

# LAKE TERRACE SITE PLAN PROJECT NUMBER: 24-P-375-SD

□

## NOTES:

1) THIS SITE CONTAINS 7.716 ACRES COMPRISED OF TWO TRACTS OF LAND:

1.1 TRACT 1 IS ±5.08 ACRES OUT OF THE S. HAYFORD SURVEY NO. 54 AND THE C.S. HEARTT SURVEY NO. 607 IN TRAVIS COUNTY AS DESCRIBED IN A DEED OF RECORD IN VOL.3457, PG 1167.

1.2 TRACT 2 IS ±2.65 ACRES OUT OF THE C.S. HEARTT SURVEY NO. 607 IN TRAVIS COUNTY AS DESCRIBED IN A DEED OF RECORD IN VOL.3457, PG 1167.

1.3 TRACT 1 IS WITHIN THE CITY OF JONESTOWN EXTRATERRITORIAL JURISDICTION. TRACT 2 IS WITHIN THE CITY OF JONESTOWN FULL PURPOSE JURISDICTION.

1.4 THE PROPERTY IS TO BE RESUBDIVIDED TO CREATE A SINGLE LOT FROM THE ABOVE DESCRIBED TWO LOTS.

1.5 THE PROPERTY OWNER HAS ELECTED TO GO THROUGH A VOLUNTARY ANNEXATION TO BRING THE ENTIRE SITE INTO THE CITY OF JONESTOWN FULL PURPOSE JURISDICTION.

1.6 SUBSEQUENT TO THE VOLUNTARY ANNEXATION, THE PROPERTY WILL BE ASSIGNED A "T" (TEMPORARY) ZONING CATEGORY. A ZONING CASE WILL BE SUBMITTED TO THE CITY OF JONESTOWN TO REQUEST THE "GU" ZONING DESIGNATION FOR THE ENTIRE SITE.

2) A 50' WIDE INGRESS/EGRESS EASEMENT AS DESCRIBED IN VOL. 10360, PG. 958 EXISTING ALONG THE WEST PROPERTY LINE OF THE TWO TRACTS DESCRIBED ABOVE IS PROPOSED TO BE PARTIALLY VACATED AND REDEDICATED AS A 25' WIDE INGRESS/EGRESS EASEMENT THROUGH THE ABOVE DESCRIBED TWO TRACTS.

2.1 A "ROAD MAINTENANCE AGREEMENT" AS DESCRIBED IN VOL. 11471, PG. 2034 APPLIES TO THE EXISTING 50' INGRESS/EGRESS EASEMENT.

3) THIS SITE IS WITHIN THE LOWER COLORADO RIVER AUTHORITY'S HIGHLAND LAKES WATERSHED ORDINANCE JURISDICTION. ALL WATER QUALITY CONTROLS MUST BE DESIGNED, INSTALLED AND MAINTAINED IN COMPLIANCE WITH THE ORDINANCE.

3.1 WATER QUALITY WILL BE ACHIEVED BY USE OF AN EXTENDED DETENTION POND AND DOWN GRADIENT ENGINEERED VEGETATIVE FILTER STRIP.

4) THIS SITE IS WITHIN THE LOWER COLORADO RIVER AUTHORITY'S ON-SITE SEWAGE FACILITY PERMITTING JURISDICTION. THE ON-SITE WASTEWATER TREATMENT AND DISPOSAL SYSTEM MUST BE DESIGNED, INSTALLED AND MAINTAINED IN COMPLIANCE WITH 30 TAC CHAPTER 285 AND THE LCRA RULES PERTAINING TO ON-SITE SEWAGE FACILITIES.

4.1 AN ON SITE SEWAGE TREATMENT AND DISPOSAL FACILITY IS PROPOSED WITH THIS DEVELOPMENT. THE OSSF WILL BE A STANDARD ABSORPTIVE SYSTEM CONSISTING OF A 1,000 GALLON DUAL COMPARTMENT PRECAST CONCRETE TANK FOR TREATMENT, AND 3,084 SQUARE FOOT DRAIN FIELD UTILIZING LEACHING CHAMBERS FOR EFFLUENT DISPOSAL.

5) NO PORTION OF THIS SITE IS WITHIN THE EDWARDS AQUIFER RECHARGE, CONTRIBUTING OR TRANSITION ZONES.

6) A PORTION OF THIS SITE IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO FEMA FIRM PANELS 48453C0205H AND 48453C0210H DATE SEPTEMBER 26, 2008. NO DEVELOPMENT IS PLANNED TO OCCUR WITHIN THE 100 YEAR FLOODPLAIN.

7) SITE ACCESS IMPROVEMENTS PLANNED TO OCCUR WITHIN THE FM 1431 RIGHT-OF-WAY MUST BE APPROVED AND PERMITTED BY THE TEXAS DEPARTMENT OF TRANSPORTATION.

APPROVED BY:

RAO VASAMSETTI, P.E.  
RAO'S CONSULTING ENGINEERS, LLC  
P.O. BOX 592991  
SAN ANTONIO, TX 78258  
PHONE: 210-549-7557

DATE

CITY OF JONESTOWN

DATE

TRAVIS COUNTY FIRE MARSHAL

DATE

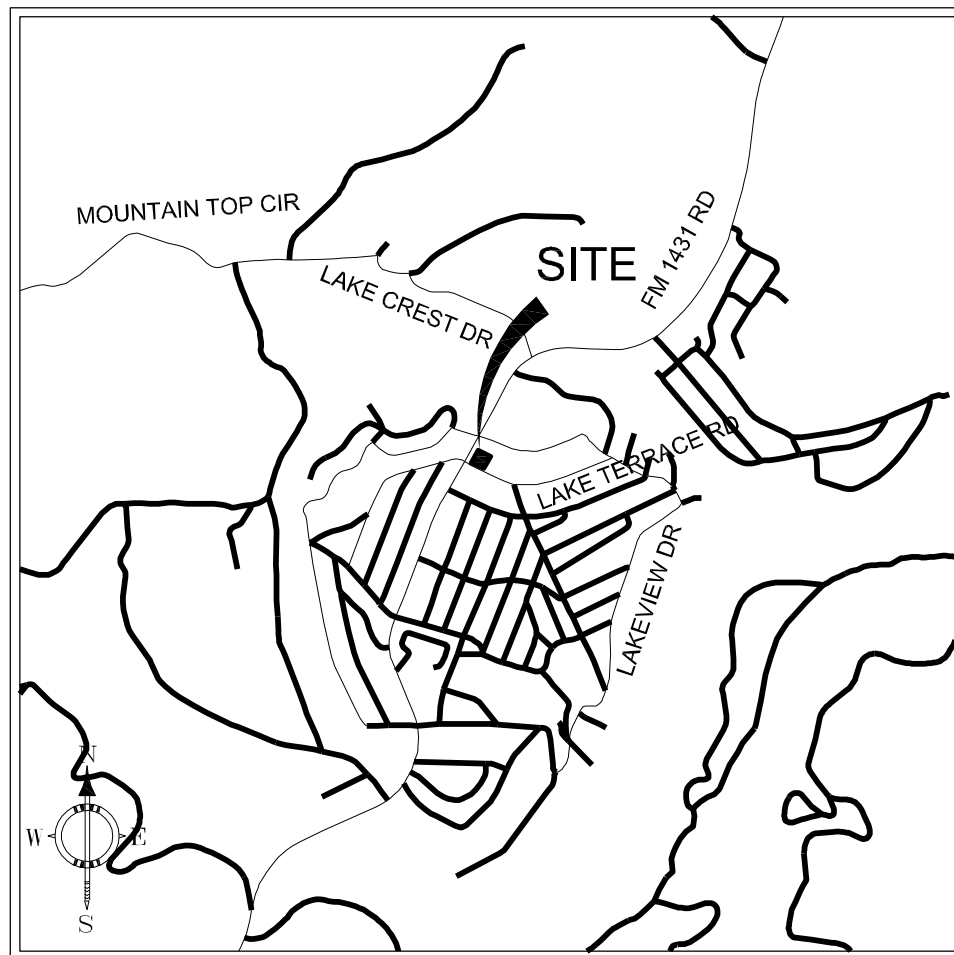
LOWER COLORADO RIVER AUTHORITY

DATE

TEXAS DEPARTMENT OF TRANSPORTATION

DATE

REVISION #	DESCRIPTION	APPROVAL



LOCATION MAP  
1:2000

OWNER/DEVELOPER:  
SHARP RALPH & KIMBERLY MARIE  
20107 CONTINENTAL DR UNIT A  
LAGO VISTA TX 78645-2217

PROJECT AGENT/CIVIL ENGINEER:  
RAO VASAMSETTI, P.E.  
RAO'S CONSULTING ENGINEERS, LLC  
P.O. BOX 592991  
SAN ANTONIO, TX 78258  
PHONE: 210-549-7557

SURVEYOR:  
STEVEN WARNER WORNACK, RPLS #5025  
RRP SURVEYING, LLC  
206 CRESTON  
ST. HUTTO, TX  
512-820-2525 (PHONE)

SITE ADDRESS: 18506 E LAKE TERRACE DRIVE,  
JONESTOWN, TX

ACRES: 0.50 ACRES

ZONING: BUSINESS GENERAL DISTRICT (B-2)

PROPOSED USE: GENERAL OFFICE

SURVEY: SUR 96 HARRIS J H ABS 2280 SUR 73 DAVIS B F

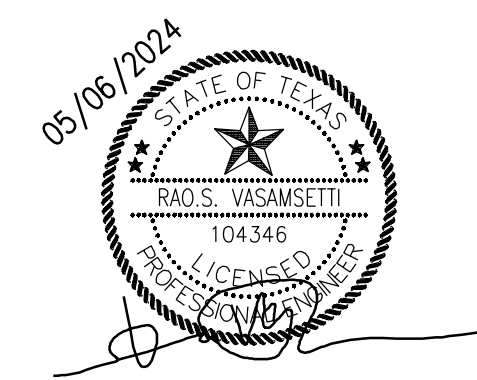
NUMBER OF LOTS: 2

NUMBER OF BLOCKS: 1

SUBMITTAL DATE: 01/16/2024

LEGAL DESCRIPTION:

LOT 331-A, RETIREMENT VILLAGE #3, A SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN BOOK 10, PAGE 40, PLAT RECORDS, TRAVIS COUNTY, TEXAS.



PRIMARY CONTACT PERSON: RAO VASAMSETTI, P.E.

**RCE** RAO'S CONSULTING  
ENGINEERS

TYPE FIRM/INDIVIDUAL  
P.O. BOX 592991 SAN ANTONIO TX 78258  
PHONE: 210 549 7557 FAX: 512 856 4595  
www.raosconsulting.com

Sheet List Table	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
3	FINAL PLAT
4	EXISTING CONDITIONS PLAN
5	EROSION CONTROL PLAN
6	SITE PLAN
7	GRADING AND DRAINAGE PLAN
8	UTILITY PLAN
9	FIRE PROTECTION SITE PLAN
10	DRAINAGE AREA MAP
11	DETAILS SHEET (1 OF 3)
12	DETAILS SHEET (2 OF 3)
13	DETAILS SHEET (3 OF 3)

NOTE: THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY, REGULATORY COMPLIANCE, AND ADEQUACY OF THESE PLANS AND/OR SPECIFICATIONS WHETHER OR NOT THE PLANS AND/OR SPECIFICATIONS WERE REVIEWED BY THE CITY ENGINEER(S).

TITLE:

COVER SHEET

DATE :	01/09/24	JOB NO.	2023-1173
DESIGNED BY :	RV	DRG NO	
DRAWN BY :	MF		
CHECKED BY :	RV		

1 OF 13

[illegible]

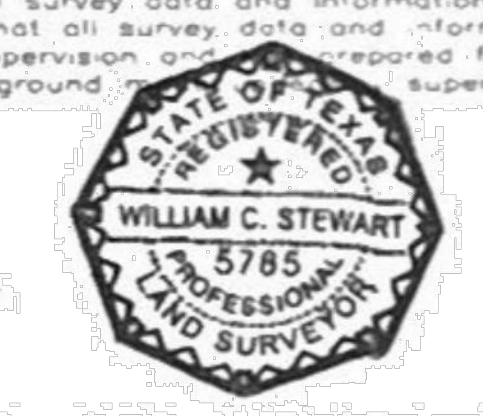


ACREAGE: 0.49 ACRE TOTAL SITE  
NO. OF LOTS: 1  
NEW STREETS: NONE  
1ST SUBMITTAL: MARCH 2023  
2ND SUBMITTAL:  
3RD SUBMITTAL:  
4TH SUBMITTAL:  
OWNER'S ACKNOWLEDGEMENT:  
STATE OF TEXAS  
COUNTY OF TRAVIS

