION, INCLUDING TRAVIS COUNTY, TCEQ NOTICE, AND OTHER APPLICABLE DEVELOPMENT PERMITS. HAVE BEEN OBTAINED. THE OWNER OR PRIMARY OPERATOR MUST REVISE THE SWP3 AND ESC PLAN IF HANDLING OR PLACEMENT OF EXCESS FILL ON THE CONSTRUCTION SITE IS REVISED FROM THE EXISTING SWP3. IF THE FILL DISPOSAL LOCATION IS OUTSIDE TRAVIS COUNTY OR DOES NOT REQUIRE A DEVELOPMENT PERMIT, THE CONTRACTOR OR PRIMARY OPERATOR MUST PROVIDE THE COUNTY INSPECTOR THE SITE ADDRESS, CONTACT INFORMATION FOR THE PROPERTY OWNER OF THE FILL
- 10) THE DESIGN ENGINEER IS RESPONSIBLE FOR THE ADEQUACY OF THE CONSTRUCTION PLANS, IN REVIEWING THE CONSTRUCTION PLANS, TRAVIS COUNTY WILL RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER
- 11) IN THE EVENT OF ANY CONFLICTS BETWEEN THE CONTENT IN THE SWP3 SITE NOTEBOOK AND THE CONTENT IN THE CONSTRUCTION PLANS APPROVED BY TRAVIS COUNTY, THE CONSTRUCTION PLANS SHALL TAKE PRECEDENCE.
- 12) A MINIMUM OF TWO SURVEY BENCHMARKS SHALL BE SET, INCLUDING DESCRIPTION, LOCATION, AND ELEVATION: THE BENCHMARKS SHOULD BE TIED TO A TRAVIS COUNTY CONTROL BENCHMARK WHEN POSSIBLE.
- 13) ANY EXISTING PAVEMENT, CURBS, SIDEWALKS, OR DRAINAGE STRUCTURES WITHIN COUNTY RIGHT-OF-WAY WHICH ARE DAMAGED, REMOVED, OR SILTED. WILL BE REPAIRED BY THE CONTRACTOR AT OWNER OR CONTRACTOR'S EXPENSE BEFORE APPROVAL AND ACCEPTANCE OF THE CONSTRUCTION BY TRAVIS COUNTY
- 14) CALL THE TEXAS EXCAVATION SAFETY SYSTEM AT 8-1-1 AT LEAST 2 BUSINESS DAYS BEFORE BEGINNING EXCAVATION ACTIVITIES
- 15) ALL STORM SEWER PIPES SHALL BE CLASS III RCP. UNLESS OTHERWISE NOTED.
- 16) CONTRACTOR IS REQUIRED TO OBTAIN A UTILITY INSTALLATION PERMIT IN ACCORDANCE WITH TRAVIS COUNTY CODE SECTION 482,1AX3) BEFORE ANY CONSTRUCTION OF UTILITIES WITHIN ANY TRAVIS COUNTY
- 17) TEMPORARY STABILIZATION MUST BE PERFORMED IN ALL DISTURBED AREAS THAT HAVE CEASED CONSTRUCTION ACTIVITIES FOR 14 DAYS OR LONGER. IN ACCORDANCE WITH THE STANDARDS DESCRIBED IN THE SWP3 AND ESC PLAN SHEET NOTES,
- PERMANENT SITE STABILIZATION/RE-VEGETATION MUST BE PERFORMED IMMEDIATELY IN ALL SITE AREAS WHICH ARE AT FINAL PLAN GRADE AND IN ALL SITE AREAS SPECIFIED IN THE APPROVED PLANS FOR PHASED RE-VEGETATION, IN ACCORDANCE WITH THE STANDARDS DESCRIBED IN THE SWP3 AND ESC PLAN SHEET
- ALL TREES WITHIN THE RIGHT-OF-WAY AND DRAINAGE EASEMENTS SHALL BE SAVED OR REMOVED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS. TRAVIS COUNTY TREE PRESERVATION STANDARDS IN TRAVIS COUNTY CODE SECTION 482.973. INCLUDING INSTALLATION AND MAINTENANCE OF ALL SPECIFIED TREE PROTECTION MEASURES MUST BE FOLLOWED DURING CONSTRUCTION.
- AN ENGINEER'S CONCURRENCE LETTER IN ACCORDANCE WITH TRAVIS COUNTY CODE SECTION 482.953 MUST BE SUBMITTED VIA THE MYPERMITNOW.ORG CUSTOMER PORTAL FOR TRAVIS COUNTY WHEN CONSTRUCTION IS SUBSTANTIALLY COMPLETE. THE ENGINEER'S CONCURRENCE LETTER MUST BE SUBMITTED BEFORE THE CONTRACTOR OR PRIMARY OPERATOR REQUESTS A FINAL INSPECTION BY TRAVIS COUNTY
- 21) SITE IMPROVEMENTS MUST BE CONSTRUCTED IN CONFORMANCE WITH THE ENGINEER'S CONSTRUCTION PLANS APPROVED BY TRAVIS COUNTY NON-CONFORMANCE WITH THE APPROVED PLANS WILL DELAY FINAL INSPECTION APPROVED BY THE COUNTY UNTIL PLAN CONFORMANCE IS ACHIEVED OR ANY REQUIRED PLAN REVISIONS ARE
- FINAL SITE STABILIZATION ALL AREAS DISTURBED BY THE CONSTRUCTION MUST BE PERMANENTLY
 REVEGETATED AND ALL TEMPORARY SEDIMENT CONTROLS AND ACCUMULATED SEDIMENTATION MUST BE
 REMOVED BEFORE THE COUNTY WILL ISSUE A CERTIFICATE OF COMPLIANCE FOR FINAL SITE STABILIZATION AS
 PART OF FINAL INSPECTION AND PROJECT COMPLETION, A DEVELOPERS CONTRACT. AS DESCRIBED IN THE
 SWPJ AND ESC NOTES SHEET MAY BE EXECUTED WITH TRAVIS COUNTY FOR CONDITIONAL ACCEPTANCE OF A
 PROJECT FOR WHICH HAS ESC FISCAL SECURITY POSTED AND FOR WHICH ALL ITEMS ARE COMPLETE

CRITERIA FOR SEWAGE TREATMENT SYSTEMS

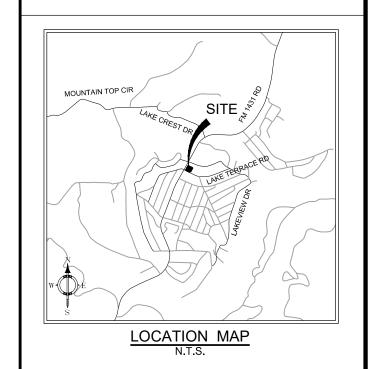
- 1) TESTING OF TANKS FOLLOWING INSTALLATION AND PRIOR TO FINAL BACKHILLING. ALL. TANKS IN THE SYSTEM, INCLUDING BUT NOT LIMITED TO SEPTIC TANKS. PUMP TANKS, TRASH TANKS. AND AEROBIC TREATMENT UNITS. SHALL BE TESTED BY BEING FILLED TO THE OUTLET WITH CLEAN WATER AND CHECKED 24 HOURS LATER FOR LEAKS AND STRUCTURAL INTEGRITY.
- 2) NON-RESIDENTIAL TREATMENT REQUIREMENTS NON-RESIDENTIAL SYSTEMS SHALL HAVE A MINIMUM OF SIX-DAY RETENTION TIME IN A SEPTIC TANK, OR IN A PRE-TREATMENT TANK PRIOR TO A TREATMENT UNIT: OR PROVIDE EQUALIZATION TANKS PER 30 TEXAS ADMINISTRATIVE CODE SECTION 285.34(894)

