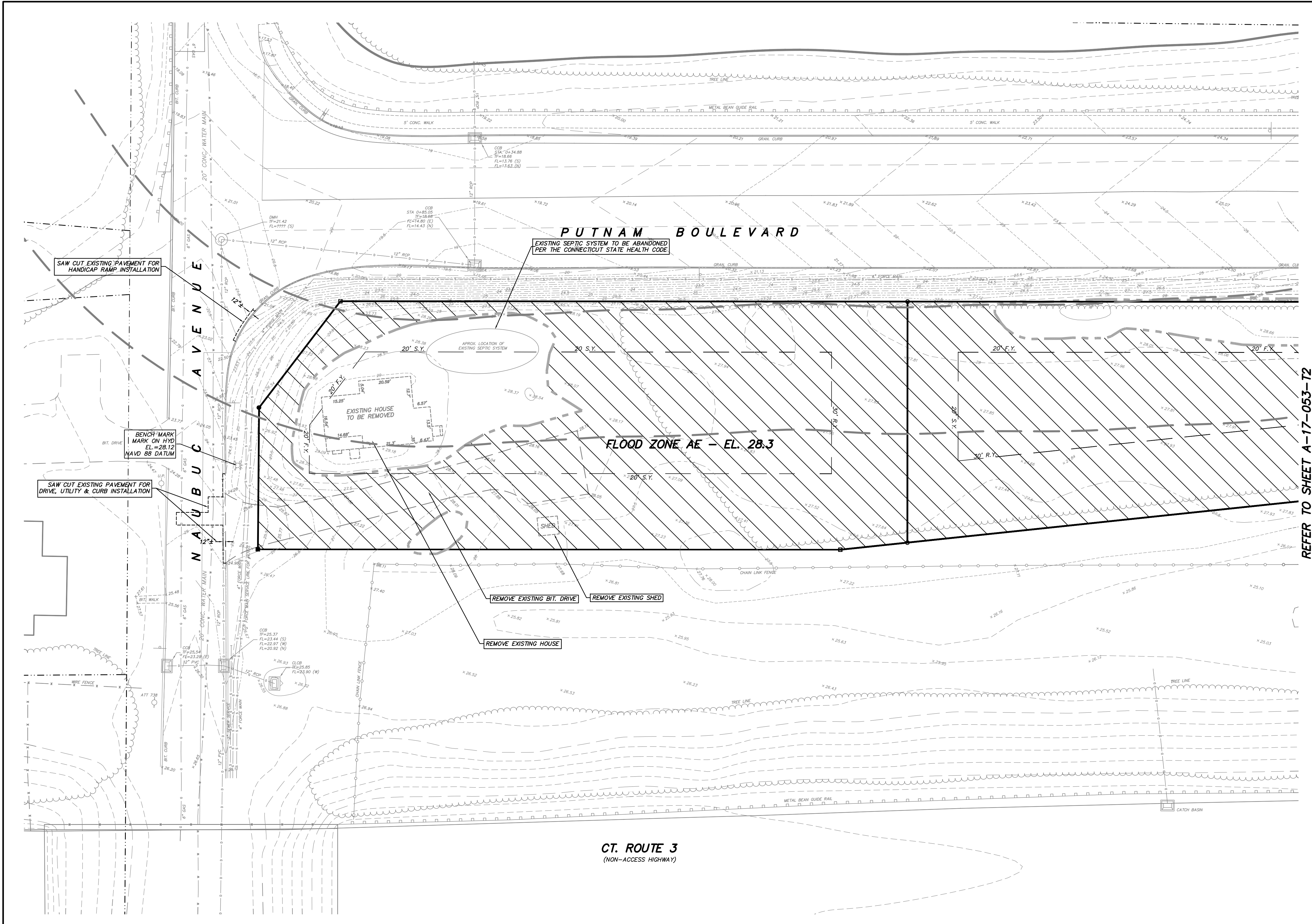
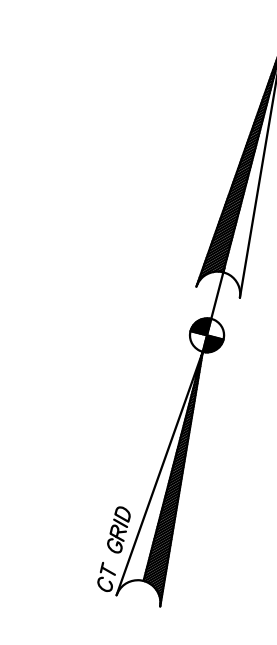
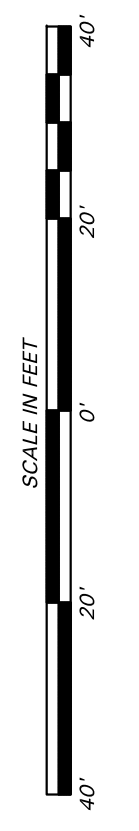


TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TCMU / FLOOD
 PROJECT / APPLICANT ZONE
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.



REFER TO SHEET A-17-053-T2

DEMOLITION NOTES

A DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWN OF GLASTONBURY PRIOR TO ANY DEMOLITION ACTIVITY.

A LICENSED DEMOLITION CONTRACTOR MUST CONDUCT THE DEMOLITION WORK.

ALL UTILITY CONNECTIONS SHALL BE ABANDONED AS REQUIRED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO THE BEGINNING DEMOLITION WORK.

ALL DEMOLITION MATERIALS SHALL BE DISPOSED OF AT APPROVED LOCATIONS AND IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS.

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4453 OR 911.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.

THE TYPE OF SURVEY PERFORMED IS A TOPOGRAPHICAL.
 THIS MAP DOES NOT REFLECT A PROPERTY BOUNDARY OPINION.
 THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
 THIS SURVEY CONFORMS TO TOPOGRAPHIC ACCURACY CLASS T-2.
 THIS SURVEY CONFORMS TO VERTICAL ACCURACY CLASS V-2.
 THIS MAP WAS PREPARED FOR THE PURPOSE OF SITE DESIGN.

TOPOGRAPHIC INFORMATION, UTILITY LOCATIONS AND ELEVATIONS SHOWN PER FIELD SURVEY.
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. CALL BEFORE YOU DIG 1-800-922-4453.

ELEVATIONS REFER TO NAVD 1988 AND ARE BASED ON VERTICAL CONTROL DATA PROVIDED BY THE TOWN OF GLASTONBURY.
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
 THIS MAP IS NOT VALID UNLESS IT BEARS THE LIVE SIGNATURE AND SEAL OF THE UNDERSIGNED SURVEYOR.

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

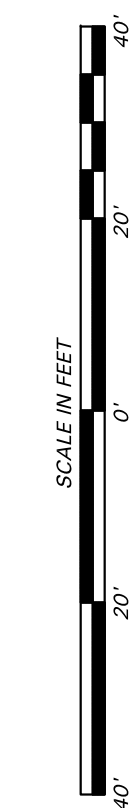
JAMES W. DUTTON, L.S. #70074
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**TOPOGRAPHIC SURVEY
 EXISTING CONDITIONS PLAN
 PREPARED FOR
 476 NAUBUC AVENUE
 LOVLEY DEVELOPMENT, INC.**
 GLASTONBURY, CONNECTICUT

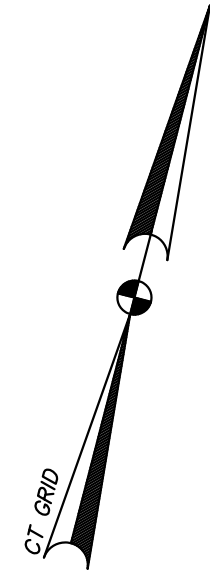
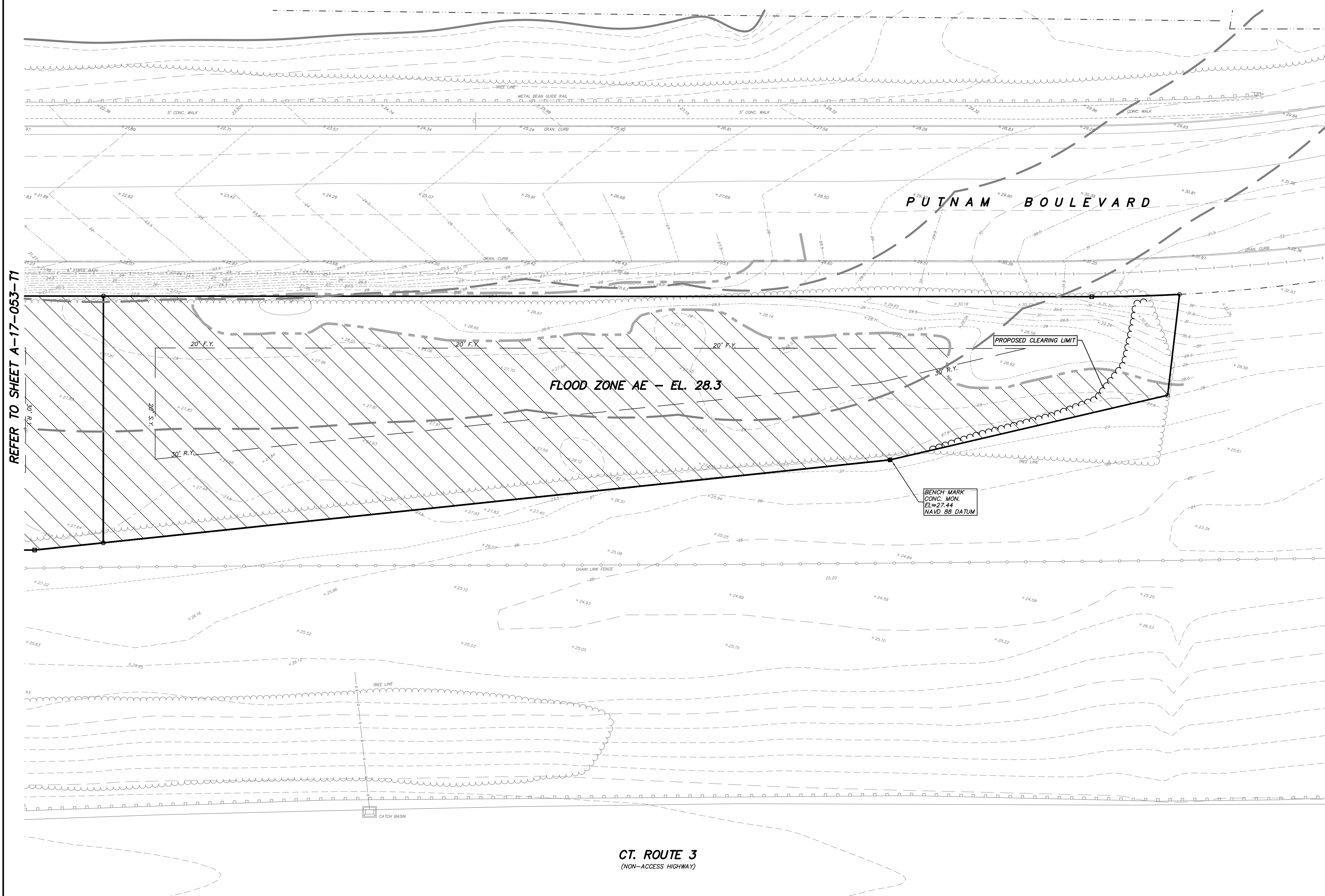
REVISIONS:
COMMENTS 11/07/2018
01-16-2019 - CONDITIONS
DATE: 02/08/2018
SCALE: 1" = 20'
SHEET 3 of 23
A-17-053-T1
FILE: 17053.DWG

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TCMU / FLOOD
 PROJECT / APPLICANT ZONE
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.



REFER TO SHEET A-17-053-T1



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

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 © 2018 - DUTTON ASSOCIATES, LLC

**TOPOGRAPHIC SURVEY
 EXISTING CONDITIONS PLAN
 PREPARED FOR
 LOVLEY DEVELOPMENT, INC.**
 476 NAUBUC AVENUE
 GLASTONBURY, CONNECTICUT

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ELEVATIONS REFER TO NAVD 1988 AND ARE BASED ON VERTICAL CONTROL DATA PROVIDED BY THE TOWN OF GLASTONBURY.
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REVISIONS:
COMMENTS 11/07/2018
01-16-2019 - CONDITIONS
DATE: 02/08/2018
SCALE: 1" = 20'
SHEET 4 of 23
A-17-053-T2
FILE: 17053.DWG

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TCMU / FLOOD
 PROJECT / APPLICANT ZONE
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

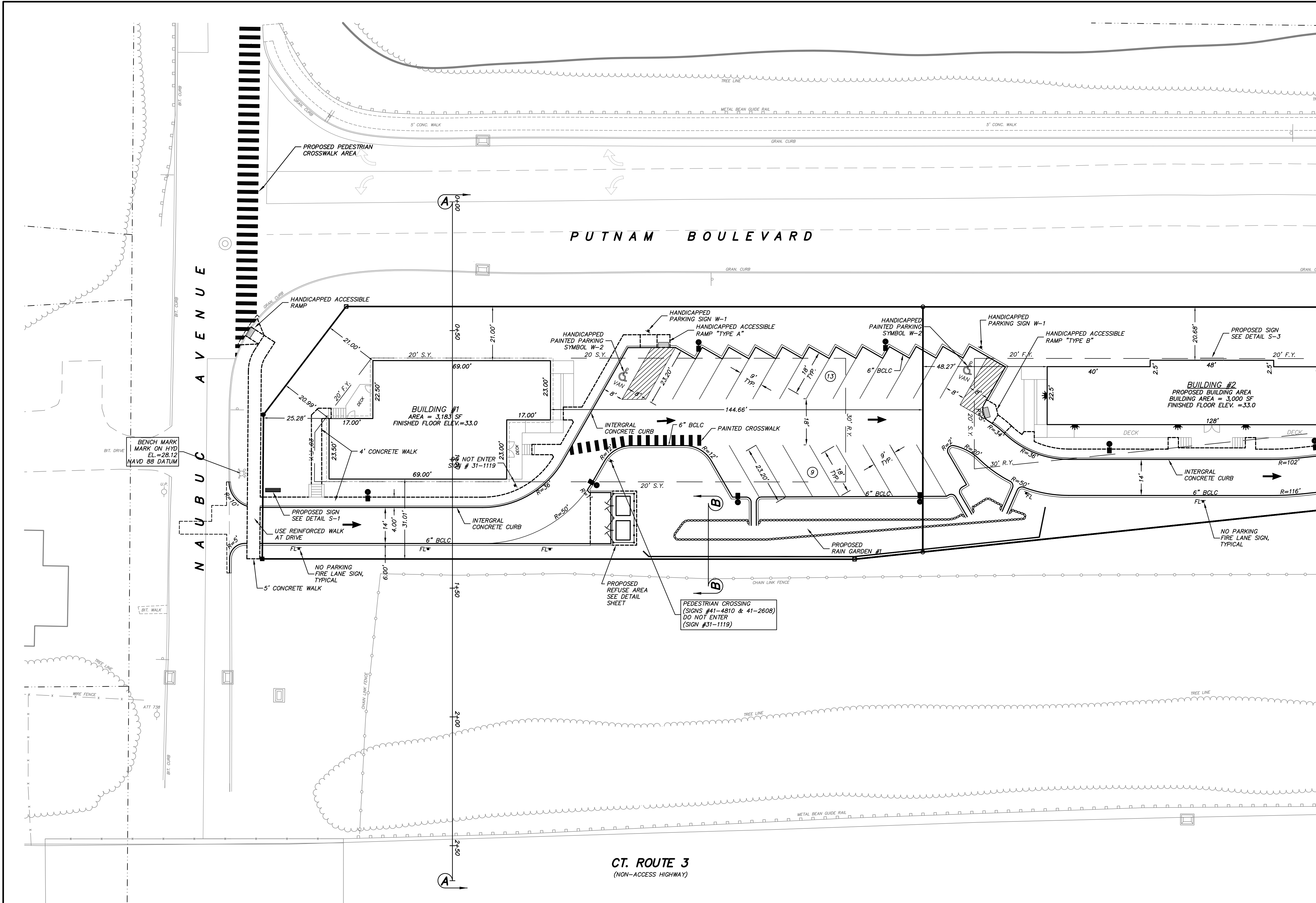
DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

LAYOUT PLAN
 476 NAUBUC AVENUE
 PREPARED FOR
LOVLEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:
 COMMENTS 11/07/2018
 01-16-2019 - CONDITIONS

DATE: 02/08/2018
 SCALE: 1" = 20'
 SHEET 5 of 23
A-17-053-L1
 FILE: 17053.DWG



REFER TO SHEET A-17-053-12

STORM SEWER MAINTENANCE PLAN

THE STORM SEWER MANAGEMENT AND WATER QUALITY SYSTEM(S) FOR THIS DEVELOPMENT CONSISTS OF A ROOF DRAIN COLLECTION SYSTEM, TWO CATCH BASIN INLETS & PIPING AND SEVERAL PAVED LEAK-OFFS, ALL OF WHICH DIRECT STORM WATER FLOW TO TWO RAIN GARDENS. OUTFLOW FROM THE RAIN GARDENS DURING LARGE STORM EVENTS IS VIA A LEVEL SPREADER. PROPER MAINTENANCE OF ALL ELEMENTS OF THE SYSTEMS ARE CRITICAL TO THE LONG TERM SUCCESS AND PROPER FUNCTION OF THE SYSTEMS. TO ACCOMPLISH THIS, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED AS DESCRIBED AS BELOW.

SPRING MAINTENANCE:

THE SPRING MAINTENANCE SHALL BE CONDUCTED FOLLOWING SNOW MELT AND PRIOR TO VEGETATION BLOOM AND SHALL CONSIST OF THE FOLLOWING TASKS:

- 1) SWEEP ALL ACCUMULATED SAND AND DEBRIS FROM THE PARKING AREAS, REMOVE ACCUMULATED LANDSCAPE DEBRIS (LEAVES, STICKS, ETC.) FROM ETC.) SITE.
- 2) INSPECT ROOF GUTTERS AND REMOVE ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 3) INSPECT VISIBLE ELEMENTS OF THE ROOF DRAIN COLLECTION SYSTEM AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 4) INSPECT ALL CATCH BASIN INLETS AND REMOVE ACCUMULATED SEDIMENT AND DEBRIS AS REQUIRED. REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 5) INSPECT THE PAVED LEAK-OFFS, REMOVE ANY ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 6) INSPECT THE RAIN GARDENS, REMOVE ALL ACCUMULATED DEBRIS (LEAVES, STICKS, SEDIMENT, ETC.), INSPECT THE MULCH, REMOVE DEGRADED MULCH AND REPLACE AS REQUIRED.
- 7) INSPECT THE LEVEL SPREADER AND REPAIR DAMAGED ELEMENTS AS REQUIRED.