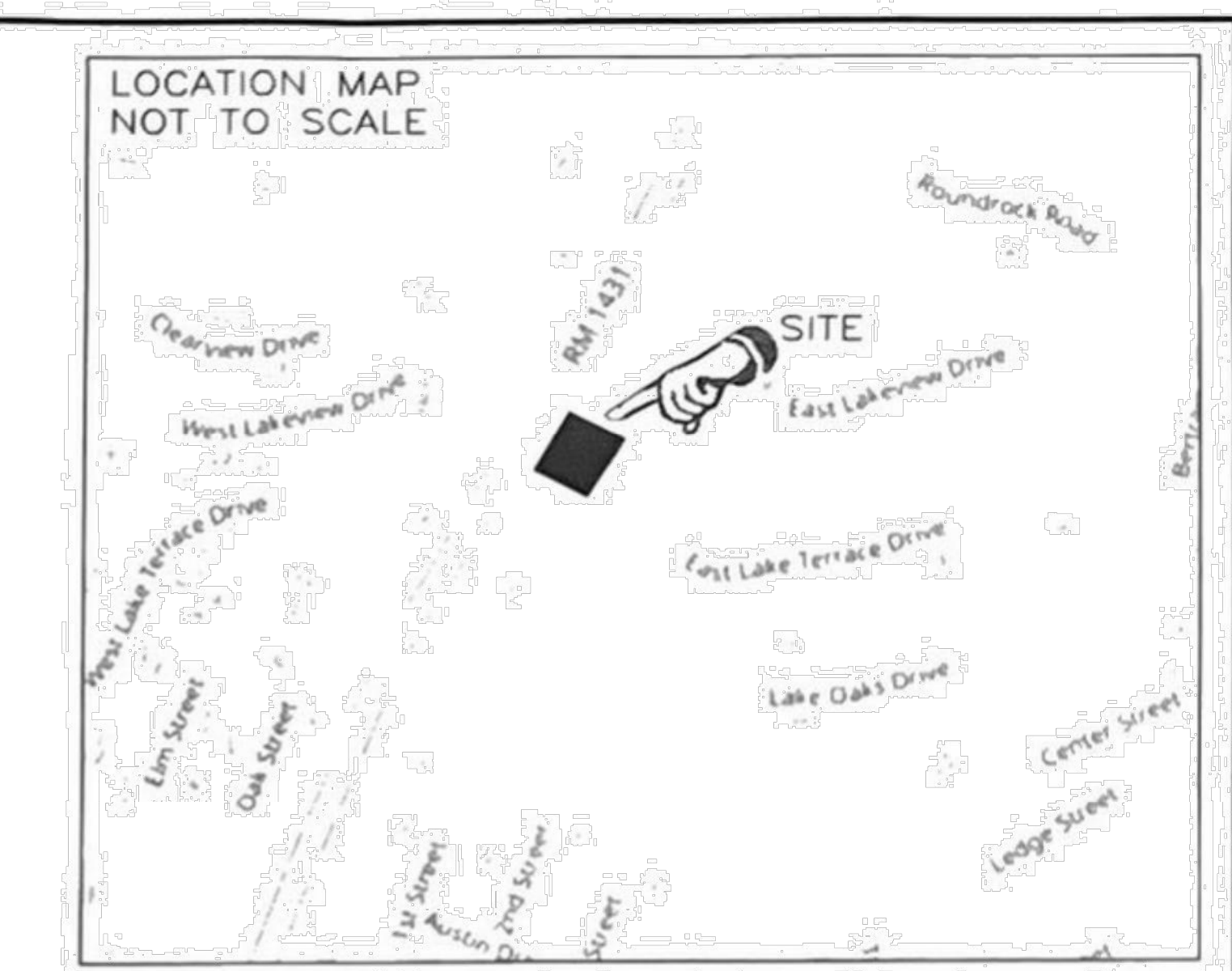
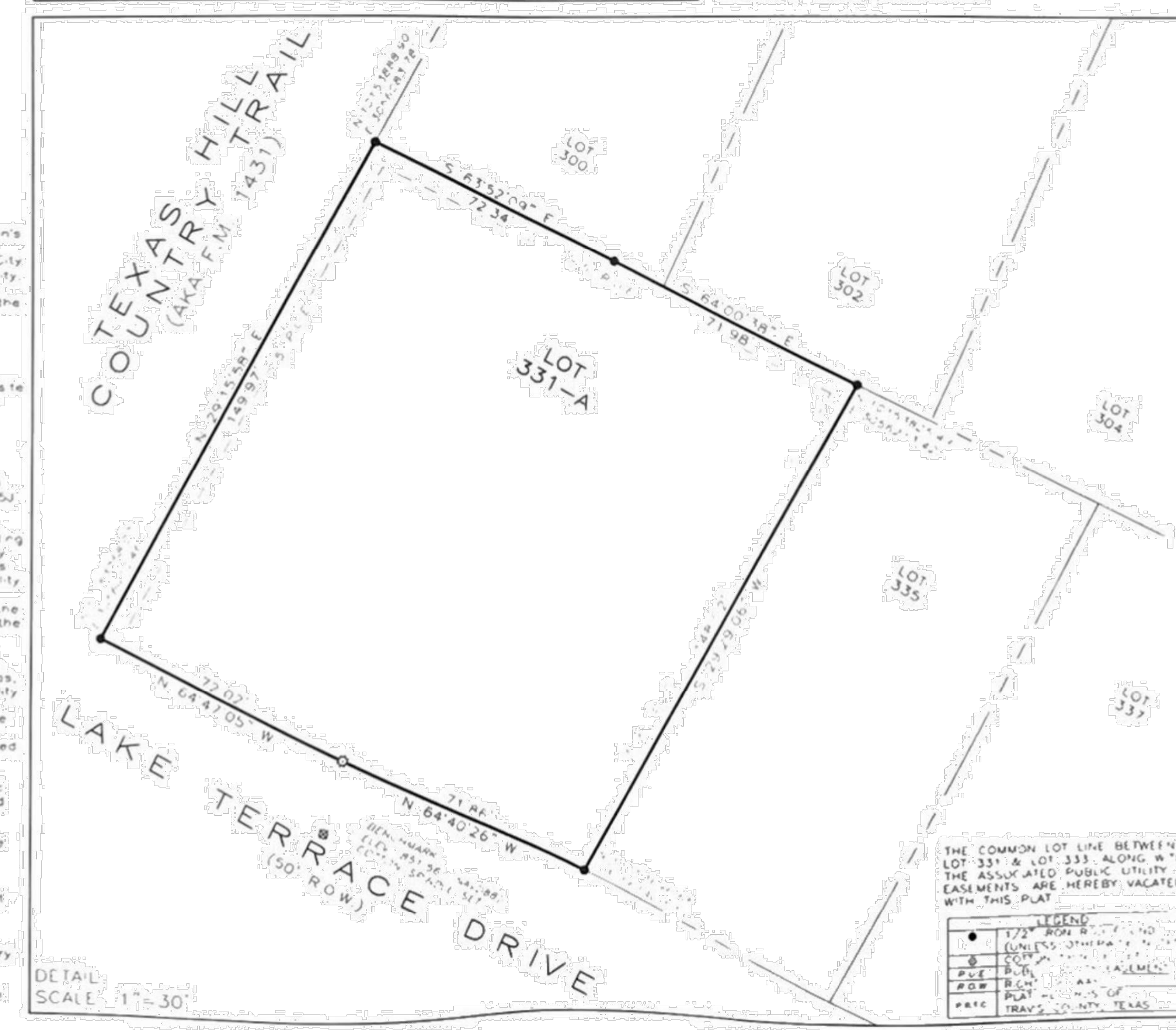
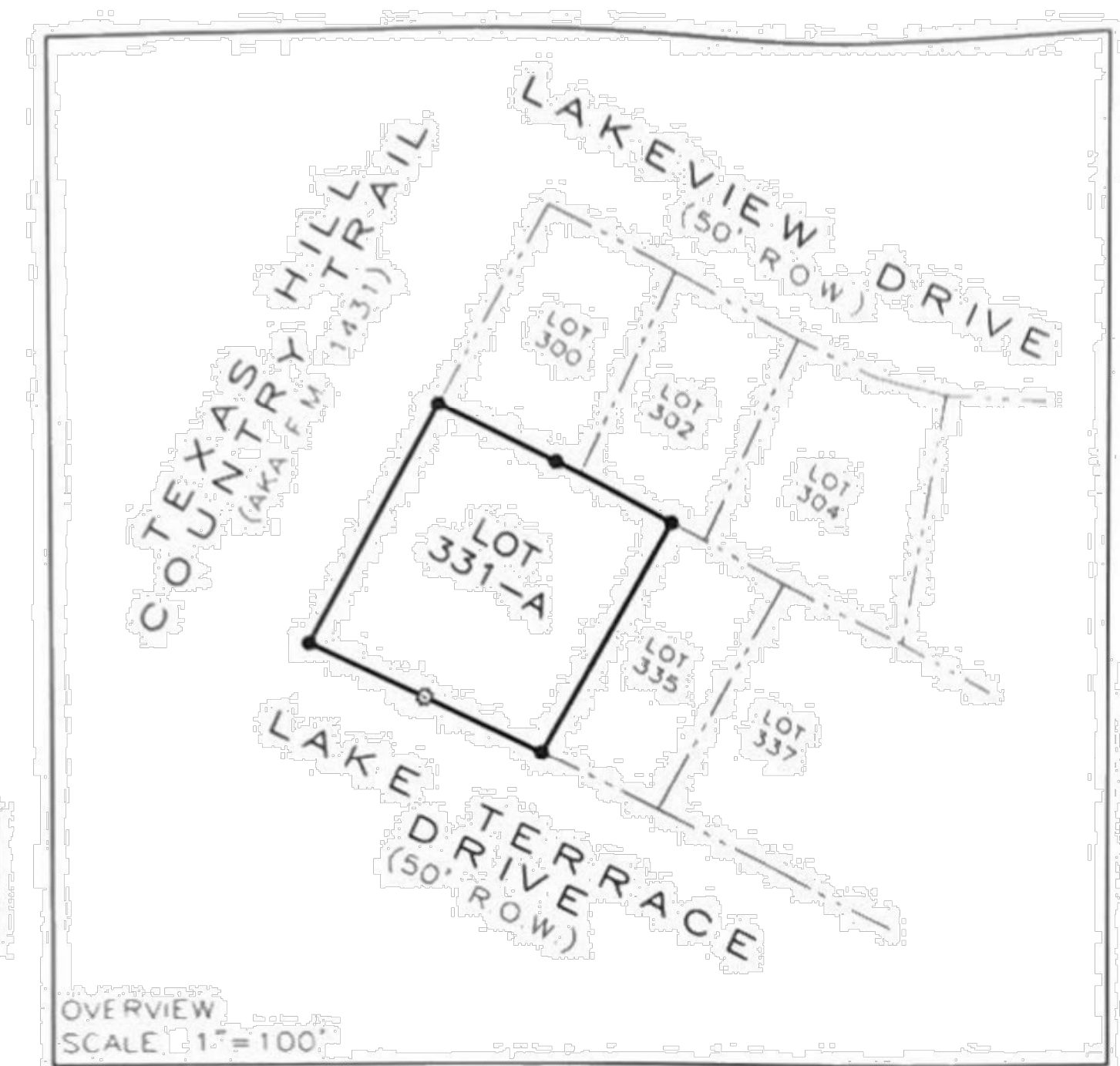
WHEREAS OPAL CAPITAL MANAGEMENT LP, the owner of 0.49 of an acre of land out of the S. Mayford Survey No. 54 of Travis County, Texas, conveyed to me by deed recorded in Document No. 2021109332, of the Travis County Deed Records  
NOW THEREFORE, the undersigned owner of the land shown in this Plat, and designated in this Plat as the AMENDING PLAT OF LOTS 331 & 333, RETIREMENT VILLAGE #3, a Subdivision of the City of Jonestown, Travis County, Texas, and whose name is subscribed to this Plat, hereby re-subdivides the 0.49 of an acre of land as AMENDING PLAT OF LOTS 331 & 333, RETIREMENT VILLAGE #3, and do hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, public easements, and public places depicted on this Plat for the purposes and consideration expressed in this Plat  
WITNESS MY HAND this 21 day of June 2023  
STATE OF TEXAS  
COUNTY OF TRAVIS

BEFORE ME the undersigned authority, on this day personally appeared Dhruv Dhaman known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the instrument for the purposes and consideration expressed in the instrument.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE this 21 day of June 2023  
My Commission Expires 10-19-2025  
KAMRON SCHRAM  
Notary Public, State of Texas  
Comm. Expires 10-19-2025  
Notary ID 133400862

CERTIFICATION OF THE SURVEYOR:  
STATE OF TEXAS  
COUNTY OF TRAVIS  
I, William C. Stewart, a Registered Professional Land Surveyor in the State of Texas, hereby certify that all survey data and information depicted on this plat is true and correct, and all survey data and information on this plat was prepared under my supervision and control, and from the actual survey of the property on the ground.  
DATED: 6-01-2023  
WCS  
REGISTERED PROFESSIONAL LAND SURVEYOR No. 5785  
PLAT NOTES:  
SEPTIC SYSTEMS: Every lot in this subdivision is subject to the City of Jonestown's Sewage Facility regulations, as applicable. A person may not construct a septic system or other private sewage facility on any lot in this subdivision until the City of Jonestown, the Lower Colorado River Authority ("LCRA"), or appropriate authority issues a permit for its construction. A person shall not use any private sewage facility until the City, LCRA, or the appropriate authority approves and licenses the facility. Lot size requirements for residential and commercial private sewage facilities shall conform to the construction and development limitations in Sanitation Ordinance 85-0-07, LCRA or Travis County.  
SITE CLEARANCE: SITE DISTURBANCE, OR IMPERVIOUS COVER: Every lot in this subdivision is subject to the City of Jonestown's site clearance procedures. No site clearance, excavation, grading, or landfill shall commence unless a permit shall have first been issued for such work in accordance with the provisions of applicable Code provisions. Impervious cover shall not exceed the maximum percentage permitted under City Code.  
FLOOD HAZARD: The Federal Insurance Administration maps for the City of Jonestown, Texas, indicate that the property shown hereon does not lie within a special flood hazard area as defined by Flood Insurance Rate Map #48453C0095J dated January 22, 2020.  
STREETS, ROADS AND OTHER PUBLIC THOROUGHFARES SHOWN ON PLAT: The building of all streets, roads, and other public thoroughfares shown on this plat and any bridges or culverts necessary to be constructed or placed in such streets, roads, or other public thoroughfares or in connection therewith, shall be the responsibility of the owner and/or developer of the tract of land covered by this plat in accordance with the plans and specifications prescribed by the City Council of the City of Jonestown, Travis County, Texas, if this plat is within the City limits of the City of Jonestown, Texas; if this plat is within the extrajurisdiction of the City of Jonestown, Texas, all streets, roads, public thoroughfares and other required improvements shall be designed and built in accordance with the plans and specifications prescribed by the Commissioners Court of Travis County, Texas, and neither the City of Jonestown, Texas nor the Court assumes any responsibility to build any of the streets, roads, or other public thoroughfares shown on this plat or any bridges or culverts in connection therewith. Moreover, the acceptance by Travis County for maintenance of the streets and roads in this subdivision does not obligate the County to install street marking signs as this is considered to be a part of the developer's construction; however, the erection of traffic control signs such as speed limits, stop and yield signs, shall remain the responsibility of Travis County. All curb cuts, entrances and exits onto public streets or highways shall first be approved by the City of Jonestown, Texas, and in addition, by Travis County.  
Prior to construction of any improvements on these lots building permits will be obtained from the City of Jonestown.  
Building setbacks, minimum square footage, and maximum height of structure shall comply with the most current zoning ordinance at the time of development.  
No permit will be issued on these lots without LCRA septic permit applications.  
No auxiliary structure is to be built or installed on these lots without the primary structure. A fence is considered a primary structure and requires a permit.  
A site pin must be presented before any clearing or construction can begin on this property.  
Impervious cover shall not exceed 40%.



AMENDING PLAT OF:  
LOTS 331 & 333, RETIREMENT VILLAGE #3, A  
SUBDIVISION IN TRAVIS COUNTY, TEXAS, ACCORDING TO  
THE PLAT OF RECORD IN BOOK 10, PAGE 40, PLAT  
RECORDS, TRAVIS COUNTY, TEXAS.



Note:  
The following utility providers abandoned/vacated easements by the documents recorded in the Official Public Records of Travis County, Texas as listed below:  
1. Charter Communications - #2023022360  
2. Pedernales Electric Coop - #2023022363  
3. Jonestown Water Supply Coop - #2023022362  
4. AT&T Southwestern Bell Telephone Co. - #2023022361  
Note:  
This subdivision is subject to all general notes and restrictions appearing on the plat of RETIREMENT VILLAGE No. 3, recorded at Book 10, Page 40 of the Plat Records of Travis County, Texas.

CERTIFICATION BY JONESTOWN WATER SUPPLY CORPORATION:  
The tract of land described on this plat is within the certificated service area of the Jonestown Water Supply Corporation and Jonestown Water Supply Corporation can provide water to this tract of land upon its approval of membership and service applications and the applicant's payment of all fees and assessments, as applicable.  
DATED: \_\_\_\_\_  
PRESIDENT JONESTOWN WATER SUPPLY CORPORATION:

PLANNING AND ZONING COMMISSION OF THE CITY:  
We, the Planning and Zoning Commission for the City of Jonestown, Texas, do hereby certify this plat is approved for filing of record by the County Clerk of Travis County, Texas.  
DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
By: \_\_\_\_\_  
CHAIR

APPROVAL BY THE CITY COUNCIL:  
We, the City Council for the City of Jonestown, Texas, do hereby certify this plat is approved for filing of record by the County Clerk of Travis County, Texas.  
DATED this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
By: \_\_\_\_\_  
MAYOR OF THE CITY OF JONESTOWN, TEXAS  
ATTEST: \_\_\_\_\_  
CITY SECRETARY

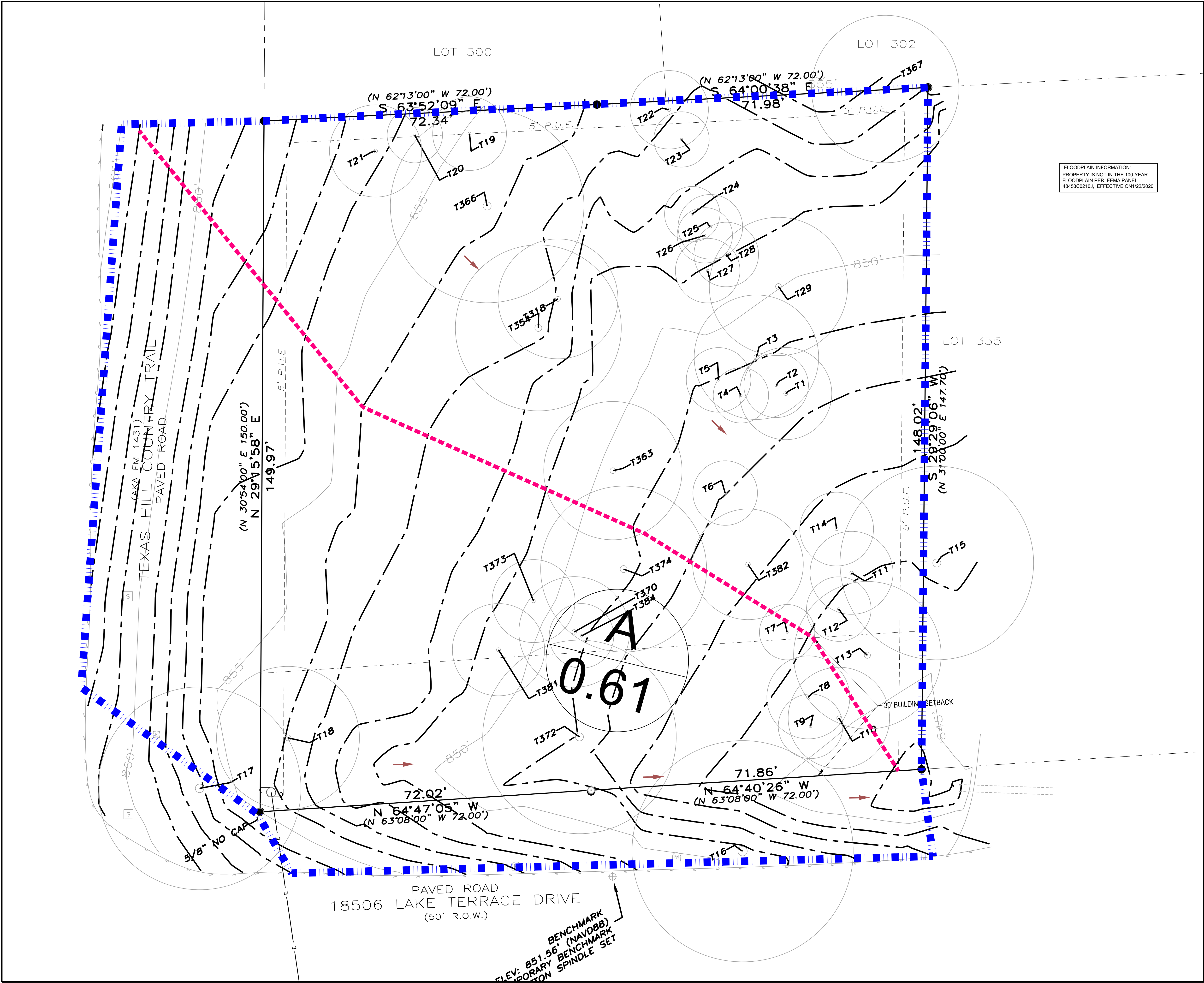
FILING CERTIFICATION:  
STATE OF TEXAS  
COUNTY OF TRAVIS  
I, Dyara Limon-Mercado, Clerk of the Commissioners Court of Travis County, Texas, hereby certify that the foregoing instrument with its Certification of Authentication was filed in my office at \_\_\_\_\_ o'clock \_\_\_\_\_ M. this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and duly recorded at \_\_\_\_\_ o'clock \_\_\_\_\_ M. on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, in the Plat Records of Travis County, Texas in Document No. \_\_\_\_\_.

