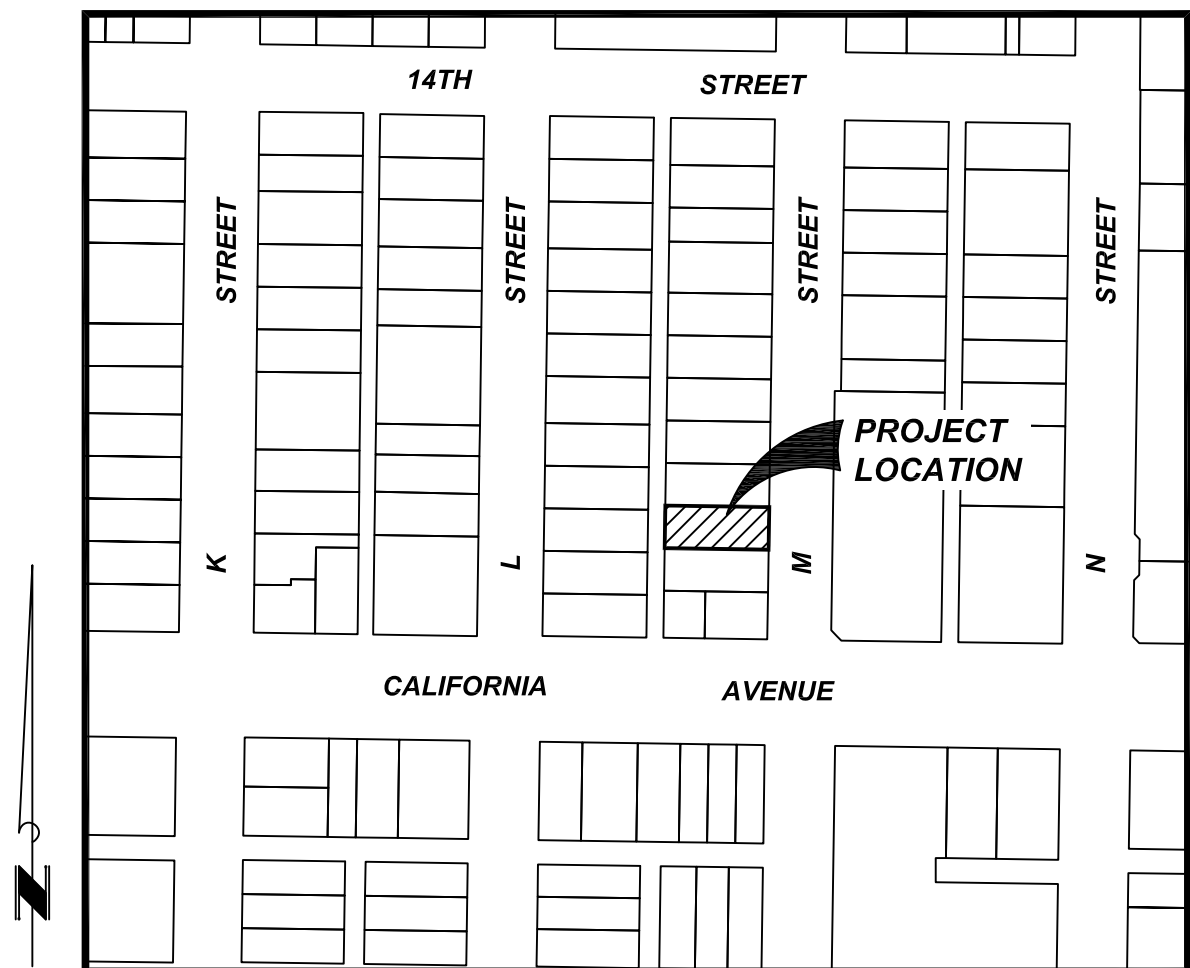


GRADING PLAN

GOLDEN EMPIRE AFFORDABLE HOUSING
1209 "M" STREET - APARTMENT COMPLEX
CITY OF BAKERSFIELD, STATE OF CALIFORNIA

GP# 23-40000064
SPR# 23-60000343



VICINITY MAP
NO SCALE

LEGAL DESCRIPTION:

LOT 10 OF BLOCK 391 OF STARK TRACT IN THE OFFICE OF THE KERN COUNTY RECORDER.

ALSO BEING A PORTION OF SECTION 30, TOWNSHIP 29 SOUTH, RANGE 28 EAST, MOUNT DIABLO BASE AND MERIDIAN IN THE COUNTY OF KERN, STATE OF CALIFORNIA.

APN:

006-440-10

BENCHMARK USED:

TOP OF CONCRETE MONUMENT IN LAMP HOLE AT THE INTERSECTION OF "N" STREET AND CALIFORNIA AVENUE.

ELEVATION = 397.39 (U.S.G.S. DATUM)

BASIS OF BEARINGS:

THE BEARING OF NORTH 89°10'14" WEST, SHOWN FOR THE CENTERLINE OF CALIFORNIA AVENUE, BETWEEN "L" STREET AND "N" STREET, PER PARCEL MAP NO. 10902, FILED IN BOOK 53 OF PARCEL MAPS AT PAGES 46 & 47, WAS USED AS THE BASIS OF BEARINGS HEREON.

ENGINEER

LANDMARK SURVEYING AND ENGINEERING

PHYSICAL:
4524 DISTRICT BLVD
BAKERSFIELD, CA 93313

MAILING:
4208 ROSEDALE HIGHWAY, SUITE 302-301
BAKERSFIELD, CA 93308

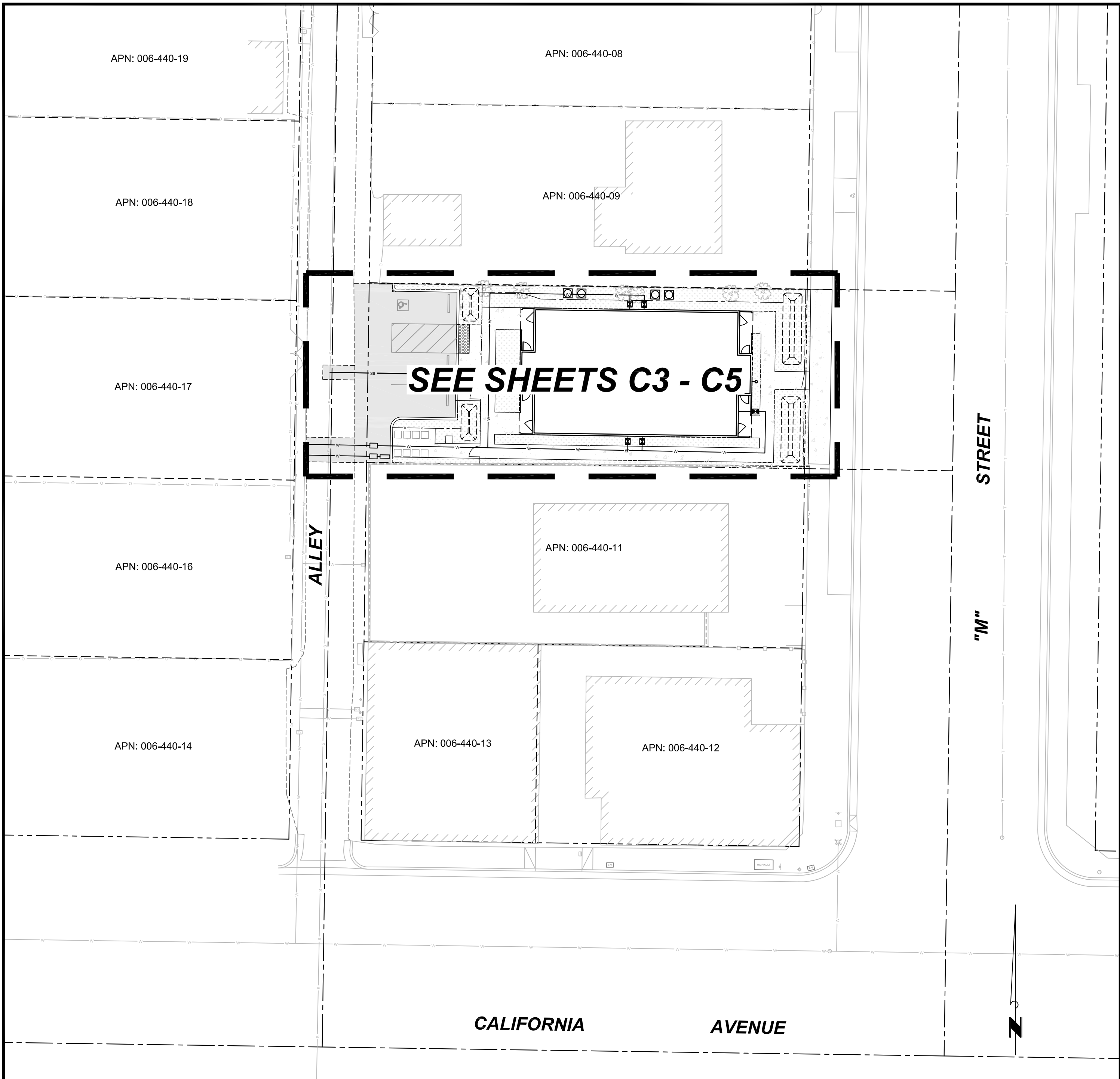
PHONE: (661) 859-1923
CONTACT: MICHAEL DAUSTER