FALL MAINTENANCE

FALL MAINTENANCE SHALL OCCUR FOLLOWING LEAF DROP, PRIOR TO SNOW FALL AND SHALL CONSIST OF ALL OF THE TASKS DESCRIBED ABOVE FOR "SPRING MAINTENANCE".

NOTE: ALL COLLECTED SEDIMENT AND DEBRIS SHALL BE DISPOSED OF AT A SUITABLE AND APPROVED LOCATION IN ACCORDANCE WITH ANY APPLICABLE LAW AND OR REGULATION.

IMPERVIOUS AREA SCHEDULE

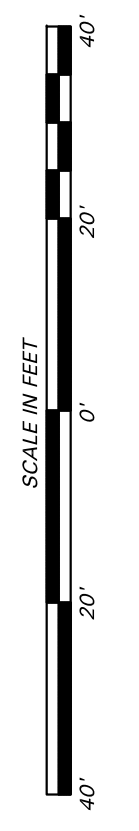
PRE-DEVELOPMENT		POST-DEVELOPMENT	
IMPERVIOUS (S.F.)	PERVIOUS (S.F.)	IMPERVIOUS (S.F.)	PERVIOUS (S.F.)
3,189	50,789	26,940	26,985

UNDERGROUND UTILITY NOTE:
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INSPECTION NOTE:
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TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TCMU / FLOOD
 PROJECT / APPLICANT ZONE
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.



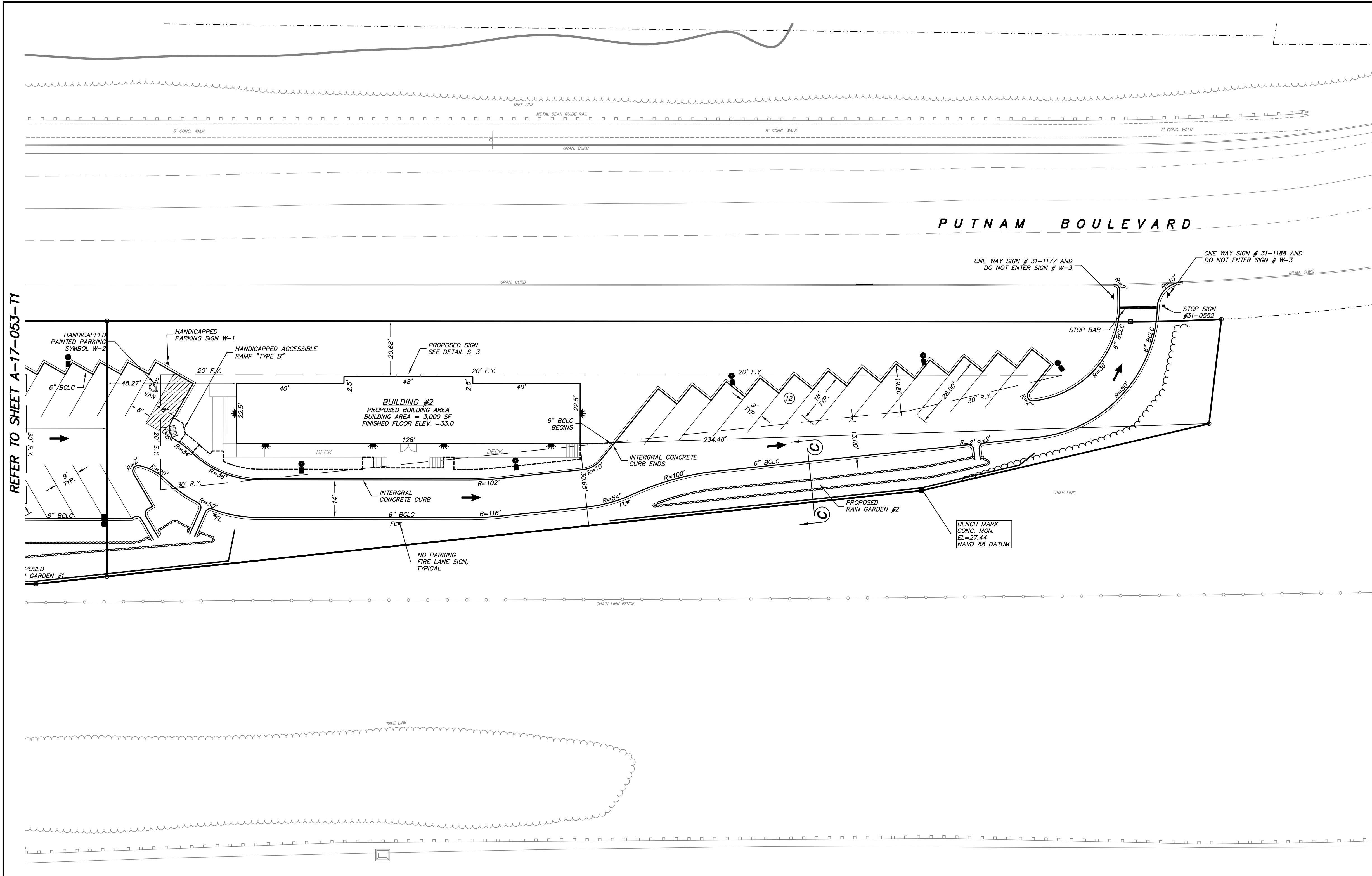
DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
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JOHN R. MARTUCCI, P.E. #19494

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LAYOUT PLAN
 476 NAUBUC AVENUE
 LOVLEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:
 COMMENTS 11/07/2018
 01-16-2019 - CONDITIONS
 DATE: 02/08/2018
 SCALE: 1" = 20'
 SHEET 6 of 23
A-17-053-L2
 FILE: 17053.DWG



REFER TO SHEET A-17-053-T1

STORM SEWER MAINTENANCE PLAN

THE STORM SEWER MANAGEMENT AND WATER QUALITY SYSTEM(S) FOR THIS DEVELOPMENT CONSISTS OF A ROOF DRAIN COLLECTION SYSTEM, TWO CATCH BASIN INLETS & PIPING AND SEVERAL PAVED LEAK-OFFS, ALL OF WHICH DIRECT STORM WATER FLOW TO TWO RAIN GARDENS. OUTFLOW FROM THE RAIN GARDENS DURING LARGE STORM EVENTS IS VIA A LEVEL SPREADER. PROPER MAINTENANCE OF ALL ELEMENTS OF THE SYSTEMS ARE CRITICAL TO THE LONG TERM SUCCESS AND PROPER FUNCTION OF THE SYSTEMS. TO ACCOMPLISH THIS, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED AS DESCRIBED AS BELOW.

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- 3) INSPECT VISIBLE ELEMENTS OF THE ROOF DRAIN COLLECTION SYSTEM AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
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IMPERVIOUS AREA SCHEDULE

PRE-DEVELOPMENT		POST-DEVELOPMENT	
IMPERVIOUS (S.F.)	PERVIOUS (S.F.)	IMPERVIOUS (S.F.)	PERVIOUS (S.F.)
3,189	50,789	26,940	26,985

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INSPECTION NOTE:
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CT. ROUTE 3
 (NON-ACCESS HIGHWAY)

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TMU / FLOOD
 PROJECT / APPLICANT ZONE

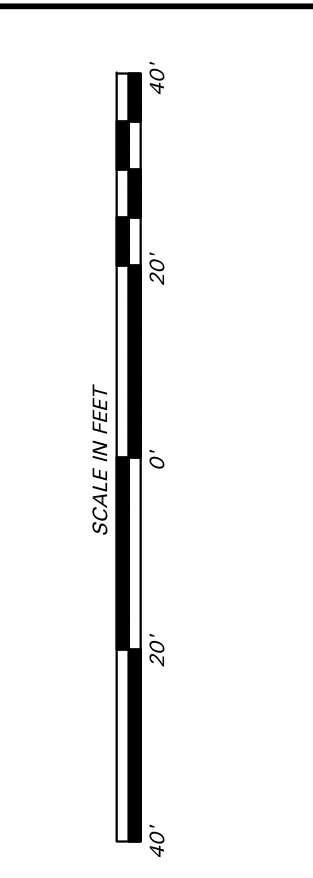
476 NAUBUC AVENUE
 PROJECT ADDRESS

12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN

SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR

FILE NO.

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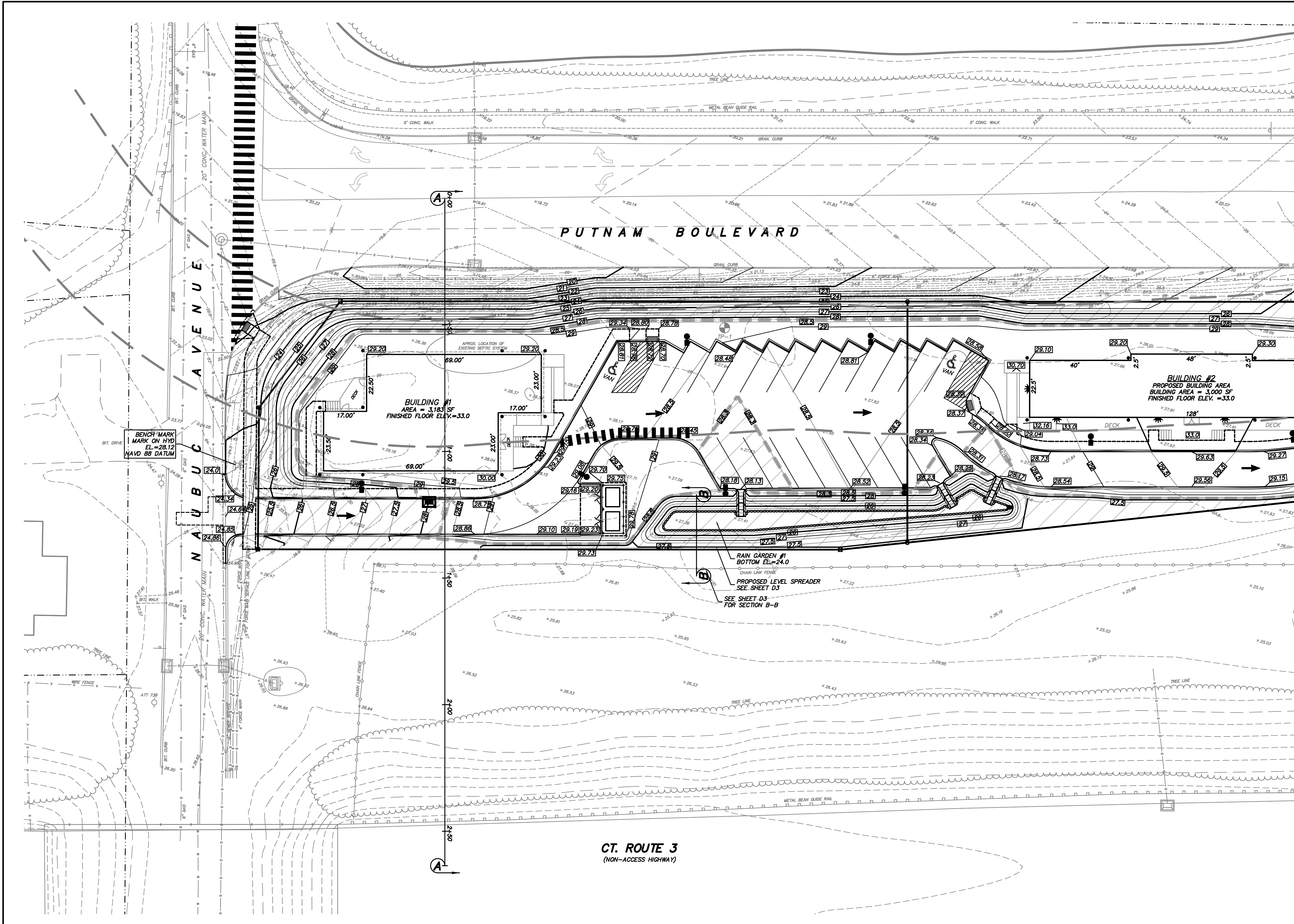
DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
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 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

GRADING PLAN
 PREPARED FOR
476 NAUBUC AVENUE
LOVLEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:
 COMMENTS 11/07/2018
 01-16-2019 - CONDITIONS

DATE: 02/08/2018
 SCALE: 1" = 20'
 SHEET 7 of 23
A-17-053-G1
 FILE: 17053.DWG



REFER TO SHEET A-17-053-72

STORM SEWER MAINTENANCE PLAN
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NOTE: ALL COLLECTED SEDIMENT AND DEBRIS SHALL BE DISPOSED OF AT A SUITABLE AND APPROVED LOCATION IN ACCORDANCE WITH ANY APPLICABLE LAW AND OR REGULATION.

COMPENSATORY FLOOD STORAGE NOTE:

THIS SITE LIES WITHIN A FEMA SPECIAL FLOOD HAZARD ZONE. PER THE TOWN OF GLASTONBURY FLOOD ZONE REGULATIONS, THE FLOOD STORAGE VOLUME ON THE SITE SHALL NOT BE REDUCED BY ANY NEW CONSTRUCTION.
 THE GRADING DEPICTED HEREON IS IN CONFORMANCE WITH THE ABOVE REQUIREMENT.
 A COMPARISON OF THE EXISTING GRADES TO THE PROPOSED GRADES WILL RESULT IN A TOTAL CUT OF 933 CUBIC YARDS AND A TOTAL FILL OF 505 CUBIC YARDS, THE NET RESULT BEING AN INCREASE OF 428 CUBIC YARDS OF COMPENSATORY FLOOD STORAGE.

IMPERVIOUS AREA SCHEDULE

PRE-DEVELOPMENT		POST-DEVELOPMENT	
IMPERVIOUS (S.F.)	PERVIOUS (S.F.)	IMPERVIOUS (S.F.)	PERVIOUS (S.F.)
3,189	50,789	26,940	26,985

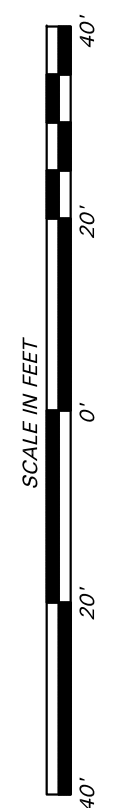
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INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735.

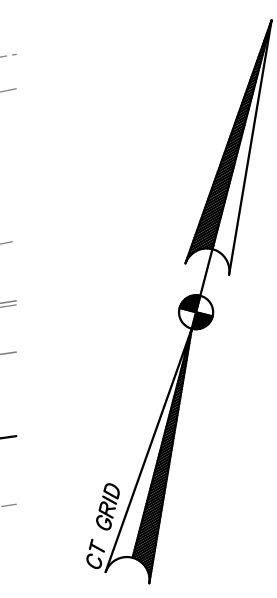
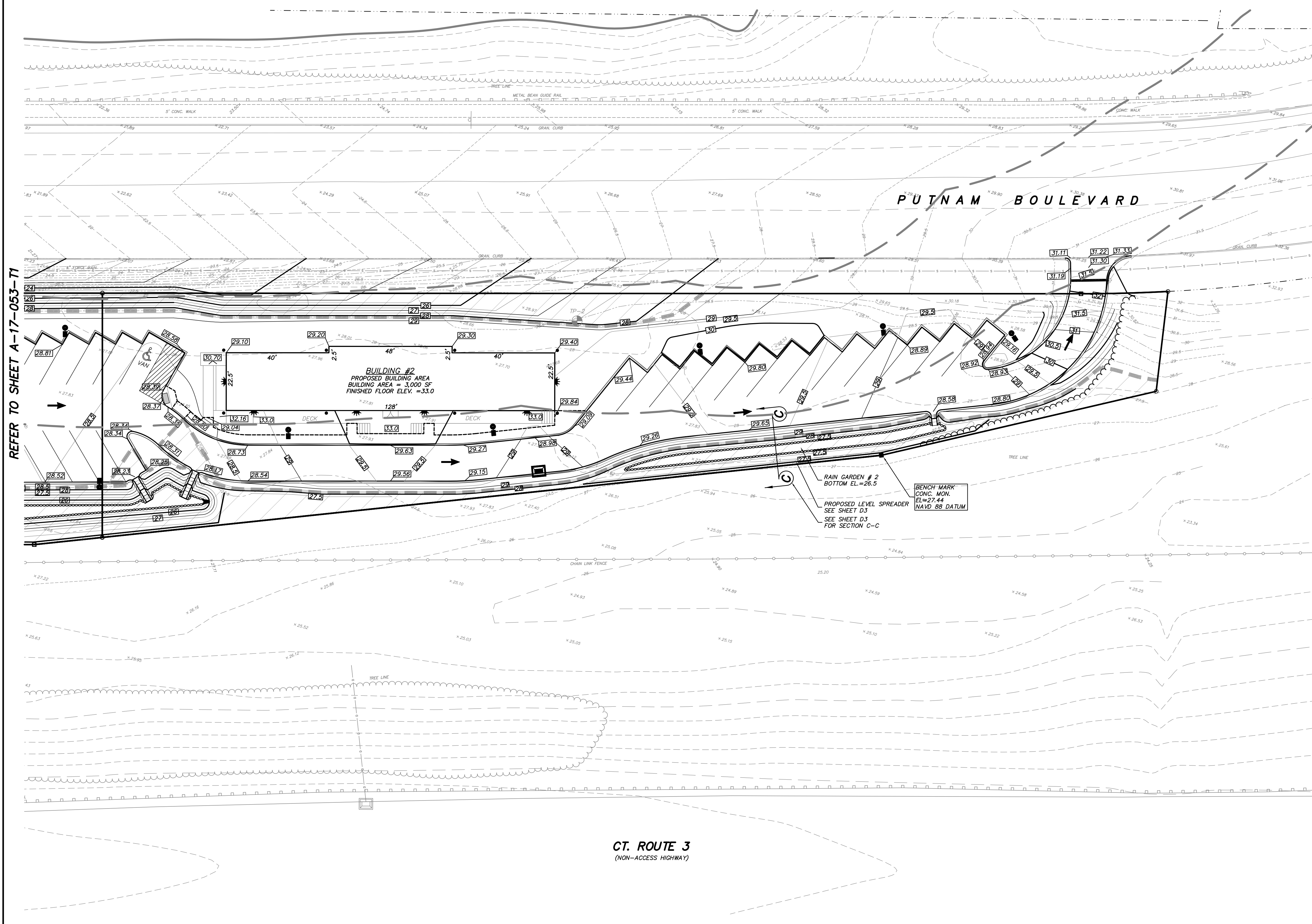
CT. ROUTE 3
 (NON-ACCESS HIGHWAY)

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TMU / FLOOD
 PROJECT / APPLICANT ZONE
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.