TRAVIS COUNTY EMERGENCY SERVICES DISTRICT PIRE DEPARTMENT- SITE PLAN NOTES

- 1) THE OWNER AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 TO ENSURE COMPLIANCE WITH ALL CODES. ORDINANCES. STATUTES, AND PERMITTING REQUIREMENTS PRIOR TO CONSTRUCTION.
- 2) PRIOR TO BLGINNING ANY CONSTRUCTION, AN APPROPRIATE TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 PERMIT/APPROVAL SHALL BE OBTAINED. THE APPROVED PERMIT SHALL BE POSTED AT THE JOB SITE.
- 3) A PERMIT BOARD WITH ALL APPROPRIATE PERMITS SHALL BE ON SITE FOR INSPECTION BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 AND THE PUBLIC DURING CONSTRUCTION
- THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION. THE PROJECT ADDRESS SIGN SHALL HAVE 8-INCH BLACK NUMBERS AND MOUNTED ON A 12-INCH WHITE BACKGROUND. THE ADDRESS SIGN SHALL BE POSTED AT A MINIMUM OF 5-FEET ABOVE GRADE.
- AN APPROVED ALL—WEATHER FIRE ACCESS ROAD SHALL BE PROVIDED TO WITHIN 150 FEET OF THE FURTHEST PART OF ANY FACILITY, BUILDING, OR PLANNED COMBUSTIBLE STRUCTURE. THE APPROVED ACCESS ROAD MUST BE INSTALLED PRIOR TO AND MAINTAINED DURING CONSTRUCTION OF ANY COMBUSTIBLE STRUCTURE UNLESS OTHERWISE APPROVED BY THE TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 FIRE CODE OFFICIAL WHERE ALTERNATIVE APPROVED METHODS OF PROTECTION ARE PROVIDED. THE ABOVE MAY BE MODIFIED OR WAIVED SOLELY AT THE APPROVAL OF THE TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 FIRE CODE OFFICIAL
- 6) THE FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT IMPOSED LIVE-VEHICLE LOADS OF 75.000 POUNDS SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
- 7) FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 25 FEET. THE MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE ABOVE A FIRE APPARATUS ACCESS ROAD SHALL BE 14 FEET FOR THE ENTIRE LENGTH OF THE REQUIRED ACCESS ROAD.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED WITH AN APPROPRIATE 25 FOOT INSIDE AND 50-FOOT OUTSIDE TURNING RADIUS AT TURNS TO ACCOMMODATE ANY OPERATIONAL FIRE DEPARTMENT APPARATUS, UNLESS OTHERWISE APPROVED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1.
- 9) ANY DEAD-END FIRE APPARATUS ACCESS RUADS OVER 150 FEET IN LENGTH SHALL HAVE AN APPROVED TURNAROUND FOR THE FIRE APPARATUS AS INDICATED IN APPENDIX D OF THE 2013 INTERNATIONAL FIRE CODE
- 10) ANY PHASED INSTALLATION OF FIRE ACCESS ROADS WILL REQUIRE THE SUBMITTAL OF AN ACCESS PHASING PLAN TO TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1. THE ACCESS PHASING PLAN SHALL BE APPROVED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 PRIOR TO USE OF THE AREA SUBMITTED FOR APPROVAL.
- 11) FIRE ACCESS ROADS, FIRE HYDRANTS, AND ALL OTHER FIRE RELATED APPURTENANCES SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES.
- 12) ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH A KNOX PADLOCK OR A BREAKAWAY PADLOCK UNLESS OTHERWISE APPROVED BY THE TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. I FIRE CODE OFFICIAL.
- 13) APPROVED FIRE HYDRANTS ARE PART OF A FIRE PROTECTION SYSTEM AND SHALL NOT BE REMOVED OR TAMPERED WITH UNLESS APPROVED BY THE TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 FIRE CODE OFFICIAL TAMPERING SHALL INCLUDE, BUT NOT BE LIMITED TO. PAINTING, MODHYING, AND OBSTRUCTING ACCESS.
- 14) FIRE HYDRANTS SHALL MEET OR EXCEED THE MINIMUM STANDARD OF THE CITY OF JONESTOWN AND SHALL HAVE A STEAMER THREAD OF 45-INCHES NST FIRE THREAD.
- 15) FIRE HYDRANTS SHALL BE PAINTED RED.
- 16) HYDRANTS MUST BE INSTALLED WITH THE CENTER OF THE 45-INCH OPENING AT A MINIMUM OF 15-INCHES ABOVE FINISHED GRADE. THE 45-INCH OPENING MUST FACE THE DRIVEWAY OR STREET WITH 3-FOOT TO 6-FOOT SETRACKS FROM THE CURB LINE(S) AS MEASURE FROM THE VALVE STEM OPERATING NUT. THE FIRE HYDRANT 45INCH OPENING MUST BE COMPLETELY UNOBSTRUCTED FROM THE STREET. NO OBSTRUCTION IS ALLOWED WITHIN FEET OF ANY HYDRANT
- 17) J. HYDRANTS SILALL BE COVERED WITH A BLACK BAG UNTIL THEY ARE ACCEPTED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 AND FULLY IN-SERVICE TO PROVIDE FIRE FLOW FOR PUBLIC SAFETY
- 18) THE VERIFIED FIRE FLOW FOR THE PROPOSED STRUCTURE TYPE OCCUPANCY SHALL MEET UP EXCEED VALUES LISTED IN THE 2015 INTERNATIONAL FIRE CODE, APPENDIX B PRIOR TO BEGINNING ANY CUMBUSTIBLE CONSTRUCTION.
- 19) PRIOR TO OCCUPANCY, A CLOSE OUT INSPECTION TEST OF FIRE HYDRANT FLOW IS REQUIRED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1. THE CONTRACTOR SHALL CONTACT TRAVIS COUNTY ESD No. 1 TU SCHEDULE THE ACCEPTANCE TEST.
- 20) IF ANY FIRE HYDRANT FAILS THE FIRE FLOW TEST. THE ENTIRE SYSTEM FAILS THE FIRE FLOW TEST.
- 21) COMMERCIAL DUMPSTERS AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR GREATER SHALL NOT BE STORED OR PLACED WITHIN 10 FEET OF BUILDING OPENINGS. COMBUSTIBLE WALLS, OR COMBUSTIBLE EAVE LINES.
- 22) TEMPORARY FUEL TANKS OF 60 GALLONS OR GREATER SHALL BE INSPECTED BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1 ONCE ON SITE AND PRIOR TO USE
- 23) CONTACT INFORMATION FOR TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. IS FIREPREVENTION@TCESDI COM OR 1512) 267-4050.
- APPROVAL OF THIS PLAN SUBMITTAL DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA CODES. INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE LICENSED DESIGNER AND/OR PROFESSIONAL ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS. ACCURACY AND ADEQUACY OF THE SUBMITTAL, WHETHER OR NOT THE PLAN SUBMITTAL IS REVIEWED AND APPROVED FOR CODE COMPLIANCE BY TRAVIS COUNTY EMERGENCY SERVICES DISTRICT No. 1.

REV. NO. DESCRIPTION DATE

Notes:



LEGEND

SIGNATURE/SEAL

RCERAO'S CONSULTING ENGINEERS

P.O. BOX. 592991 SAN ANTONIO TX 78258 PHONE: 210.549.7557. FAX:512.856.4595

PROJECT DESCRIPTION:

LAKE TERRACE

18506 E LAKE TERRACE DRIVE
JONESTOWN, TX

TITLE:

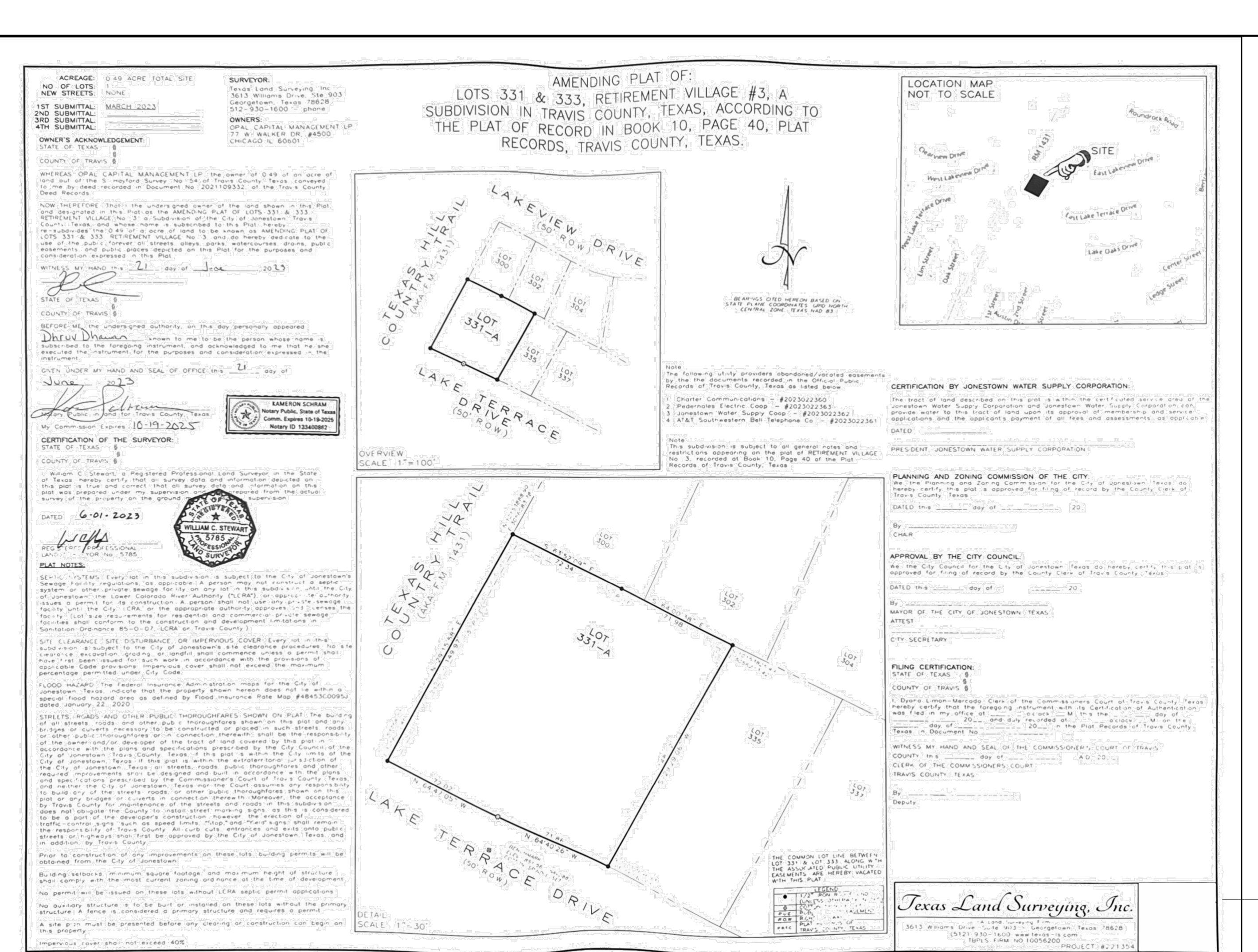
GENERAL NOTES

DATE: 01/04/24 JOB NO. 0000-0000

DESIGNED BY: RV DRG NO

DRAWN BY: MF

CHECKED BY: RV



LOCATION MAP LEGEND SIGNATURE/SEAL CERAO'S CONSULTING ENGINEERS P.O. BOX. 592991 SAN ANTONIO TX 78258 PHONE: 210.549.7557. FAX:512.856.4595 PROJECT DESCRIPTION: LAKE TERRACE 18506 E LAKE TERRACE DRIVE JONESTOWN, TX TITLE:

FINAL PLAT

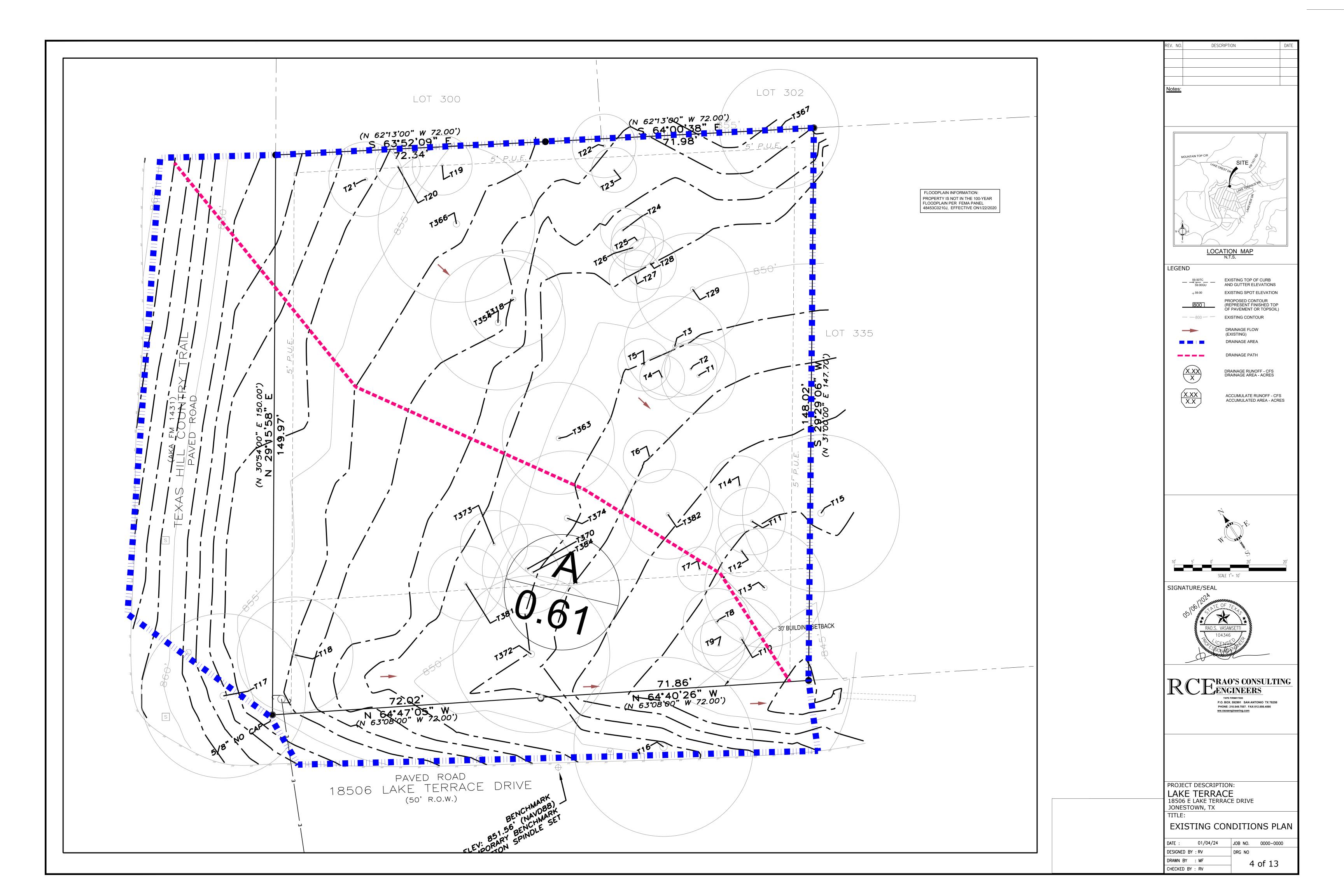
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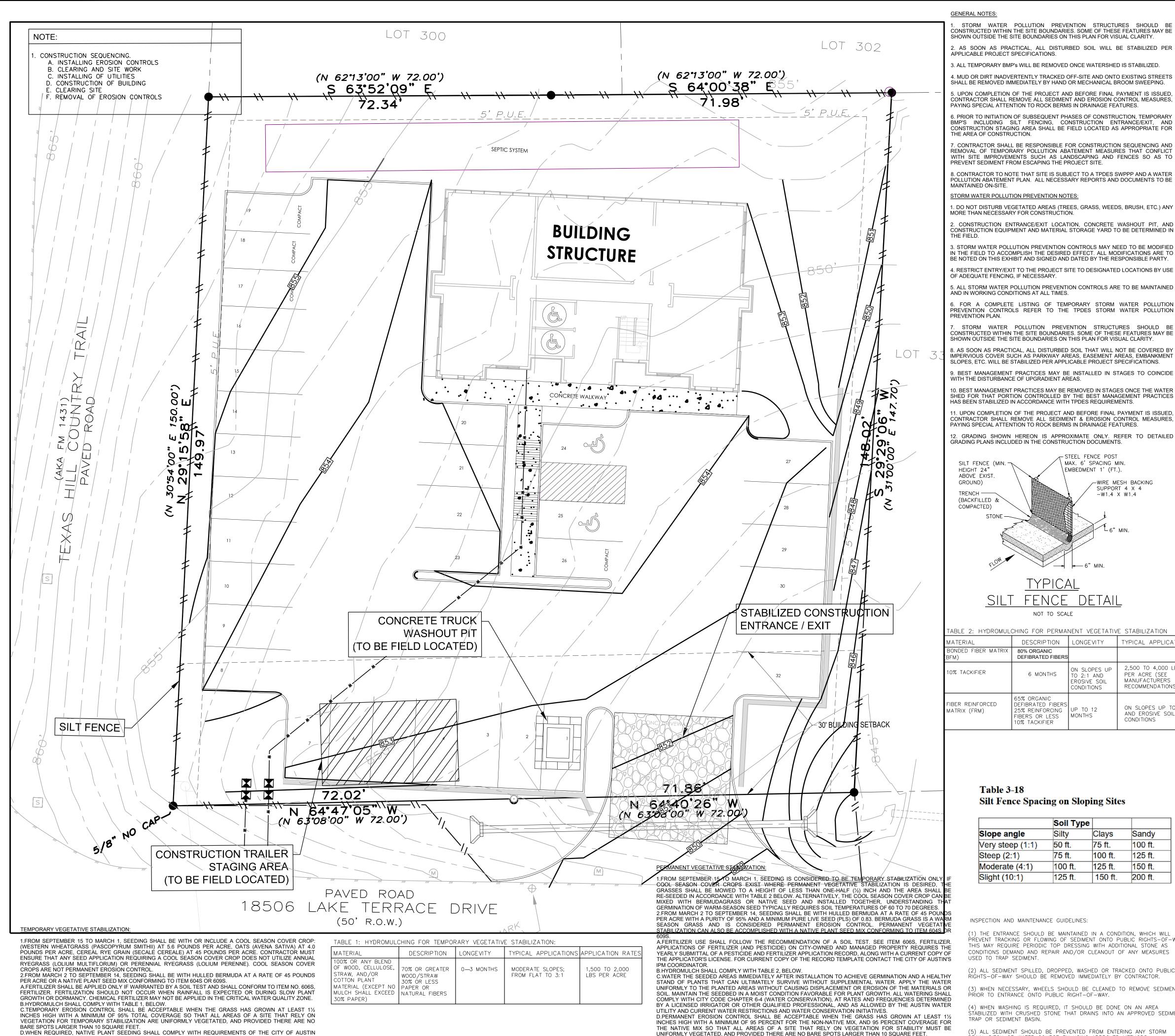
03 OF 13

01/04/24

DESIGNED BY : RV
DRAWN BY : MF

CHECKED BY : RV





ENVIRONMENTAL CRITERIA MANUAL, AND STANDARD SPECIFICATION 604S OR 609S.

GENERAL NOTES:

STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY. 2. AS SOON AS PRACTICAL, ALL DISTURBED SOIL WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.

3. ALL TEMPORARY BMP's WILL BE REMOVED ONCE WATERSHED IS STABILIZED. 4. MUD OR DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY BY HAND OR MECHANICAL BROOM SWEEPING.

5. UPON COMPLETION OF THE PROJECT AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES, PAYING SPECIAL ATTENTION TO ROCK BERMS IN DRAINAGE FEATURES. 6. PRIOR TO INITIATION OF SUBSEQUENT PHASES OF CONSTRUCTION, TEMPORARY

BMP'S INCLUDING SILT FENCING, CONSTRUCTION ENTRANCE/EXIT, AND CONSTRUCTION STAGING AREA SHALL BE FIELD LOCATED AS APPROPRIATE FOR 7. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND

8. CONTRACTOR TO NOTE THAT SITE IS SUBJECT TO A TPDES SWPPP AND A WATER POLLUTION ABATEMENT PLAN. ALL NECESSARY REPORTS AND DOCUMENTS TO BE

MAINTAINED ON-SITE. STORM WATER POLLUTION PREVENTION NOTES:

1. DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION. 2. CONSTRUCTION ENTRANCE/EXIT LOCATION, CONCRETE WASHOUT PIT, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARD TO BE DETERMINED IN

IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY. 4. RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY 5. ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED

AND IN WORKING CONDITIONS AT ALL TIMES. 6. FOR A COMPLETE LISTING OF TEMPORARY STORM WATER POLLUTION PREVENTION CONTROLS REFER TO THE TPDES STORM WATER POLLUTION

7. STORM WATER POLLUTION PREVENTION STRUCTURES SHOULD BE CONSTRUCTED WITHIN THE SITE BOUNDARIES. SOME OF THESE FEATURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARIES ON THIS PLAN FOR VISUAL CLARITY. 8. AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT

SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS. 9. BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADIENT AREAS.

10. BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATER SHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED IN ACCORDANCE WITH TPDES REQUIREMENTS. 1. UPON COMPLETION OF THE PROJECT AND BEFORE FINAL PAYMENT IS ISSUED,

12. GRADING SHOWN HEREON IS APPROXIMATE ONLY. REFER TO DETAILED GRADING PLANS INCLUDED IN THE CONSTRUCTION DOCUMENTS.

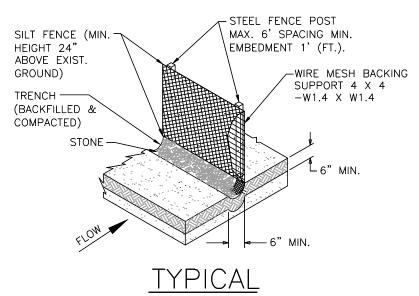


TABLE 2: HYDROMULCHING FOR PERMANENT VEGETATIVE STABILIZATION

MATERIAL	DESCRIPTION	LONGEVITY	TYPICAL APPLICATIONS	APPLICATION RATES
BONDED FIBER MATRIX BFM)	80% ORGANIC DEFIBRATED FIBERS			
10% TACKIFIER	6 MONTHS	ON SLOPES UP TO 2:1 AND EROSIVE SOIL CONDITIONS	2,500 TO 4,000 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS	
FIBER REINFORCED MATRIX (FRM)	65% ORGANIC DEFIBRATED FIBERS 25% REINFORCING FIBERS OR LESS 10% TACKIFIER	UP TO 12 MONTHS	ON SLOPES UP TO 1:1 AND EROSIVE SOIL CONDITIONS	3,000 TO 4,500 LBS PER ACRE (SEE MANUFACTURERS RECOMMENDATIONS)

Table 3-18 Silt Fence Spacing on Sloping Sites

	Soil Type		
Slope angle	Silty	Clays	Sandy
Very steep (1:1)	50 ft.	75 ft.	100 ft.
Steep (2:1)	75 ft.	100 ft.	125 ft.
Moderate (4:1)	100 ft.	125 ft.	150 ft.
Slight (10:1)	125 ft.	150 ft.	200 ft.

INSPECTION AND MAINTENANCE GUIDELINES:

E.WHEN REQUIRED, NATIVE PLANT SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN

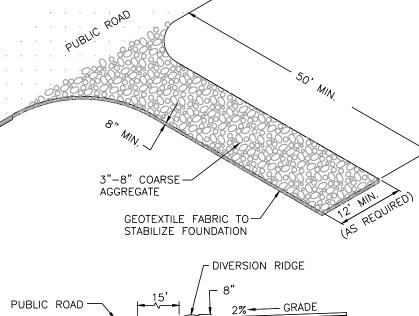
ENVIRONMENTAL CRITERIA MANUAL, ITEMS 604S AND 609S.

THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PRÉVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES

(2) ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR. (3) WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

(4) WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

(5) ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.



CONSTRUCTION

GEOTEXTILE FABRIC TO STABILLZE FOUNDATION

ENTRANCE NOT TO SCALE

INSTALLATION: (1) AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.

(2) THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS

(3) THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50

(4) IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.

(5) PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE

(6) PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE. (7) DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE

(8) INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER 'UBLIC ROAD DRAINAGE.

STABILIZED CONSTRUCTION ENTRANCE (S. C. E.) INSTALLATION of CONSTRUCTION ENTRANCE:

TRACKED ON TO ROAD AND POSSIBLE DAMAGE TO ROAD.

STONE PAD TO A SEDIMENT TRAP OR BASIN.

CLEAR THE AREA OF DEBRIS, ROCKS, OR PLANTS THAT WILL INTERFERE WITH INSTALLATION. . GRADE THE AREA FOR THE ENTRANCE TO FLOW BACK ON TO THE CONSTRUCTION SITE. RUNOFF FROM THE S.C.E. ONTO A PUBLIC STREET

WILL NOT BE ACCEPTED 3. PLACE ROCK AS REQUIRED. (4"-8" OPEN GRADED CLEAN CRUSHED 4. SIDE CONTAINMENT, AT THE CONTRACTOR'S DISCRETION, IS SUGGESTED THE SPECIFIED 8" THICKNESS OF CRUSHED STONE MUST BE MAINTAINED

COMMON TROUBLE POINTS:

SILT FENCE NOTES:

A MINIMUM OF 1-FOOT DEEP.

OF IN A APPROVED LANDFILL

INCHES OF FABRIC SHALL BE BURRIED.

DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.

(1) INADEQUATE RUNOFF CONTROL-SEDIMENT WASHES ONTO PUBLIC ROAD. STONE TOO SMALL OR GEOTEXTILE FABRIC ABSENT, RESULTS IN MUDD CONDITION AS STONE IS PRESSED INTO SOIL.

(3) PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC-EXTEND PAD BEYONI THE MINIMUM 50 FOOT LENGTH AS NECESSARY. (4) PAD NOT FLARED SUFFICIENTLY AT ROAD SURFACE, RESULTS IN MUD BEING

(5) UNSTABLE FOUNDATION — USE GEOTEXTILE FABRIC UNDER PAD AND/OR IMPROVE FOUNDATION DRAINAGE.

1.) STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED

2.) LAY OUT FENCING DOWN—SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM

3.) THE TOE OF THE SILT FENCE SHOULD BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN

(E.G., PAVEMENT OR ROCK OUTCROP), WEIGHT FABRIC FLAP WITH 3 INCHES OF PEA GRAVEL ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE

4.) THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WIT

5.) SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE

SHOULD BE A 3-FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.

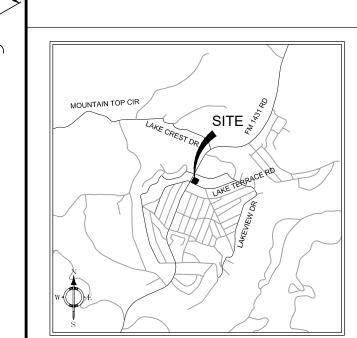
7.) ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

10.) WHEN CONSTRUCTION IS COMPLETE, THE SEDIMENT SHOULD BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ADDITIONAL SILTATION AND THE PRIOR LOCATION OF THE SILT FENCE SHOULD BE REVEGETATED. THE FENCE ITSELF SHOULD BE DISPOSED

11.) DESIGNATED SILT FENCE CONSIST OF THE FOLLOWING: GEOTECHNICAL FILTER FABRIC, STRETCHED AND SECURED TO THREE FOOT HIGH WIRE FENCING AND SUPPORTED BY STEEL POSTS AT A MAXIMUM SPACING OF 6 FEET. THE BOTTOM 6

REPLACE ANY TORN FABRIC OR INSTALL A SECOND LINE OF FENCING PARALLEL TO

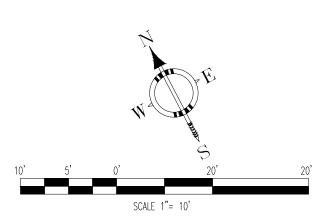
6.) INSPECT ALL FENCING WEEKLY, AND AFTER ANY RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED.



DESCRIPTION

LEGEND

STABILIZED CONSTRUCTION ENTRANCE CONCRETE TRUCK WASHOUT PIT ROCK BERM INLET W/PROTECTION ROCK BERM EXISTING CONTOUR PROPOSED CONTOUR (REPRESENT FINISHED TOP OF PAVEMENT OR TOPSOIL) DEFINED SWALE DRAINAGE FLOW (EXISTING GRATE



SIGNATURE/SEAL



RAO'S CONSULTING P.O. BOX. 592991 SAN ANTONIO TX 78258

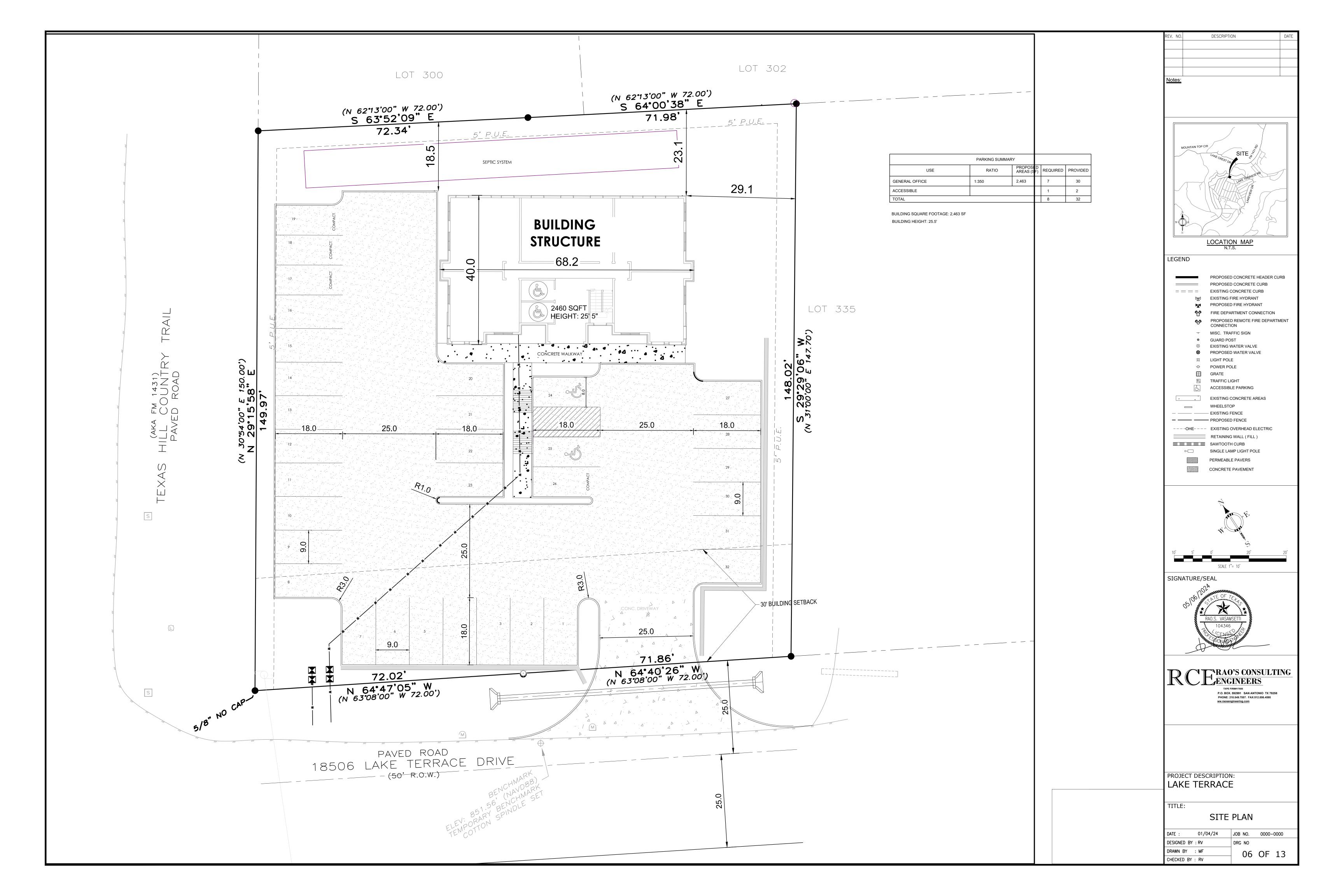
PHONE: 210.549.7557. FAX:512.856.4595 ww.raosengineering.com