GEOTECH

KRAZAN & ASSOCIATES, INC.
2205 COY AVENUE
BAKERSFIELD, CA 93307
PHONE: (661) 837-9200

OWNER

GEORGINA WONG GREAVES
1209 "M" STREET
BAKERSFIELD, CA 93301
PHONE: (408) 832-0477



INDEX MAP

SCALE: 1" = 20'

EARTHWORK QUANTITIES

THE QUANTITIES SHOWN BELOW ARE FOR GRADING PERMIT PURPOSES ONLY, AND SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATE OF QUANTITIES FOR BIDDING THIS PROJECT.

THE ENGINEER MAKES NO WARRANTY AS TO THE ANTICIPATED SHRINKAGE FACTOR.

CUT	352 CY
FILL*	660 CY
NET	308 CY(FILL)

SHRINKAGE 20%

ON-SITE GRADING AREA: 6,100 S.F (0.14 NET ACRES)

QUANTITIES ARE "COMPACTED IN-PLACE" VOLUMES AND DO NOT INCLUDE OVER-EX OF THE SUB-GRADE PREPARATION PER THE SOILS REPORT.

*ANY IMPORT/EXPORT OF MATERIAL FROM THE JOBSITE SHALL BE APPROVED BY ENGINEER PRIOR TO WORK COMMENCEMENT.

SHEET NO. INDEX

C1	TITLE SHEET
C2	GRADING NOTES & DETAILS
C3	GRADING & DRAINAGE PLAN
C4	UTILITY PLAN
C5	EROSION, SEDIMENT & DUST CONTROL PLAN
C6	EROSION, SEDIMENT & DUST CONTROL BMPS

NOTE:

IF THE PROJECT IS SUBJECT TO THE PROVISIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES), A "NOTICE OF INTENT" (NOI) TO COMPLY WITH THE TERMS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY (SWRCB ORDER NO. 2009-009-DWQ AS AMENDED BY ORDER 2010-0014-DWQ AND ORDER 2012-0006-DWQ) MUST BE FILED WITH STATE WATER RESOURCES CONTROL BOARD IN SACRAMENTO BEFORE THE BEGINNING OF ANY CONSTRUCTION ACTIVITY. COMPLIANCE WITH THE GENERAL PERMIT REQUIRES THAT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BE PREPARED, CONTINUOUSLY CARRIED OUT, AND ALWAYS BE AVAILABLE FOR PUBLIC INSPECTION DURING NORMAL CONSTRUCTION HOURS.

UTILITY NOTE:

NOT ALL UTILITIES WERE LOCATED BY THIS SURVEY AND LANDMARK SURVEYING AND ENGINEERING ASSUMES NO RESPONSIBILITY FOR UNDERGROUND UTILITIES OR FACILITIES NOT SHOWN OR FOR INFORMATION OBTAINED FROM OUTSIDE SOURCES.

CONTRACTOR TO VERIFY LOCATION AND POINTS OF CONNECTION OF ALL UTILITIES PRIOR TO ANY EXCAVATION.

DISTURBED AREA:

TOTAL DISTURBANCE AREA: 6,548 S.F (0.15 NET ACRES)

THE DARK DASHED LINE AS SHOWN ON SHEET C5 WILL BE THE AREA TO BE DISTURBED AND INCLUDES ALL STAGING AREAS. THIS AREA COINCIDES WITH THE SURVEY PROVIDED BY LANDMARK SURVEYING AND ENGINEERING DATED AUGUST 23, 2023. NO UNDEVELOPED LANDS LOCATED BEYOND THE PROPOSED DEVELOPMENT FOOTPRINT MAY BE USED, ALTERED OR DRIVEN OVER.

SUBMITTED BY: 
JOHN H. HULSON, SR. R.C.E. 38265

09/06/2024
DATE

6.9-507

CITY RECORDS NO.

"M" STREET APARTMENTS
1209 "M" STREET
TITLE SHEET

JOB No.:	2497.23
FILE:	"M" ST
DATE:	09/06/2024
DRAWN BY:	AHD
CHECKED BY:	JHH
SCALE:	NO SCALE
SHEET	

C1

1 OF 6 SHEETS

LANDMARK
SURVEYING & ENGINEERING
4524 DISTRICT BOULEVARD | BAKERSFIELD, CA 93313
TEL: (661) 859-1923 | FAX: (661) 859-1976 | WEB: LANDMARKSE.COM

REV	NO	DATE	REVISION DESCRIPTION	APPROVED	DATE
3	04/29/2024	JHH	3RD PLAN CHECK - COMMENT REVISIONS	JHH	5/3
2	03/14/2024	JHH	2ND PLAN CHECK - COMMENT REVISIONS	JHH	3/19
1	12/04/2023	JHH	1ST PLAN CHECK - COMMENT REVISIONS	JHH	1/4



GENERAL GRADING NOTES:

1. ALL GRADING SHALL CONFORM WITH APPENDIX J OF 2022 CALIFORNIA BUILDING CODE CODE AND STANDARDS PERTAINING THEREOF AND PREMINARY SOILS REPORT BY KRAZAN & ASSOCIATES, INC., DATED FEBRUARY 26, 2024.
2. ALL VEGETABLE MATTER SHALL BE REMOVED FROM THE SURFACE UPON WHICH THE FILL IS TO BE PLACED. SITE STRIPPING SHALL EXTEND TO A MINIMUM DEPTH OF 2 TO 4 INCHES, OR UNTIL ALL ORGANICS IN EXCESS OF 3 PERCENT BY VOLUME ARE REMOVED. SURFACE SHALL THEN BE PLOWED OR SCARIFIED TO DEPTH OF AT LEAST TWELVE INCHES (12"), AND UNTIL THE SURFACE IS FREE FROM ROOTS, HUMmockS OR OTHER UNEVEN FEATURES WHICH WOULD TEND TO PREVENT UNIFORM COMPACTION BY THE EQUIPMENT TO BE USED.
3. FILL MATERIALS: MATERIALS FOR FILL SHALL CONSIST OF MATERIALS SELECTED BY THE SOILS ENGINEER FROM SOURCES IDENTIFIED IN LABORATORY REPORTS, WHICH REPORTS HAVE PREVIOUSLY BEEN ACCEPTED BY THE DEPARTMENT. THE MATERIALS USED SHALL BE FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS SUBSTANCES AND SHALL NOT CONTAIN ROCKS OR LUMPS HAVING A DIAMETER OF MORE THAN FOUR INCHES (4").
4. WHERE FILLS ARE MADE ON HILLSIDES OR SLOPES, THE SLOPE OF THE ORIGINAL GROUND UPON WHICH THE FILL IS TO BE PLACED SHALL BE PLOWED OR SCARIFIED DEEPLY OR WHERE THE SLOPE RATIO OF THE ORIGINAL GROUND IS STEEPER THAN 5 HORIZONTAL TO 1 VERTICAL, THE BANK SHALL BE STEPPED OR BENCHED. GROUND SLOPES WHICH ARE FLATTER THAN 5 TO 1 SHALL BE BENCHED WHEN CONSIDERED NECESSARY BY THE SOIL ENGINEER.
5. AMOUNT OF COMPACTION: AFTER EACH LAYER (LIFT) HAS BEEN PLACED, MIXED AND SPREAD EVENLY, IT SHALL BE THOROUGHLY COMPACTED TO THE SPECIFIED DENSITY. THE SPECIFIED DENSITY WILL BE STATED AS A PERCENTAGE OF THE MAXIMUM DENSITY ATTAINABLE USING CURRENT ASTM DENSITY TEST NO. D 1557-78 (5 LAYERS-25 BLOWS EACH LAYER-10 LB. HAMMER-18" DROP-1/30 CU. FT. MOLD). THE SPECIFIED DENSITY TYPICALLY WILL BE NINETY PERCENT (90%) OF MAXIMUM FOR MOST COHESIVE, NON-EXPANSIVE SOILS, HOWEVER IT WILL BE ESTABLISH AS APPROPRIATE FOR THE MATERIALS AND ENVIRONMENT DEFINED. FILL COMPACTION SHALL CONFORM TO U.S.C. CHAPTER 70 STDs, AND LOCAL GRADING STANDARDS, WHEREVER A CONFLICT SHALL OCCUR, THE STRICTER REQUIREMENT SHALL PREVAIL.
6. DEPTH AND MIXING OF FILL LAYERS: THE SELECTED FILL MATERIAL SHALL BE PLACED IN LEVEL, UNIFORM LAYERS WHICH, WHEN COMPACTED, SHALL HAVE A DENSITY CONFORMING TO THAT STIPULATED IN THE HUD-FHA ACCEPTED EARTHWORK SPECIFICATIONS. FILL LIFTS SHALL NOT EXCEED 12" AND AT 90% RELATIVE COMPACTION, EACH LAYER SHALL BE THOROUGHLY BLADE MIXED DURING THE SPREADING TO INSURE UNIFORMLY OF MATERIAL IN EACH LAYER. COMPACTED LAYER THICKNESS NORMALLY WILL BE SIX INCHES (6"), HOWEVER, IT MAY BE SPECIFIED OTHERWISE OF COMPACTION EQUIPMENT OF DEMONSTRATED CAPABILITY WILL BE USED.
7. COMPACTING AREA TO BE FILLED: AFTER THE FOUNDATION FOR THE FILL HAS BEEN CLEARED AND PLOWED OR SCARIFIED, IT SHALL BE DISCED OR BLADED UNTIL IT IS UNIFORM AND FREE FROM LARGE CLODS, BROUGHT TO THE PROPER MOISTURE CONTENT, AND COMPACTED (TYPICALLY) TO NOT LESS THAN NINETY (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH CURRENT ASTM DENSITY TEST NO. D 1557 (LAYERS-25 BLOW EACH LAYER-10 LB. HAMMER-18" DROP-1/30 CU. FT. MOLD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE FOR THE MATERIALS AND CONDITIONS AND ACCEPTABLE TO THE DEPARTMENT.
8. ROCK: WHEN FILL MATERIAL INCLUDES ROCK, THE MAXIMUM ROCK SIZE ACCEPTABLE SHALL BE SIX (6"), NO LARGE ROCKS SHALL BE ALLOWED TO NEST AND ALL VOIDS MUST BE CAREFULLY FILLED WITH SMALL STONES OR EARTH, PROPERLY COMPACTED. NO LARGE ROCKS WILL BE PERMITTED WITHIN TWELVE INCHES (12"), OF THE FINISHED GRADE.
9. MOISTURE CONTENT: THE FILL MATERIAL SHALL BE COMPACTED AT THE APPROPRIATE MOISTURE CONTENT SPECIFIED FOR THE SOILS BEING USED, AS IDENTIFIED IN LABORATORY AND SOILS REPORTS WHICH HAVE BEEN PREVIOUSLY BEEN ACCEPTED BY THE HUD-FHA. MOISTURE CONTENT TOLERANCES SHOULD BE CLEARLY DEFINED FOR PLACEMENT OF EACH MATERIAL PROPOSED FOR USE IN A FILL. APPROPRIATE MOISTURE CONTENT IS DEFINED TYPICALLY, AS OPTIMUM MOISTURE CONTENT, HOWEVER FOR EXPANSIVE SOILS IT MAY BE GREATER THAN OPTIMUM MOISTURE CONTENT, AND OTHER MOISTURE CONTENTS MAY BY NECESSARY TO PRODUCE THE DESIRED RESULTS WITH SPECIFIC SOILS.
10. DENSITY TESTS: FIELD DENSITY TESTS SHALL BE MADE BY THE SOILS ENGINEER OF THE COMPACTION OF EACH LAYER OF FILL. DENSITY TESTS SHALL BE TAKEN IN THE COMPACTED MATERIAL BELOW THE DISTURBED SURFACE. WHEN THESE TESTS INDICATE THAT THE DENSITY OF ANY LAYER OF FILL OR PORTION THEREOF IS BELOW THE REQUIRED DENSITY. THE PARTICULAR LAYER OR PORTION SHALL BE REWORKED UNTIL THE REQUIRED DENSITY HAS BEEN OBTAINED. SUFFICIENT DENSITY TESTS SHALL BE MADE AND SUBMITTED TO HUD-FHA TO SUPPORT THE SOILS ENGINEER'S CERTIFICATION OF EACH FILL LAYER.
11. GRADING WORK SHALL BE DONE IN A MANNER TO PREVENT STORM DAMAGE TO PUBLIC OR PRIVATE PROPERTY OF OTHERS BY FLOODING, EROSION, DEPOSITION, DEBRIS, OR ANY OTHER DAMAGE RESULTING FROM THE GRADING WORK.
12. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR IMPORTING MATERIAL.
12. THE SOILS SHALL DELINEATE THE LOCATION AND DEPTHS FOR OVER EX-CAVATION.
13. ALL CUT AND/OR FILL SLOPES SHALL NOT BE STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL.
14. ALL FILL SLOPES SHALL NOT TOE OUT WITHIN TWELVE (12) FEET HORIZONTALLY OF THE TOP OF EXISTING AND/OR PLANNED SLOPES.
15. ALL FILL AREAS TO BE CLEARED OF ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FOR A STRUCTURE FILL AND THE AREA SCARIFIED TO A DEPTH OF SIX (6) INCHES.
16. FILL AREAS SLOPING STEEPER THAN FIVE (5) TO ONE (1) SHALL BE KEYED AND BENCHED TO SUPPORT FILL.
17. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING SIX (6) INCHES IN COMPACTED THICKNESS AND COMPACTED AT OPTIMUM MOISTURE CONTENT BY AN APPROVED METHOD.
18. ENGINEER/BUILDING OFFICIAL WILL BE NOTIFIED FORTY EIGHT (48) HOURS PRIOR TO PLACING OF ANY FILL MATERIAL.
19. ALL FILL TO BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) MAXIMUM DENSITY AS DETERMINED BY UNIFORM BUILDING CODE STANDARDS NO. 70-1 AND SO CERTIFIED BY TEST AND REPORTS FROM SOILS ENGINEER.
20. ALL SLOPES IN EXCESS OF THREE (3) FEET IN VERTICAL HEIGHT SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION.