WITNESS MY HAND AND SEAL OF THE COMMISSIONER'S COURT OF TRAVIS COUNTY this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.  
CLERK OF THE COMMISSIONER'S COURT  
TRAVIS COUNTY, TEXAS  
By: \_\_\_\_\_  
Deputy:

Texas Land Surveying, Inc.  
3613 Williams Drive, Suite 903 - Georgetown, Texas 78628  
(512) 930-1600 www.texas-land-surveying.com  
18015, Firm No. 10056200 PROJECT: #271354

REV. NO.	DESCRIPTION	DATE
Notes:		
LEGEND		
PROJECT DESCRIPTION: LAKE TERRACE 18506 E LAKE TERRACE DRIVE JONESTOWN, TX TITLE: FINAL PLAT		
DATE :	01/04/24	JOB NO. 0000-0000
DESIGNED BY :	RV	DRG NO.
DRAWN BY :	MF	03 OF 13
CHECKED BY :	RV	





REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP  
N.T.S.

LEGEND

- EXISTING TOP OF CURB AND GUTTER ELEVATIONS
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR (REPRESENT FINISHED TOP OF PAVEMENT OR TOPSOIL)
- EXISTING CONTOUR
- DRAINAGE FLOW (EXISTING)
- DRAINAGE AREA
- DRAINAGE PATH
- DRAINAGE RUNOFF - CFS
- ACCUMULATE RUNOFF - CFS

SIGNATURE/SEAL

**RCE** RAO'S CONSULTING ENGINEERS

18506 E LAKE TERRACE DRIVE  
JONESTOWN, TX

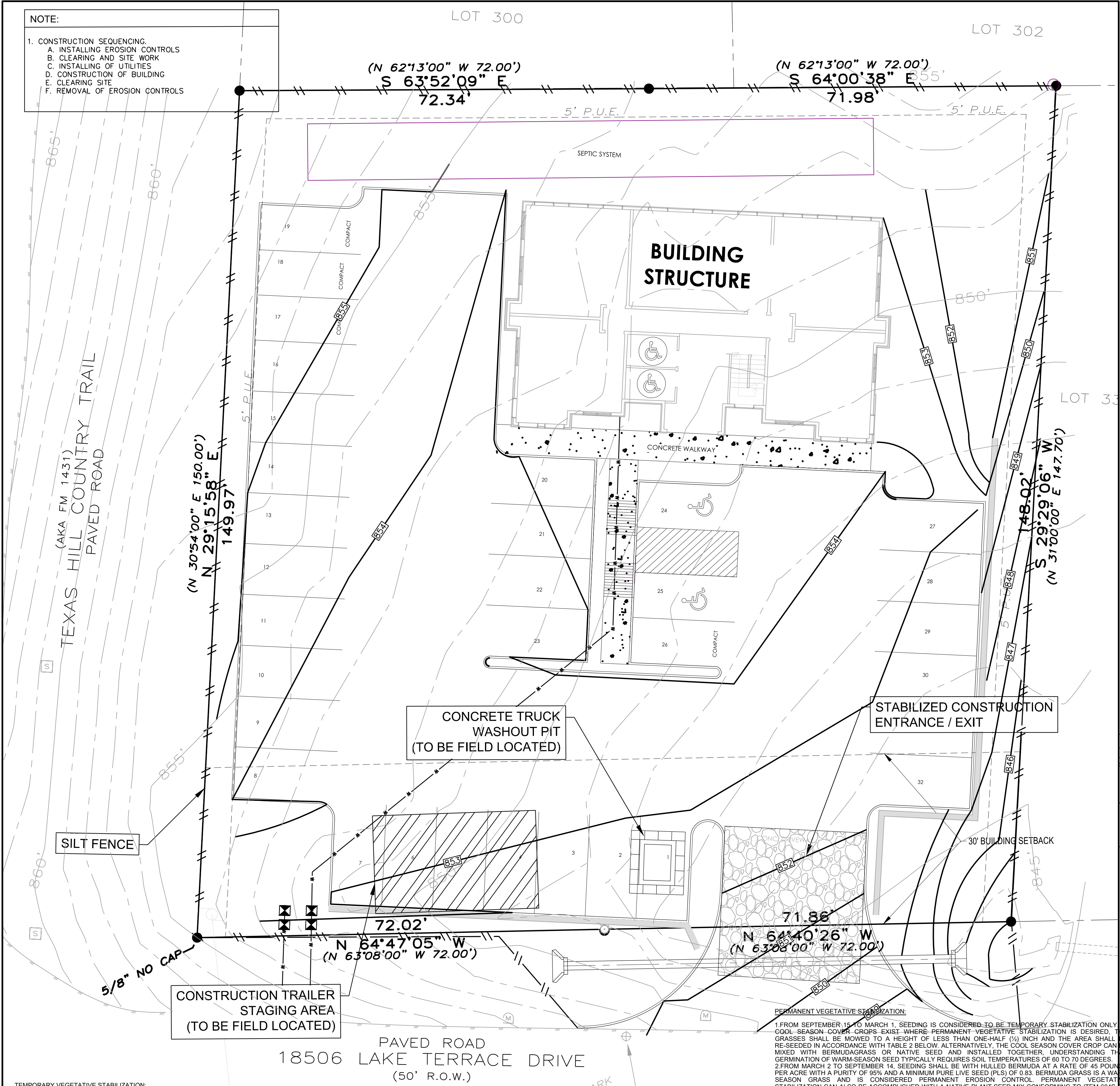
PROJECT DESCRIPTION:  
**LAKE TERRACE**  
18506 E LAKE TERRACE DRIVE  
JONESTOWN, TX

TITLE:  
**EXISTING CONDITIONS PLAN**

DATE :	01/04/24	JOB NO.	0000-0000
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MF		
CHECKED BY :	RV		

4 of 13

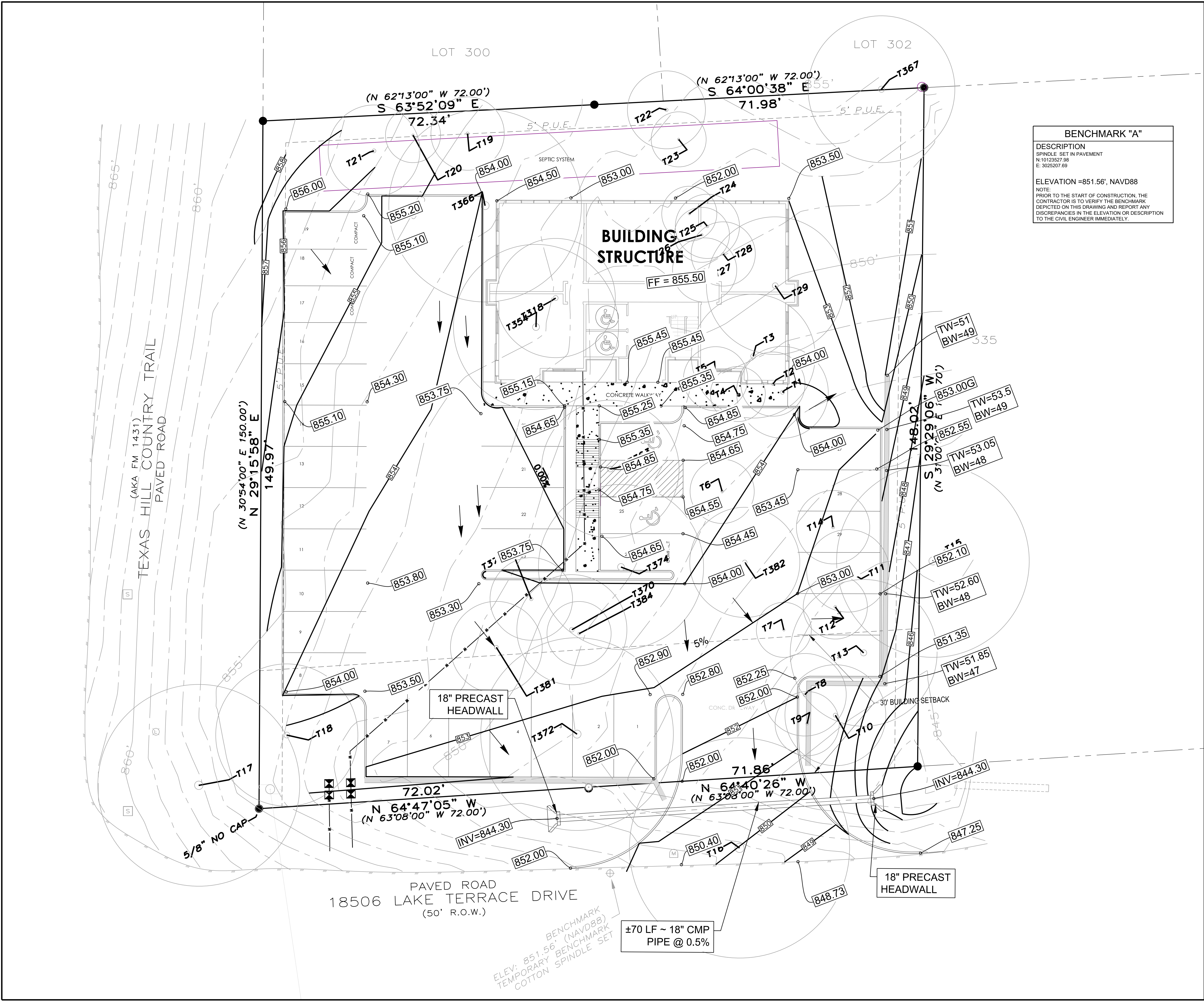












**BENCHMARK "A"**

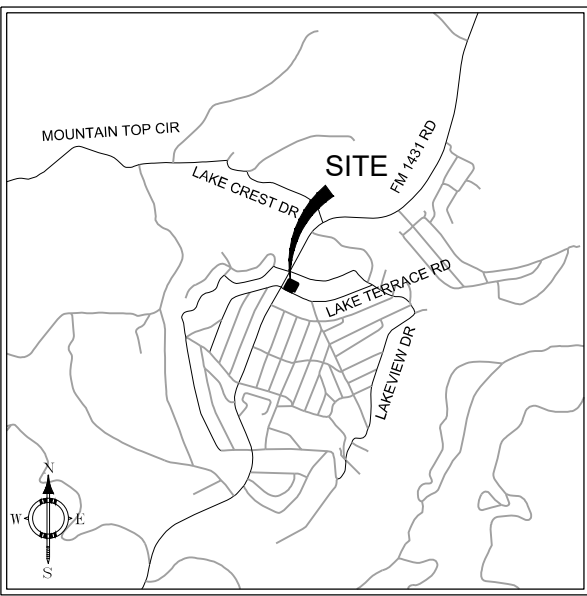
DESCRIPTION  
SPINDLE SET IN PAVEMENT  
N=10123527.98  
E=3025207.69

ELEVATION = 851.56', NAVD88

NOTE:  
PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY THE BENCHMARK DEPICTED ON THIS DRAWING AND REPORT ANY DISCREPANCIES IN THE ELEVATION OR DESCRIPTION TO THE CIVIL ENGINEER IMMEDIATELY.

REV. NO.	DESCRIPTION	DATE

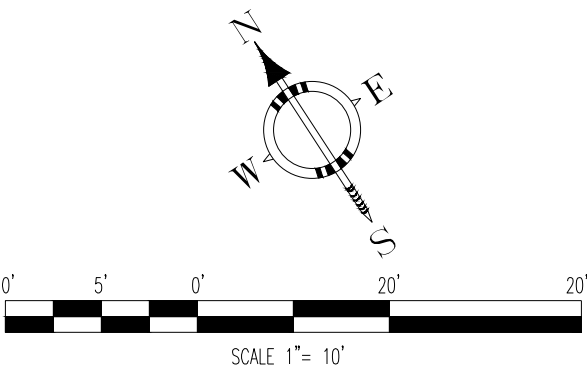
Notes:



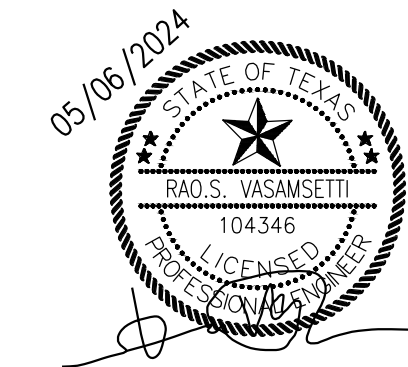
LOCATION MAP  
N.T.S.

LEGEND

- EXISTING TOP OF CURB AND GUTTER ELEVATIONS
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR (REPRESENT FINISHED TOP OF PAVEMENT OR TOPSOIL)
- EXISTING CONTOUR
- PROPOSED RIDGE
- DEFINED SWALE
- PROPOSED RETAINING WALL
- PROPOSED FIN. FLOOR ELEVATION
- OVERLAND FLOW DIRECTION
- BENCHMARK
- GRATE
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED POND INVERT
- PROPOSED TOP OF RETAINING WALL
- PROPOSED BOTTOM OF RETAINING WALL
- PROPOSED TOP OF SIDEWALK
- PROPOSED SPOT ELEVATION (REPRESENT FINISHED TOP OF PAVEMENT OR TOPSOIL)



SIGNATURE/SEAL



**RCE** RAO'S CONSULTING ENGINEERS

18506 LAKE TERRACE DRIVE  
JONESTOWN, TX 76038  
PHONE: 214.548.7857 FAX: 912.856.4895  
www.raosengineering.com

PROJECT DESCRIPTION:  
**LAKE TERRACE**  
18506 E LAKE TERRACE DRIVE  
JONESTOWN, TX

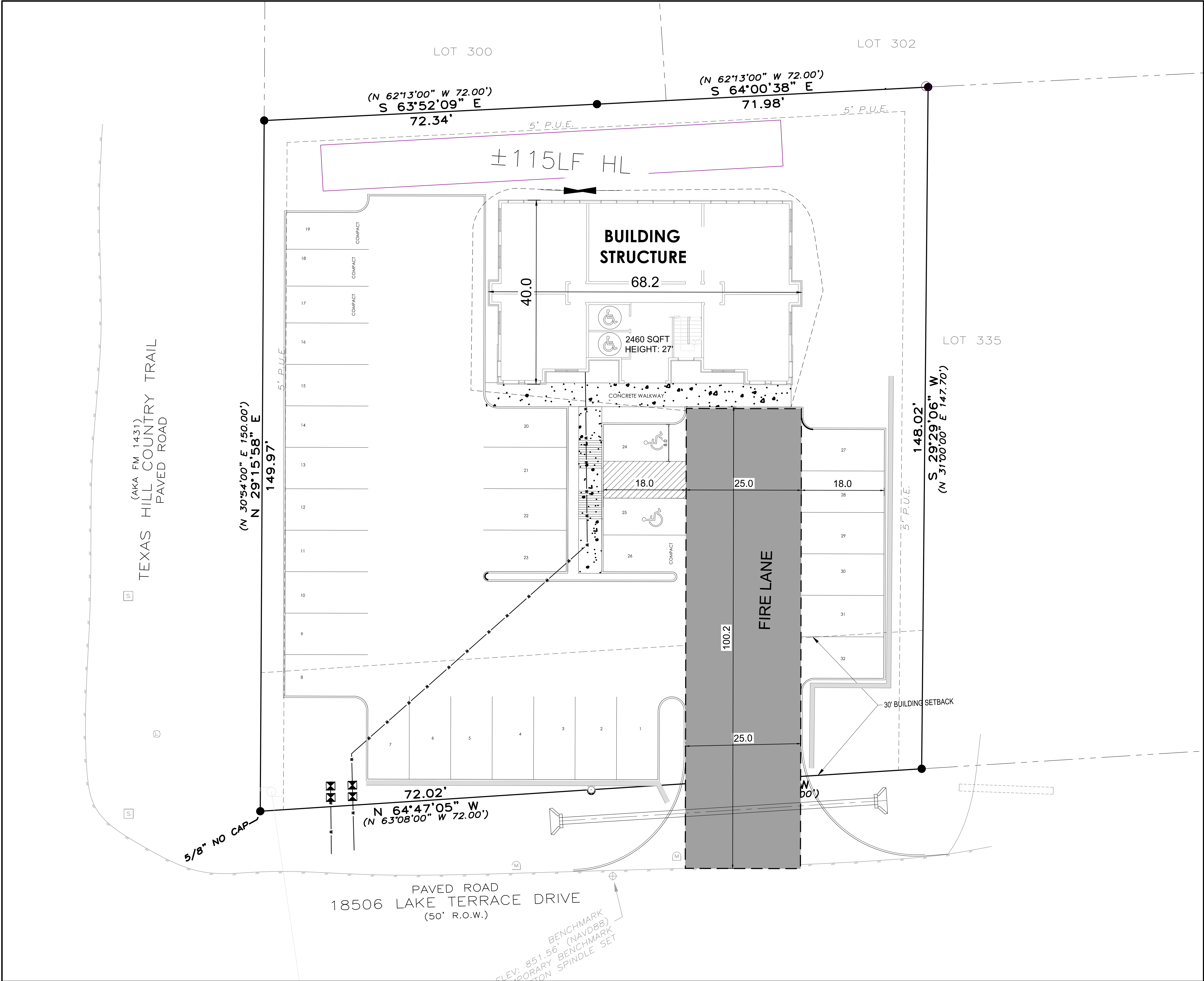
**GRADING & DRAINAGE PLAN**

DATE :	01/04/24	JOB NO.	0000-0000
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MF		
CHECKED BY :	RV		









REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP  
N.T.S.