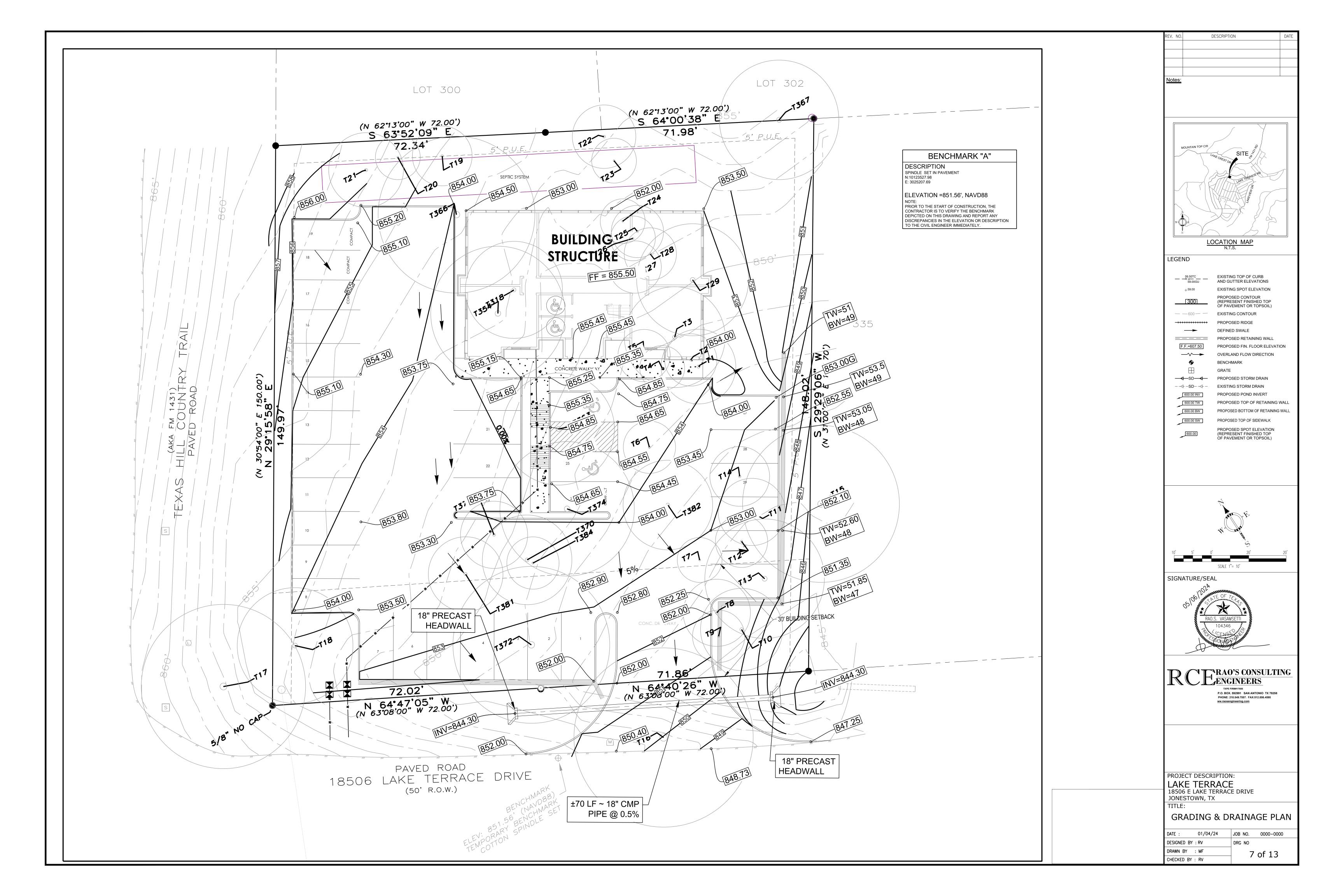
PROJECT DESCRIPTION:

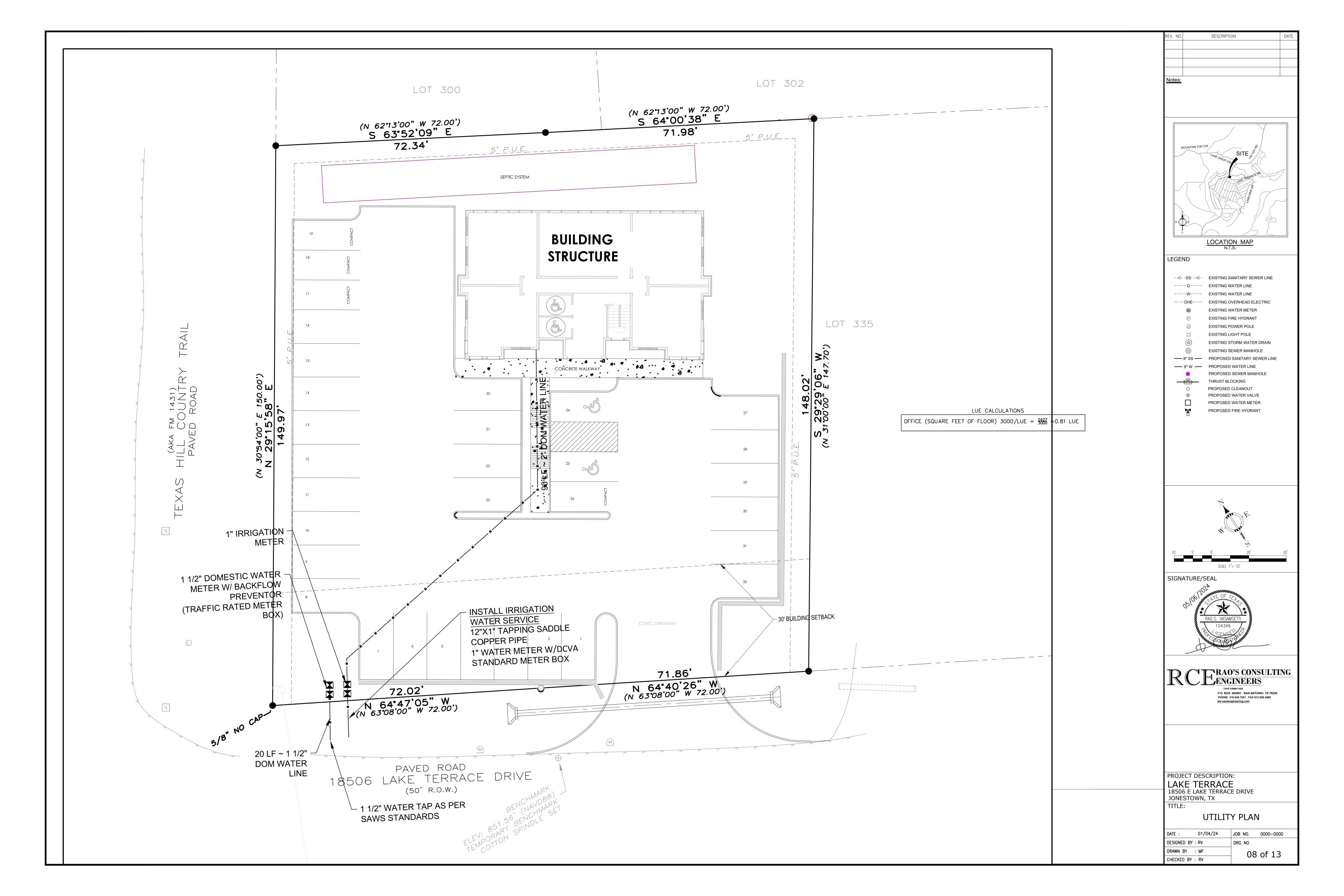
EROSION AND SEDIMENT

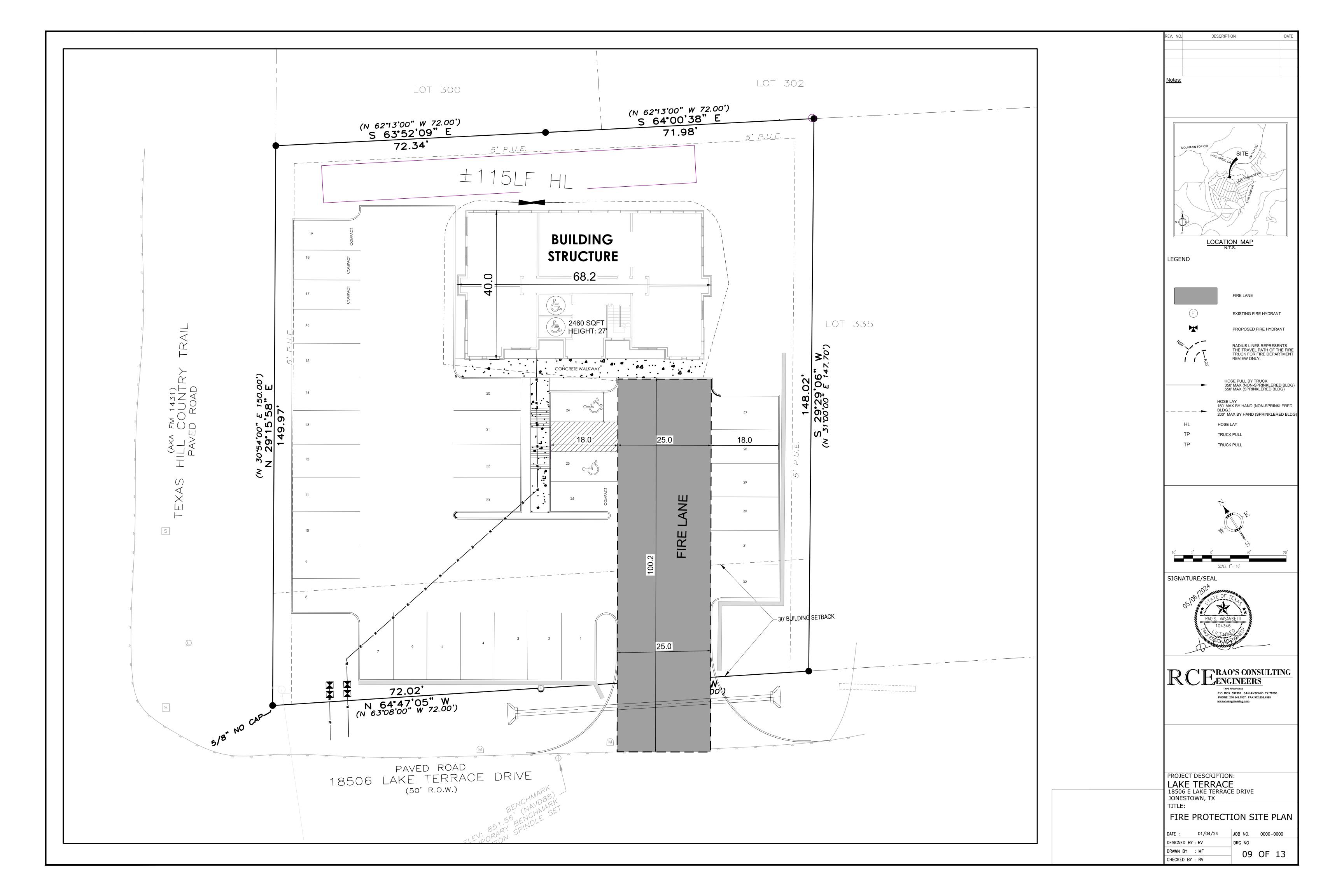
CONTROL PLAN 01/04/24 JOB NO. 0000-0000 DESIGNED BY: RV 12.) MAINTENANCE AND INSPECTIONS SHALL BE AS DESIGNATED IN THE STORM WATER POLLUTION PREVENTION PLAN. DRAWN BY : MF 05 OF 13 CHECKED BY : RV

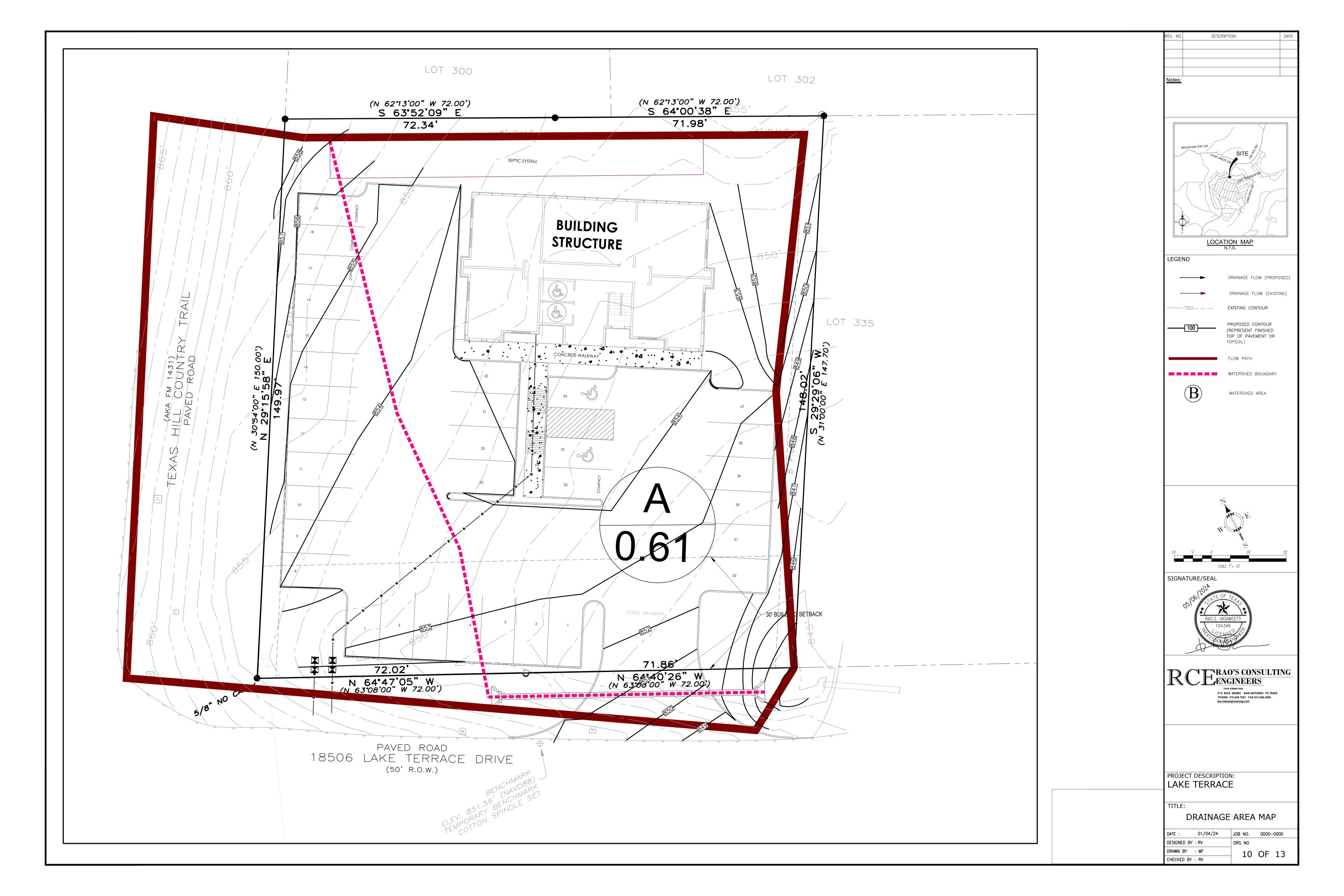
LAKE TERRACE 9.) REPLACE OR REPAIR ANY SECTIONS CRUSHED OR COLLAPSED IN THE COURSE OF CONSTRUCTION ACTIVITY. IF A SECTION OF FENCE IS OBSTRUCTING VEHICULAR ACCESS, CONSIDER RELOCATING IT TO A SPOT WHERE IT WILL PROVIDE EQUAL PROTECTION, BUT 18506 E LAKE TERRACE DRIVE WILL NOT OBSTRUCT VEHICLES. A TRIANGULAR FILTER DIKE MAY BE PREFERABLE TO A SILT FENCE AT COMMON VEHICLE ACCESS POINTS. JONESTOWN, TX