GENERAL GRADING NOTES (CONT.):

21. DIVERTER TERRACES (SWALES) WITH THREE (3) FEET MINIMUM WIDTH AND ONE (1) FOOT MINIMUM DEPTH ARE REQUIRED AT TOP OF CUT SLOPES WHEN EXISTING TERRAIN SLOPES TOWARD TOP OF CUT.
22. BERMS OR DRAINAGE DEVICES ARE REQUIRED AT TOP OF ALL FILL SLOPES.
23. SURFACE DRAINAGE TO BE ONE PERCENT (1%) MINIMUM, EXCEPT AS WAIVED BY THE BUILDING OFFICIAL..
24. GRADING WORK WILL BE SUPERVISED AS ENGINEERED GRADING IN ACCORDANCE WITH APPENDIX J OF 2022 CALIFORNIA BUILDING CODE.
25. THE FACES OF ALL CUT AND FILL SLOPES SHALL BE PLANTED WITH A GROUND COVER INDIGENOUS TO THE AREA.
26. THE DESIGN ENGINEER SHALL EXERCISE SUFFICIENT SUPERVISOR CONTROL DURING GRADING AND CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND CODE WITHIN HIS PURVIEW.

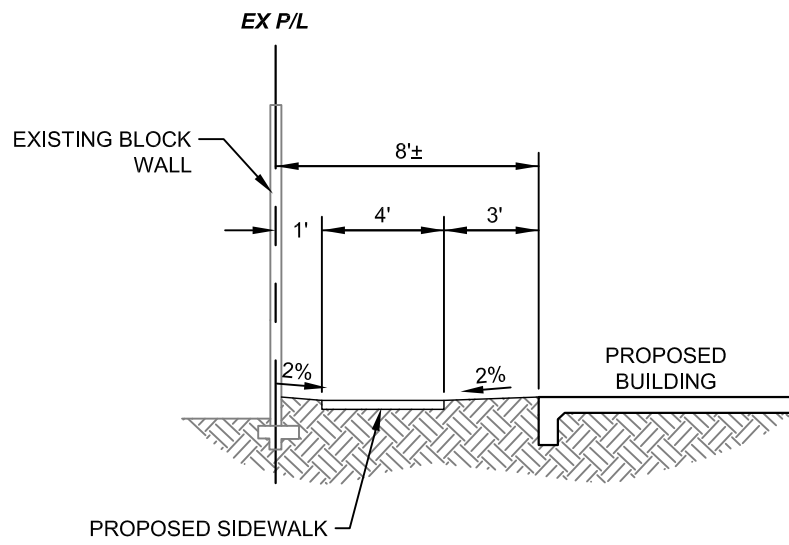
CITY OF BAKERSFIELD
STANDARD GRADING NOTES:

1. AN OPEN STREET PERMIT SHALL BE OBTAINED FROM THE CITY OF BAKERSFIELD PUBLIC WORKS DEPARTMENT FOR ANY WORK PERFORMED WITHIN EXISTING ACCEPTED STREET RIGHT OF WAY, UNLESS SECURED BY AN IMPROVEMENT AGREEMENT, SECURITY BASED ON AN APPROVED ENGINEER'S ESTIMATE FOR THE WORK PERFORMED WITHIN RIGHT OF WAY AND INSURANCE AS REQUIRED SHALL BE PROVIDED PRIOR TO ISSUANCE OF A PERMIT.
2. UNDERGROUND SERVICE ALERT SHALL BE CONTACTED AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, 811.
3. 24 HOUR NOTICE: PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION, THE CITY CONSTRUCTION INSPECTION DIVISION SHALL BE GIVEN AT LEAST A 24 HOUR NOTICE. THIS SECTION MAY BE NOTIFIED AT (661) 326-3049.
4. ANY PUBLIC FACILITIES IN THE STREET RIGHT-OF-WAY WITHIN THE PROPERTY FRONTAGE WHICH ARE SUBSTANDARD OR DAMAGED WILL REQUIRE RECONSTRUCTION OR REPAIR AS DETERMINED BY THE CITY ENGINEER.
5. ANY ITEMS IN PUBLIC RIGHT-OF-WAY THAT ARE DAMAGED OR DO NOT MEET CURRENT STANDARDS SET BY PUBLIC WORKS WILL REQUIRE REPAIRING AND/OR REPLACING AS PER CITY ENGINEER.
6. MAXIMUM SLOPE RATIO FROM BACK OF SIDEWALK TO FACE OF WALL OR STRUCTURE SHALL BE 4:1, EXCEPT FOR TWO FEET BEHIND THE SIDEWALK WHERE THE MAXIMUM SLOPE SHALL BE 2%. ALTERNATIVELY, THE CITY ENGINEER MAY APPROVE CURBING BEHIND THE SIDEWALK OR OTHER METHOD TO PREVENT EROSION ONTO THE SIDEWALK.

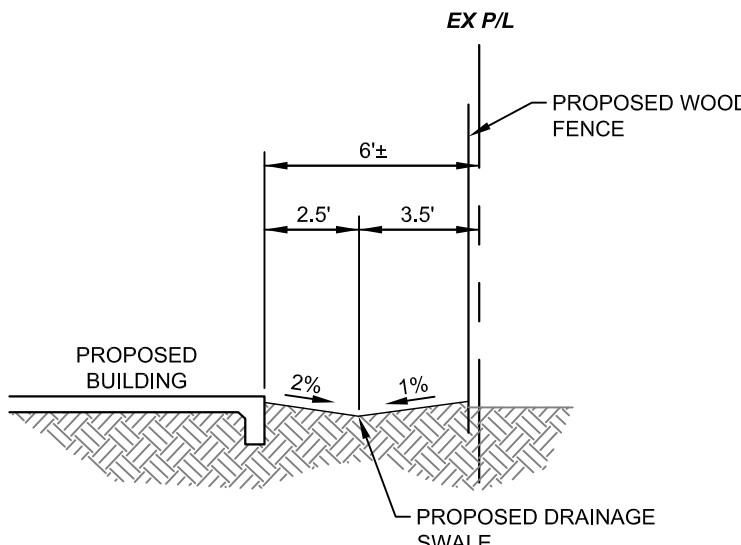
CITY OF BAKERSFIELD TRENCHING NOTES:

1. TRENCHING SHALL MEET THE REQUIREMENTS OF CAL-OSHA TRENCHING ORDERS AND THE CONTRACTOR SHALL COMPLY WITH SECTION 6422 OF THE LABOR CODE.
2. ANY TRENCHING TO BE CONDUCTED WITHIN CITY RIGHT-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH CITY OF BAKERSFIELD STANDARD DRAWING ST-12.
3. ALL EXISTING PAVING AND SURFACING REMOVED, DAMAGED OR UNDERCUT SHALL BE REPLACED IN ACCORDANCE WITH CITY OF BAKERSFIELD STANDARD DRAWING ST-11.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ALL TRENCHES. IF TRENCHES OR PIPING BECOME DAMAGED DUE TO WATER INFILTRATION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THE TRENCH AND/OR PIPING TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
5. FLOODING AND WATERJETTING SHALL NOT BE USED FOR BACKFILL COMPACTION.
6. CLASS I BEDDING AND EMBANKMENT IS REQUIRED FOR ALL PLASTIC SEWER PIPE WITHIN THE PIPE ZONE. CLASS I BACKFILL IS NOT REQUIRED IF PIPE SLOPE EXCEEDS 1%.
7. COMPACTION TESTS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE NUMBER AND LOCATION OF REQUIRED TESTS SHALL BE DETERMINED BY THE CITY ENGINEER. THE COST OF RETESTING DUE TO FAILED TESTS WILL BE BACK CHARGED TO THE CONTRACTOR.