LEGEND

- FIRE LANE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- RADIUS LINES REPRESENTS THE TRAVEL PATH OF THE FIRE TRUCK FOR FIRE DEPARTMENT REVIEW ONLY.
- HOSE PULL BY TRUCK  
350' MAX (NON-SPRINKLERED BLDG)  
550' MAX (SPRINKLERED BLDG)
- HOSE LAY  
150' MAX BY HAND (NON-SPRINKLERED BLDG)  
200' MAX BY HAND (SPRINKLERED BLDG)
- HL HOSE LAY
- TP TRUCK PULL
- TP TRUCK PULL

SCALE 1" = 10'

SIGNATURE/SEAL

05/06/2024

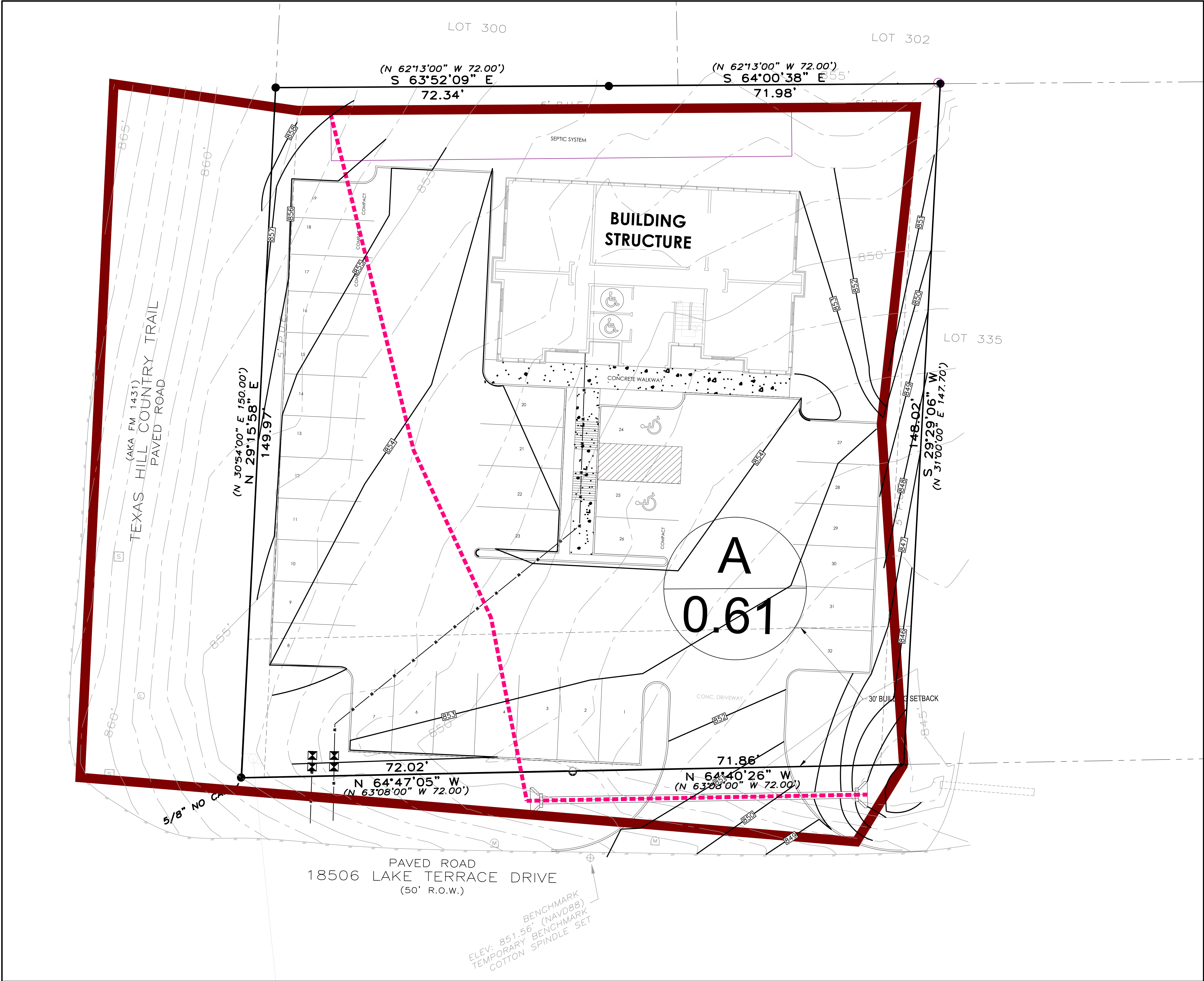
**RCE**RAO'S CONSULTING  
ENGINEERS

PROJECT DESCRIPTION:  
**LAKE TERRACE**  
18506 E LAKE TERRACE DRIVE  
JONESTOWN, TX  
TITLE:  
**FIRE PROTECTION SITE PLAN**

DATE :	01/04/24	JOB NO.	0000-0000
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MF		
CHECKED BY :	RV		

09 OF 13





REV. NO.	DESCRIPTION	DATE

Notes:

LOCATION MAP  
N.T.S.

LEGEND

- DRAINAGE FLOW (PROPOSED)
- DRAINAGE FLOW (EXISTING)
- EXISTING CONTOUR
- PROPOSED CONTOUR (REPRESENT FINISHED TOP OF PAVEMENT OR TOPSOIL)
- FLOW PATH
- WATERSHED BOUNDARY
- WATERSHED AREA

SCALE 1" = 10'

SIGNATURE/SEAL

05/06/2024

**RCE**RAO'S CONSULTING  
ENGINEERS

PROJECT DESCRIPTION:  
LAKE TERRACE

TITLE:  
DRAINAGE AREA MAP

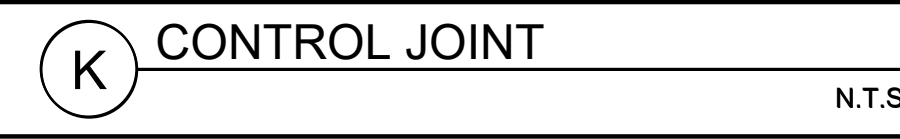
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DRAWN BY :	MF		
CHECKED BY :	RV		