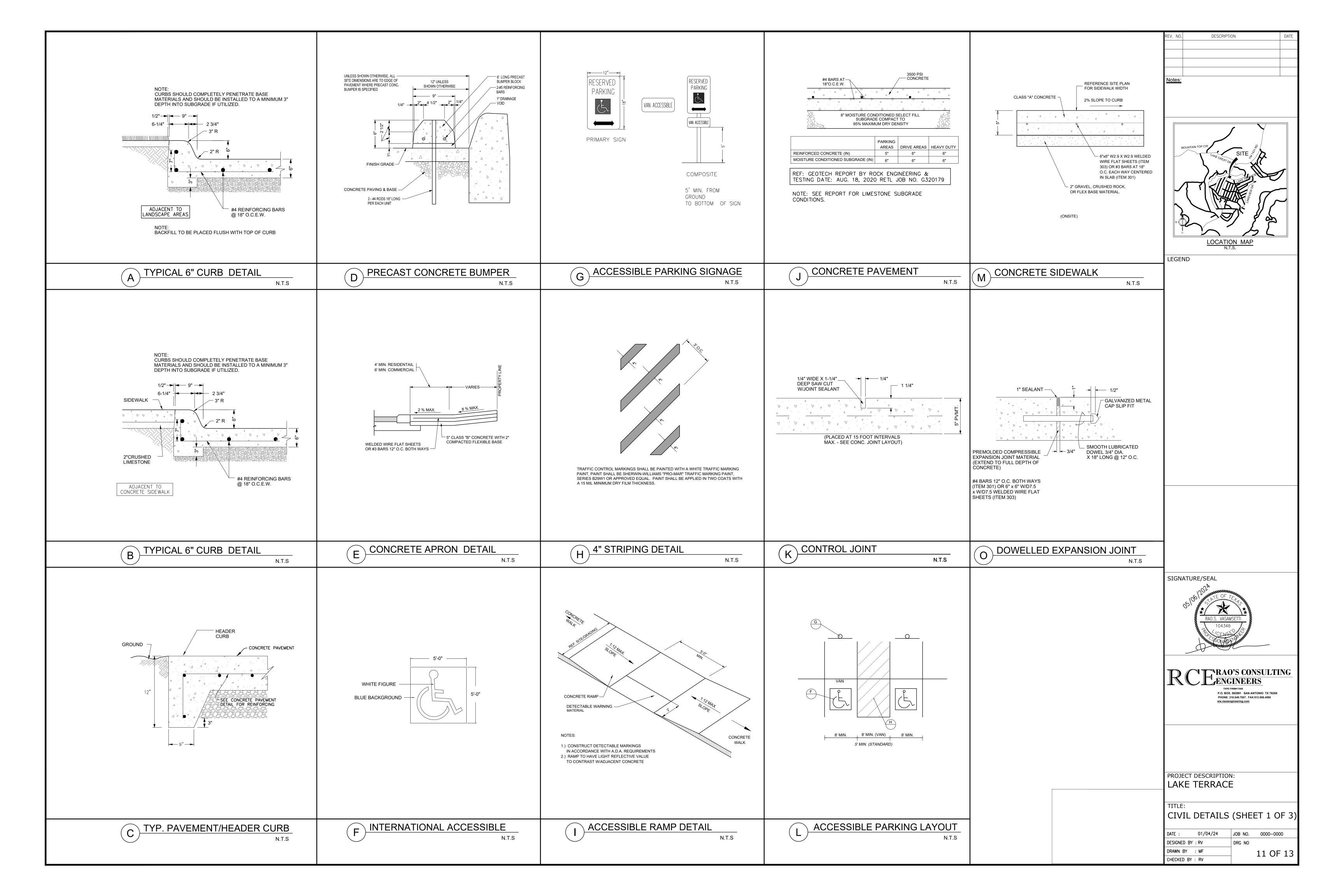












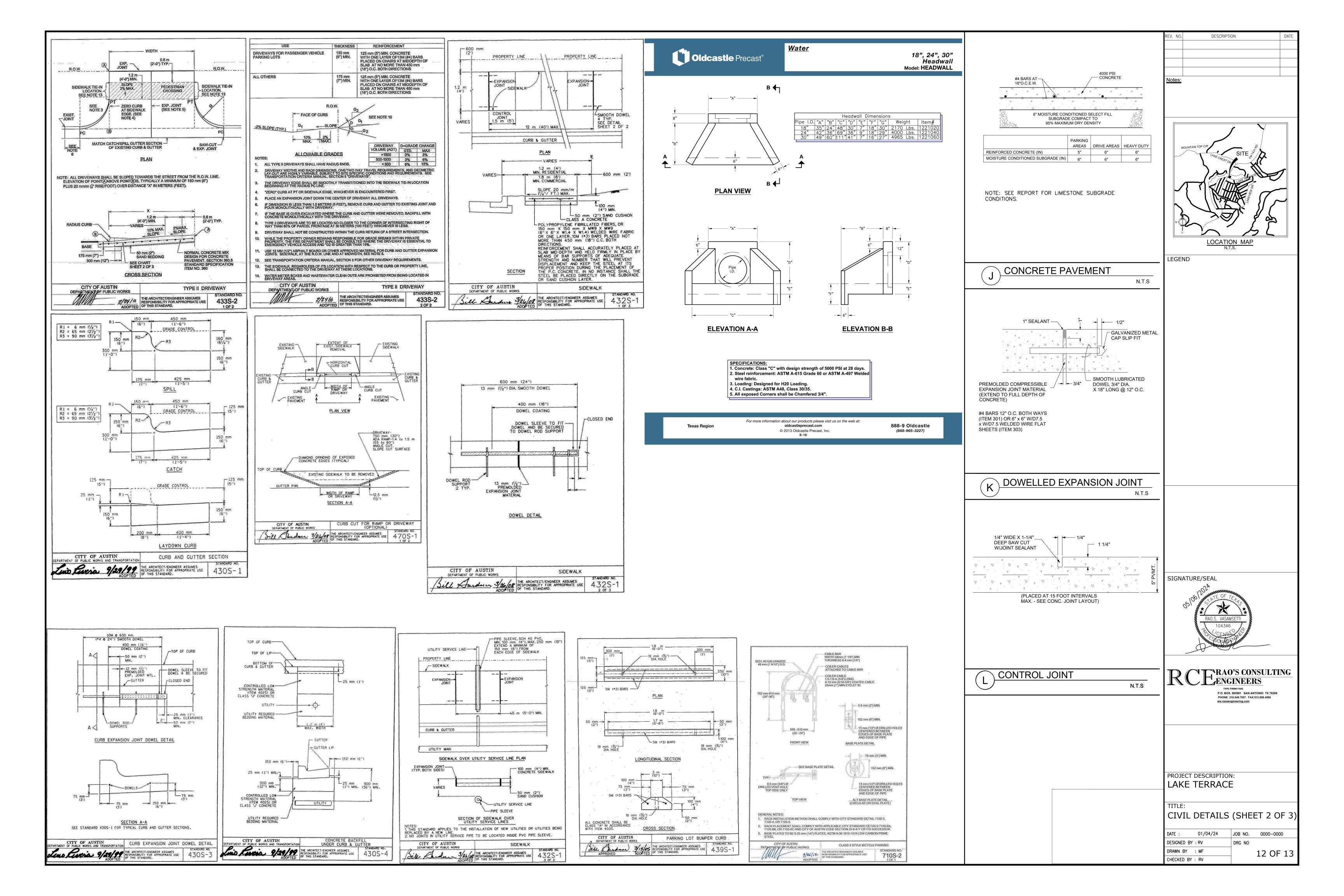
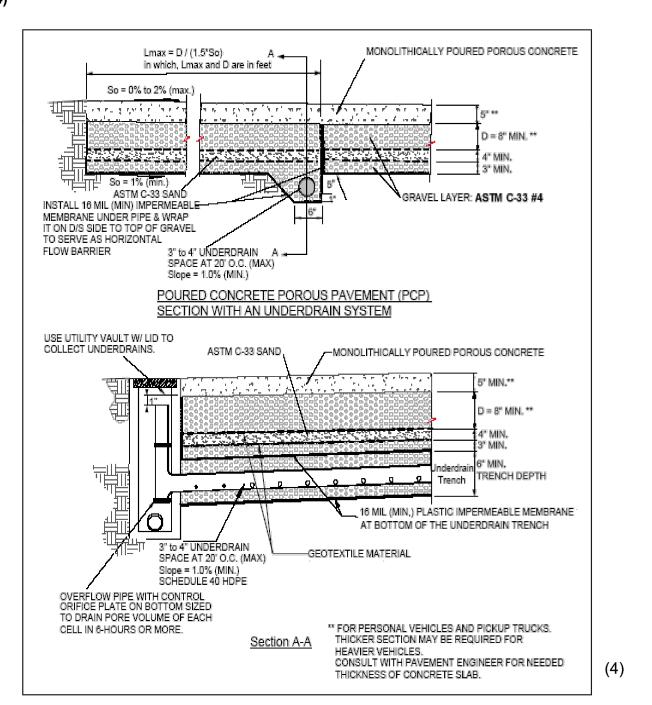
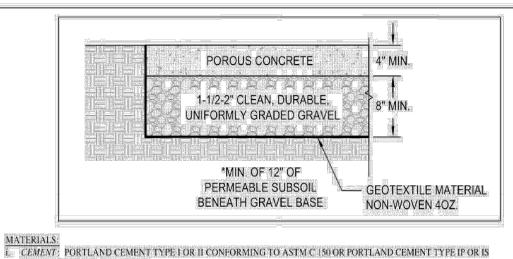


Figure 4.19 (a): Schematic of Permeable Concrete with Underdrain Installation (after UCFCD,





- CONFORMING TO ASTM C 595; AGGREGATE: USE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) GRADE NO.8 COARSE AGGREGATE (3/8 TO NO.16) PER ASTM C 33; OR NO.89 COARSE AGGREGATE (3/8 TO NO.50) PER ASTM D 448;
- ii. ADMIXTURES: OPTIONAL; IV. WATER: POTABLE OR SHOULD COMPLY WITH TXDOT STANDARD SPECIFICATIONS, AND v. GEOTEXTILE FABRIC: NON-WOVEN 4OZ.

PROPORTIONS:

I. CEMENT CONTENT: FOR PAVEMENT SUBJECT TO VEHICULAR TRAFFIC LOADING, THE TOTAL CEMENTITIOUS MATERIAL.

- SHALL BE NO LESS THAN 564 LBS. PER CUBIC YARD:

 AGGREGATE CONTENT: THE VOLUME OF AGGREGATE PER CUBIC YARD SHALL BE EQUAL TO 27 CUBIC FEET WHEN CALCULATED AS A FUNCTION OF THE UNIT WEIGHT DETERMINED IN ACCORDANCE WITH ASTM C 29 JIGGING PROCEDURE:
- . ADMIXTURE: OPTIONAL FOR STRENGTH; AND WIX WATER: MIX WATER QUANTITY SHALL BE SUCH THAT THE CEMENT PASTE DISPLAYS A WET METALLIC SHEEN WITHOUT CAUSING THE PASTE TO FLOW FROM THE AGGREGATE. (MIX WATER QUANTITY YIELDING A CEMENT PASTE WITH A DULL-DRY APPEARANCE HAS INSUFFICIENT WATER FOR HYDRATION.)

INSUFFICIENT WATER RESULTS IN INCONSISTENCY IN THE MIX AND POOR AGGREGATE BOND STRENGTH. HIGH WATER CONTENT RESULTS IN THE PASTE SEALING THE VOID SYSTEM PRIMARILY AT THE BOTTOM AND POOR AGGREGATE

GENERAL REQUIREMENTS

DRIVEWAY SLOPE MUST BE LESS THAN 2%: SUBSOIL: 12" OF SUITABLE SUBSOIL IN TERMS OF SUPPORT AND INFILTRATION REQUIRED. A MINIMUM INFILTRATION RATE OF 0.52 IN/HR IS REQUIRED. SOILS WITH AN INFILTRATION RATE BETWEEN 0.27 AND 0.52 IN/HR HAVE MARGINAL INFILTRATION CAPACITY AND MAY NOT BE SUITABLE FOR ABSORBING RUNOFF. SAND, LOAMY SAND, AND SANDY LOAM. ARE GENERALLY CONSIDERED SUITABLE FOR INFILTRATION AND SUPPORT.