REFER TO SHEET A-17-053-71



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
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JOHN R. MARTUCCI, P.E. #19494

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GRADING PLAN
 PREPARED FOR
476 NAUBUC AVENUE
LOVLEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

STORM SEWER MAINTENANCE PLAN
 THE STORM SEWER MANAGEMENT AND WATER QUALITY SYSTEM(S) FOR THIS DEVELOPMENT CONSISTS OF A ROOF DRAIN COLLECTION SYSTEM, TWO CATCH BASIN INLETS & PIPING AND SEVERAL PAVED LEAK-OFFS, ALL OF WHICH DIRECT STORM WATER FLOW TO TWO RAIN GARDENS. OUTFLOW FROM THE RAIN GARDENS DURING LARGE STORM EVENTS IS VIA A LEVEL SPREADER. PROPER MAINTENANCE OF ALL ELEMENTS OF THE SYSTEMS ARE CRITICAL TO THE LONG TERM SUCCESS AND PROPER FUNCTION OF THE SYSTEMS. TO ACCOMPLISH THIS, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED AS DESCRIBED AS BELOW.

- SPRING MAINTENANCE:**
 THE SPRING MAINTENANCE SHALL BE CONDUCTED FOLLOWING SNOW MELT AND PRIOR TO VEGETATION BLOOM AND SHALL CONSIST OF THE FOLLOWING TASKS:
- 1) SWEEP ALL ACCUMULATED SAND AND DEBRIS FROM THE PARKING AREAS, REMOVE ACCUMULATED LANDSCAPE DEBRIS (LEAVES, STICKS, ETC.) FROM ETC.) SITE.
 - 2) INSPECT ROOF GUTTERS AND REMOVE ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
 - 3) INSPECT VISIBLE ELEMENTS OF THE ROOF DRAIN COLLECTION SYSTEM AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
 - 4) INSPECT ALL CATCH BASIN INLETS AND REMOVE ACCUMULATED SEDIMENT AND DEBRIS AS REQUIRED. REPAIR DAMAGED ELEMENTS AS REQUIRED.
 - 5) INSPECT THE PAVED LEAK-OFFS, REMOVE ANY ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
 - 6) INSPECT THE RAIN GARDENS, REMOVE ALL ACCUMULATED DEBRIS (LEAVES, STICKS, SEDIMENT, ETC.), INSPECT THE MULCH, REMOVE DEGRADED MULCH AND REPLACE AS REQUIRED.
 - 7) INSPECT THE LEVEL SPREADER AND REPAIR DAMAGED ELEMENTS AS REQUIRED.

FALL MAINTENANCE
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IMPERVIOUS AREA SCHEDULE

PRE-DEVELOPMENT		POST-DEVELOPMENT	
IMPERVIOUS (S.F.)	PERVIOUS (S.F.)	IMPERVIOUS (S.F.)	PERVIOUS (S.F.)
3,189	50,789	26,940	26,985

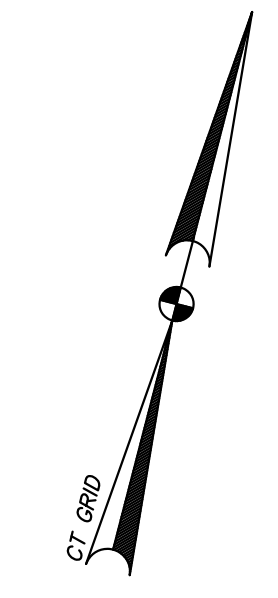
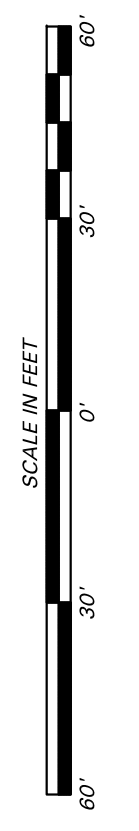
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REVISIONS:
 COMMENTS 11/07/2018
 01-16-2019 - CONDITIONS
 DATE: 02/08/2018
 SCALE: 1" = 20'
 SHEET 8 of 23
A-17-053-G2
 FILE: 17053.DWG

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVELEY DEVELOPMENT, INC. TCMU / FLOOD
 PROJECT / APPLICANT ZONE
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
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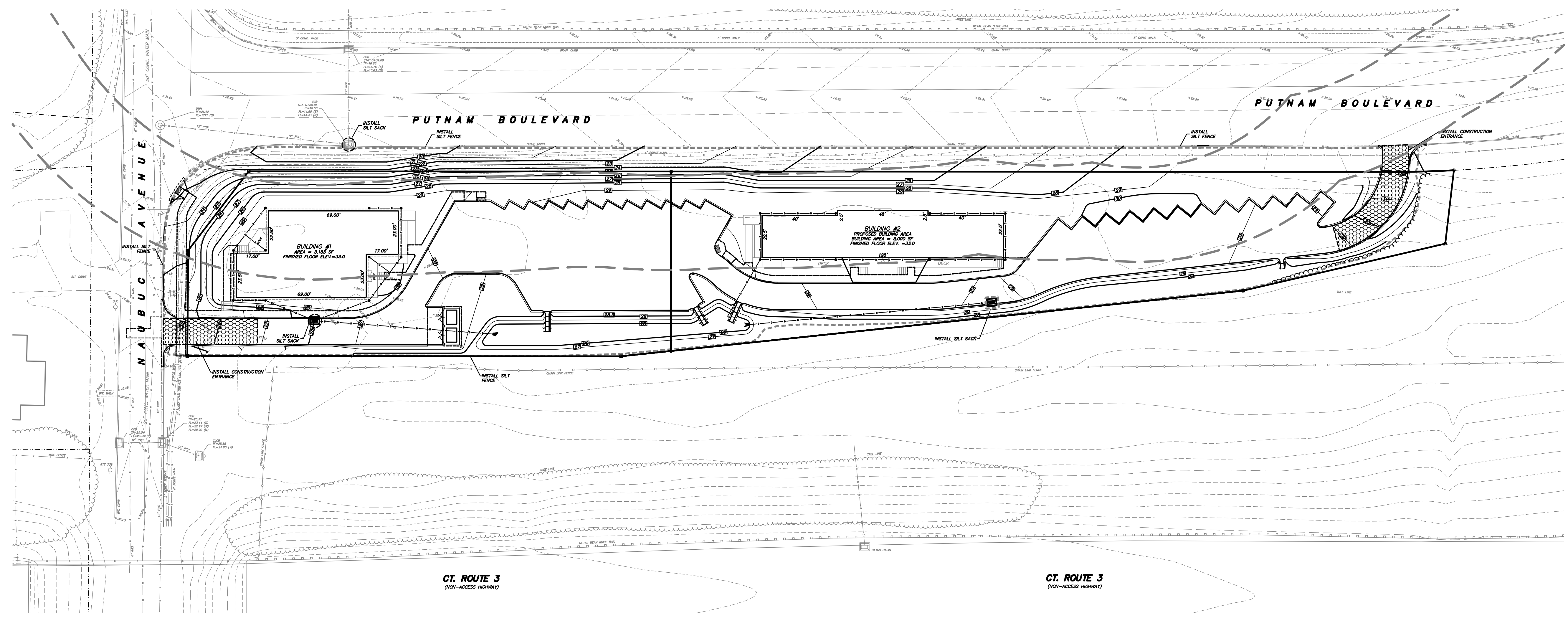
DUTTON ASSOCIATES, LLC
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 67 EASTERN BOULEVARD
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 TEL: 860-633-9401 FAX: 860-633-8951
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GRADING AND EROSION & SEDIMENTATION CONTROL
 476 NAUBUC AVENUE
 PREPARED FOR
LOVELEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:
 COMMENTS 11/07/2018
 01-15-2019 - CONDITIONS
 DATE: 02/08/2018
 SCALE: 1" = 30'
 SHEET 9 of 23
A-17-053-E1
 FILE: 17053.DWG



IMPERVIOUS AREA SCHEDULE

PRE-DEVELOPMENT		POST-DEVELOPMENT	
IMPERVIOUS (S.F.)	PERVIOUS (S.F.)	IMPERVIOUS (S.F.)	PERVIOUS (S.F.)
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TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TMU / FLOOD
 PROJECT / APPLICANT ZONE

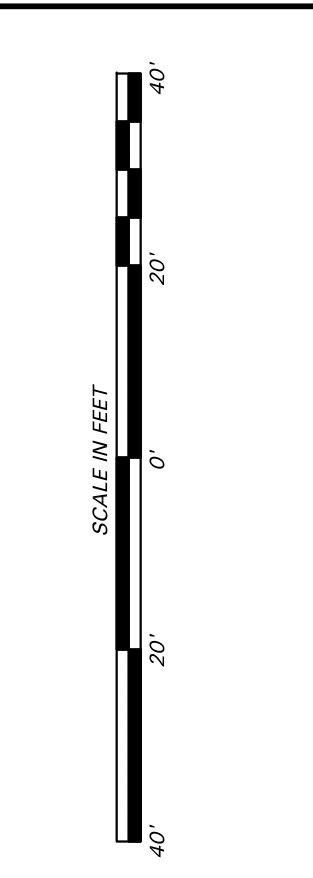
476 NAUBUC AVENUE
 PROJECT ADDRESS

12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN

SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR

FILE NO.

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LIGHTING DESIGN BY

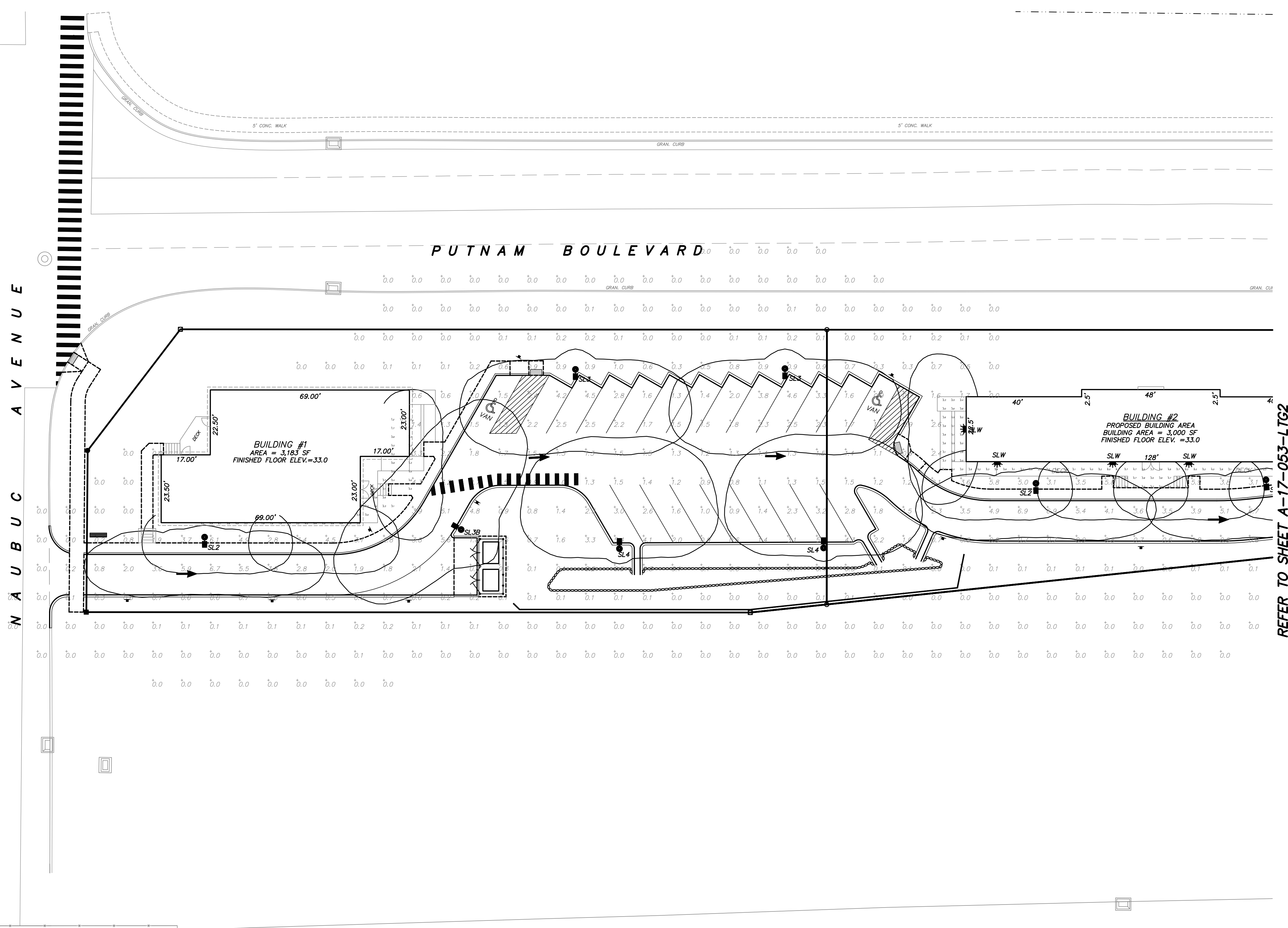
APEX
 LIGHTING SOLUTIONS
 THE POINT WHERE ALL ADDING LINES CONVERGE

20-30 BEAVER RD.
 WETHERSFIELD, CT 06109
 TELEPHONE 860.632.8766
 FACSIMILE 860.632.8256
 WWW.APEXLTG.COM

GENERAL DISCLAIMER:
 Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to differences in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations, such as room dimensions, reflectances, furniture and architectural details, significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.
 * LUF Determined Using Current Published Lamp Data

NOTE TO REVIEWER:
 Total Light Loss Factor (LLF) applied at time of design is determined by applying the Light Loss Factor (LLF) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended value and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.
 For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factor.

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
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 GLASTONBURY, CONNECTICUT 06033
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 EMAIL: JIM@DUTTONASSOCIATESLLC.COM



REFER TO SHEET A-17-053-LTG2

CT. ROUTE 3
 (NON-ACCESS HIGHWAY)

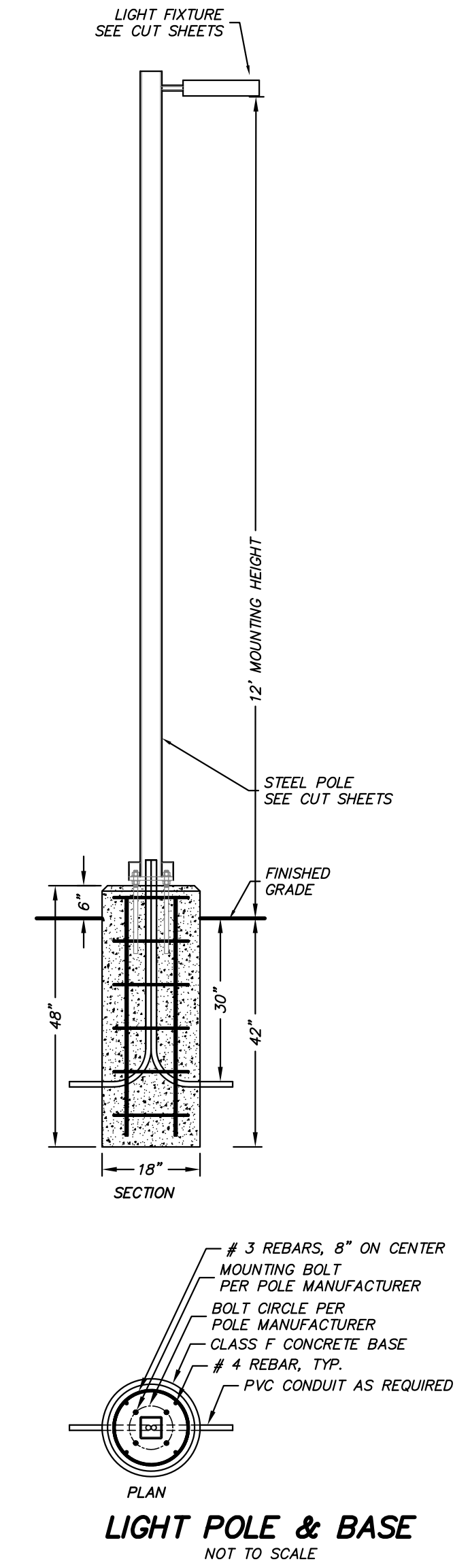
JOB NAME: 476 NAUBUC AVE
 APEX LIGHTING SOLUTIONS
 REFLECTANCES: N/A
 WORKPLANE/CALC PLANE: 8 GRADE
 MOUNTING HEIGHT: LEFT AVE
 APP: CE
 SCALE: 1/8"

Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LUF	BSG Rating	Description
3	SL2	SINGLE	5357	55.7	0.850	B1+01-01	GARCO SCF-0-321-530-WM-02-AR-3-0RV-H1E+* MOUNTED TO SS04-12-4-11-D1+*
4	SL3	SINGLE	5349	55.7	0.850	B1+01-02	GARCO SCF-0-321-530-WM-02-AR-3-0RV-H1E+* MOUNTED TO SS04-12-4-11-D1+*
3	SL4	SINGLE	5359	55.7	0.850	B1+01-02	GARCO SCF-0-321-530-WM-02-AR-4-0RV-H1E+* MOUNTED TO SS04-12-4-11-D1+*
1	SL3B	SINGLE	6715	55.7	0.850	B1+01-02	GARCO SCF-0-321-530-WM-02-AR-3-0RV+* MOUNTED TO SS04-12-4-11-D1+*
3	SLW	SINGLE	2487	14	0.850	B1+01-01	GARCO L11-161-530-WM-01-3-REFC-0RV+* (NORMAL MODE) WALL MOUNTED 8 FT ARG TO ROF

Label	Grid x	Avg	Max	Min	Avg/Min	Max/Min
LEFT BUILDING - DECK & RAMP	0	3.29	6.1	0.4	8.23	15.25
RIGHT BUILDING - DECK & RAMP	0	0.05	0.2	1.8	2.25	3.14
SITE CALC	0	0.89	7.1	0.0	N.A.	N.A.
PARKING CALC		2.94	7.1	0.3	6.93	23.67

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LAYOUT PLAN
 476 NAUBUC AVENUE
 LOVLEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:
 COMMENTS 11/07/2018
 01-16-2019 - CONDITIONS

DATE: 02/08/2018
 SCALE: 1" = 20'
 SHEET 12 OF 23
A-17-053-LTG1
 FILE: 17053.DWG

PERMANENT VEGETATIVE COVER:

GENERAL:
THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED.

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 15.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH UNTIL THE NEXT PRIME SEEDING DATE.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION.

- SITE PREPARATION:**
1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.
 3. UNLESS HYDROSEEDED, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135 LB PER 1000 S.F.
 4. UNLESS HYDROSEEDED, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE NITROGEN FOR TOPDRESSING.
 5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".
- WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED.
6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.
- SEEDING:**
1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY PROPER INOCULANT WHEN USING LEGUME SEED.
 2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.
 3. UNLESS HYDROSEEDED OR "CULTIPACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
 4. UNLESS HYDROSEEDED, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.
 5. SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 TO SEPTEMBER 15.
 6. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400% FOR LEGUMES).

FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH.