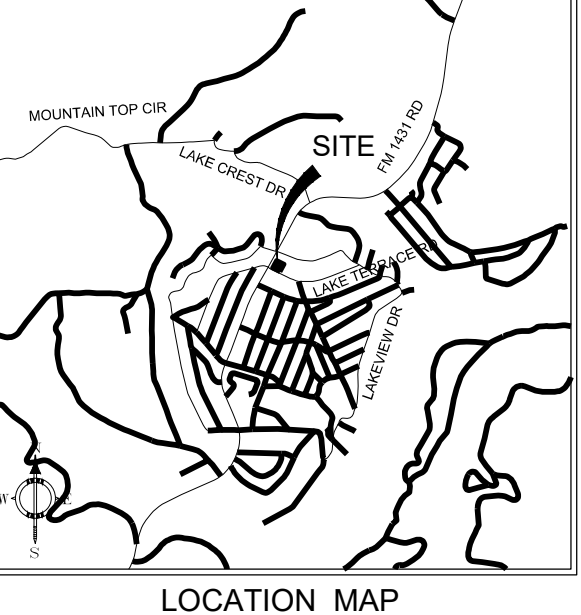
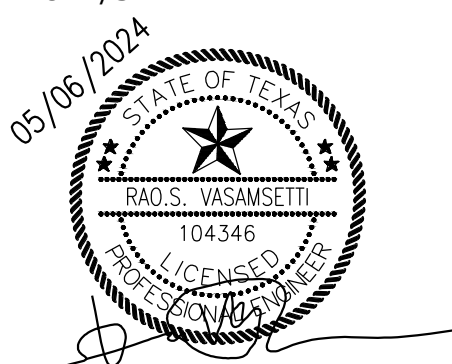
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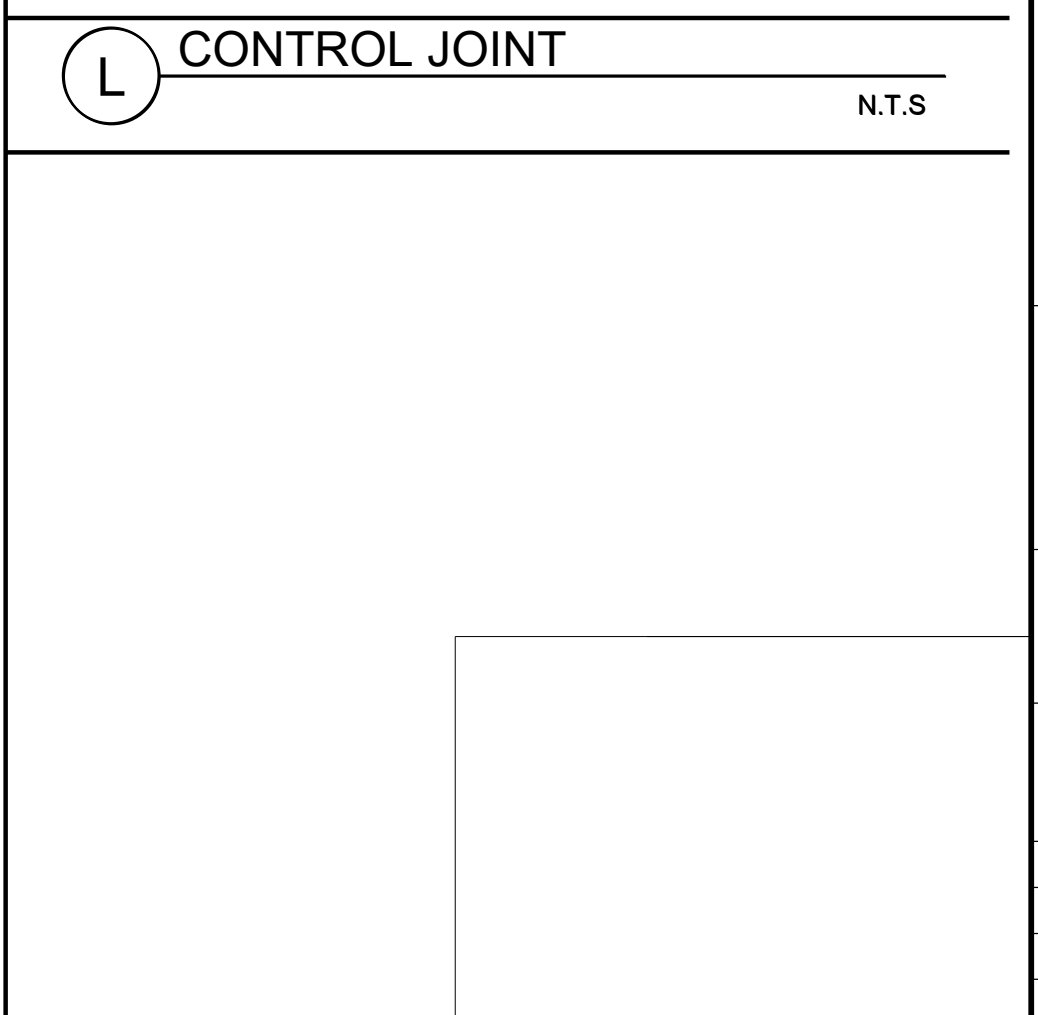
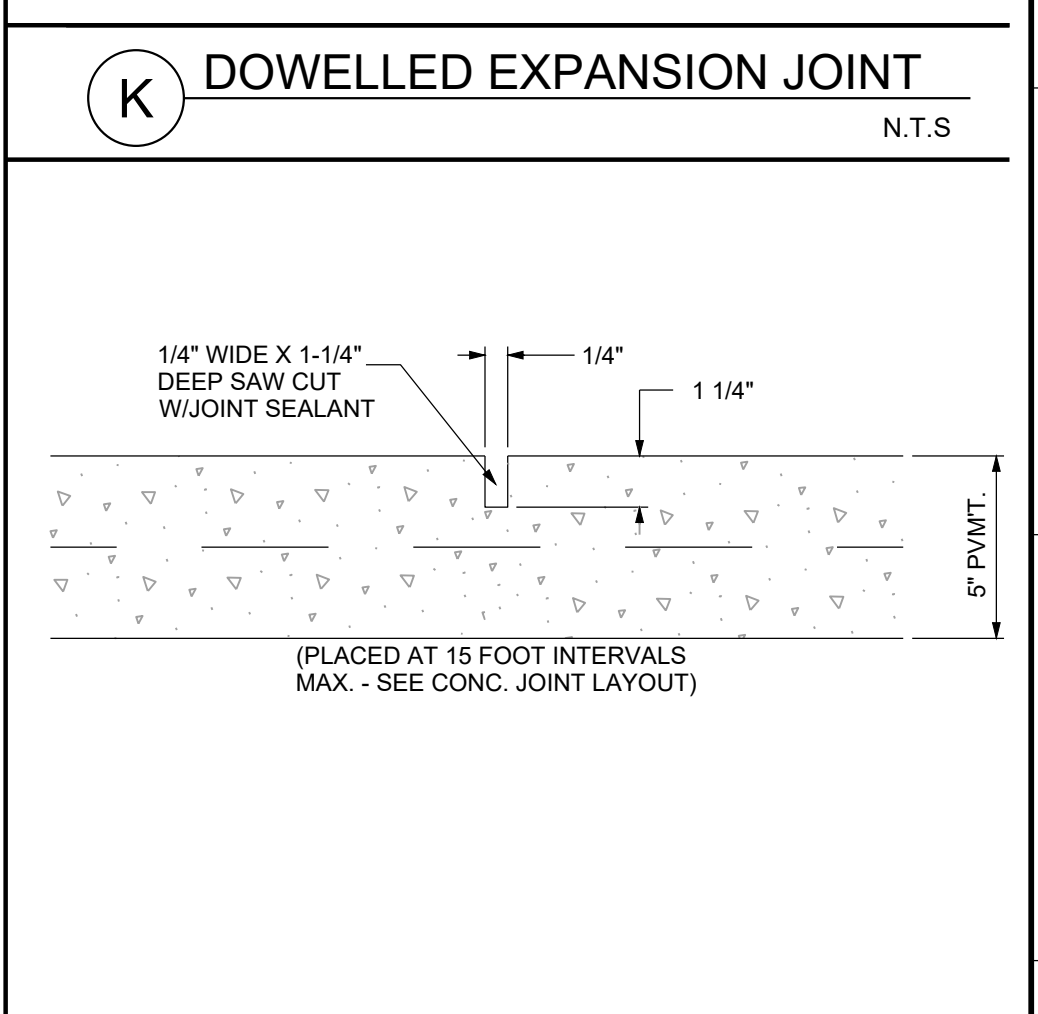
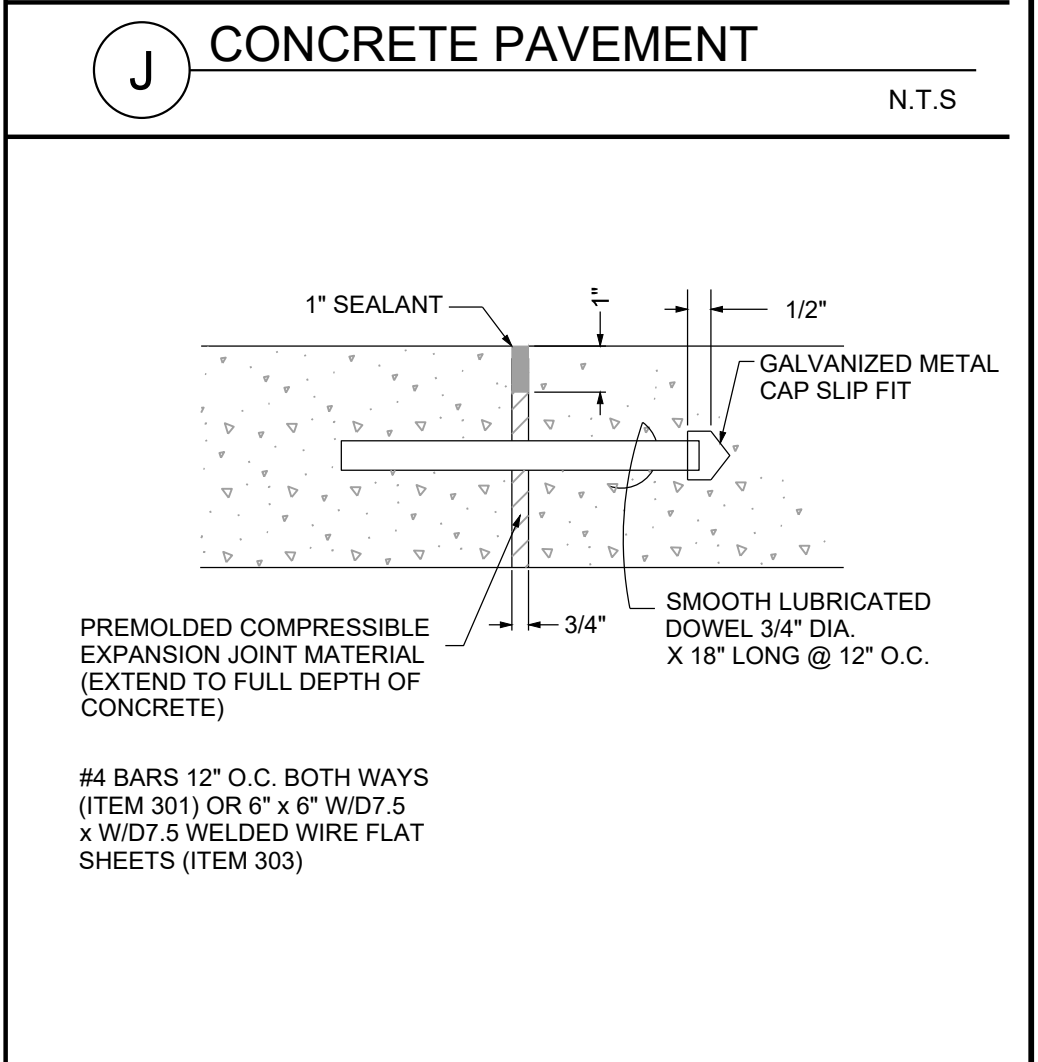
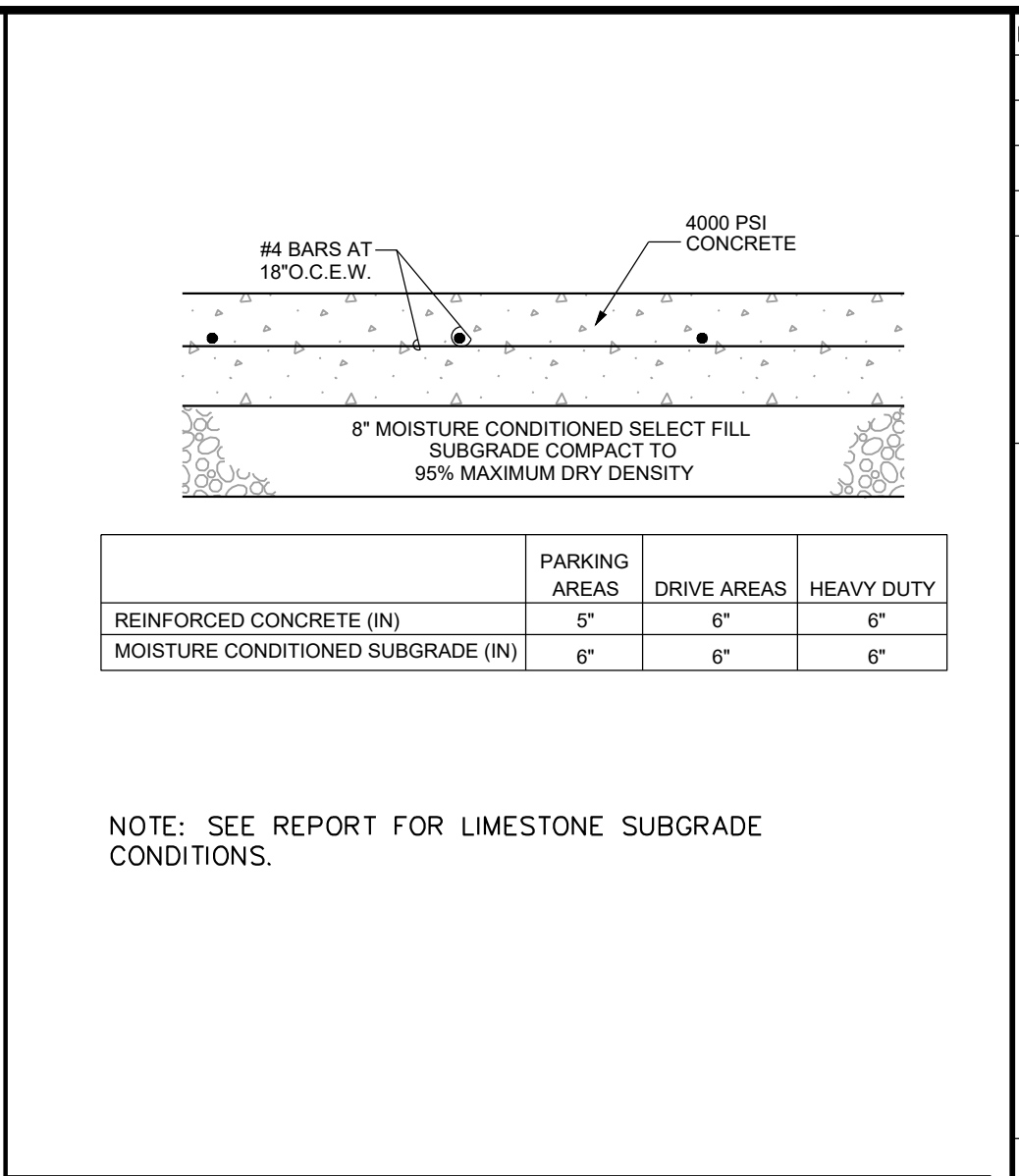
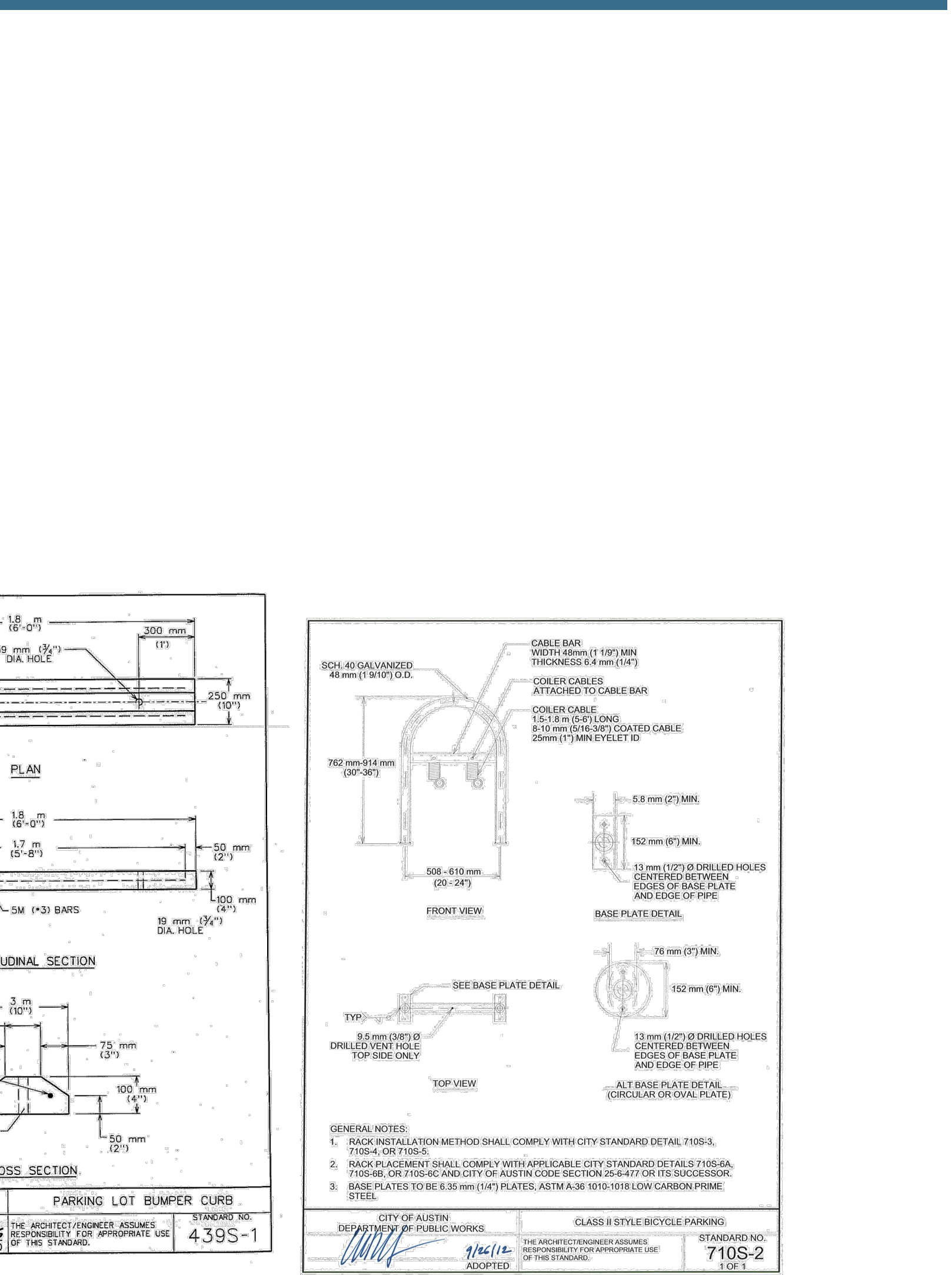
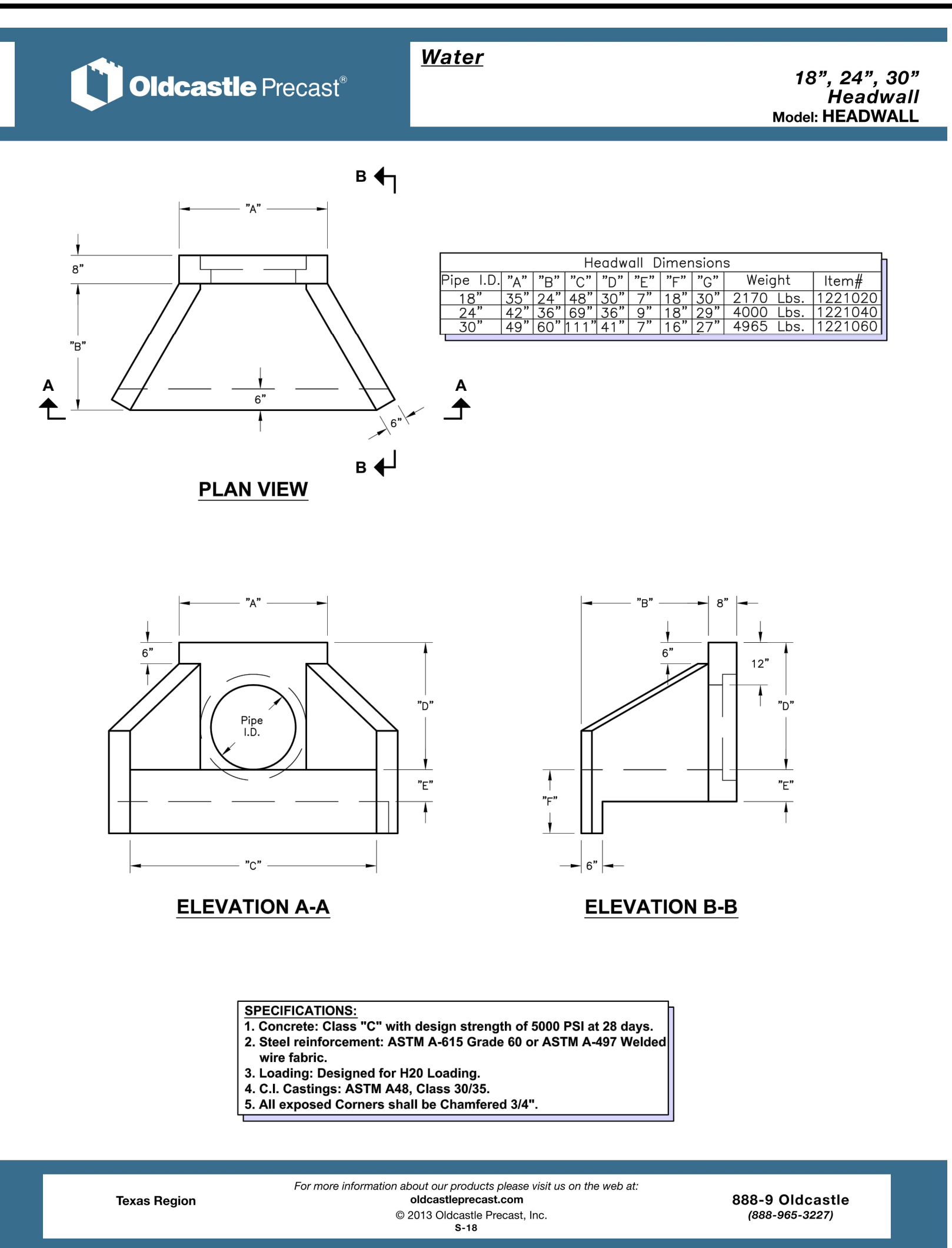