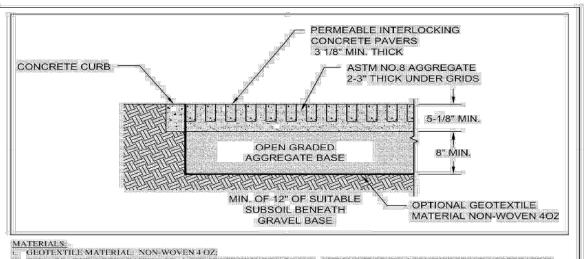
- INSTALLATION

 SUBGRADE: THE SUBGRADE MUST NOT BE COMPACTED OR SUBJECTED TO CONSTRUCTION VEHICLE TRAFFIC OR SEDIMENT PRIOR TO THE PLACEMENT OF BASE. SUBGRADE WORK MUST BE SEQUENCED TO MINIMIZE PASSES OF SUBGRADE IS EXPOSED TO RAINFALL RU CONSTRUCTION VEHICLES IN THE BEDS THEMSELVES. IF THE EXCAVATED SUBGRADE IS EXPOSED TO RAINFALL RUNOFF. IT MAY ACCUMULATE FINES. GRADING SHOULD NOT OCCUR DURING WET SOIL CONDITIONS TO MINIMIZE SMEARING AND SEALING OF THE SOIL SURFACE, IF SUCH SEALING OCCURS, THE SURFACE MUST BE SCARIFIED TO RESTORE NATURAL TEXTURE AND PERMEABILITY:
- GEOTEXTILE FABRIC: A LAYER OF NON-WOVEN 40Z. GEOTEXTILE FABRIC IS TO BE PLACED ON TOP OF THE NATURAL SUBSOIL PRIOR TO PLACING BASE MATERIAL. THE FABRIC SHOULD EXTEND UP TO THE NATURAL EARTH SIDES AND OVER THE TOP OF ANY ADJACENT BERM. THE PURPOSE OF THE FABRIC IS TO PREVENT MIGRATION OF FINE MATERIAL FROM THE SUBSOIL INTO THE GRAVEL;
- BASE MATERIAL: THE BASE MATERIAL SHOULD BE COMPACTED TO A THICKNESS OF 8" WITH A STATIC ROLLER RATHER THAN A VIBRATORY ROLLER: iv. POROUS CONCRETE: USE CERTIFIED POROUS CONCRETE INSTALLER FOR INSTALLATION.

MAINTENANCE

1. SUBJECT TO ANNUAL INSPECTIONS BY LCRA OR PROPERTY ASSOCIATION; AND . VACUUMING AND POWER WASHING PER MANUFACTURE'S SPECIFICATIONS.

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LOWER COLORADO RIVER AUTHORITY		
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FOR RESIDENTIAL DRIVEWAY DETAIL	05-2007	1 OF



MATERIALS.

GEOTEXTILE MATERIAL: NON-WOVEN 4 OZ:

OPEN GRADED AGGREGATE BASE: VOID SPACE BETWEEN 30-40%. ASTM NO.57 OR NO. 4 CRUSHED STONE AGGREGATE IS SUITABLE AS A BASE AND STORAGE MEDIUM FOR RUNOFF:

RECEIVING AGGREGATE: ASTM NO.8 AGGREGATE PREFERRED, NO. 9 OPTIONAL: AND CONCRETE GRID PAVERS. ASTM C 936, STANDARD SPECIFICATION FOR CONCRETE GRID PAVING UNITS.

GENERAL REQUIREMENTS:

| CONTINUENCY SLOPE MUST BE LESS THAN 10% LATERAL FLOW BARRIERS REQUIRED FOR SLOPES GREATER THAN 2% ISEE PLANS FOR SPACING AND DETAILS).

| CONTINUENCY SUBSOIL 12" OF SUITABLE SUBSOIL IN TERMS OF SUPPORT AND INFILTRATION REQUIRED. A MINIMUM INFILTRATION RATE OF 0.52 IN/HR IS REQUIRED. SOILS WITH AN INFILTRATION RATE BETWEEN 0.27 AND 0.52 IN/HR HAVE MARGINAL INFILTRATION CAPACITY AND MAY NOT BE SUITABLE FOR ABSORBING RUNOFF. SAND, LOAMY SAND, AND SANDY LOAM ARE GENERALLY CONSIDERED SUITABLE FOR INFILTRATION AND SUPPORT.

- INSTALLATION:

 SUBGRADE: THE SUBGRADE MUST NOT BE COMPACTED OR SUBJECTED TO CONSTRUCTION VEHICLE TRAFFIC OR SEDIMENT PRIOR TO THE PLACEMENT OF BASE. SUBGRADE WORK MUST BE SEQUENCED TO MINIMIZE PASSES OF CONSTRUCTION VEHICLES IN THE BEDS THEMSELVES. IF THE EXCAVATED SUBGRADE IS EXPOSED TO RAINFALL RUNOFF, IT MAY ACCUMULATE FINES. GRADING SHOULD NOT OCCUR DURING WET SOIL CONDITIONS TO MINIMIZE SMEARING AND SEALING OF THE SOIL SURFACE. IF SUCH SEALING OCCURS, THE SURFACE MUST BE SCARRIFED TO RESTORE NATURAL TEXTURE AND PERMEABILITY.

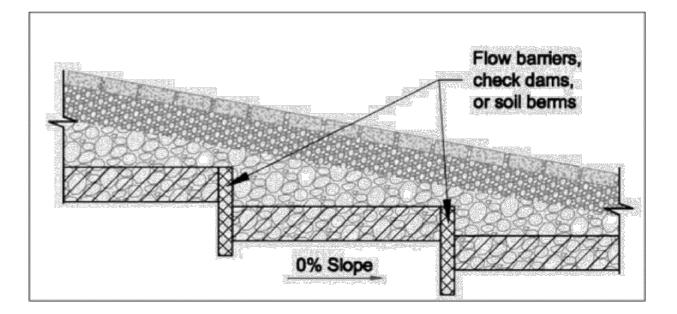
 SIJE GEOTEXTILE FABRIC: A LAYER OF NON-WOVEN 40Z. GEOTEXTILE FABRIC IS TO BE PLACED ON TOP OF THE NATURAL SUBSOIL PRIOR TO PLACING BASE MATERIAL. THE FABRIC SHOULD EXTEND UP TO THE NATURAL EARTH SIDES AND OVER THE TOP OF ANY ADJACENT BERM. THE PURPOSE OF THE FABRIC IS TO PREVENT MIGRATION OF FINE MATERIAL FROM THE SUBSOIL INTO THE GRAVEL.

 BASE MATERIAL. THE BASE MATERIAL SHOULD BE COMPACTED TO A THICKNESS OF 8° WITH A STATIC ROLLER RATHER THAN A VIBRATORY ROLLER AND THEN CHOKED WITH A 2-3° THICK LAYER OF ASTM NO.8 CRUSHED STONE. THIS LAYER
- THAN A VIBRATORY ROLLER AND THEN CHOKED WITH A 2-3" THICK LAYER OF ASTM NO.8 CRUSHED STONE. THIS LAYER SHOULD BE ROLLED LEVEL AS WELL, AND A THIN, LOOSE LAYER OF NO.8 STONE SCREEDED EVENLY ACROSS THE SURFACE TO RECEIVE THE PAVING UNITS, AND CONCRETE GRID PAVERS: THE GRIDS ARE PLACED AND COMPACTED INTO THE LOOSE SURFACE OF THE NO.8 MATERIAL. THE OPENINGS ARE THEN FILLED WITH THE NO.8 MATERIAL. AND THE PAVING UNITS ARE COMPACTED AGAIN. ADDITIONAL MANUFACTURES REQUIREMENTS MAY APPLY.
- MAINTENANCE

1.	SUBJECT TO ANNUAL INSPECTIONS BY ECRA OR PROPERTY ASSOCIATION

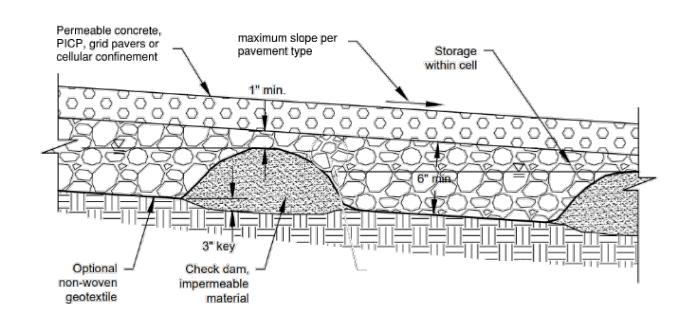
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LOWER COLORADO RIVER AUTHORITY		
PERMEABLE INTERLOCKING PAVERS	DATE:	SHEET:
FOR RESIDENTIAL DRIVEWAY DETAIL	05-2014	1 OF 1

Figure 4.19 (b): Lateral Flow Barrier example (after Stormwater Guidebook Permeable Pavement Systems.pdf (dc.gov))

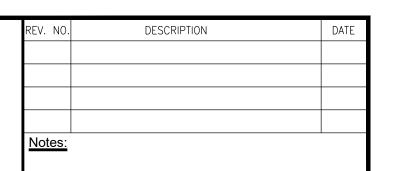


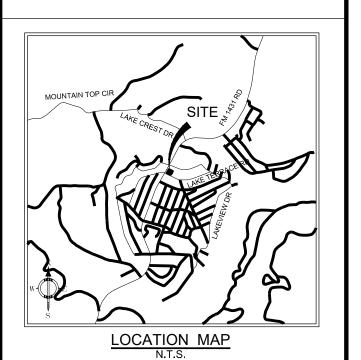
Note: refer to bulletin for dimensions, material specifications and design criteria

Figure 4.19 (c): Lateral Flow Barrier – Earthen Check Dam example (after Washington State Department of Ecology; Figure V-5.3.6)

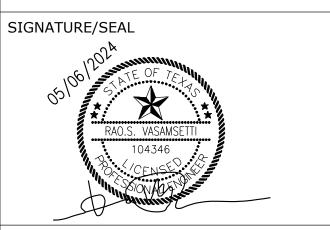


Note: refer to bulletin for dimensions, material specifications and design criteria





LEGEND



P.O. BOX. 592991 SAN ANTONIO TX 78258

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PHONE: 210.549.7557. FAX:512.856.4595

PROJECT DESCRIPTION:

LAKE TERRACE

CIVIL DETAILS (SHEET 3 OF 3)

01/04/24 JOB NO. 0000-0000 DESIGNED BY : RV DRAWN BY : MF 13 OF 13 CHECKED BY : RV