RECOMMENDED SEED MIXES:

SHADY SITE:
CREEPING RED FESCUE - 1.10 LB/1000 S.F.
PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

SUNNY / PARTIALLY SUNNY SITE:
KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F.
CREEPING RED FESCUE - 0.50 LB/1000 S.F.
PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

DRY SITES:
CREEPING RED FESCUE - 1.00 LB/1000 S.F.
TALL FESCUE - 0.50 LB/1000 S.F.

MULCHING:

GENERAL:
THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE PLANT GROWTH.

ALL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDDED SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING.

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDDED WITHIN THE PRIME SEEDING DATES.

MATERIALS:
THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM COARSE MATTER AND WEEDS.

WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER.

APPLICATION:
MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 LB/1000 S.F.

CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED ON THE PLAN SHALL BE MULCHED WITH HAY OR STRAW MULCH.

ANCHORING:
1. IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING APPLICATION.
2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SHALL BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION.

TOPSOILING:

MATERIALS:
TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXIOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT GROWTH.

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL MEET THE FOLLOWING REQUIREMENTS:
ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT.
PH RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS REQUIRED).
SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

APPLICATION:
APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL.
TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION.
TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 4". SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO AVOID DEPRESSIONS AND WATER POCKETS.
TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING SHALL BE AVOIDED.

TRENCH DE-WATERING:

GENERAL:
THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT. THE EROSION & SEDIMENTATION CONCERN IS THE OUTFLOW FROM THE DE-WATERING OPERATION.

CONTROL METHOD:
IF A SMALL AMOUNT OF WATER IS ENCOUNTERED, THE OUTFLOW SHALL BE PLACED SUCH THAT THE WATER IS ENCOURAGED TO DISPERSE OVER UNDISTURBED EXISTING VEGETATION, UPSTREAM OF A SEDIMENT BARRIER.
IF LARGE AMOUNTS OF DE-WATERING IS REQUIRED, THE PUMP OUTLET SHALL BE DIRECTED INTO A 6" DIAMETER PERFORATED PIPE 50 FEET LONG (MIN.), LAID LEVEL ON EXISTING GRADE, WHERE THE WATER WILL FLOW ONTO UNDISTURBED EXISTING VEGETATION UPSTREAM OF A SEDIMENT BARRIER.

TEMPORARY VEGETATIVE COVER:

GENERAL:
THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND WATER EROSION.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12 MONTHS.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION, FOR ADDITIONAL INFORMATION.

- SITE PREPARATION:**
1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER.
 2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.
 3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F.
 4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000 S.F. OF 10-10-10 FERTILIZER.
 5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4".
 6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.
- SEEDING:**
1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.
 2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.
 3. UNLESS HYDROSEEDED, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF SOIL.
 4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.
 5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER 1.

GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR TO DISTURBANCE).

ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

ALL SOIL STOCKPILE AREAS SHALL BE ENCLOSED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS.

THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS AND SUPPLIES ON SITE (SEDIMENT BARRIER, STONE, SHOVELS, ETC.).

THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE REPAIRED OR MAINTAINED AS REQUIRED.

THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED TO PREVENT WIND EROSION. THE METHOD USED SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER.

EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWNS ENVIRONMENTAL PLANNER.

ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE TOWNS ENVIRONMENTAL PLANNER TO ADDRESS FIELD CONDITIONS.

SEE THE ATTACHED EROSION CONTROL NARRATIVE, CONSTRUCTION SEQUENCE, CONSTRUCTION SCHEDULE FOR ADDITIONAL INFORMATION.

SUGGESTED CONSTRUCTION SEQUENCE & SCHEDULE

OPERATION / WEEKS	1	2	3	4	5	6	7	8	9	10	11	12
E & S CONTROLS												
CLEARING & GRUBBING												
STRIP TOPSOIL												
ROUGH GRADING												
STORM DRAINS												
UTILITY CROSSINGS												
UTILITY MAINS												
FINAL GRADING												
PAVEMENT BASE												
PAVING & CURB												
SPREAD TOPSOIL, SEED												
STREET TREES												
FINAL CLEANUP												
WEEK ENDING	JUNE 29	JULY 6	JULY 13	JULY 20	JULY 27	AUG. 3	AUG. 10	AUG. 17	AUG. 24	AUG. 31	SEPT. 7	SEPT. 14

STORM SEWER MAINTENANCE PLAN

THE STORM SEWER MANAGEMENT AND WATER QUALITY SYSTEM(S) FOR THIS DEVELOPMENT CONSISTS OF A ROOF DRAIN COLLECTION SYSTEM, TWO CATCH BASIN INLETS & PIPING AND SEVERAL PAVED LEAK-OFFS, ALL OF WHICH DIRECT STORM WATER FLOW TO TWO RAIN GARDENS. OUTFLOW FROM THE RAIN GARDENS DURING LARGE STORM EVENTS IS VIA A LEVEL SPREADER. PROPER MAINTENANCE OF ALL ELEMENTS OF THE SYSTEMS ARE CRITICAL TO THE LONG TERM SUCCESS AND PROPER FUNCTION OF THE SYSTEMS. TO ACCOMPLISH THIS, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED AS DESCRIBED AS FOLLOWS.

SPRING MAINTENANCE:

THE SPRING MAINTENANCE SHALL BE CONDUCTED FOLLOWING SNOW MELT AND PRIOR TO VEGETATION BLOOM AND SHALL CONSIST OF THE FOLLOWING TASKS:

- 1) SWEEP ALL ACCUMULATED SAND AND DEBRIS FROM THE PARKING AREAS, REMOVE ACCUMULATED LANDSCAPE DEBRIS (LEAVES, STICKS, ETC.) FROM ETC.) SITE.
- 2) INSPECT ROOF GUTTERS AND REMOVE ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 3) INSPECT VISIBLE ELEMENTS OF THE ROOF DRAIN COLLECTION SYSTEM AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 4) INSPECT ALL CATCH BASIN INLETS AND REMOVE ACCUMULATED SEDIMENT AND DEBRIS AS REQUIRED. REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 5) INSPECT THE PAVED LEAK-OFFS, REMOVE ANY ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.
- 6) INSPECT THE RAIN GARDENS, REMOVE ALL ACCUMULATED DEBRIS (LEAVES, STICKS, SEDIMENT, ETC.), INSPECT THE MULCH, REMOVE DEGRADED MULCH AND REPLACE AS REQUIRED.
- 7) INSPECT THE LEVEL SPREADER AND REPAIR DAMAGED ELEMENTS AS REQUIRED.

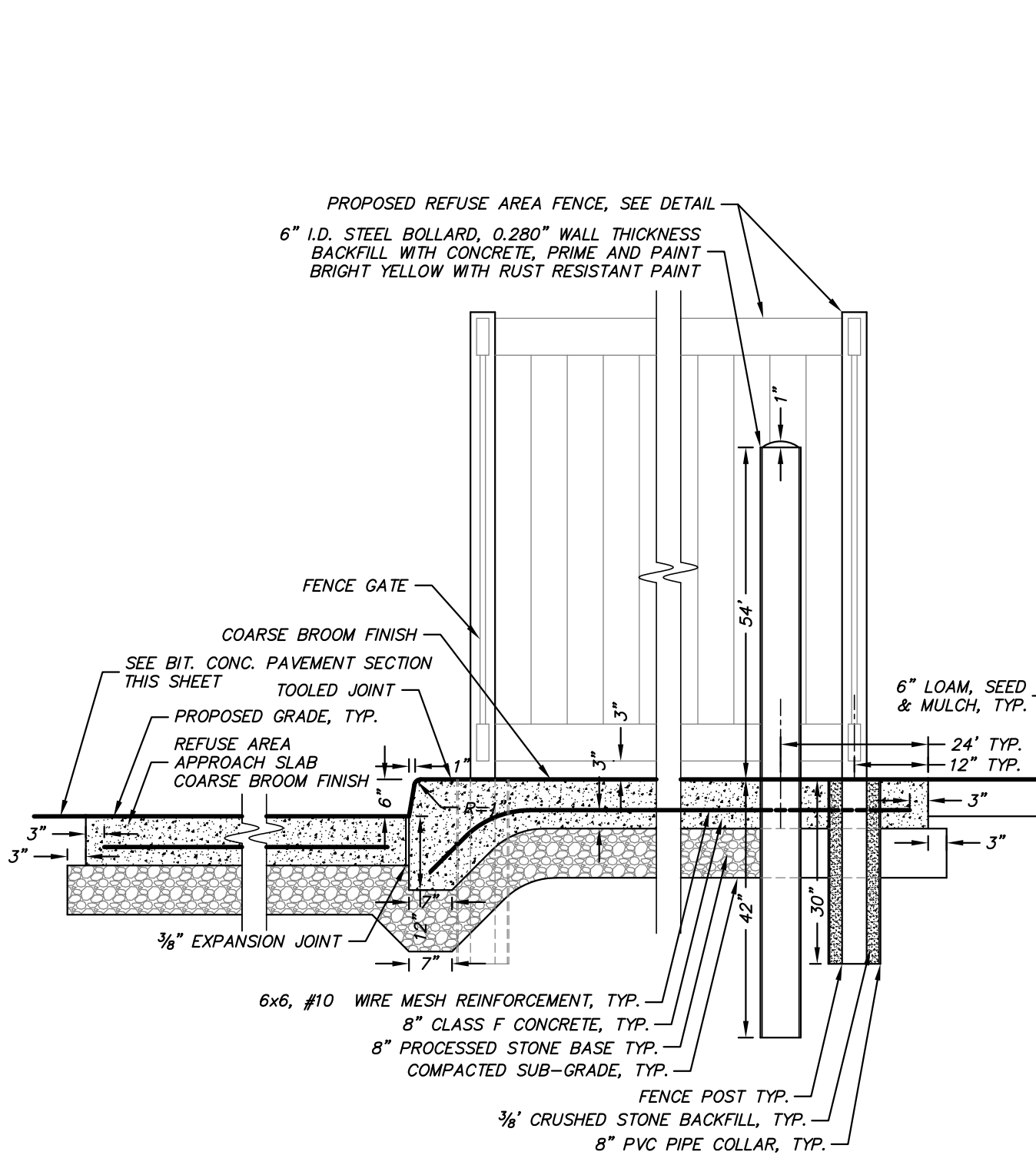
FALL MAINTENANCE

FALL MAINTENANCE SHALL OCCUR FOLLOWING LEAF DROP, PRIOR TO SNOW FALL AND SHALL CONSIST OF ALL OF THE TASKS DESCRIBED ABOVE FOR "SPRING MAINTENANCE".

NOTE: ALL COLLECTED SEDIMENT AND DEBRIS SHALL BE DISPOSED OF AT A SUITABLE AND APPROVED LOCATION IN ACCORDANCE WITH ANY APPLICABLE LAW AND OR REGULATION.

NUMBER: 1	DATE: 04-05-18	NUMBER: 2	DATE: 11-17-17	NUMBER: 1	DATE: 11-17-17	NUMBER: 2	DATE: 11-17-17
WITNESS: TM/SD	LEDGE: ----	WITNESS: TM/SD	LEDGE: ----	WITNESS: TM/SD	LEDGE: ----	WITNESS: TM/SD	LEDGE: ----
DEPTH: 5'	WATER: NONE	DEPTH: 5'	WATER: NONE	DEPTH: 5'	WATER: NONE	DEPTH: 5'	WATER: NONE
SOIL PROFILE: MOTTLING: NONE		SOIL PROFILE: MOTTLING: NONE		SOIL PROFILE: MOTTLING: NONE		SOIL PROFILE: MOTTLING: NONE	
0-12" TOPSOIL 12-22" RED/BR. SANDY LOAM 26-34" MED. BR. SAND 34-40" DARK BR. COURSE SAND 40-42" MEDIUM SAND 42-60" FINE SAND, BROWN		0-12" FINE SAND LOAM GROUND TOPSOIL 12-36" LT. BR. FINE SILT 36-60" FINE SAND, BROWN		0-7" TOPSOIL 7-26" LT. BR. VERY FINE SANDY 26-34" MED. BR. SAND 34-40" DARK BR. COURSE SAND 40-42" MEDIUM SAND 42-60" FINE SAND, BROWN		0-12" FINE SAND LOAM GROUND TOPSOIL 12-36" LT. BR. FINE SILT 36-60" FINE SAND, BROWN	
NOTE: 38"-REDDISH LAYER (HIGH SEASONAL WATER)		NOTE: 36"-REDDISH LAYER (HIGH SEASONAL WATER)		NOTE: 38"-REDDISH LAYER (HIGH SEASONAL WATER)		NOTE: 36"-REDDISH LAYER (HIGH SEASONAL WATER)	

TEST PIT DATA



SECTION A-A REFUSE AREA & APPROACH SLAB
NOT TO SCALE

EROSION CONTROL NARRATIVE:

SITE / PROJECT DESCRIPTION:
LOCATION: 476 NAUBUC AVENUE GLASTONBURY, CT
SITE AREA: 53,919 S.F. = 1.2378 AC.
TOTAL AREA OF DISTURBANCE: 58,000 S.F. = 1.33 AC.
(INCLUDES WORK WITHIN NAUBUC AVE. & PUTNAM BOULEVARD ROWS)
DIRECT WETLAND IMPACT: NONE
150' UPLAND REVIEW IMPACT: 31,373 S.F. = 0.72 AC.
CURRENT DEVELOPMENT STATUS: SITE CONTAINS ONE SINGLE FAMILY HOME
TOPOGRAPHY: FLAT WITH STEEP SLOPES ALONG PUTNAM BOULEVARD DUE TO ROADWAY EXCAVATION
VEGETATION COVER: SCATTERED TREES, BRUSH & POORLY MAINTAINED LAWN.
UTILITIES: PUBLIC WATER, SEWER, GAS, CATV & ELECTRIC AVAILABLE IN NAUBUC AVE.
SOILS: HAVEN & ENFIELD SERIES ON WEST END, UDORIENTHS ON EASTERLY END.
STORM DRAINAGE: A SMALL PORTION OF THE SITE (MAINLY ALONG THE ROADWAY CUTS ON THE WEST AND NORTH SIDES OF THE SITE) DRAIN TO AN EXISTING CATCH BASIN INLET LOCATED NEAR THE INTERSECTION OF PUTNAM BOULEVARD AND NAUBUC AVE., THE "CATCH BASIN OUTLET" IS LOCATED ON THE NORTHERLY SIDE OF PUTNAM BOULEVARD AT THE TOE OF THE EMBANKMENT AND DRAINS ULTIMATELY TO PORTER BROOK. THE REMAINING AREA OF THE SITE FLOWS SOUTHERLY AND EASTERLY A LONG DISTANCE ON CT DOT PROPERTY PARALLEL TO CT RTE 3 TO A CT DOT STORM WATER FACILITY LOCATED JUST WESTERLY OF THE ON RAMP TO RTE 3 FROM PUTNAM BOULEVARD. WATER THEN FLOWS THROUGH A 42" PIPE NORTHERLY UNDER PUTNAM BOULEVARD AND ULTIMATELY TO PORTER BROOK.
PROPOSAL: THE PROPOSAL CONSISTS OF DEMOLITION OF THE EXISTING HOME AND CONSTRUCTION OF 2 NEW MEDICAL OFFICE BUILDINGS, 3,000 & 3,183 S.F. WITH ASSOCIATED PARKING, UTILITIES AND STORM WATER MANAGEMENT SYSTEMS. THE PROPOSAL CONTAINS 2 RAIN GARDENS DESIGNED TO HOLD THE ENTIRE WATER QUALITY VOLUME WITHOUT CONSIDERATION OF INFILTRATION. STORM WATER DISCHARGE FOR HIGHER FREQUENCY STORMS IS VIA A "LEVEL SPREADER" LOCATED ALONG THE SOUTHERLY EDGE OF THE PROPERTY TO REPLICATE THE NATURAL FLOW FROM THE SITE. A DETENTION SYSTEM IS NOT PROPOSED.
FLOOD ZONE: MOST OF THE SITE IS LOCATED WITHIN A FEMA SPECIAL FLOOD HAZARD AND TOWN OF GLASTONBURY FLOOD ZONE ASSOCIATED WITH THE CONNECTICUT RIVER. THE PROPOSED STRUCTURES WILL HAVE THE FINISHED FLOOR ABOVE THE 500 YEAR FLOOD EVENT. ADDITIONALLY, THE SITE GRADING HAS BEEN DESIGNED TO NOT IMPACT THE FLOOD STORAGE.

POTENTIAL E. & S. PROBLEMS / MITIGATION

THE FOLLOWING IS A DISCUSSION OF EROSION AND SEDIMENTATION CONCERNS AND THE SUGGESTED METHODS OF MITIGATION AND CONTROL. ALL EROSION AND SEDIMENTATION CONTROL METHODS AND MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF GLASTONBURY. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS.

- 1) SEDIMENT ENTERING THE EXISTING STORM SEWERS.

THE PLAN CALLS FOR ALL STORM SEWER INLET SUBJECT TO RUNOFF FROM THE DISTURBED AREA HAVE ITS INLET PROTECTED WITH FILTER FABRIC AND / OR "SILT SACKS". THE CATCH BASIN INLET PROTECTION SHOULD BE CHECKED AT REGULAR INTERVALS AND THE ACCUMULATED SEDIMENT REMOVED AND THE FILTER FABRIC REPLACED TO AVOID EXCESSIVE PONDING AT THE INLETS.

- 2) WIND EROSION.