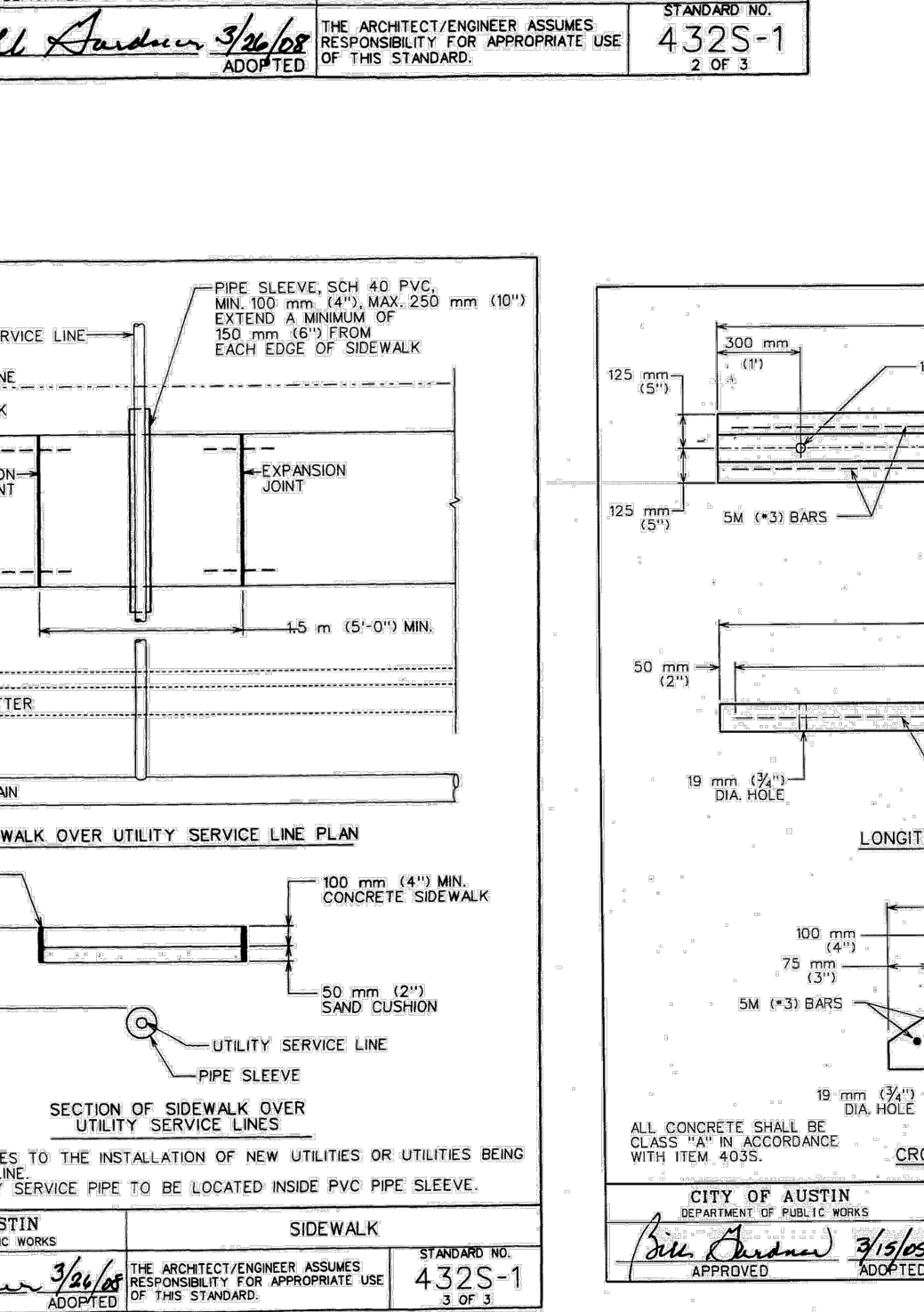
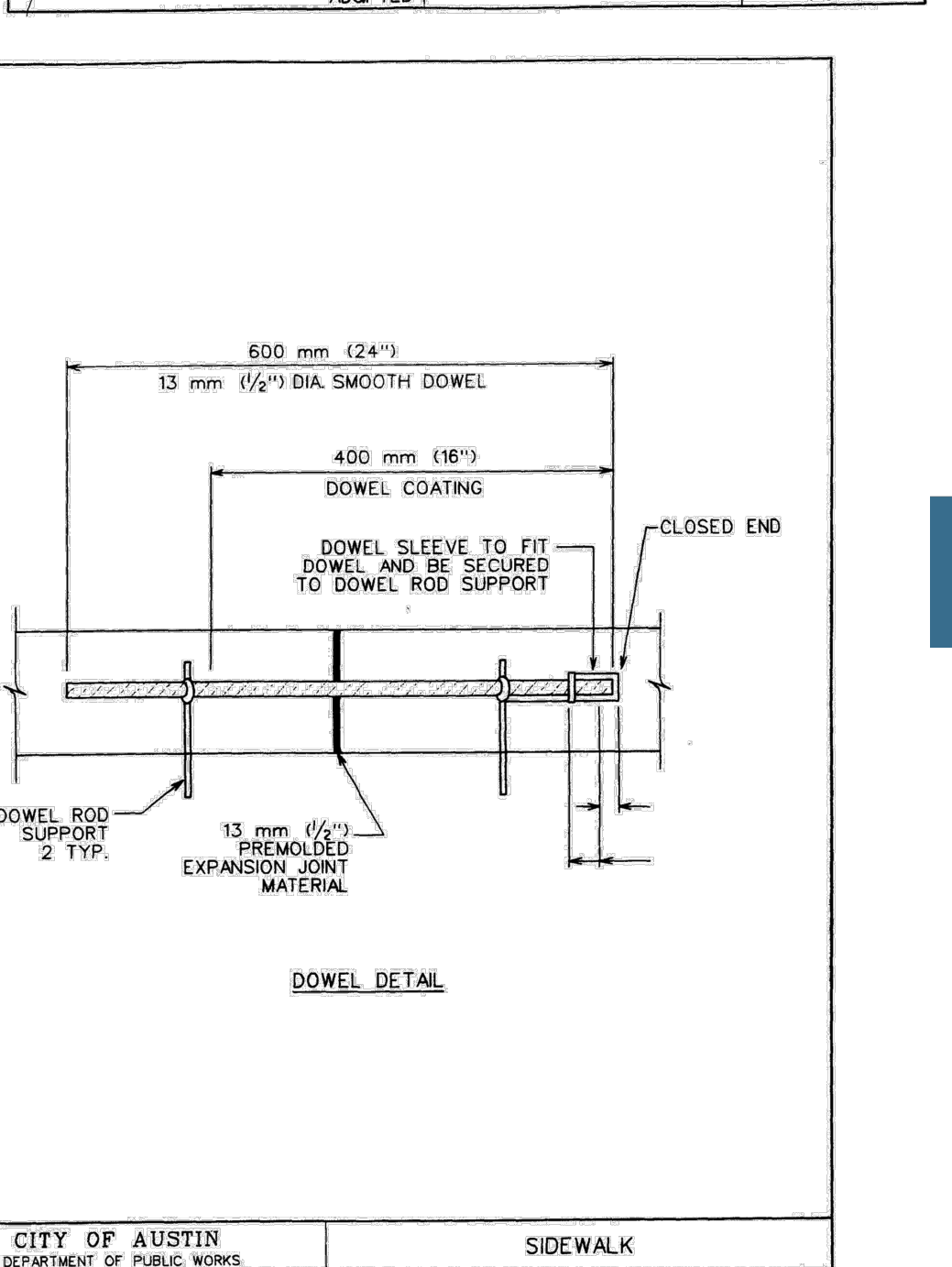
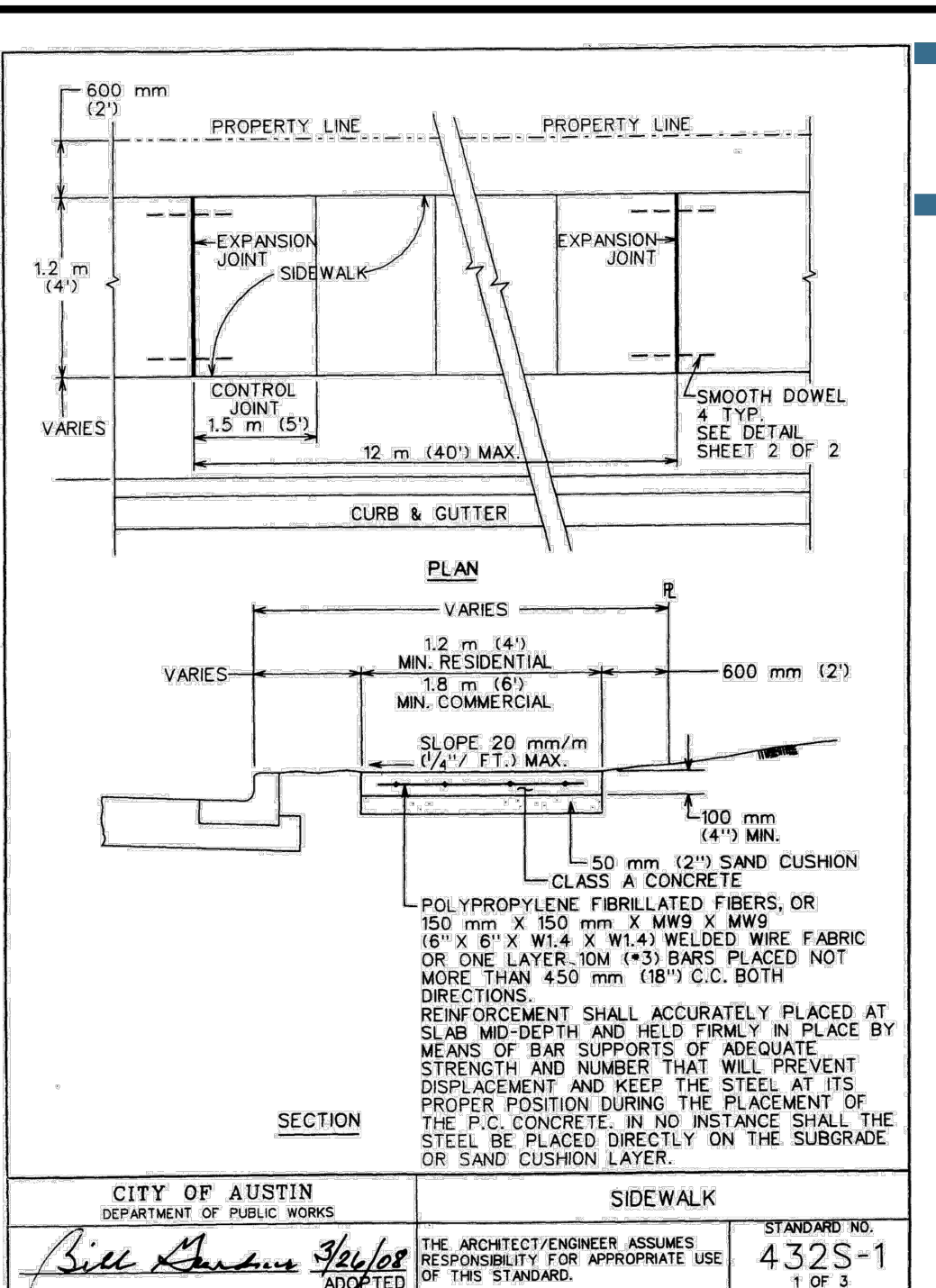
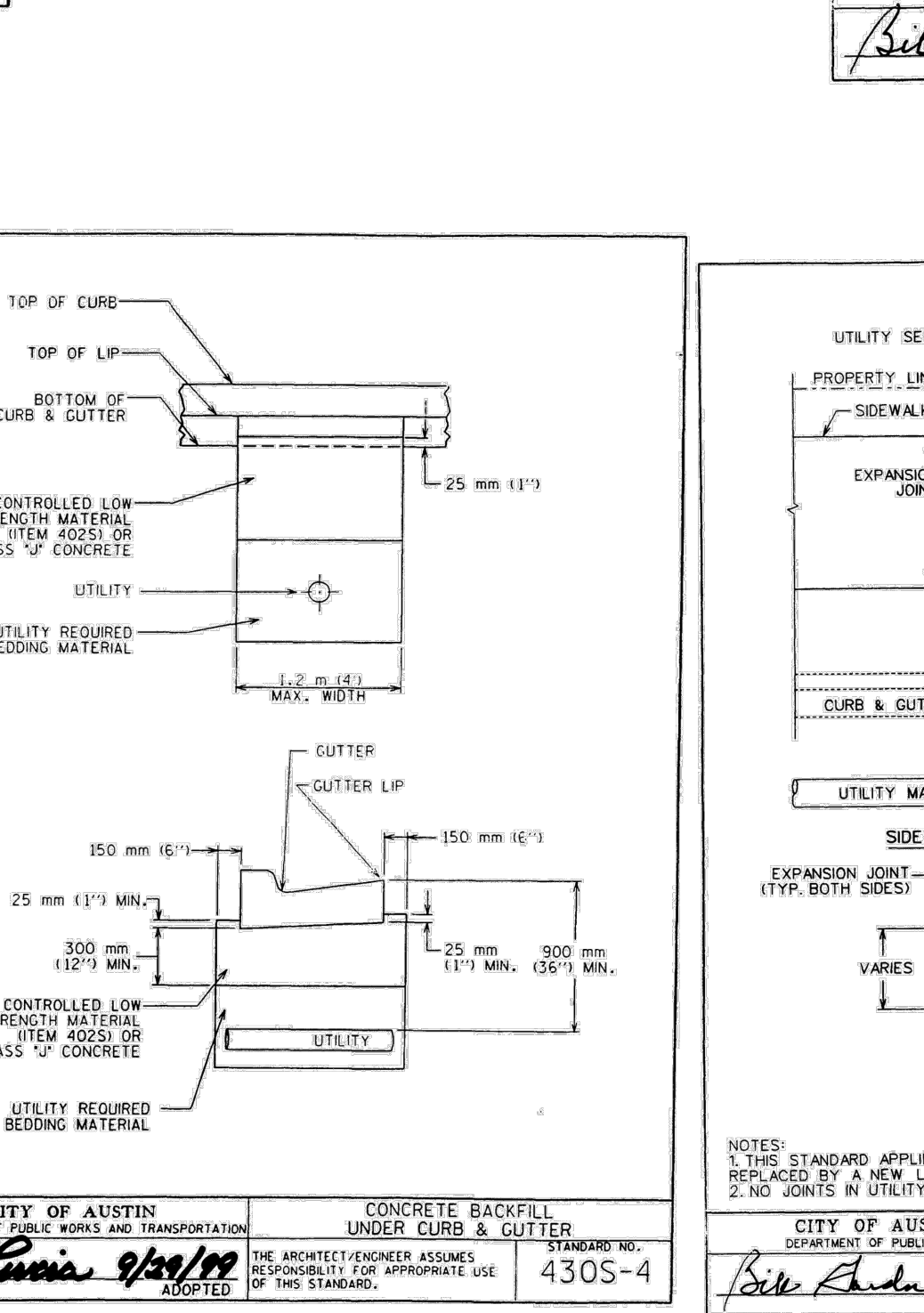
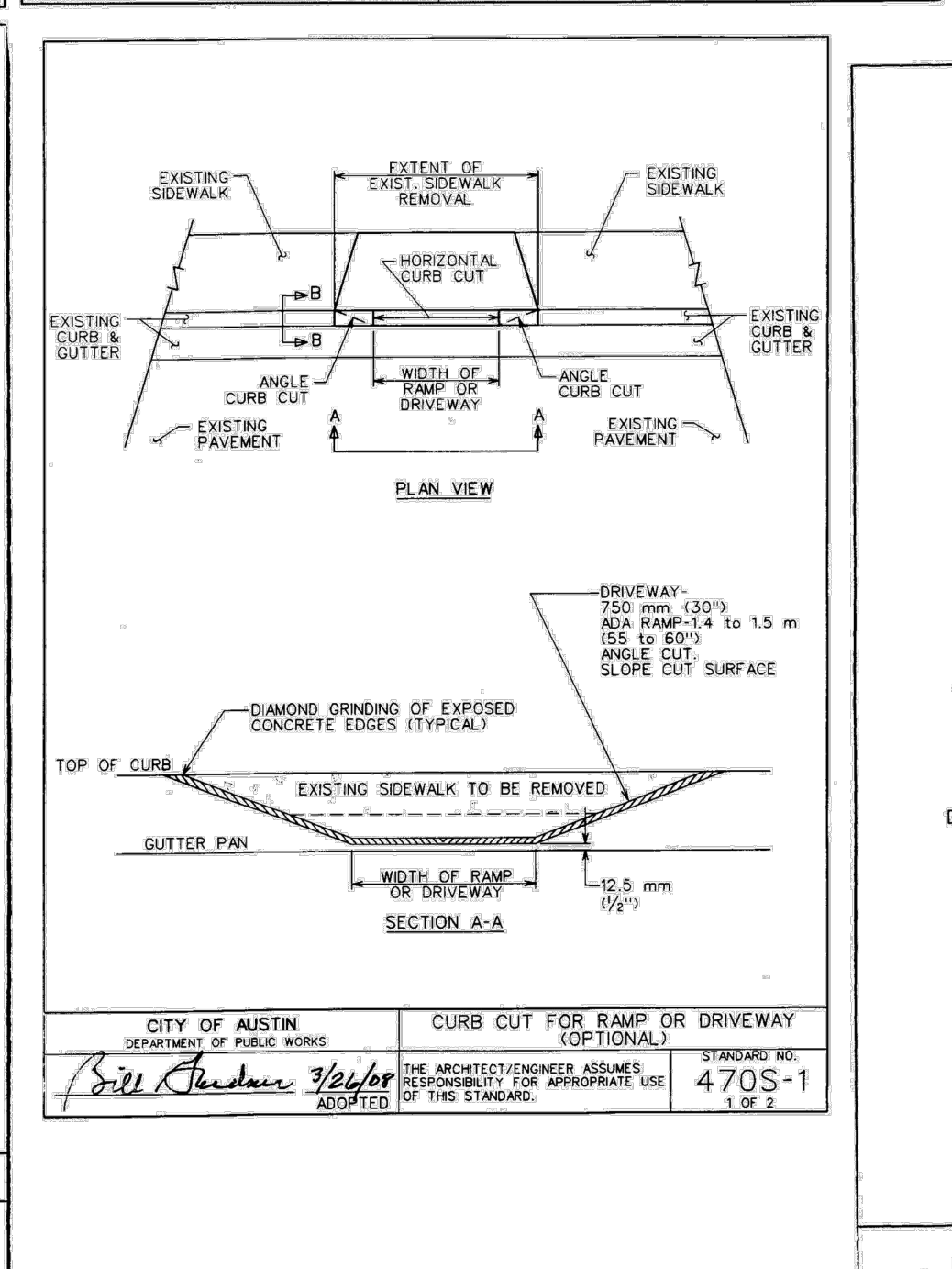
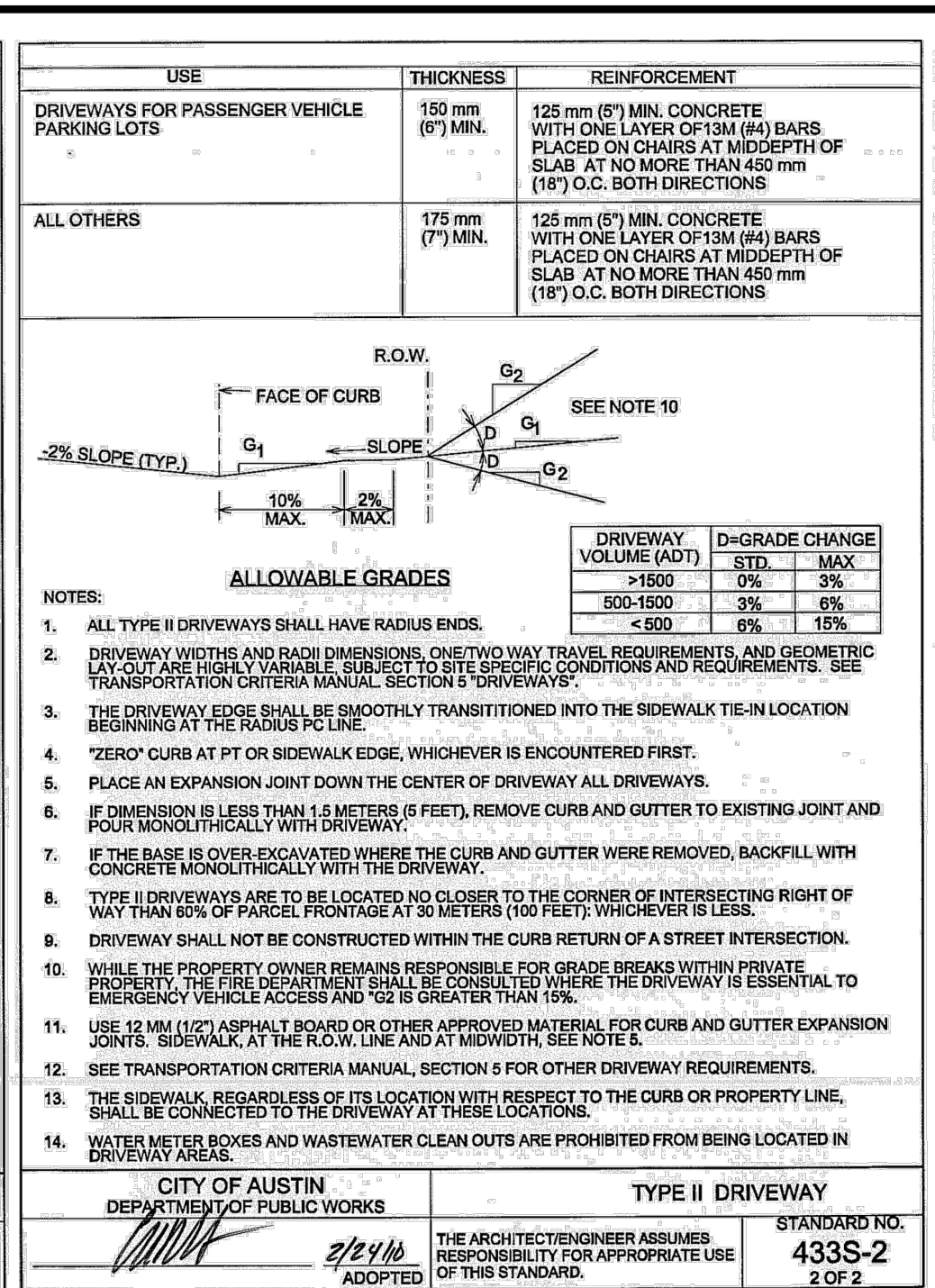
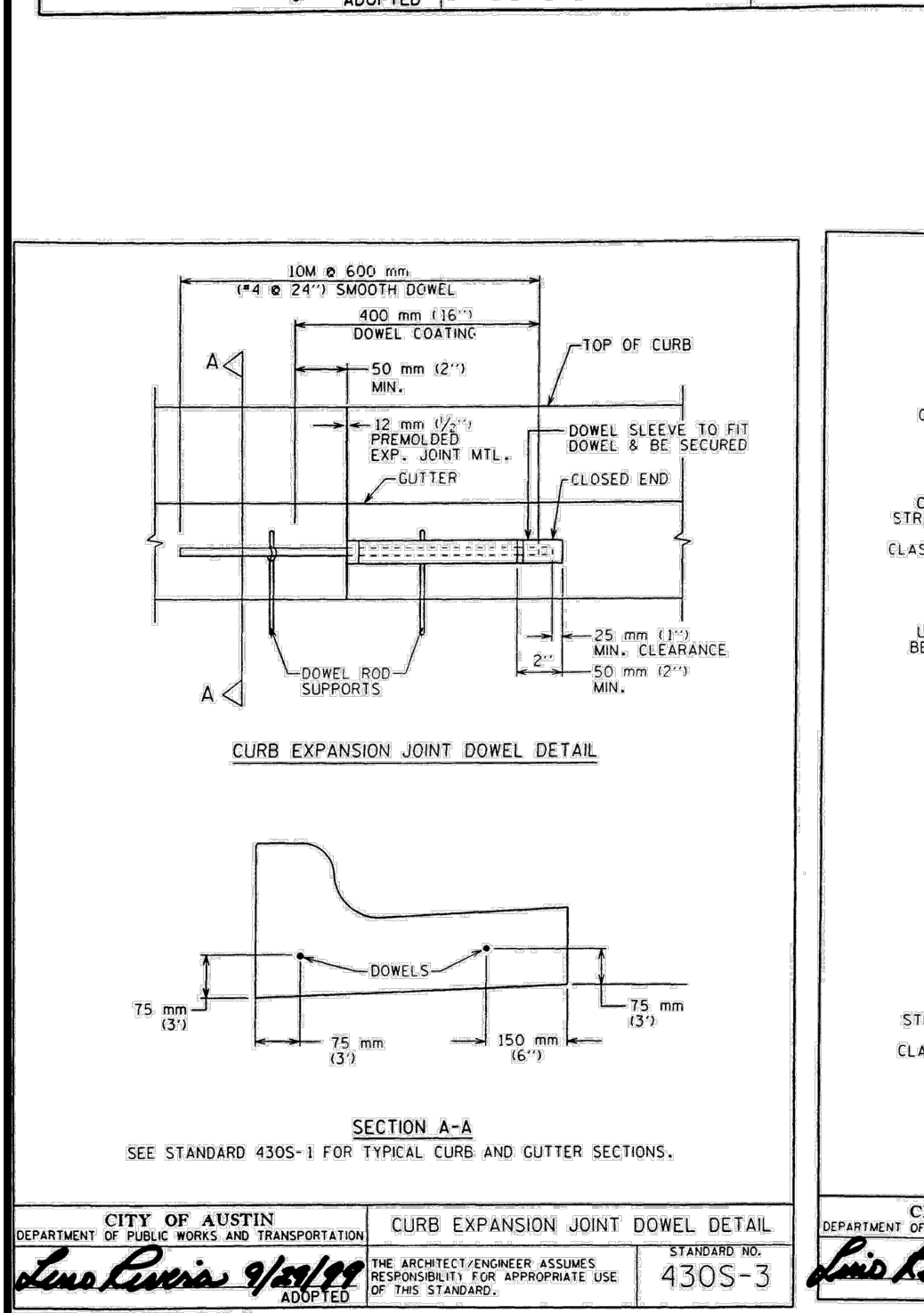
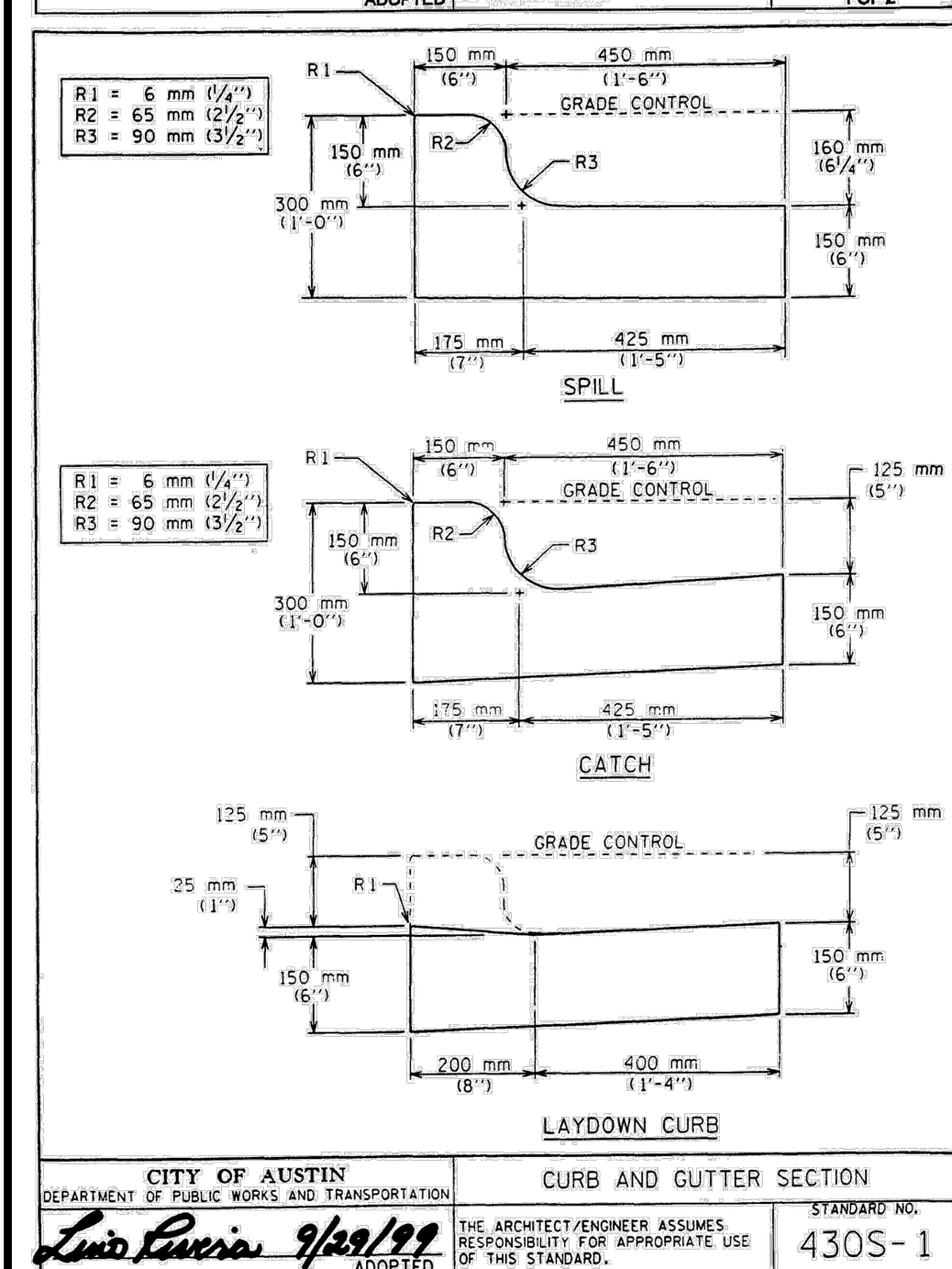
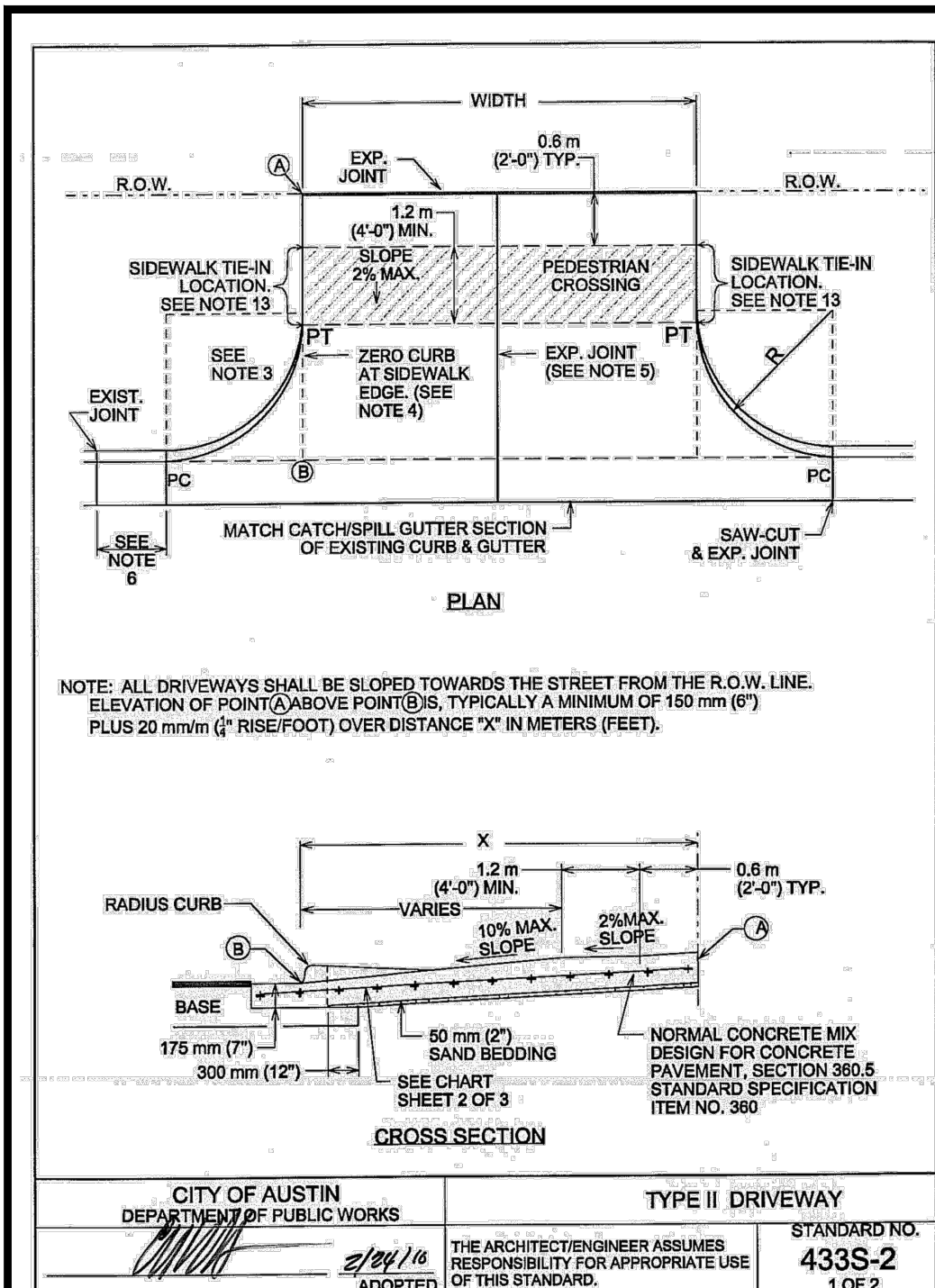


