

Monteloma

Homeowners Association

Community Newsletter

FALL 2025

INSIDE THE ISSUE

Special THANK YOU from your President	1
Trash Can Storage Compliance	1
Utilize the Monteloma HOA Website	2
Fence Replacement or Repairs	2
Quiet Hours Limiting Noise for Construction Activities and Landscaping	2
Outdoor Lighting	3
Street Parking Rules	3
Wildfire Preparation	3
Election by Acclamation	4
Board Meeting Information	4
Board of Directors	4
Walters Management Contact Information	4

Special THANK YOU from your President

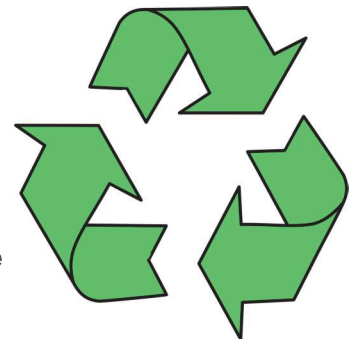
I want to take a moment to THANK YOU and all the wonderful homeowners in our HOA. As I drive around Tierrasanta every day it's easy to see that the Monteloma community is one of the best-looking areas. Yes, rains come, and weeds pop up, or paint starts to fade, but when a friendly maintenance reminder letter is mailed out, our homeowners take action without complaining. I also want to thank the volunteers on the board of directors, architectural committee, and Walters management. It doesn't take much time to be a board member, and it's an enriching opportunity. I am thankful we have homeowners willing to help their neighbors and who understand what it means to be part of the Monteloma Homeowners Association. Please consider volunteering for the board, or our Architectural, or Landscape committees.



Trash Can Storage Compliance

Storage of trash cans must be behind fencing and kept out of sight from the street. If a homeowner has replaced their original fencing with "**see through**" metal fencing or gates, the homeowner must either:

- 1) **Keep trash cans and other storage behind the gate at least 15 feet back** so they are not clearly visible from the street, or
- 2) **Attach additional "privacy screening" to the gate** to obscure visibility.



To see gate screen examples, do a Google search on "metal gate privacy screen"

It is a CC&R violation to store trash cans in front of the gate or alongside the home so that they are visible from the street. Reports of trash cans outside the fence are typically rectified quickly with a "friendly reminder" letter from Walters Management to the homeowners.

Please remember that fencing cannot be modified or relocated without the Architectural committee's approval.



Utilize the Monteloma HOA Website

The Monteloma website (<https://montelomahoa.com/owners>) has references to all the information and documents you need as a homeowner in our association. Don't hesitate to go to the website and download HOA documents or click links to paint color charts from Dunn Edwards and Sherwin Williams, or look up other valuable information about your community.



Fence Replacement or Repairs

Our HOA is now 35 years old and yes, several homes still have their original rear and side yard fences. Many of these are in disrepair, or rusting, and in need of full replacement. Alpine Fence Co. has been helping several of our homeowners to upgrade their fences. The architectural committee, along with the board of directors, has approved different fence materials from the original white wrought iron, as long as the appearance of the new fence maintains a consistent and aesthetically pleasing look to our community.

- Fences are 100% the responsibility of each homeowner to maintain, not the HOA.
- Fences between two homeowners are the responsibility of the two parties. Under California law the owners share 50/50 in the side fence cost.
- Changes in fencing material or color must be sent to the Architectural Committee for approval.

Quiet Hours Limiting Noise for Construction Activities and Landscaping

Please be considerate of your neighbors and our community by minimizing noises at all hours trying not to disturb others unreasonably with construction and landscaping maintenance activities. Here is some clarification on the San Diego city and Monteloma noise restrictions and quiet hours.

It is the homeowner's responsibly to follow these restrictions and **advise your contractors** accordingly.

Construction Activities - includes things like the staging of concrete trucks, construction materials trucks, forklift activities, air compressors, shop vacs, cutting, jackhammering, etc.



NO construction noise is allowed on SUNDAY or Holidays, unless a permit is received from San Diego. SD city code Section 59.5.0404 limits noisy activity (max 75 decibels) from **7:00 am to 7:00 pm Monday through Saturday**.

<https://www.sandiego.gov/sites/default/files/legacy/ced/pdf/muni5950404hours.pdf>

HOWEVER, Monteloma's ARC Guidelines are more restrictive and limits noisy construction activities from **7:00 am to 5:00pm (not 7 pm) on WEEKDAYS**, and **SATURDAYS from 9:00 am to 4:00 pm (not 7am-7pm)**.

Landscaping and Other Noisy Activities - includes things like leaf blowers, mowers, radios, TVs, music, parties, dogs barking, power tools, hammers, etc.