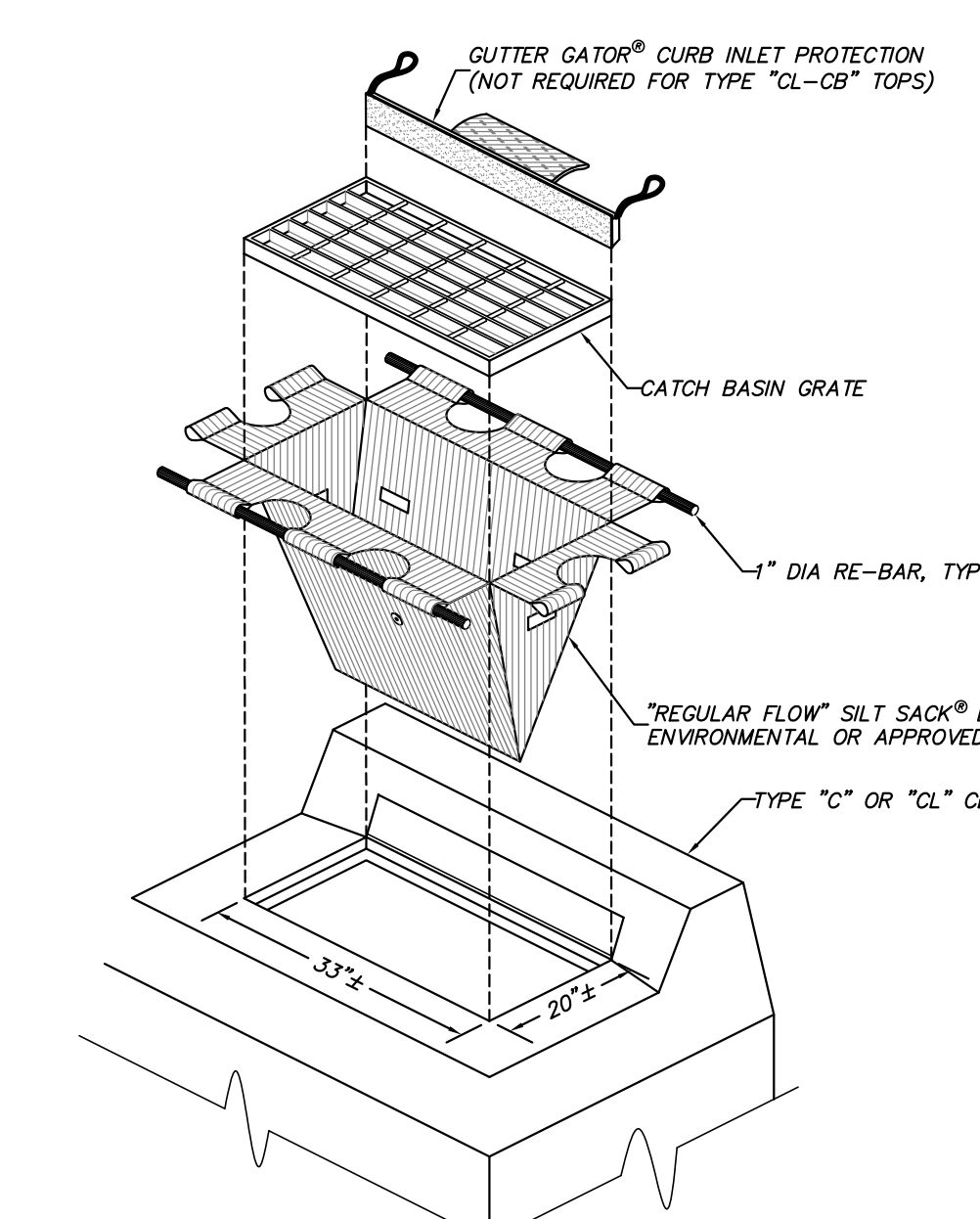
BECAUSE THE SITE IS SMALL AND SOMEWHAT PROTECTED BY TREES, WIND EROSION SHOULD NOT BE A MAJOR PROBLEM. IF WIND EROSION DOES OCCUR, THE SITE SHOULD BE WATERED OR STABILIZED BY OTHER MEANS TO REDUCE THE POTENTIAL FOR WIND EROSION.

- 3) INSPECTION AND MAINTENANCE OF E. & S. CONTROLS.

INSPECTION AND PROPER MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IS CRITICAL TO THE ULTIMATE SUCCESS OF THE PROJECT. THE PLAN REQUIRES THE SITE CONTRACTOR TO INSPECT AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ON AT LEAST A WEEKLY BASIS AND PRIOR TO A PREDICTED RAIN EVENT.

- 4) EROSION CONTROL AND TIMING.

TO MINIMIZE THE EROSION AND SEDIMENTATION CONTROL PROBLEMS, THE SITE CONTRACTOR SHOULD CAREFULLY PLAN THEIR CONSTRUCTION ACTIVITIES TO MINIMIZE THE PERIOD OF TIME THE SITE IS EXPOSED TO EROSION FORCES AND TIME THE STABILIZATION WITH PRIME SEEDING DATES.



NOTES:
ALL SILT SACKS ON SITE SHALL BE CHECKED WEEKLY AT A MINIMUM. ADDITIONALLY, THEY SHALL BE CHECKED (AND CLEANED AS REQUIRED) PRIOR TO AND FOLLOWING A RAIN EVENT. SEDIMENT REMOVED FROM THE SACKS SHALL BE DISPOSED OF AT A SUITABLE LOCATION AS TO NOT POSE A DANGER TO WETLAND SYSTEMS.
THE SILT SACKS® SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS HAVE STABILIZED TO THE SATISFACTION OF THE TOWN ENVIRONMENTAL PLANNER. AT WHICH TIME THE SACKS SHALL BE REMOVED. ANY ACCUMULATED SEDIMENT PROPERLY DISPOSED OF. ADDITIONALLY, WHEN THE SACK IS REMOVED, THE STORM STRUCTURE (& PIPE SYSTEM) SHALL BE INSPECTED AND ANY ACCUMULATED SEDIMENT REMOVED, AND PROPERLY DISPOSED OF.

ADDITIONAL INFORMATION CAN BE OBTAINED FROM:
ACF ENVIRONMENTAL
2831 CARDWELL ROAD
RICHMOND, VA 23234
1-800-448-3636
WWW.ACFENVIRONMENTAL.COM

STORM INLET SEDIMENT CONTROL
NOT TO SCALE

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TOWN / FLOOD
PROJECT / APPLICANT ZONE

476 NAUBUC AVENUE
PROJECT ADDRESS

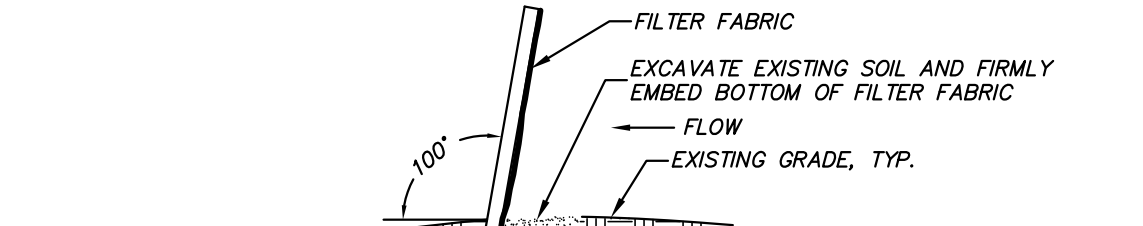
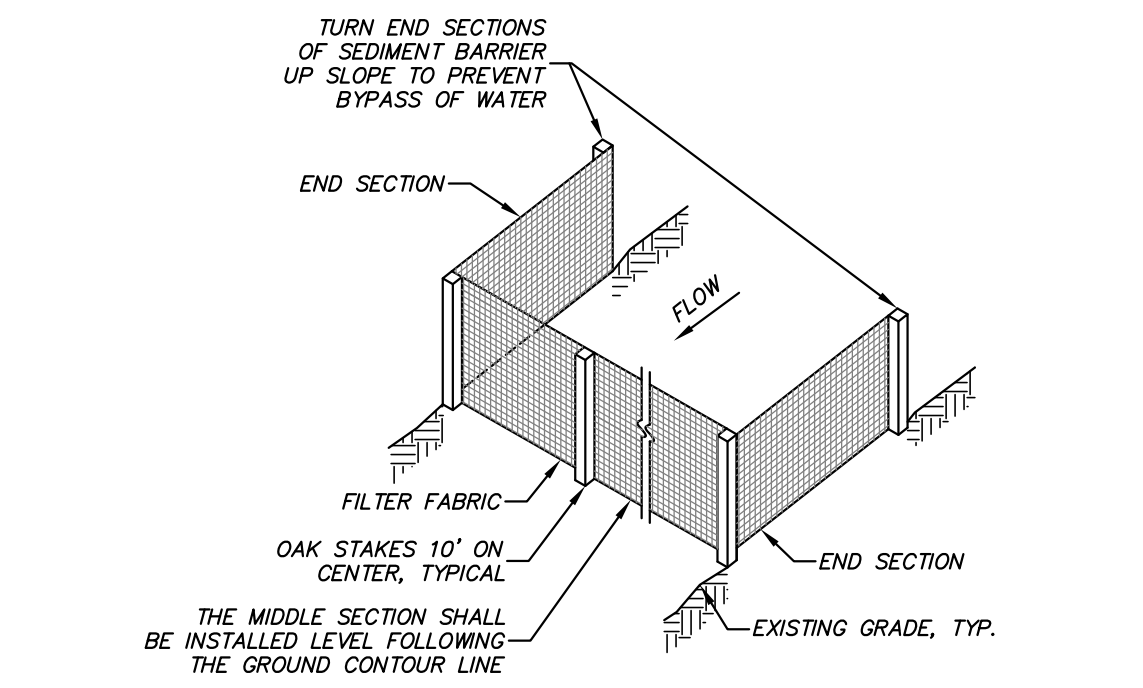
12.0 / 4.11
SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN

SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR

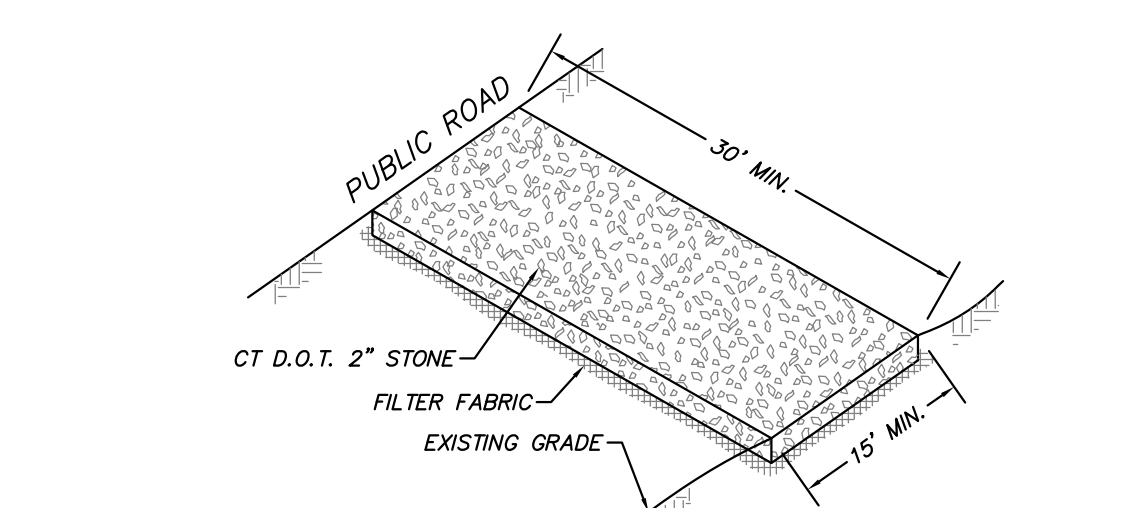
FILE NO.
NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

UNDERGROUND UTILITY NOTE:
UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

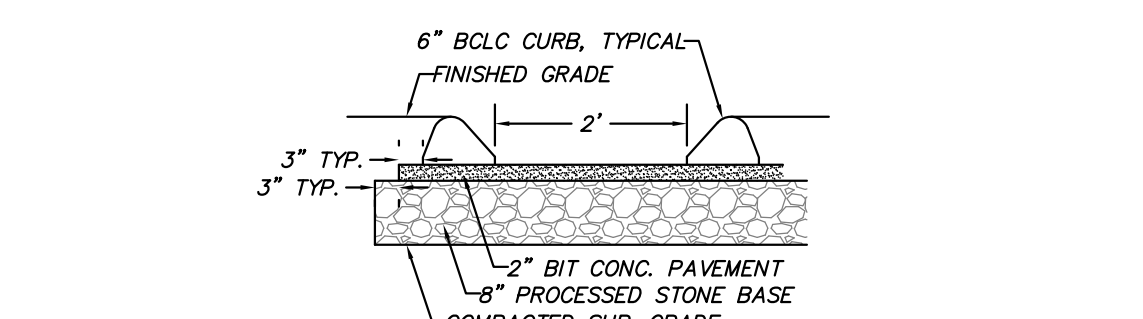
INSPECTION NOTE:
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735



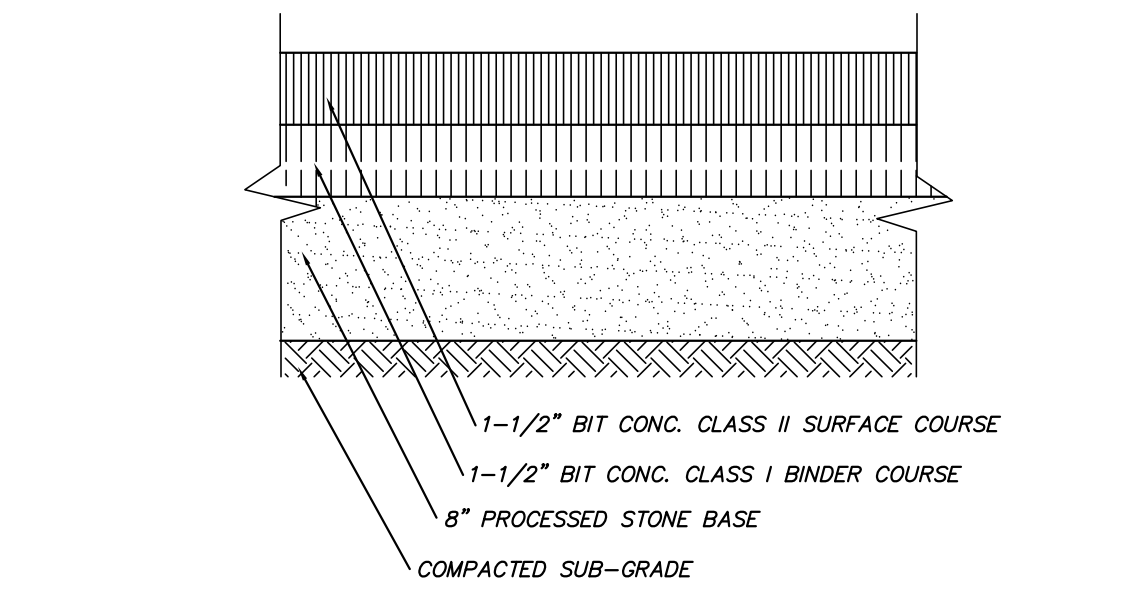
SEDIMENT BARRIER
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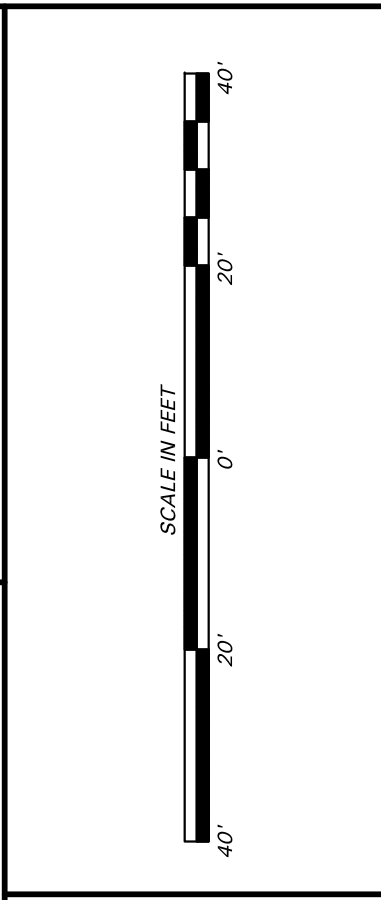
CONSTRUCTION ENTRANCE
NOT TO SCALE



TYPICAL SECTION PAVED LEAK-OFF
NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-632-9401 FAX: 860-632-8961
EMAIL: JIM@DUTTONASSOCIATESLLC.COM

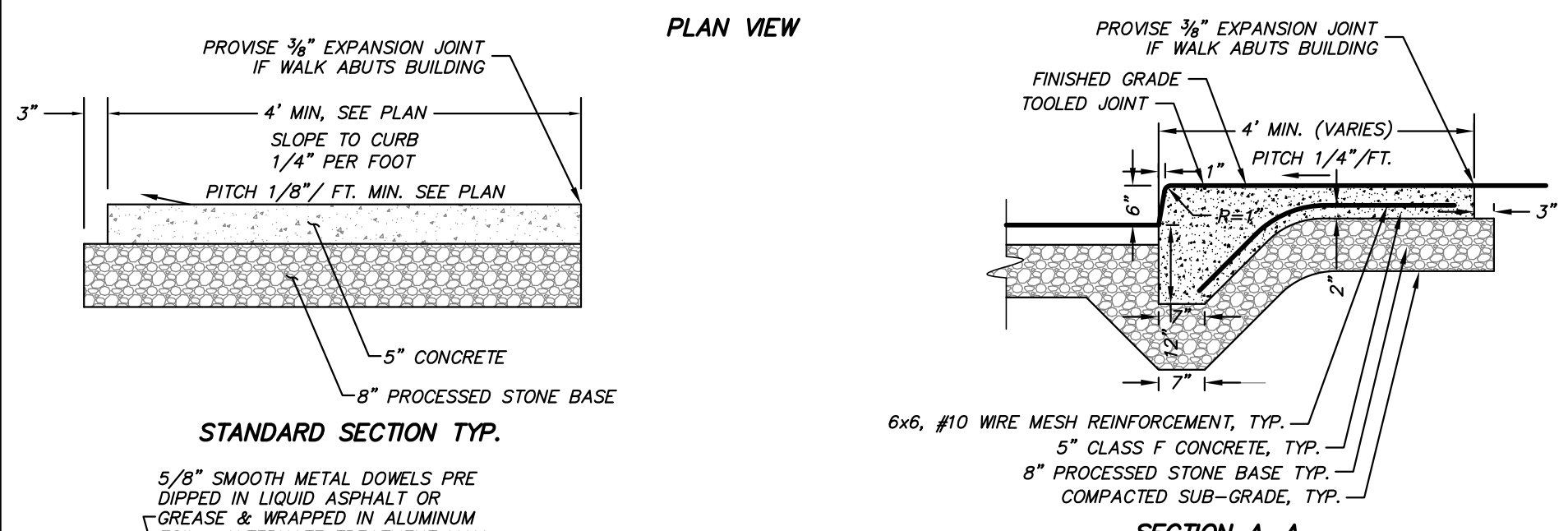
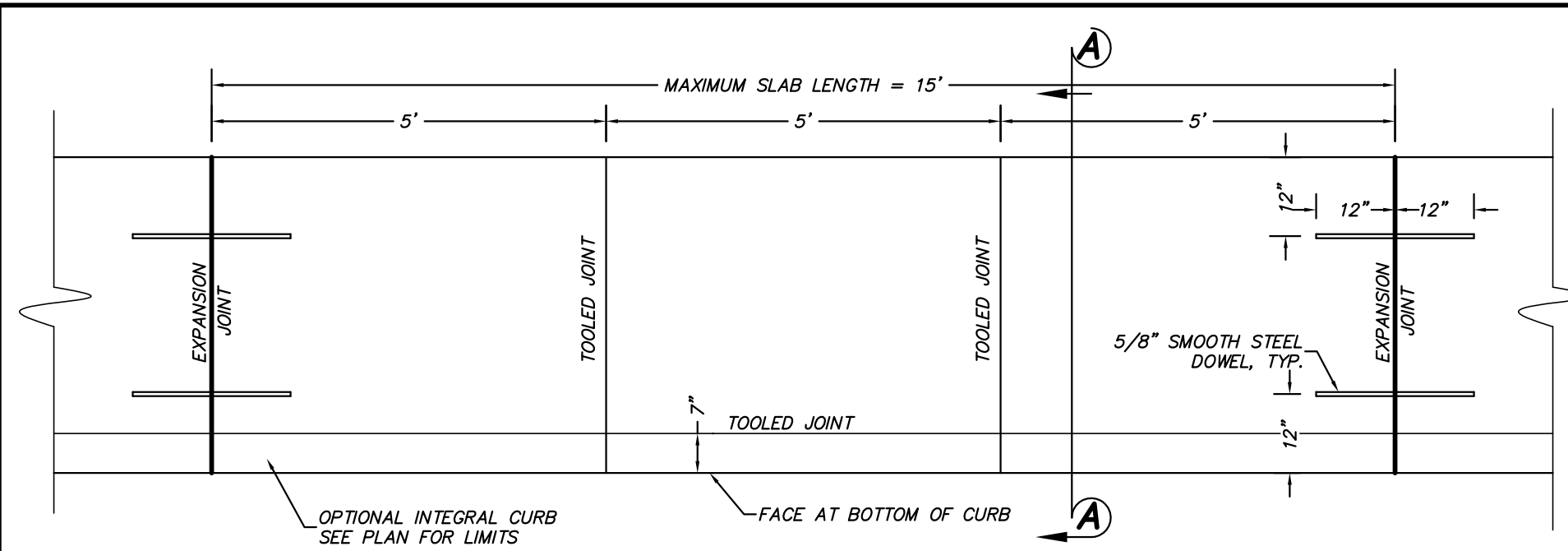
JOHN R. MARTUCCI, P.E. #19494

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**GENERAL NOTES AND DETAILS
PROPOSED SUBDIVISION
476 NAUBUC AVENUE
LOVLEY DEVELOPMENT, INC.**
GLASTONBURY, CONNECTICUT

REVISIONS:
COMMENTS 11/07/2018
01-15-2019 - CONDITIONS

DATE: 02/08/2017
SCALE: AS SHOWN
SHEET 17 OF 23
A-17-053-D1
FILE: 17053.DWG



CONCRETE WALK NOTES:
 CONCRETE SHALL BE CONDOT CLASS F (4,000 PSI, 28 DAY STRENGTH)
 FORMS ARE TO BE SET TRUE TO LINE AND GRADE ON WELL COMPACTED BASE.
 FORMS SHALL BE 5" STEEL OR 2"x8" LUMBER.