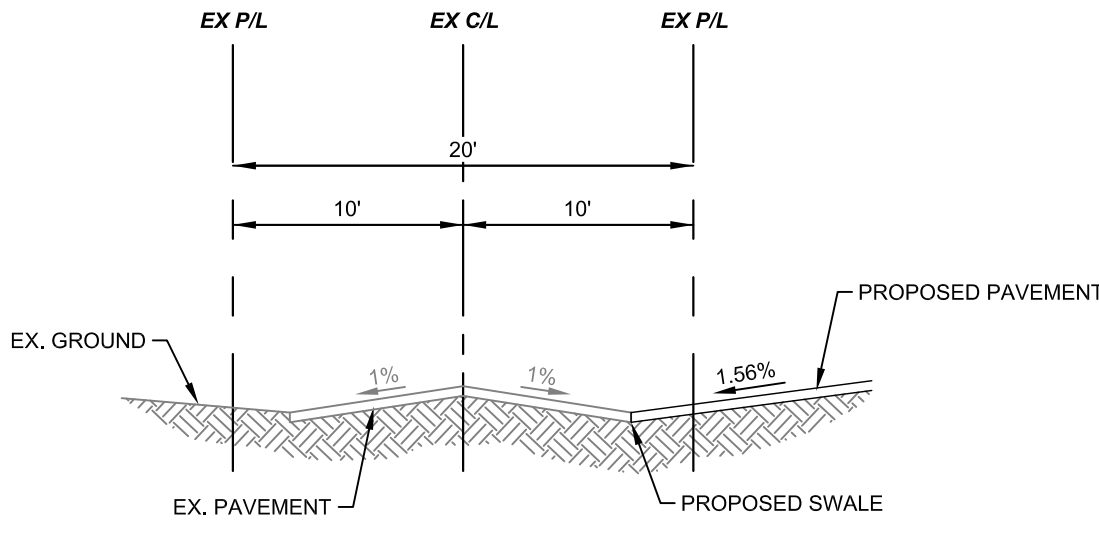
NOTE: FEDERAL AND STATE LAWS PROTECT CERTAIN SPECIES OF PLANTS, FISH, AND WILDLIFE THAT ARE LISTED OR PROPOSED FOR LISTING AS ENDANGERED OR THREATENED, AS WELL AS THEIR DESIGNATED CRITICAL HABITAT. THE PRESENCE OF AN ENDANGERED OR THREATENED SPECIES ON PRIVATE LAND THAT OVERLAPS WITH DEVELOPMENT MAY IMPOSE CERTAIN DUTIES, SUCH AS AVOIDING UNAUTHORIZED TAKE AND, IN SOME CASES REQUIRING CONSULTATION WITH THE UNITED STATES FISH & WILDLIFE SERVICE AND/OR CALIFORNIA DEPARTMENT OF FISH & WILDLIFE AGENCY. PROPERTY OWNERS AND DEVELOPERS SHALL TAKE THE NECESSARY STEPS TO ENSURE COMPLIANCE WITH FEDERAL AND STATE LAWS. IF UNAUTHORIZED TAKE OCCURS, A VIOLATION OF THE PROHIBITION ON UNAUTHORIZED TAKE CAN LEAD TO CIVIL AND CRIMINAL PENALTIES BY FEDERAL AND STATE AGENCIES.



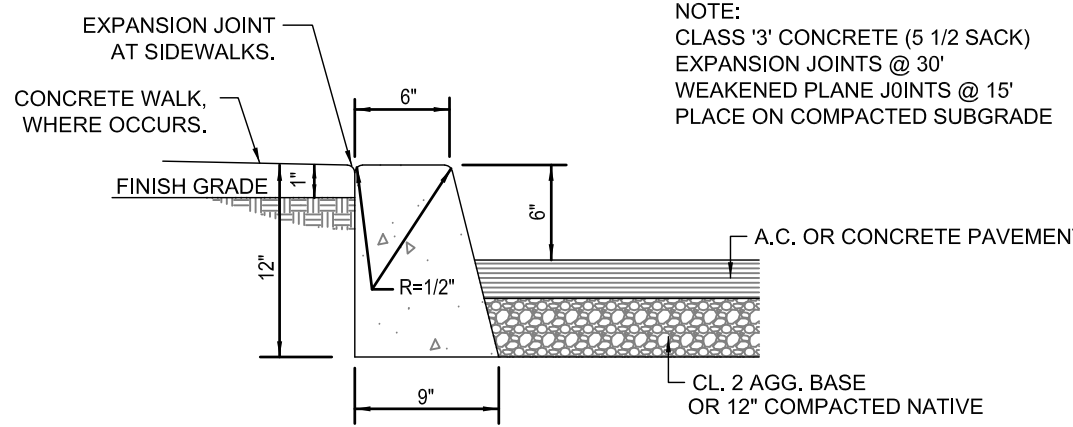
A SECTION LOOKING WEST
SCALE: N.T.S.



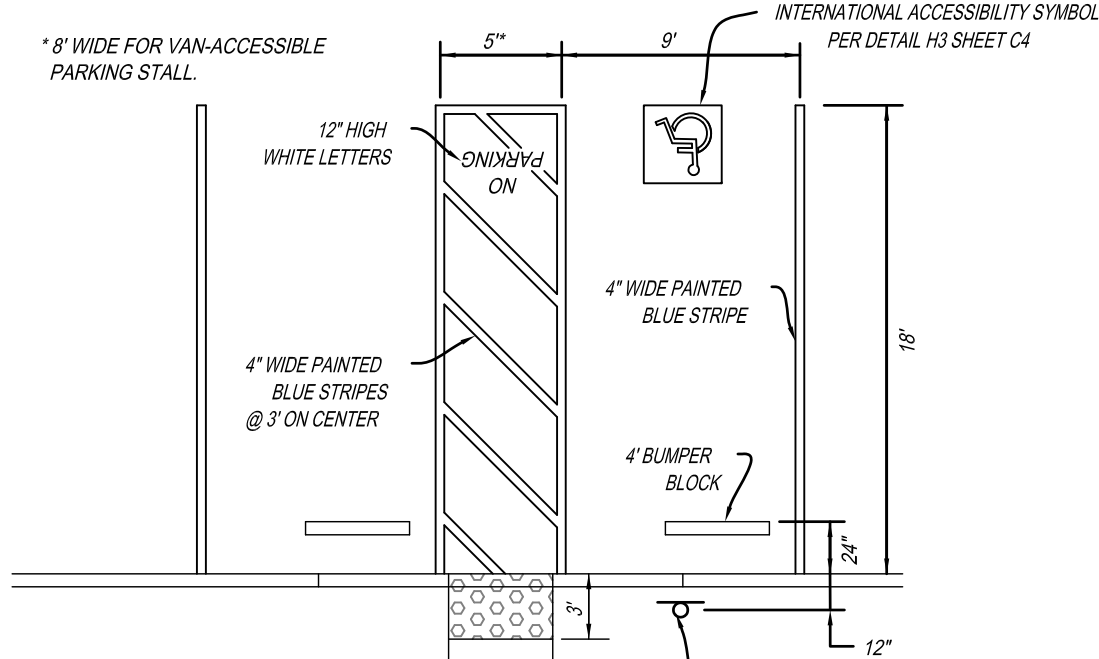
B SECTION LOOKING WEST
SCALE: N.T.S.



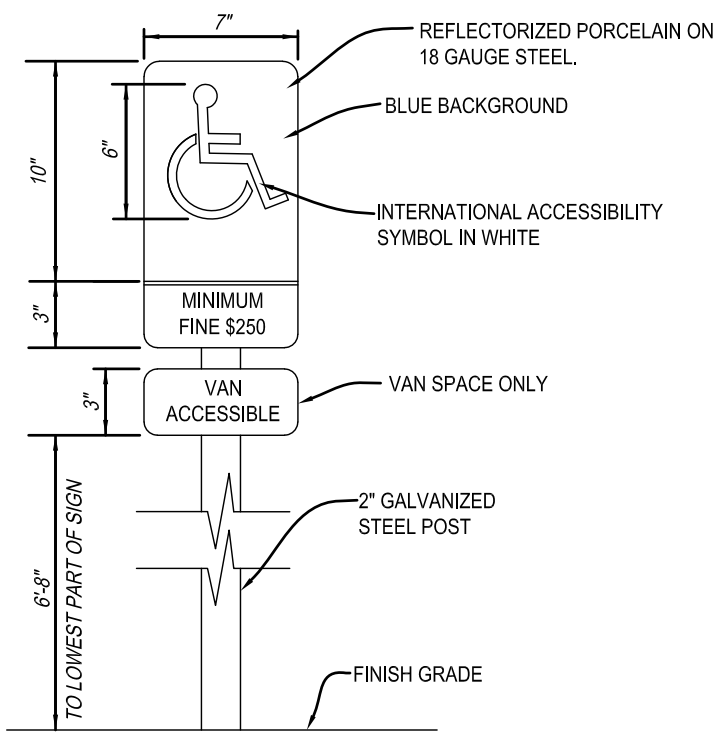
C SECTION LOOKING NORTH
SCALE: N.T.S.