Per Monteloma Rules & Regulations, Section H: Noise and Nuisances, all noise generating activity should be **kept to a minimum EVERY NIGHT between 10:00 pm to 8:00 am**.

For lawn maintenance SD article 9.5 section §59.5.0502(g) **leaf blowers are prohibited on weekdays from 7:00 pm to 8:00 am and weekends/holidays from 5:00 pm and 9:00 am**.

Outdoor Lighting

San Diego Outdoor Lighting Regulation code 142.0740 defines all the requirements for lighting fixtures in our county. Item (b) of the city code states:

(b) Outdoor lighting fixtures that are to illuminate a premises, or on an architectural feature (like patio covers) on private property, shall be directed or shielded so that light does not fall onto surrounding properties or create glare hazards within public rights-of-way.

Please be considerate of your neighbors by not having your decorative or security lights shine into windows or onto other properties.



Street Parking Rules

Please remember that our streets are public and therefore fall under City of San Diego parking restrictions. Beyond the city's requirements our HOA has some parking limitations that must be followed, or the homeowner may receive a violation letter; and/or fines. Here is a reminder of our HOA guidelines:

- **No large commercial-type vehicle may be parked or stored anywhere in the community**
- **Vehicles must not obstruct free traffic flow or block sidewalks**
- **Vehicles needing repair work must be parked within the garage**



Wildfire Preparation

It's fire season again and Cal Fire has defined defensible space zones to help protect your home. Implementing the suggestions below to "harden" the areas around our yards and streets can make a significant improvement on limiting the start of any fire, protecting our properties, and potential saving lives.

Zone 0 – The first 5 feet, closest to your home:

1. Use hard scape like gravel, pavers, or concrete. No combustible bark or mulch.
 2. Remove all dead and dying plants, weeds, and debris (leaves, needles, etc.) from your roof, gutter, deck, porch, stairways, and under any areas of your home.
 3. Remove all branches within 10 feet of any chimney or stovepipe outlet.
 4. Limit combustible items (like outdoor furniture and planters) on top of decks.
5. Relocate firewood and lumber to Zone 2 (100 feet from home).
 6. Replace combustible fencing, gates, and arbors attached to the home with noncombustible alternatives. Consider relocating garbage and recycling containers outside this zone.

Zone 1 – Within 30 feet, keep it clean and green:

1. Remove all dead plants, grass, and weeds.
2. Remove dead or dry leaves and pine needles.
3. Trim trees regularly keeping branches a minimum of 10 feet from other trees.
4. Create a separation between trees, shrubs, and items that could catch fire, such as patio furniture, wood piles, swing sets, etc.

Here are some new links with very useful wildfire preparation and evacuation information:

- <https://www.fire.ca.gov/dspace>
- <https://readyforwildfire.org/wp-content/uploads/2024/03/wildfire-home-retrfrito-guide-1.26.21.pdf>
- <https://www.fire.ca.gov/home-hardening>
- <https://readyforwildfire.org/prepare-for-wildfire/defensible-space/>



Election by Acclamation

This November we will send out the annual notice to ask for volunteers to participate in elections for 2 board positions. Please consider volunteering and helping your HOA maintain this beautiful community we have enjoyed since 1990. If we don't receive more than 2 candidates, the board will approve any candidates received and assign their board position. If we get 3 or more candidates, election ballots will be mailed to all homeowners in 2026 which will be followed by normal ballot counting procedures.

Board Meeting Information

Board meetings are scheduled for the fourth Thursday of every other month.

Join Zoom Meeting

[https://waltersmanagement.zoom.us/j/87165380133?
pwd=DbRhBjaQQraC6IlwWi7e2qjK9IUfmd.1](https://waltersmanagement.zoom.us/j/87165380133?pwd=DbRhBjaQQraC6IlwWi7e2qjK9IUfmd.1)

Meeting ID: 871 6538 0133

Passcode: 412196

One tap mobile

+16699006833,,97623574218#,,, *412196# US (San Jose)

+12532158782,,97623574218#,,, *412196# US (Tacoma)



*Remember, while these Board of Directors meetings are held to conduct Homeowners Association (HOA) business, all homeowners are welcome to attend. We encourage you to join us and share any concerns or

Board of Directors

Steve Koudelka
President

Michelle Mueller
Secretary

Vicki Streetman
Treasurer

Liz Dispenza
Vice President

Steve Purcell
Director



Nate Tolentino
Community Association Manager
nate.tolentino@waltersmanagement.com

Main Line: (858) 495-0900

Direct Line: (858) 576-5540