PROPER FINISHING PROCEDURES WILL BE FOLLOWED INCLUDING JOINTING, EDGING, AND BROOMING. A FINE BRISTLE BROOM SHOULD BE USED. ALL EDGING TOOL IMPRINTS SHOULD BE STEEL TROWELED PRIOR TO BROOMING.

CURING COMPOUND MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT SURFACE FROM DAMAGE.

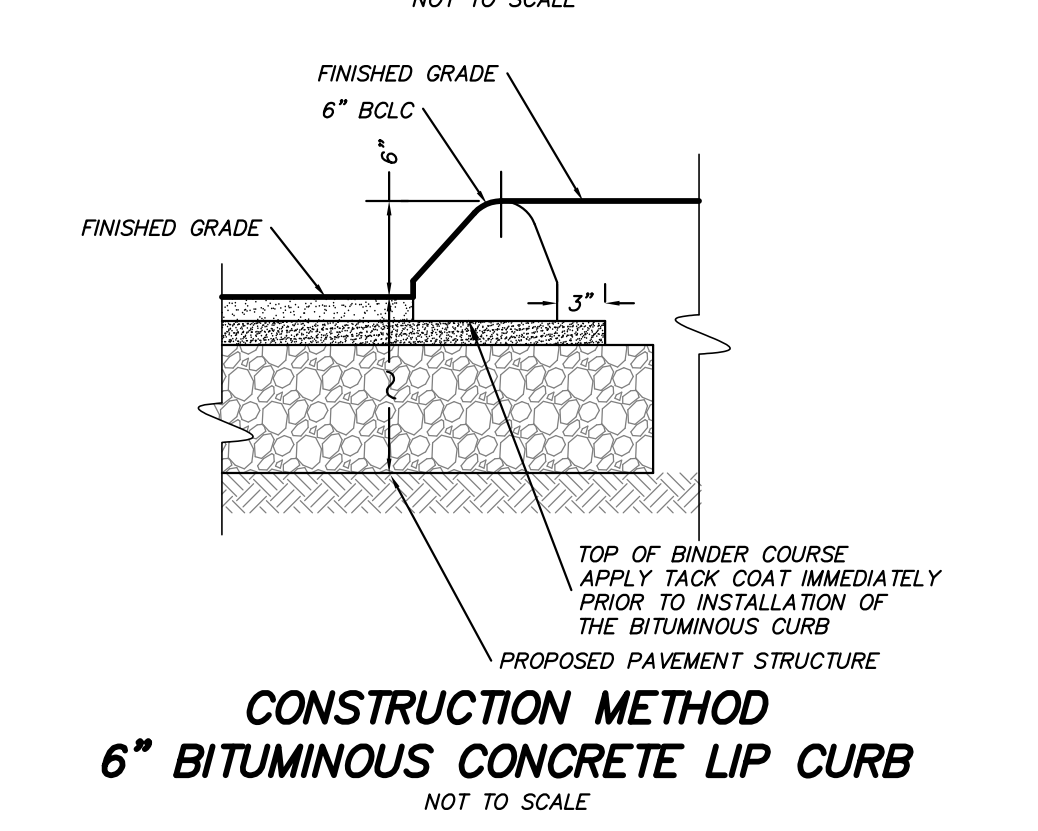
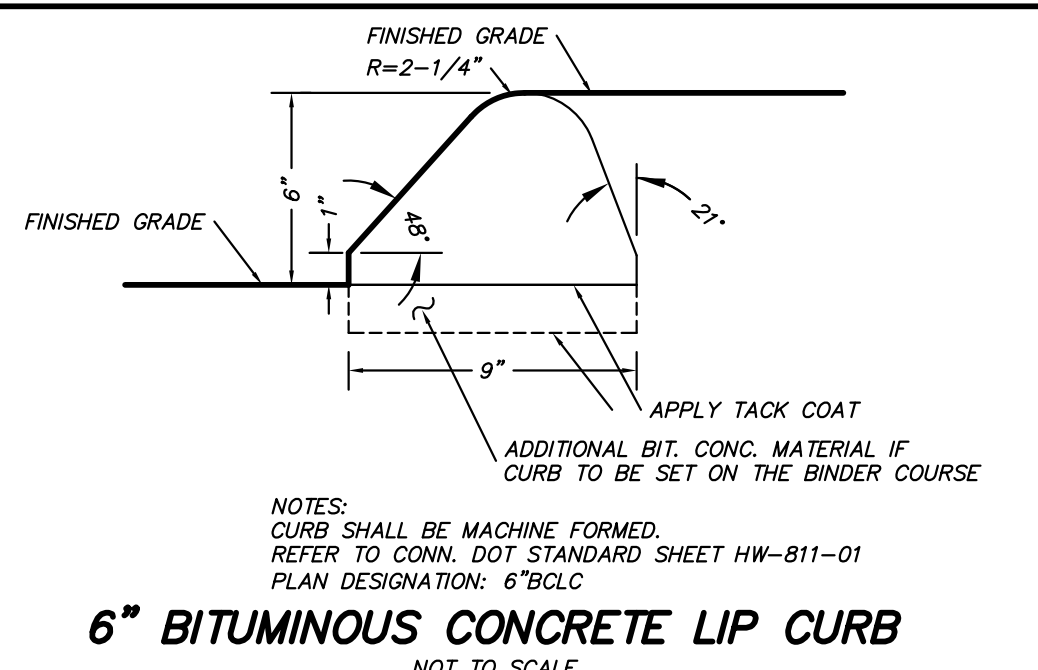
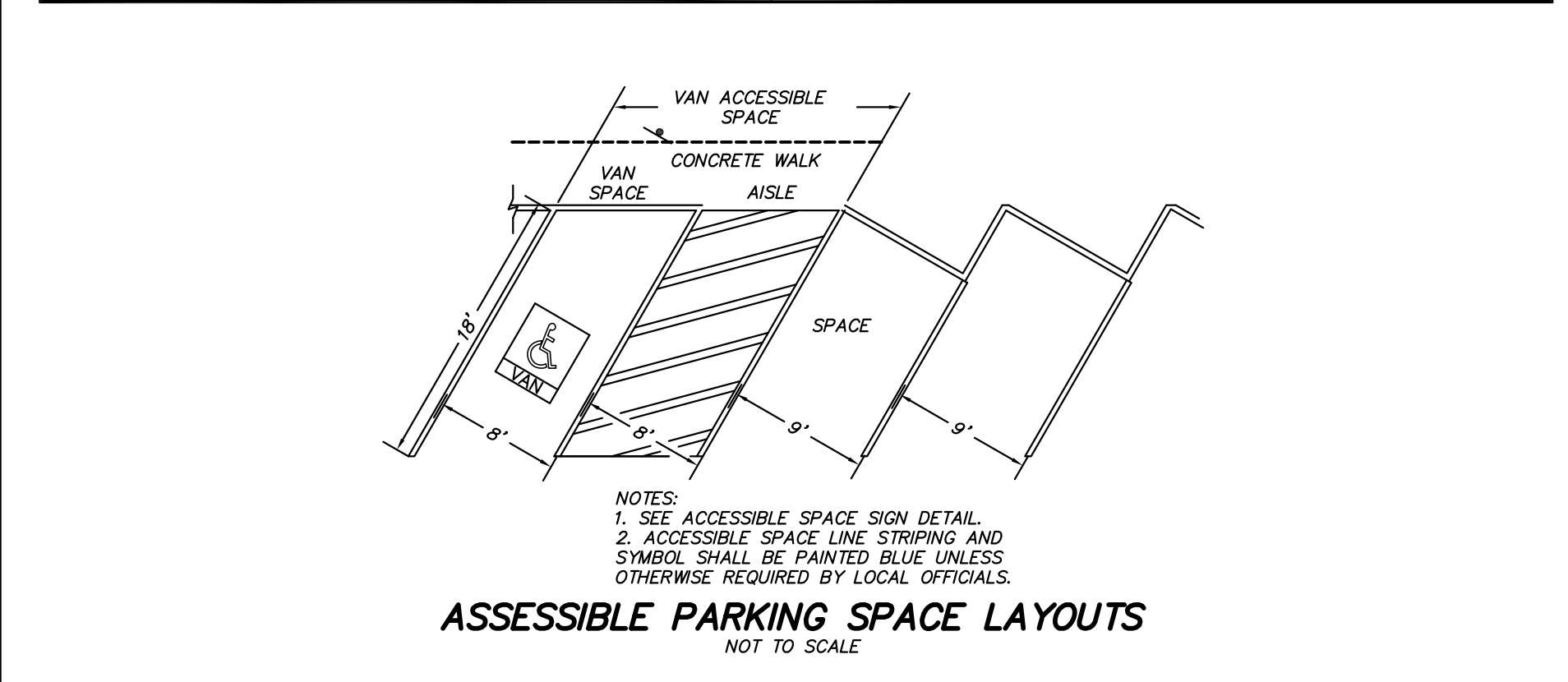
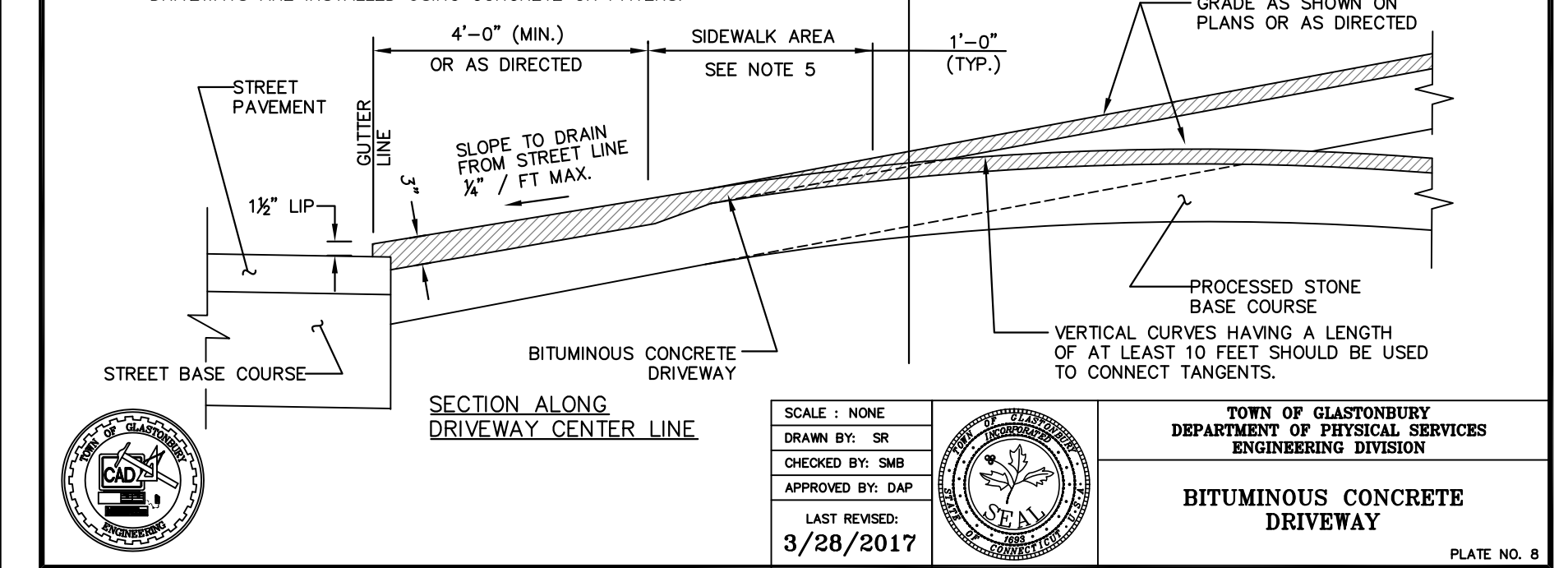
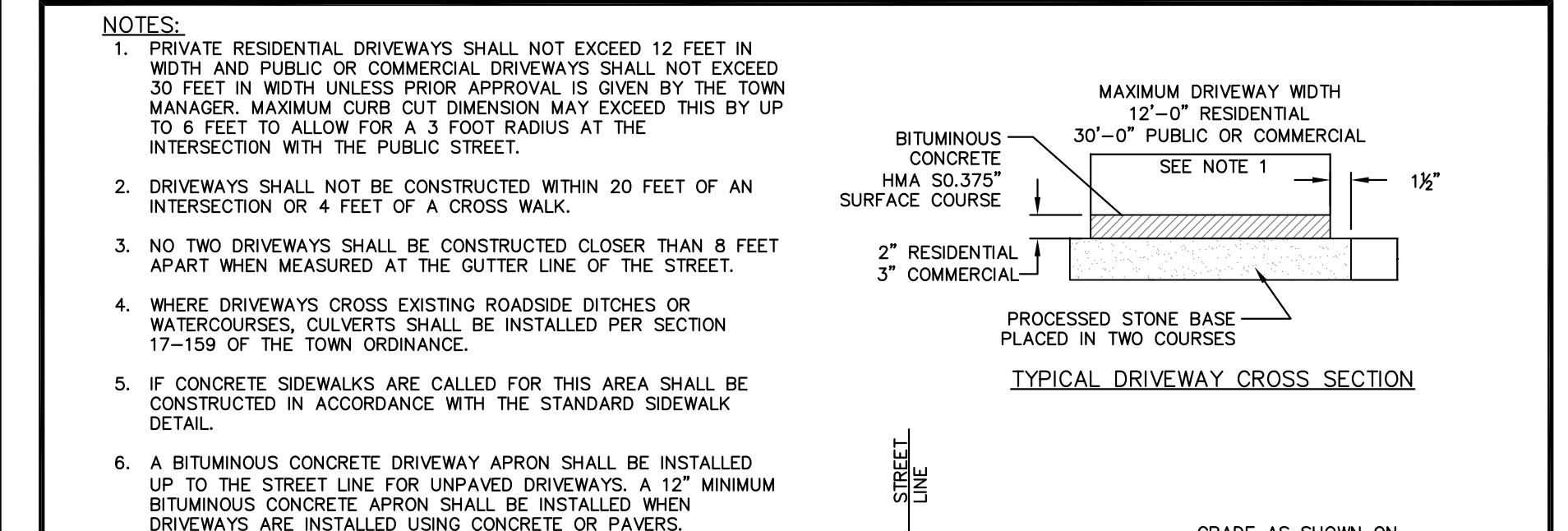
WALKS SHALL BE BACK FILLED AS SOON AS FORMS ARE REMOVED. ALL CONCRETE SIDEWALK SLABS SHALL BE RECTANGULAR IN SHAPE. NO FIGURE L SLABS ARE TO BE CONSTRUCTED.

SIDEWALK SLABS SHOULD NOT EXCEED 5' IN WIDTH. IF SIDEWALK SLABS GREATER THAN 5' IN WIDTH ARE TO BE CONSTRUCTED, A LONGITUDINAL EXPANSION JOINT SHALL BE CONSTRUCTED TO FORM ACCEPTABLE SLABS.