REF: GEOTECH REPORT BY ROCK ENGINEERING &  
TESTING DATE: AUG. 18, 2020 RETL JOB NO. G320179



<b>Notes:</b>													
 <p><b>LOCATION MAP</b> N.T.S.</p>													
<p><b>LEGEND</b></p>													
<p><b>SIGNATURE/SEAL</b></p> <div style="text-align: center;">  </div>													
<div style="display: flex; align-items: center; justify-content: center;"> <div style="font-size: 4em; font-weight: bold; margin-right: 10px;">RCE</div> <div> <b>RAO'S CONSULTING ENGINEERS</b> </div> </div> <p style="font-size: 0.8em; margin-top: 5px;">             TAYLOR FREEMAN LLC              P.O. BOX 992991 SAN ANTONIO TX 78269              PHONE: 210.548.7537 FAX: 210.555.4995  <a href="http://www.raosengineering.com">www.raosengineering.com</a> </p>													
<p><b>PROJECT DESCRIPTION:</b> <b>LAKE TERRACE</b></p>													
<p><b>TITLE:</b> <b>CIVIL DETAILS (SHEET 1 OF 3)</b></p>													
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">DATE :</td> <td style="padding: 2px;">01/04/24</td> </tr> <tr> <td style="padding: 2px;">DESIGNED BY :</td> <td style="padding: 2px;">RV</td> </tr> <tr> <td style="padding: 2px;">DRAWN BY :</td> <td style="padding: 2px;">MF</td> </tr> <tr> <td style="padding: 2px;">CHECKED BY :</td> <td style="padding: 2px;">RV</td> </tr> </table>	DATE :	01/04/24	DESIGNED BY :	RV	DRAWN BY :	MF	CHECKED BY :	RV	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">JOB NO.</td> <td style="padding: 2px;">0000-0000</td> </tr> <tr> <td style="padding: 2px;">DRG NO</td> <td style="padding: 2px; text-align: center; font-size: 1.5em;">11 OF 13</td> </tr> </table>	JOB NO.	0000-0000	DRG NO	11 OF 13
DATE :	01/04/24												
DESIGNED BY :	RV												
DRAWN BY :	MF												
CHECKED BY :	RV												
JOB NO.	0000-0000												
DRG NO	11 OF 13												





Notes:

LOCATION MAP

LEGEND

CONCRETE PAVEMENT

DOWELLED EXPANSION JOINT

CONTROL JOINT

PROJECT DESCRIPTION: LAKE TERRACE

CIVIL DETAILS (SHEET 2 OF 3)

DATE: 01/04/24

JOB NO. 0000-0000

DESIGNED BY: RV

DRAWN BY: MF

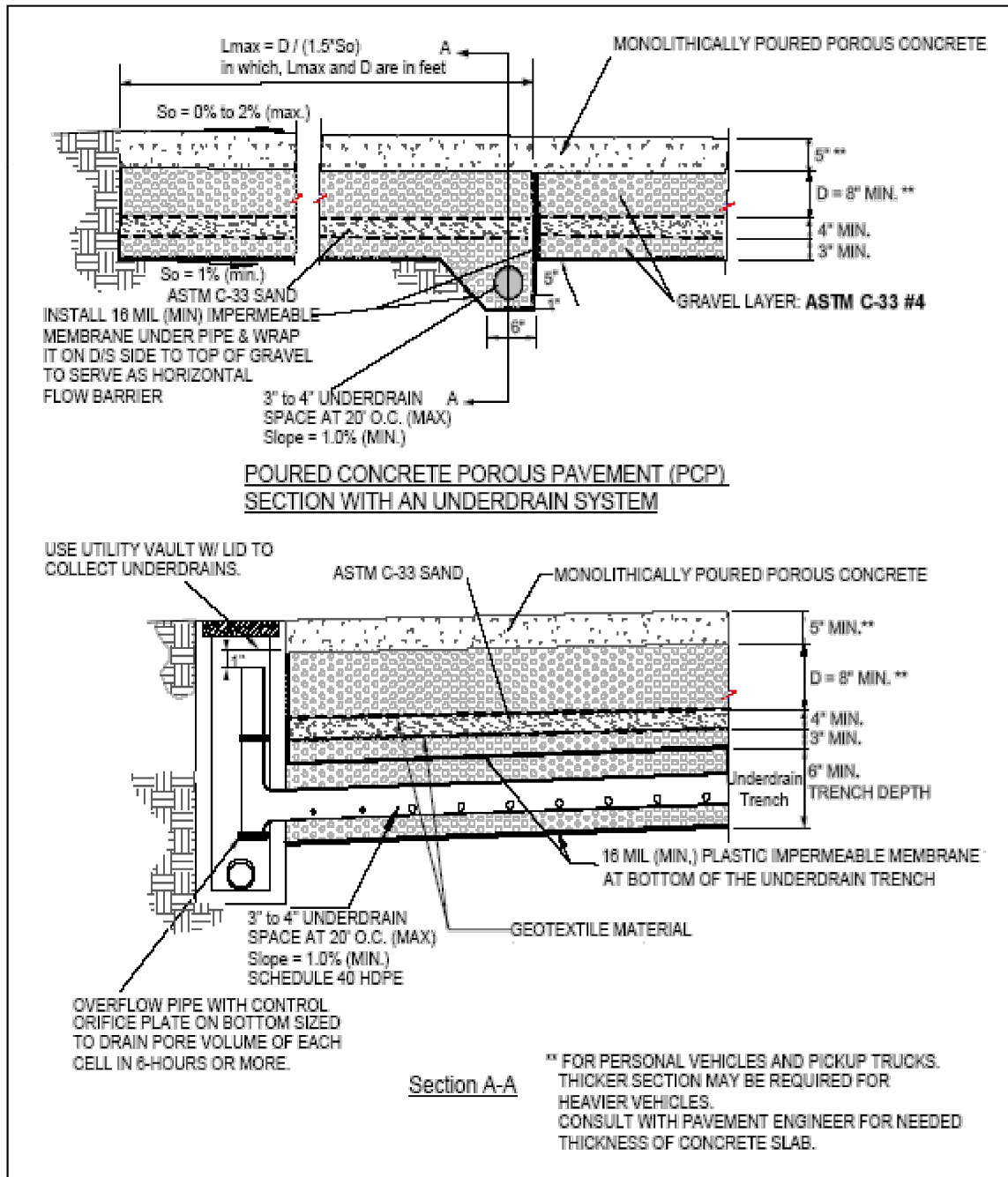
CHECKED BY: RV

DRG NO.