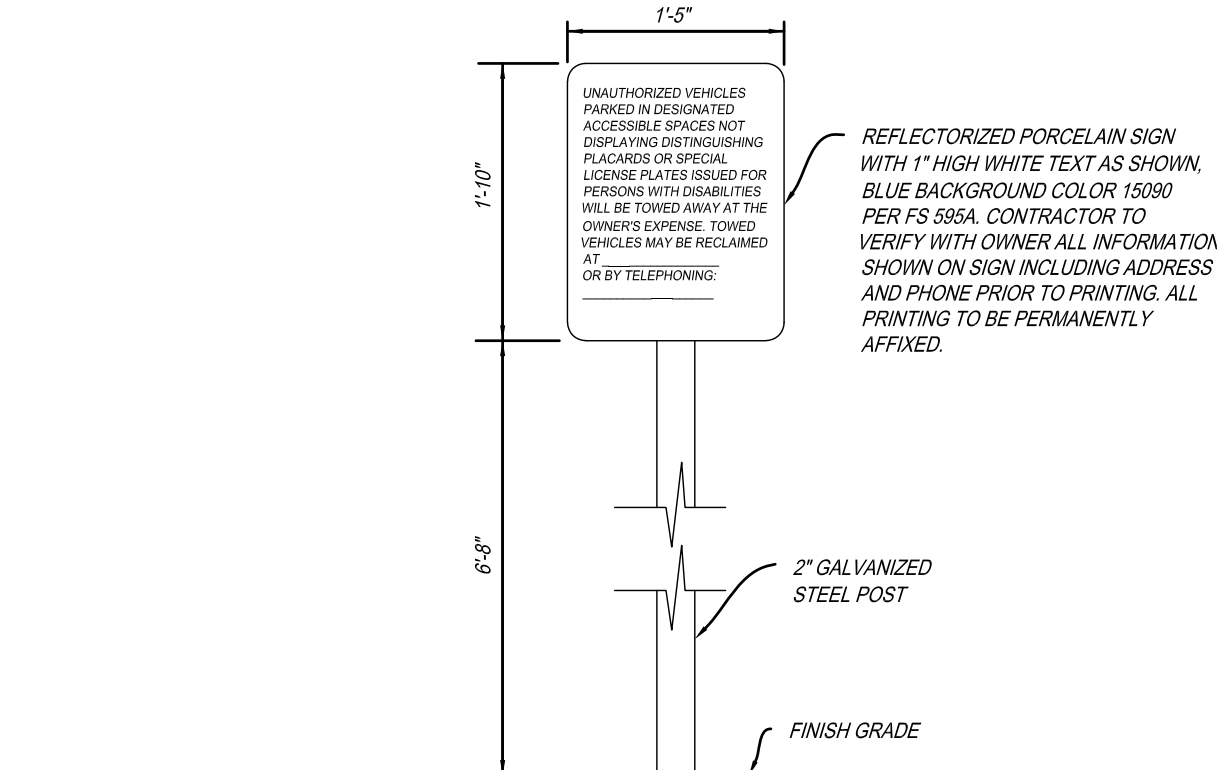
1 6" CONCRETE CURB
N.T.S.



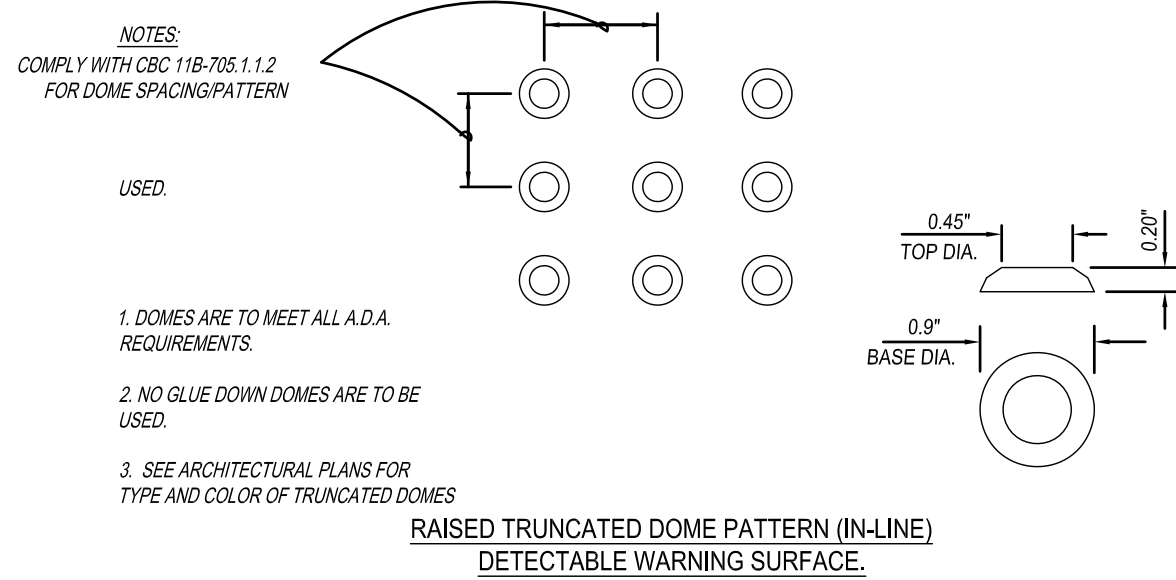
H2 ACCESSIBLE PARKING STALL
N.T.S.



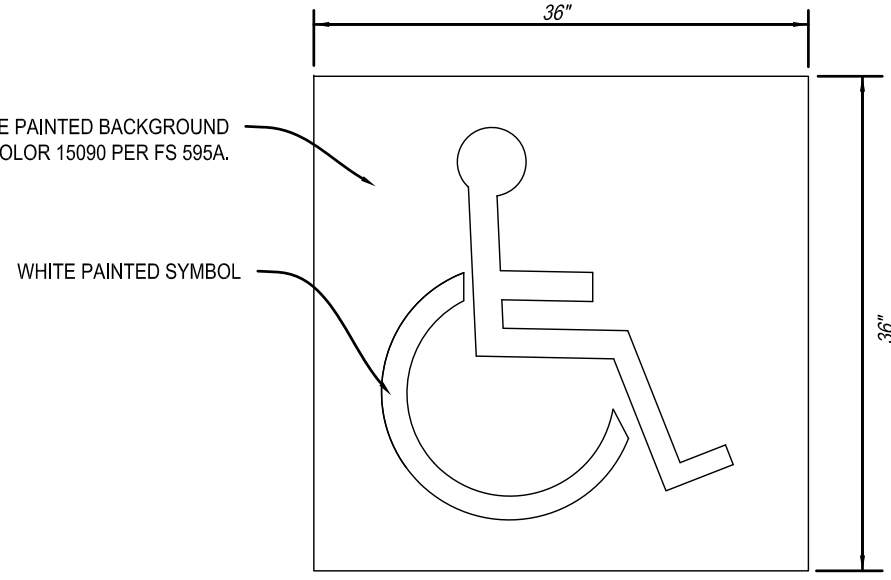
H4 ACCESSIBLE PARKING SPACE SIGN
N.T.S.



H5 ACCESSIBLE PARKING LOT ENTRANCE SIGN
N.T.S.



H1 TRUNCATED DOMES
N.T.S.



H3 INTERNATIONAL ACCESSIBILITY SYMBOL
N.T.S.