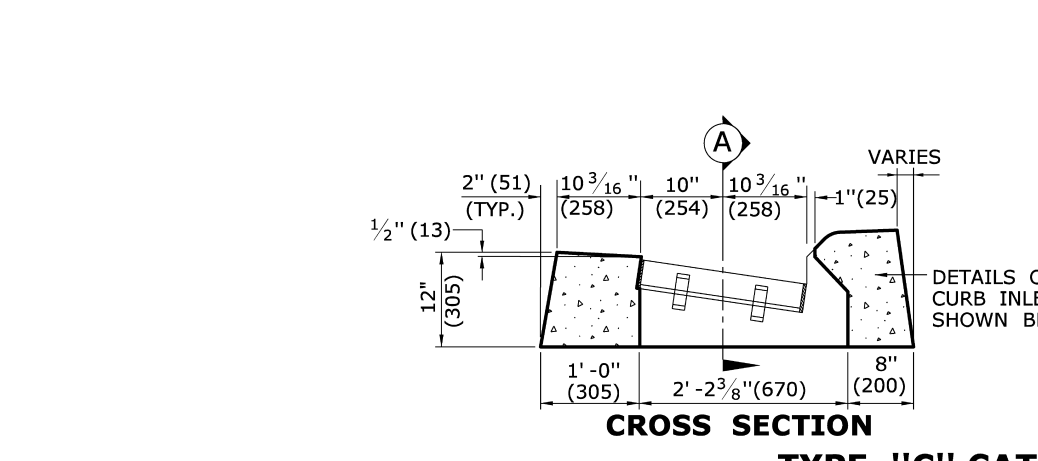
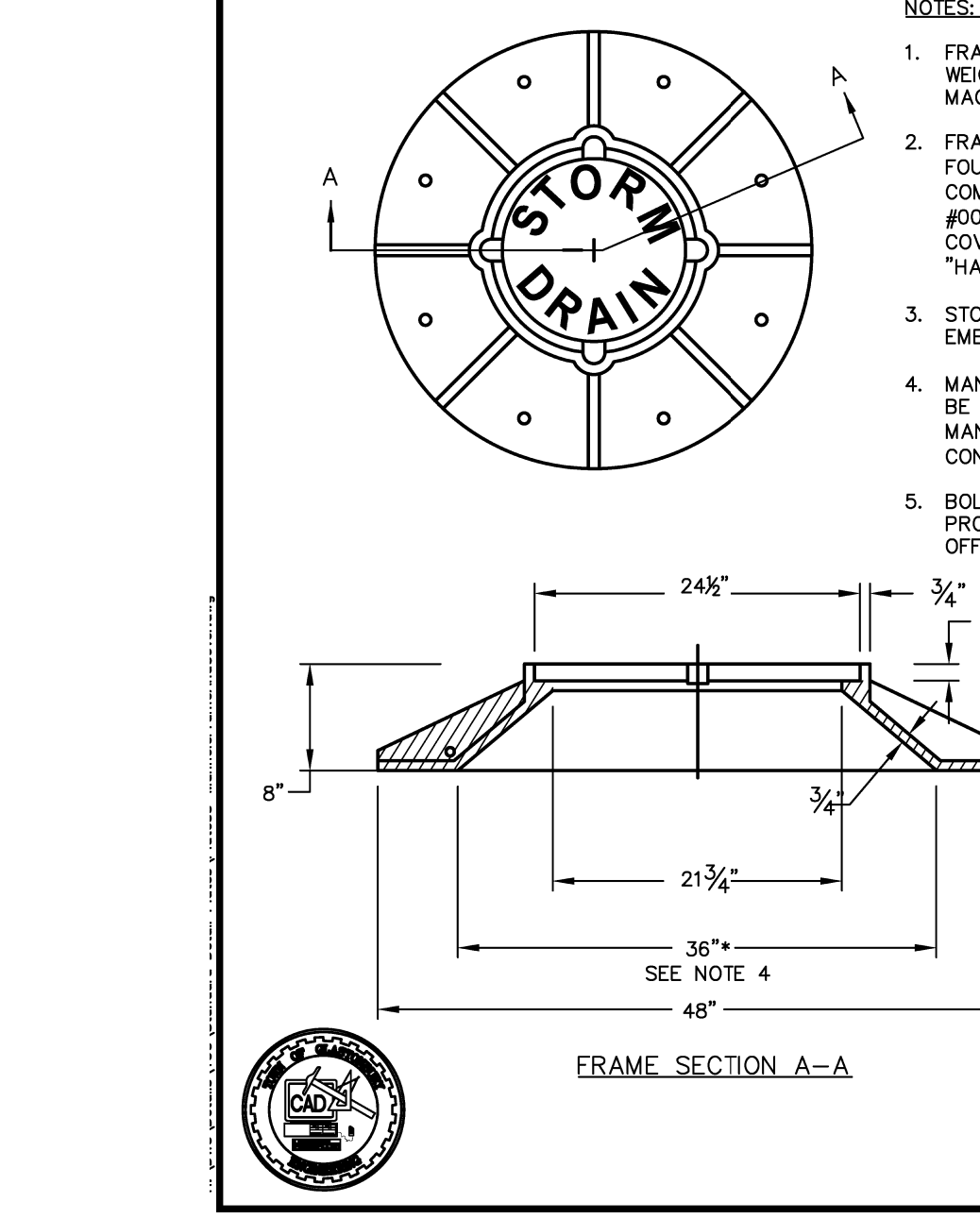
INSERT METAL DOWELS AT ALL EXPANSION JOINTS AS SHOWN ON TYPICAL SIDEWALK PLAN.

EXPANSION JOINT TO BE 3/8" ASPHALT IMPREGNATED CELLULAR FIBER.

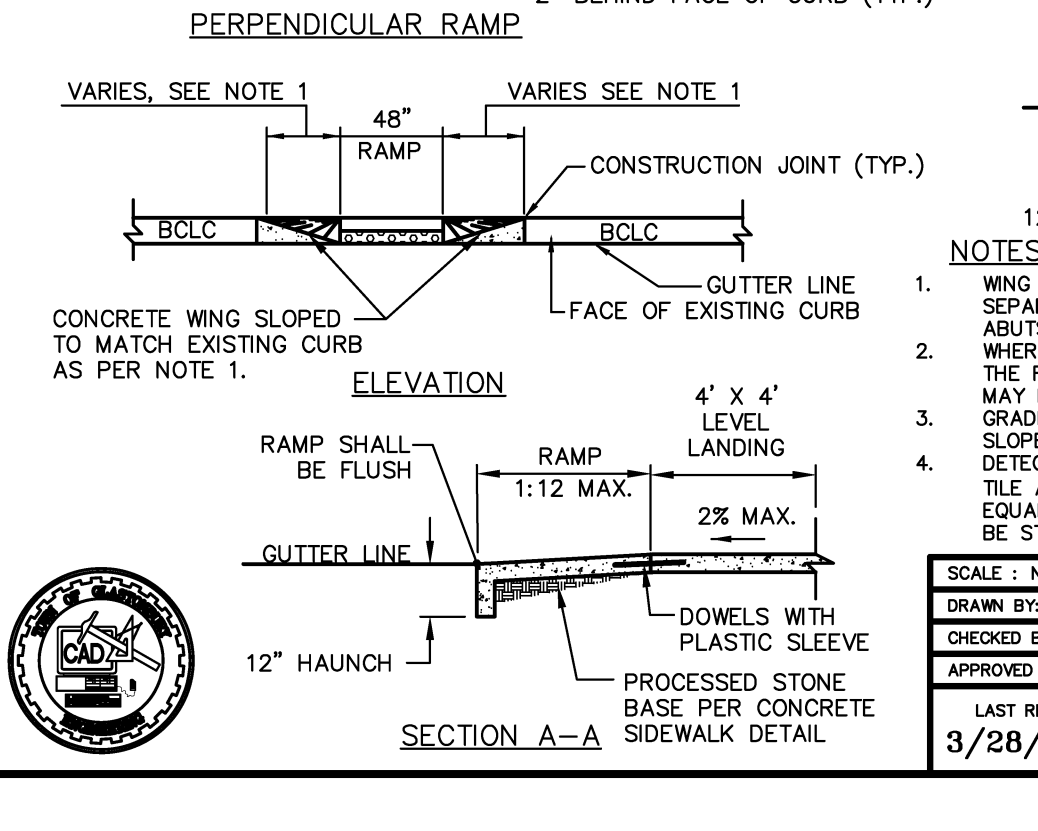
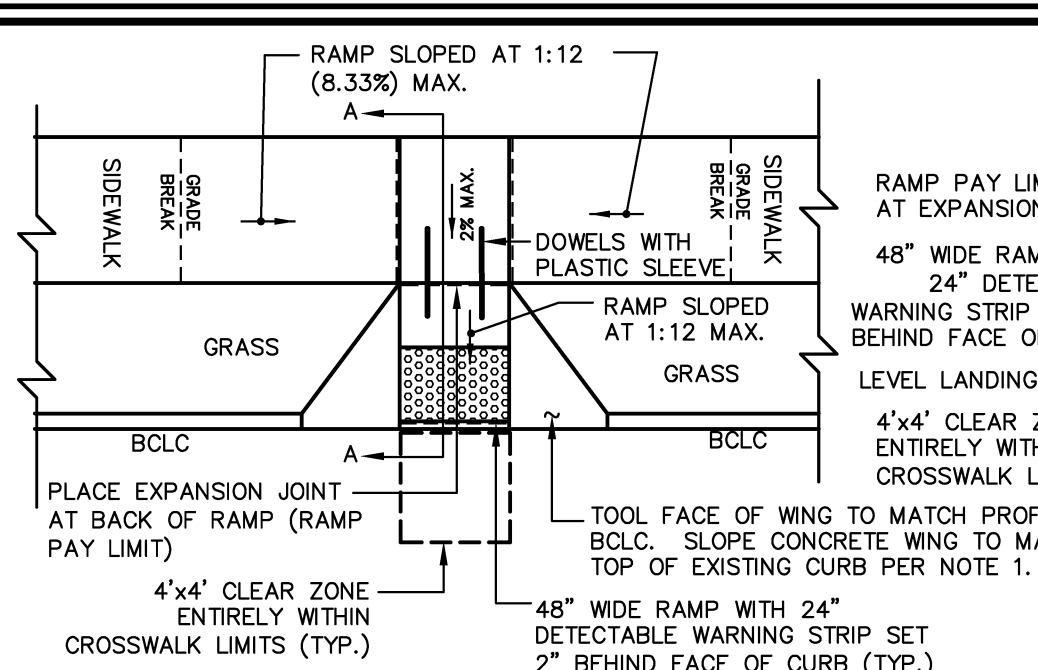
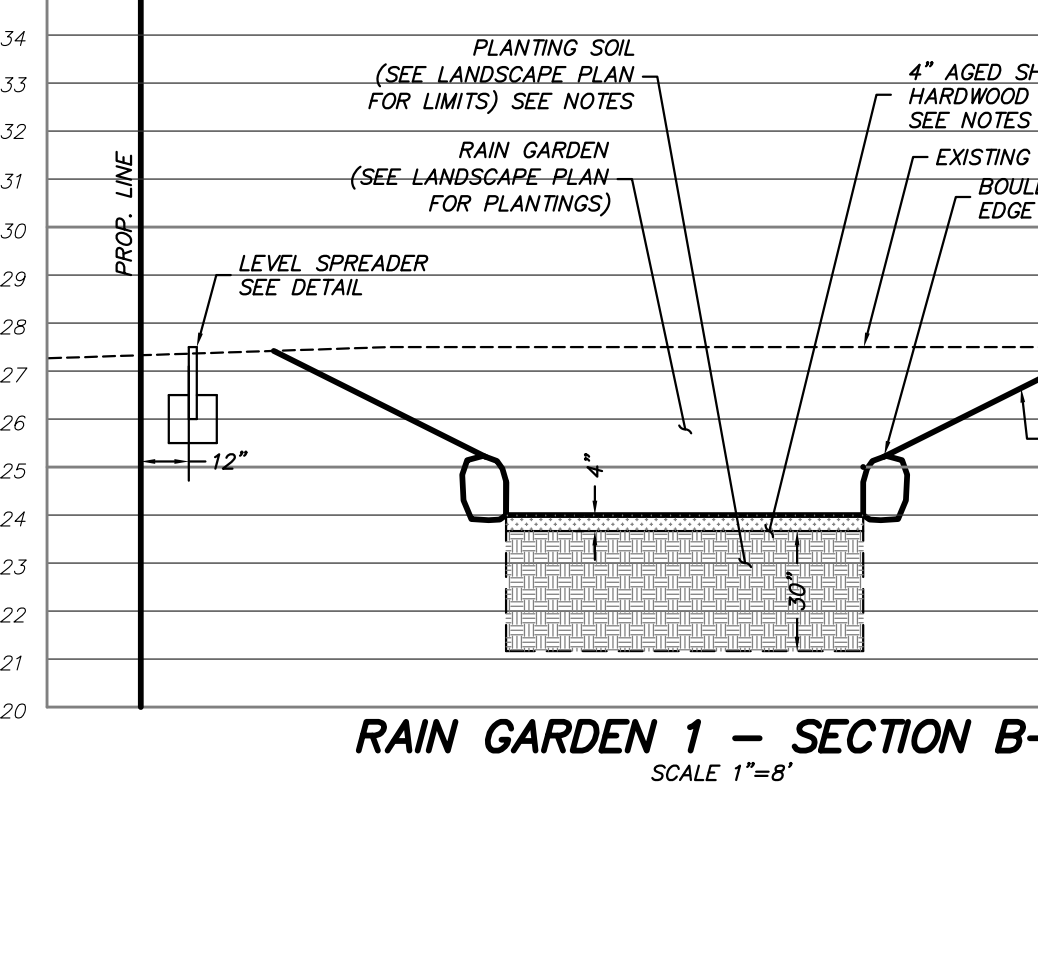
CONCRETE WALKS & PADS
 NOT TO SCALE



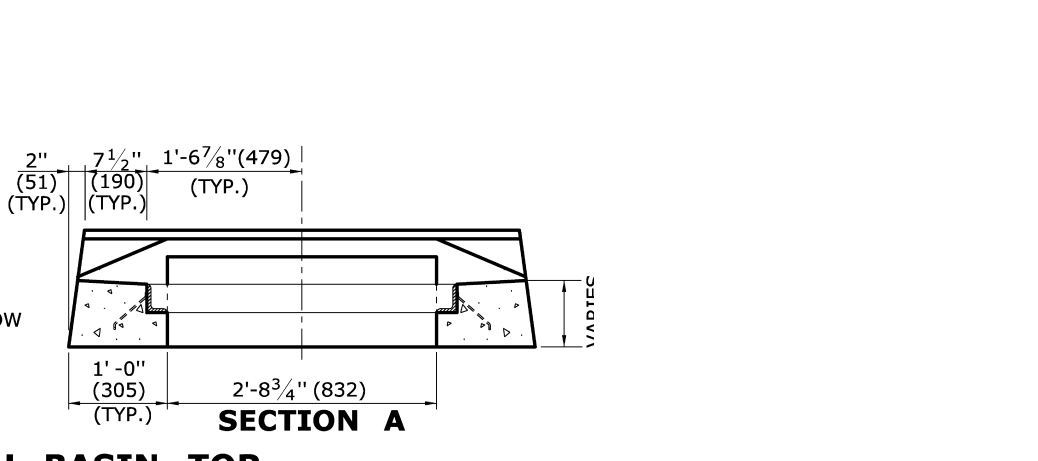
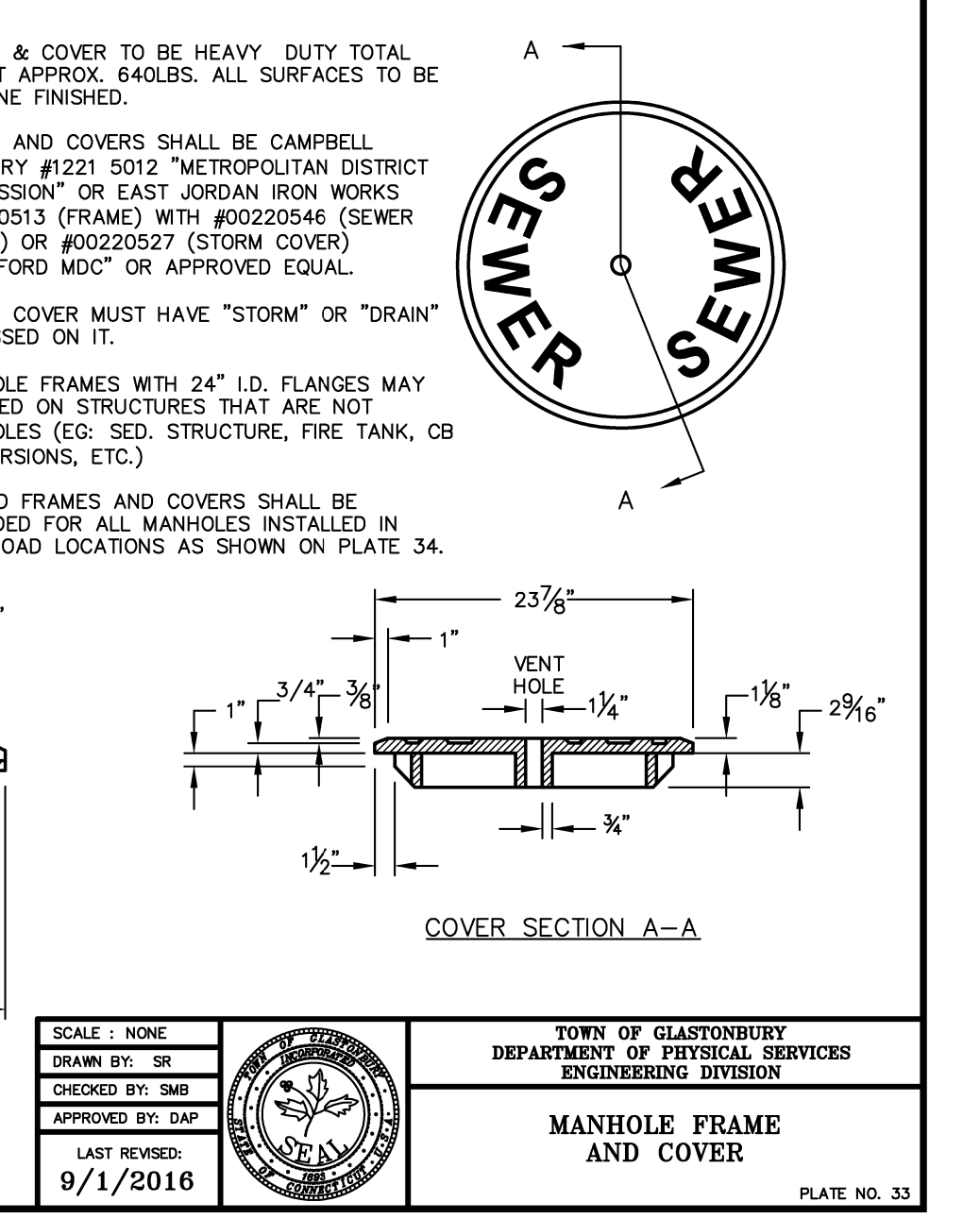
CONSTRUCTION METHOD
6" BITUMINOUS CONCRETE LIP CURB
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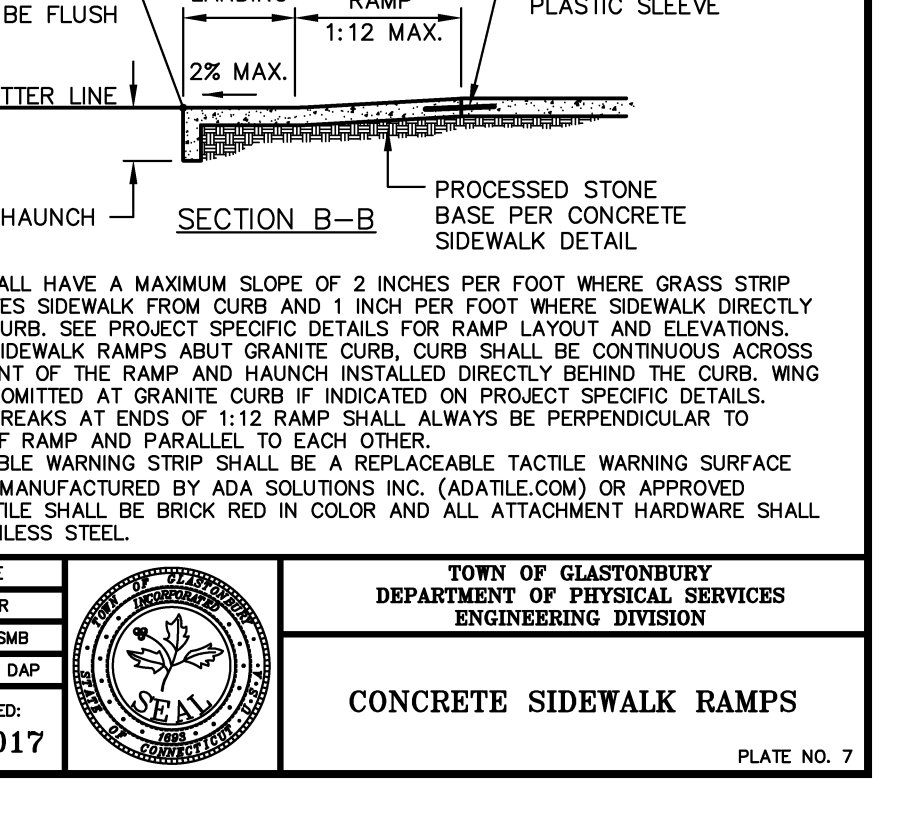
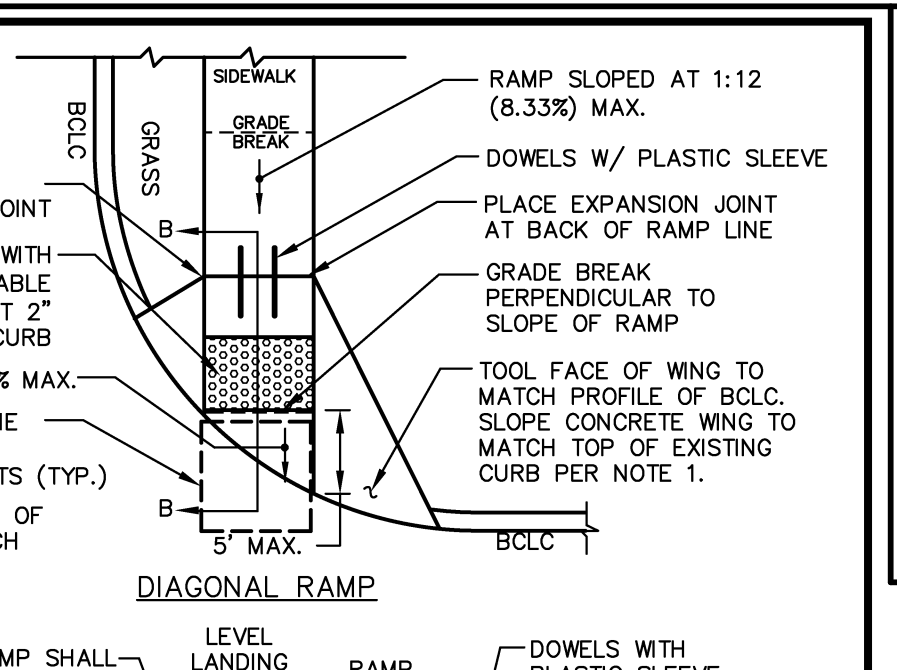
MANHOLE FRAME AND COVER
 PLATE NO. 33