12 OF 13



Figure 4.19 (a): Schematic of Permeable Concrete with Underdrain Installation (after UCFCO, 2004)



(4)

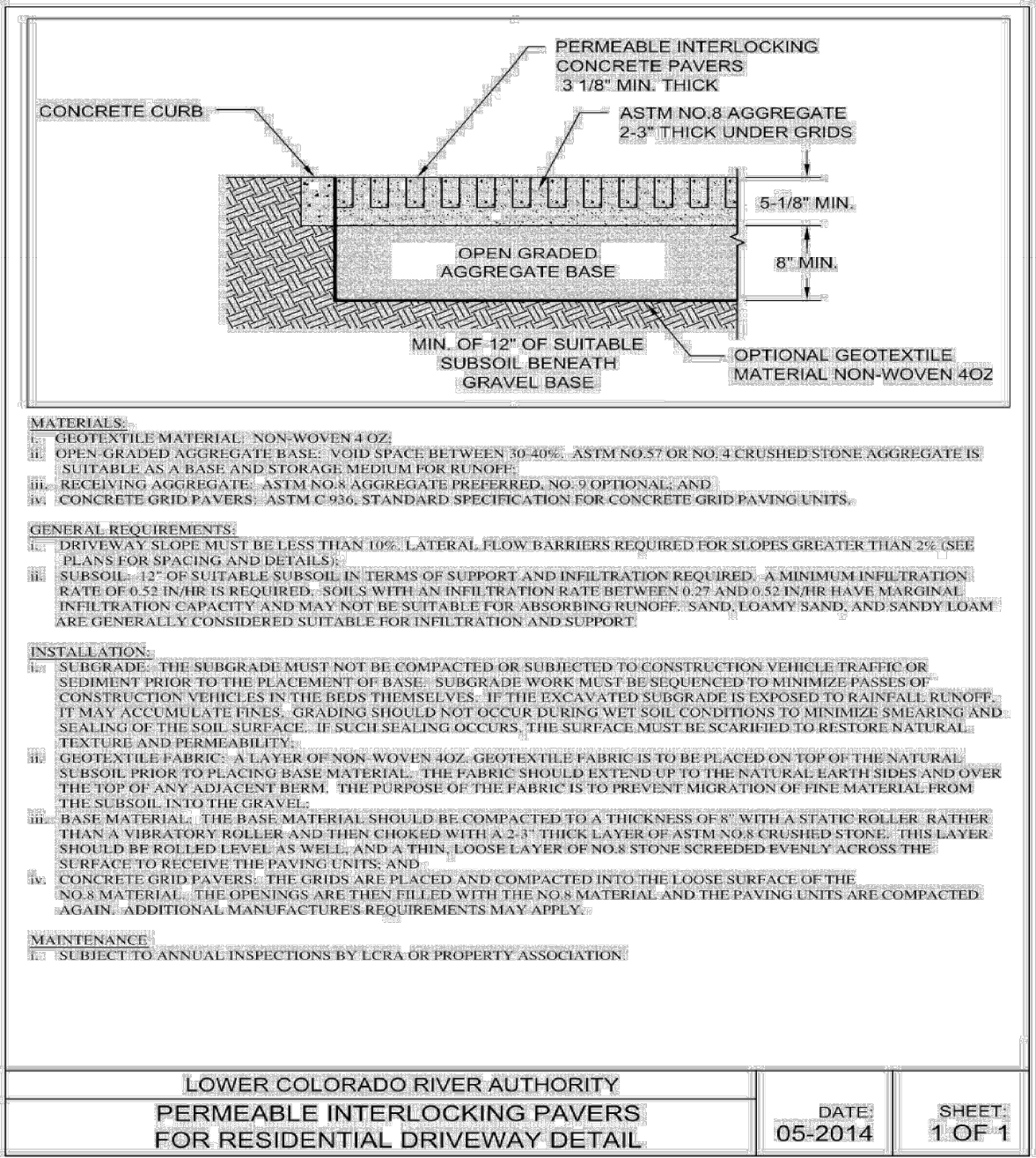
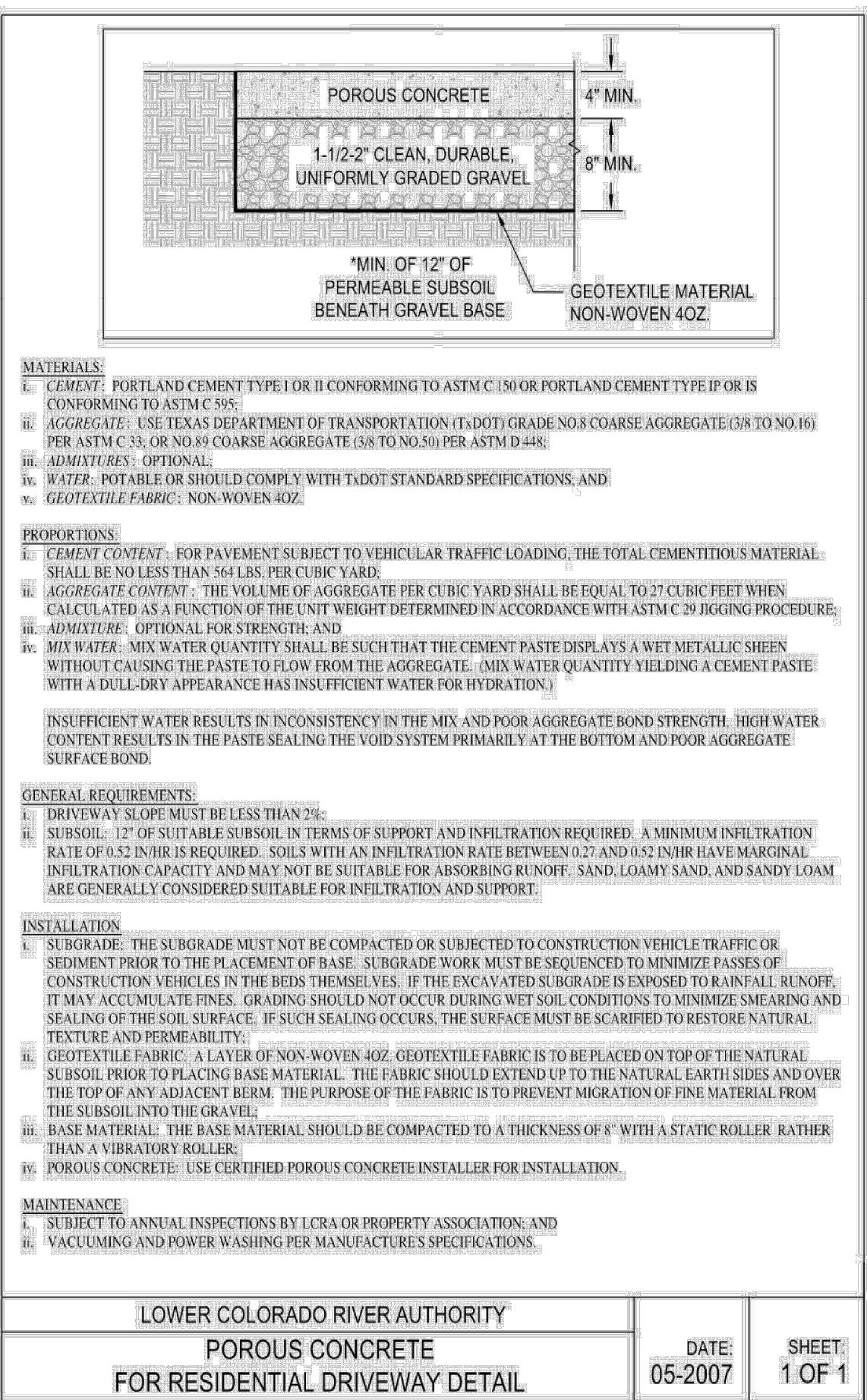
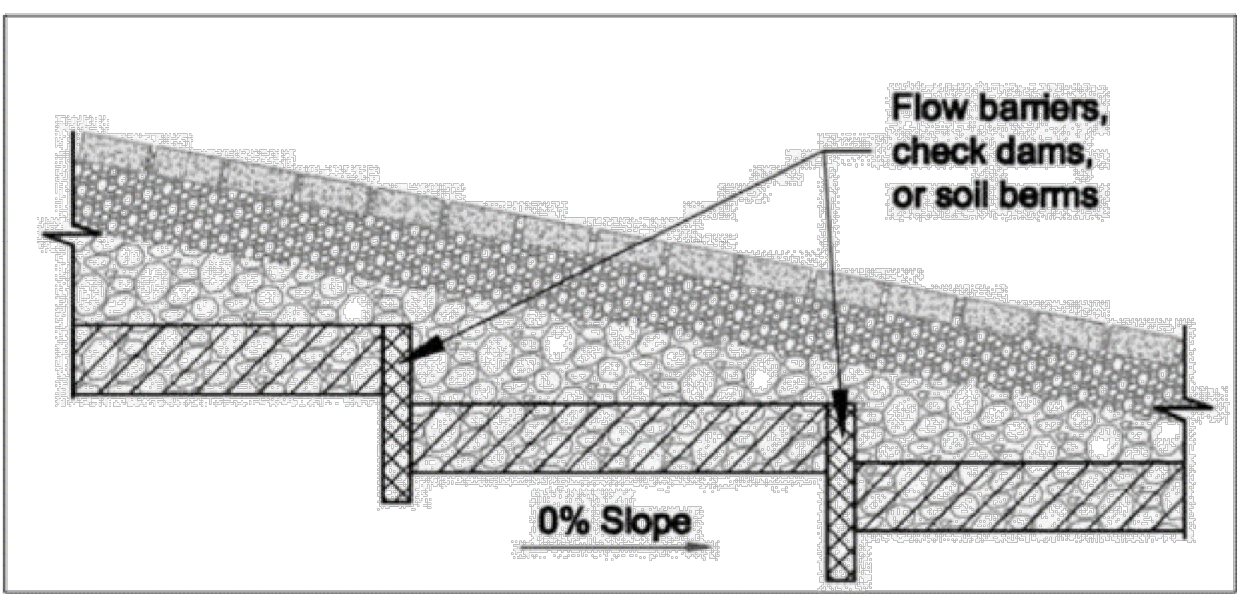
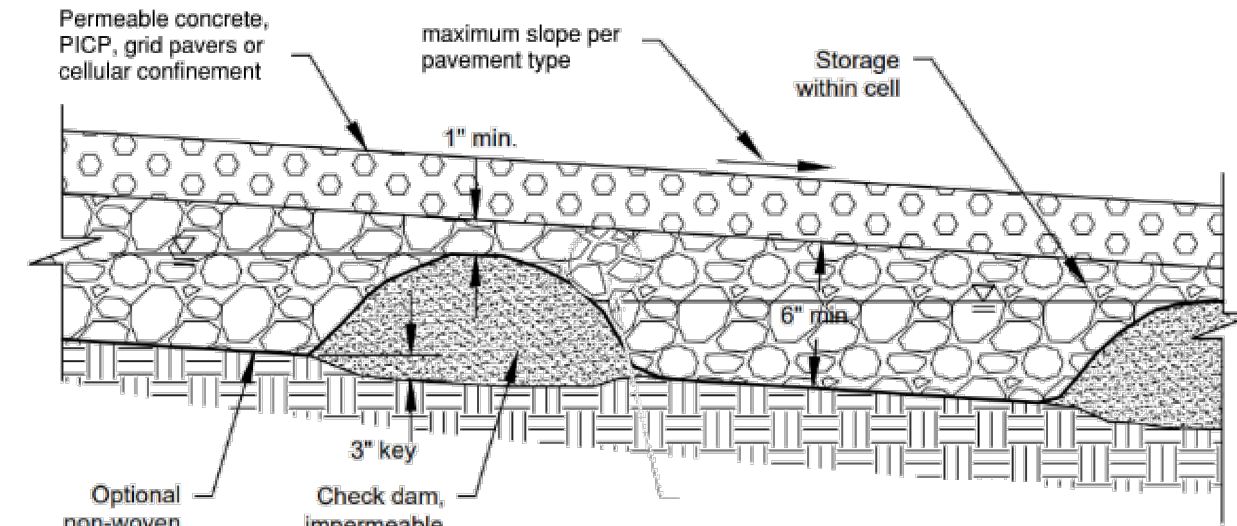


Figure 4.19 (b): Lateral Flow Barrier example (after [Stormwater Guidebook, Permeable Pavement Systems.pdf \(dc.gov\)](#))



Note: refer to bulletin for dimensions, material specifications and design criteria

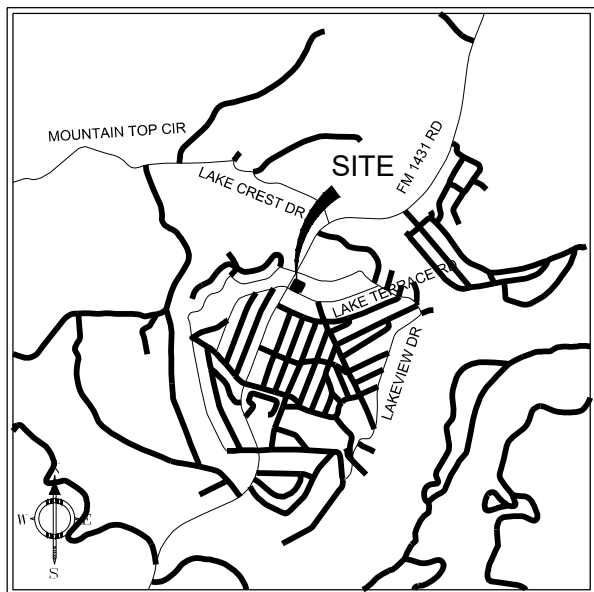
Figure 4.19 (c): Lateral Flow Barrier – Earthen Check Dam example (after Washington State Department of Ecology; Figure V-5.3.6)



Note: refer to bulletin for dimensions, material specifications and design criteria

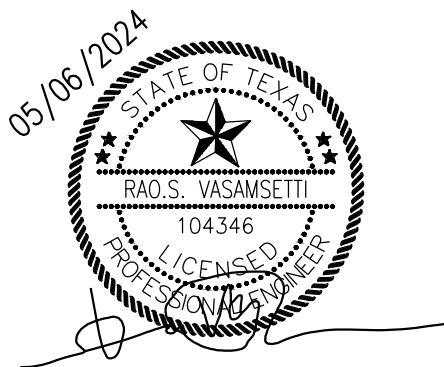
REV. NO.	DESCRIPTION	DATE

Notes:



LEGEND

SIGNATURE/SEAL



**RCE** RAO'S CONSULTING ENGINEERS

709 E. POWER 1555  
P.O. BOX 902091 SAN ANTONIO, TX 78208  
PHONE: 210.543.7557 FAX: 210.543.4895  
[www.raosconsulting.com](http://www.raosconsulting.com)

PROJECT DESCRIPTION:  
LAKE TERRACE

TITLE:  
CIVIL DETAILS (SHEET 3 OF 3)

DATE :	01/04/24	JOB NO.	0000-0000
DESIGNED BY :	RV	DRG NO.	
DRAWN BY :	MF		
CHECKED BY :	RV		