"M" STREET APARTMENTS
1209 "M" STREET
GRADING NOTES & DETAILS

JOB No.: 2497.23
FILE: "M" ST
DATE: 09/06/2024
DRAWN BY: AHD
CHECKED BY: JHH
SCALE: NO SCALE
SHEET



6.9-507

CITY RECORDS NO.

C2

2 OF 6 SHEETS

LANDMARK
SURVEYING & ENGINEERING
4624 DISTRICT BOULEVARD | BAKERSFIELD, CA 93313
TEL: (805) 858-1923 | FAX: (805) 858-1376 | WEB: LANDMARKSE.COM

NO.	DATE	REVISION DESCRIPTION
3	04/29/2024	3RD PLAN CHECK - COMMENT REVISIONS
2	03/14/2024	2ND PLAN CHECK - COMMENT REVISIONS
1	12/04/2023	1ST PLAN CHECK - COMMENT REVISIONS

Project: 23-4000064
Date: 9/27/2024



APPROVED

- LEGEND - EXISTING
- GRADE BREAK
- CENTERLINE
- PROPERTY LINE
- S8

EXISTING SANITARY SEWER LINE & SIZE (IF KNOWN)
- W8

EXISTING WATER LINE & SIZE (IF KNOWN)
- D8

EXISTING DRAIN LINE & SIZE (IF KNOWN)
- JT

EXISTING DRY UTILITY JOINT TRENCH
- OE

EXISTING OVERHEAD ELECTRICAL LINE
- T

EXISTING UNDERGROUND TELEPHONE LINE
- G

EXISTING UNDERGROUND GAS LINE
- FO

EXISTING UNDERGROUND FIBER OPTIC LINE

LEGEND - PROPOSED

S8

SDR-35 PVC SANITARY SEWER LINE & SIZE

W8

C900 WATER LINE & SIZE

D18

STORM DRAIN LINE & SIZE

G

GAS LINE

E

PROPOSED ELECTRICAL LINE (BY SEPARATE PLAN)

T

PROPOSED TELEPHONE LINE (BY SEPARATE PLAN)

FO

PROPOSED FIBER OPTIC LINE (BY SEPARATE PLAN)

⊙

PROPOSED HYDRANT

⊙

PROPOSED SANITARY SEWER CLEANOUT

⊙

PROPOSED SANITARY SEWER MANHOLE

⊙

PROPOSED STORM DRAIN MANHOLE

①

CONSTRUCTION NOTE - SEE SCHEDULE

CONSTRUCTION NOTES (THIS SHEET ONLY)

- ① POINT OF CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.
- ② INSTALL LATERAL CONNECTION TO EXISTING SEWER MAIN PER CITY STANDARD PLATE SW-7.
- ③ INSTALL 6" SEWER LATERAL @ 1% MIN. PER CITY STANDARD PLATE SW-1.
- ④ INSTALL SEWER CLEANOUT PER CITY STANDARD PLATE SW-5 & SW-6.
- ⑤ INSTALL 2" SERVICE CONNECTION W/ METER PER CITY STANDARD PLATE W-8.
- ⑥ INSTALL YARD BOX
- ⑦ CONSTRUCT TRENCH BACKFILL AND PAVEMENT PATCH PER CITY STANDARD PLATE ST-11 & ST-12.

ADDITIONAL NOTES

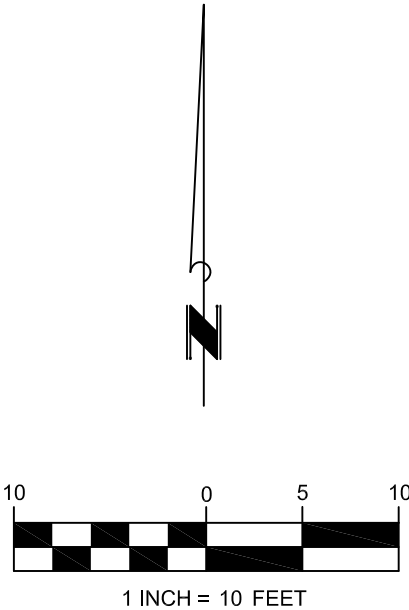
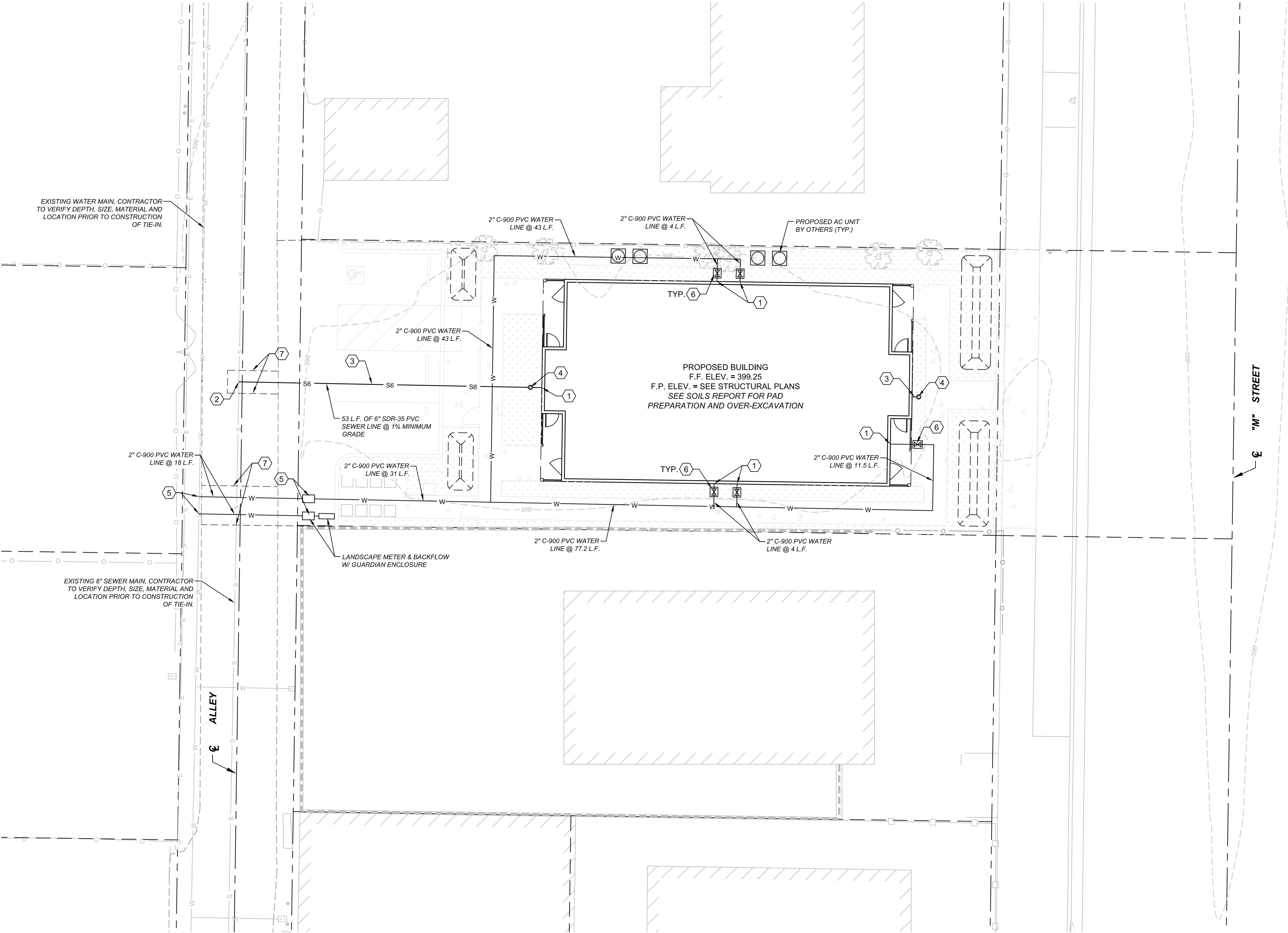
1. UTILITY POINT OF CONNECTIONS AT BUILDING ARE APPROXIMATE. PLEASE SEE ARCHITECTS PLAN FOR EXACT LOCATION.
2. CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. UTILITY PLANS TO BE UNDER SEPARATE PERMIT SUBMITTAL.

"M" STREET APARTMENTS
1209 "M" STREET
UTILITY PLAN

JOB No.:	2497.23
FILE:	"M" ST
DATE:	09/06/2024
DRAWN BY:	AHD
CHECKED BY:	JHH
SCALE:	1"=10'
SHEET	

C4

4 OF 6 SHEETS



"FOR REFERENCE ONLY"

6.9-507

CITY RECORDS NO.

EROSION, SEDIMENT AND DUST CONTROL PLAN

PROJECT STATISTICS	
1. PROPERTY LOCATION:	170 FEET NORTHWEST OF THE INTERSECTION OF CALIFORNIA AVE. AND "M" STREET, CITY OF BAKERSFIELD, COUNTY OF KERN, STATE OF CALIFORNIA
2. PROPERTY OWNER:	GEORGINA WONG GREAVES
3. PROJECT OPERATOR: (RESPONSIBLE FOR DUST CONTROL PLAN IMPLEMENTATION)	GOLDEN EMPIRE AFFORDABLE HOUSING
4. PROJECT ENGINEER: (RESPONSIBLE FOR DUST CONTROL PLAN PREPARATION)	LANDMARK SURVEYING AND ENGINEERING 4524 DISTRICT BLVD BAKERSFIELD, CA 93313 PHONE: (661) 859-1923 ATTN: MICHAEL DAUSTER
5. PROJECT TYPE:	CONSTRUCTION OF APARTMENT COMPLEX
6. DISTURBED AREA:	0.15 NET ACRES
7. PROPERTY BOUNDARY:	0.14 NET ACRES
8. AVERAGE DAILY EARTHWORK THROUGHOUT:	500 CY (APPROXIMATE)
9. START DATE:	OCTOBER 1ST, 2024
10. COMPLETION DATE:	JANUARY 1ST, 2025

1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT (SVAPCD) AND PROVIDE WRITTEN NOTIFICATION TO THE SVAPCD VIA FAX OR EMAIL WITHIN 10 DAYS PRIOR TO THE COMMENCEMENT OF EARTHMOVING ACTIVITIES.
2. THE CONTRACTOR SHALL PREVENT A DUST NUISANCE FROM ORIGINATING FROM THE SITE OF WORK AS A RESULT OF HIS OPERATIONS DURING THE EFFECTIVE PERIOD OF THIS PROJECT. PREVENTATIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO MITIGATE THE IMPACT OF DUST AND PM10 EMISSIONS ACCORDING TO THE SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT REGULATION VII (8). THE CONTRACTOR SHALL OBTAIN A COPY OF THE REGULATION FOR HIS USE. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PRE-ACTIVITY:
 - a) PRE-WATER SITE SUFFICIENT TO LIMIT VISIBLE DUST EMISSIONS (VDE) TO 20% OPACITY.
 - b) PHASE WORK TO REDUCE THE AMOUNT OF DISTURBED SURFACE AREA AT ANY ONE TIME.
 - B. DURING ACTIVE OPERATIONS:
 - a) APPLY WATER OR OTHER APPROVED SUBSTANCE SUFFICIENT TO LIMIT VISIBLE DUST EMISSIONS (VDE) TO 20% OPACITY.
 - b) LIMIT ACTIVITY TO PERIODS OF LOW OR NO WIND, OR CONSTRUCT AND MAINTAIN WIND BARRIERS SUFFICIENT TO LIMIT VDE TO 20% OPACITY.
 - c) APPLY WATER OR OTHER APPROVED SUBSTANCE TO UNPAVED HAUL/ACCESS ROADS AND UNPAVED VEHICLE/EQUIPMENT TRAFFIC AREAS SUFFICIENT TO LIMIT VDE TO 20% OPACITY AND MEET THE CONDITIONS OF A STABILIZED UNPAVED ROAD SURFACE.
 - C. TEMPORARY STABILIZATION DURING PERIODS OF INACTIVITY:
 - a) RESTRICT VEHICULAR ACCESS TO THE AREA.
 - b) APPLY WATER OR OTHER APPROVED SUBSTANCE SUFFICIENT TO COMPLY WITH THE CONDITIONS OF A STABILIZED SURFACE. IF ANY AREA HAVING 0.5 ACRES OR MORE OF DISTURBED SURFACE AREA REMAINS UNUSED FOR SEVEN OR MORE DAYS, THE AREA MUST COMPLY WITH THE CONDITIONS FOR A STABILIZED SURFACE AREA AS DEFINED IN RULE 8011.
 - D. CARRYOUT AND TRACKOUT ON PUBLIC ROADS:
 - a) ALL VISIBLE CARRYOUT AND TRACKOUT WITHIN 50 FEET OF THE SITE SHALL BE REMOVED AT THE END OF EACH WORKDAY. TRACKOUT BEYOND 50 FEET OR THE SITE SHALL BE REMOVED IMMEDIATELY.
 - b) CLEANUP SHALL BE ACCOMPLISHED BY MANUAL SWEEPING OR APPROVED EQUIPMENT AND METHOD AS SPECIFIED BY THE SVAPCD.
 - c) THE USE OF BLOWER DEVICES OR DRY ROTARY BRUSHES OR BROOMS, FOR REMOVAL OF CARRYOUT AND TRACKOUT ON PUBLIC ROADS IS EXPRESSLY PROHIBITED.
 - d) ANY PERMITS REQUIRED FOR MUD AND DIRT CLEANUP SHALL BE OBTAINED BY THE CONTRACTOR.
3. ALL CONSTRUCTION SHALL CONFORM TO THIS PLAN AND IMPLEMENTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE KERN COUNTY STORMWATER MANAGEMENT PROGRAM. CONTRACTOR SHALL OBTAIN A COPY OF THE PROGRAM FOR HIS OWN USE.
4. THE CONTRACTOR MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON.
5. NON-STORMWATER DISCHARGES SHALL BE PROHIBITED FROM ENTERING THE EXISTING STREET. IN NO CASE SHALL WATERS ORIGINATING FROM THE SITE OF WORK ENTER THE ADJACENT CANAL.
6. SEDIMENT CONTROL PRACTICES SHALL EFFECTIVELY PREVENT A NET INCREASE OF SEDIMENT LOAD IN DOWNSTREAM DISCHARGE.
7. ALL REMOVABLE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE-DAY RAIN PROBABILITY FORECAST EXCEEDS FORTY PERCENT (40%).
8. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOV. 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ONSITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR DAMAGED EROSION CONTROL MEASURES OR SEDIMENT CONTROL MEASURES WHEN RAIN IS IMMINENT.
9. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, DESILTING BASINS AND OTHER DEVICES, ANY DEVICES AND SLOPE SURFACE PROTECTION DAMAGED DURING A RAINSTORM SHALL BE IMMEDIATELY REPAIRED.
10. POLLUTANTS SHALL BE REMOVED FROM STORMWATER DISCHARGES TO THE MAXIMUM EXTENT PRACTICABLE (MEP).
11. PORTABLE SANITARY FACILITIES SHALL BE LOCATED ON RELATIVELY EVEN GROUND AWAY FROM TRAFFIC AREAS, DRAINAGE COURSES, AND STORM DRAIN INLETS AND MUST HAVE APPROPRIATE CONTAINMENT AS REQUIRED BY THE STATE GENERAL CONSTRUCTION PERMIT.
12. EMPLOYEES, SUBCONTRACTORS AND SUPPLIERS SHALL BE EDUCATED BY THE DEVELOPER OR HIS GENERAL CONTRACTOR ON ALL BEST MANAGEMENT PRACTICES (BMPs) INCLUDING CONCRETE WASTE STORAGE AND DISPOSAL PROCEDURES.



C5