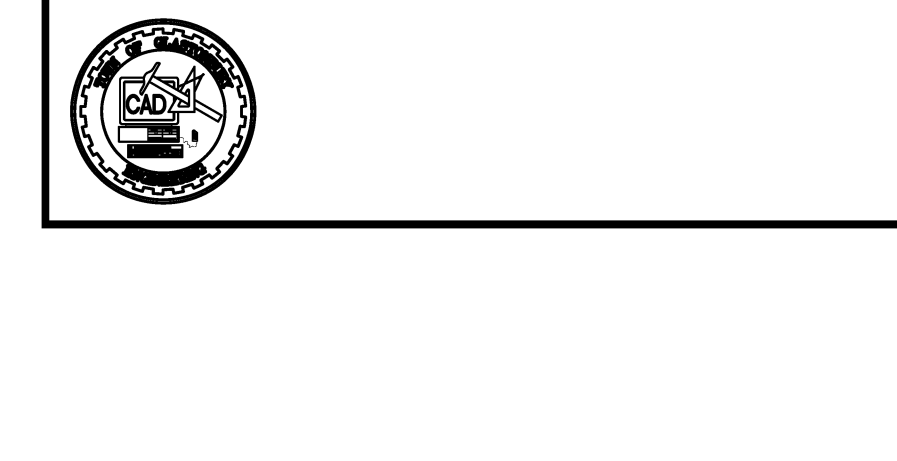
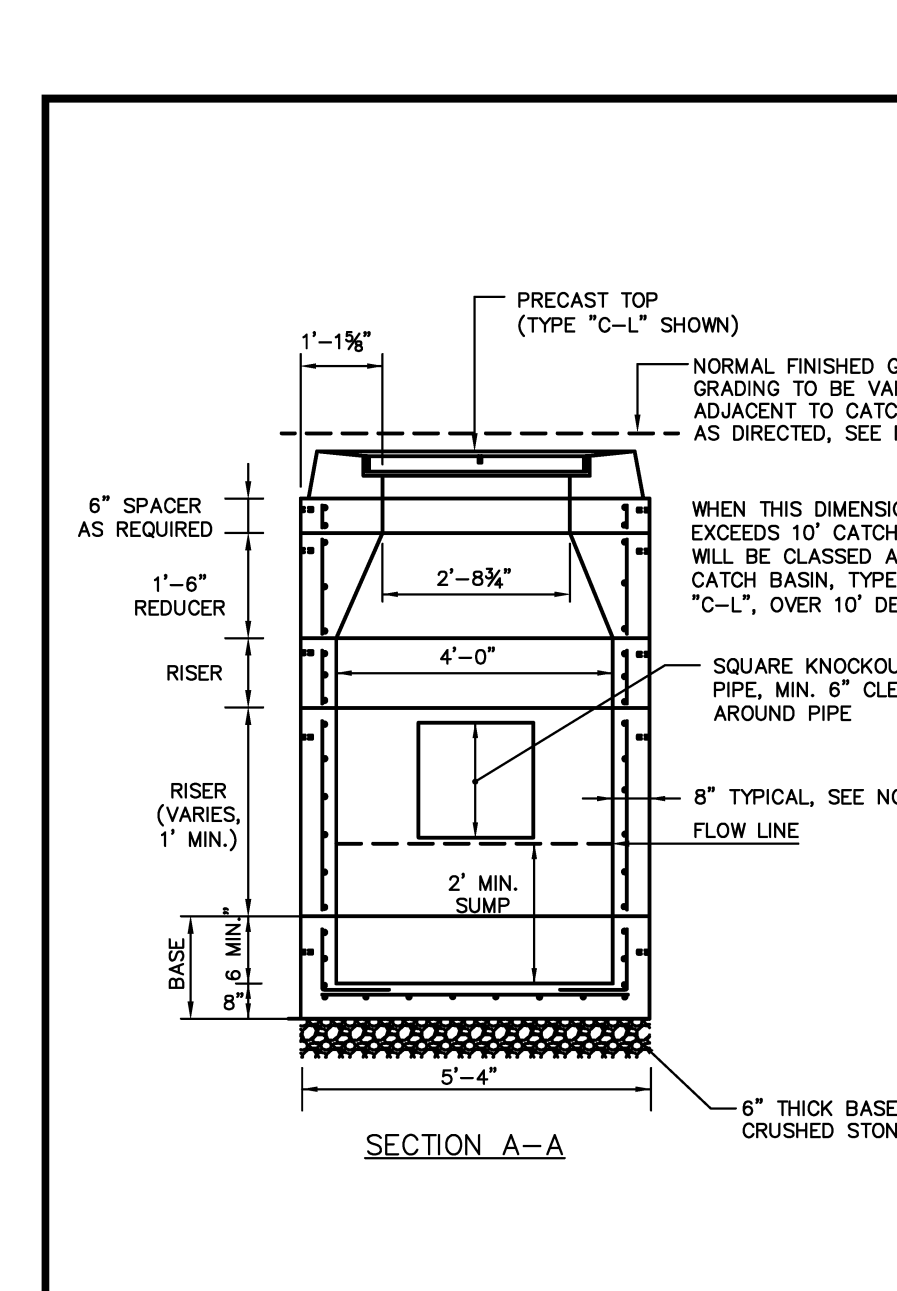
CONCRETE SIDEWALK RAMPS
 PLATE NO. 7



RAIN GARDEN SECTIONS
 SCALE 1"=4"



INLET WITH 6" (152) BITUMINOUS CONCRETE LIP CURBING FOR TYPE 'C' CB



CATCH BASIN
 PLATE NO. 21

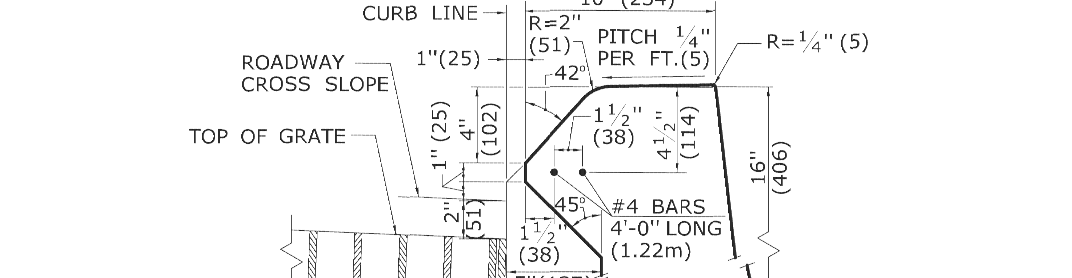
TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVELY DEVELOPMENT, INC. TMU / FLOOD ZONE
 PROJECT / APPLICANT
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR

FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

UNDERGROUND UTILITY NOTE:
 UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD DRAWINGS SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

INSPECTION NOTE:
 THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

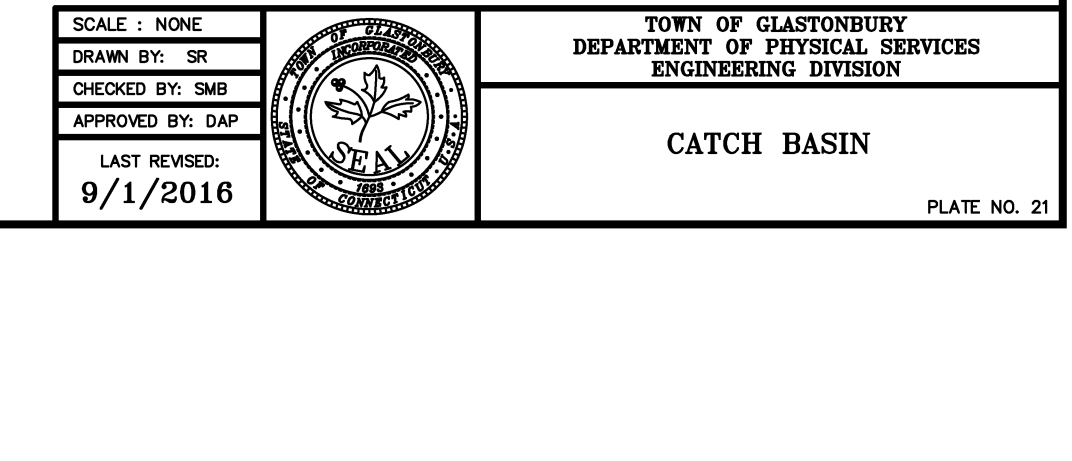
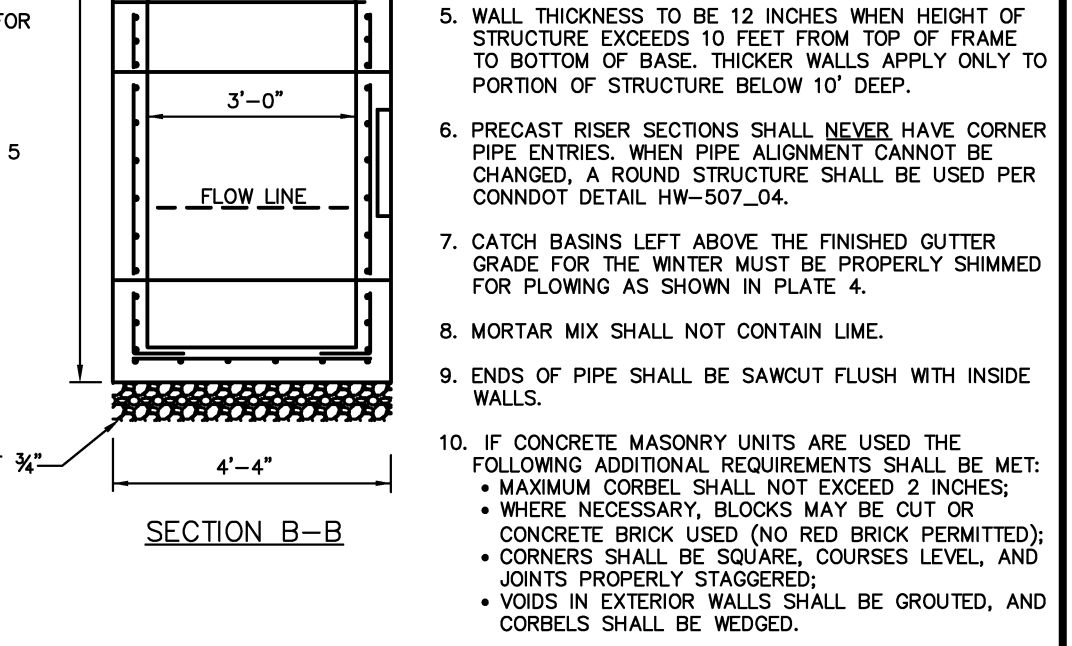


INLET WITH 6" (152) BITUMINOUS CONCRETE LIP CURBING FOR TYPE 'C' CB

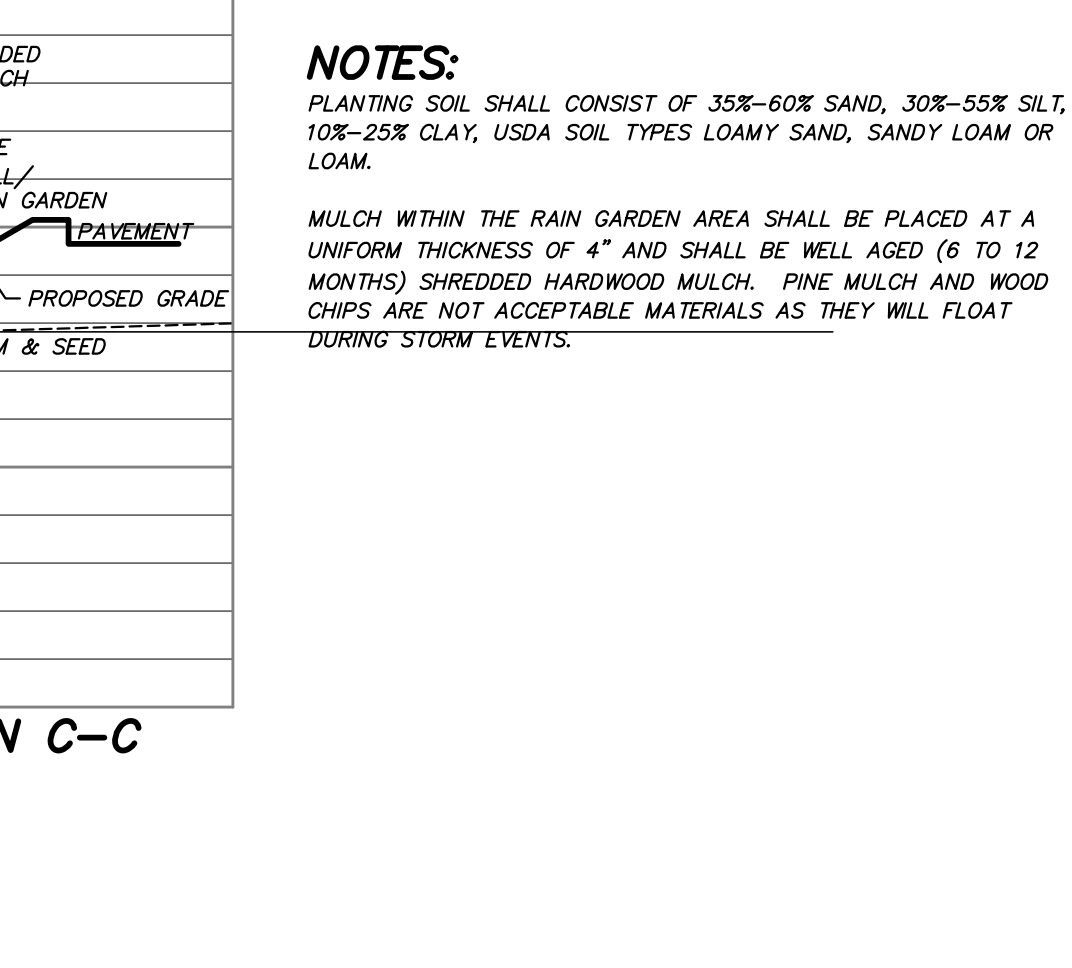
NOTES:

- ALL CATCH BASINS SHALL CONFORM TO CONDOT STANDARD DETAIL SHEETS HW-507.1 AND HW-507.04 EXCEPT AS OTHERWISE NOTED ON THIS DETAIL. DOUBLE GRATE CATCH BASINS SHALL CONFORM TO CONDOT STANDARD SHEETS HW-507.05 AND HW-507.06.
- PRECAST CATCH BASIN TOPS MUST BE PROPERLY ASSEMBLED AS SHOWN AND SHALL CONFORM TO CONDOT STANDARD DETAIL SHEETS HW-507.07. CAPE COD CATCH BASIN SHALL HAVE AN OPEN THROAT.
- ALL FRAMES AND GRATES SHALL BE GALVANIZED. FOR DETAILS OF FRAMES AND GRATES, SEE CONDOT STANDARD DETAIL SHEET HW-507.08.
- WHEN TYPE 'C' CATCH BASINS ARE CONSTRUCTED IN PAVEMENT, THE NORMAL GRADE OF THE ROADWAY SHALL BE VARIED TO PROVIDE AN ADDITIONAL 2-INCH DEPRESSION AT THE CATCH BASIN.
- WALL THICKNESS TO BE 12 INCHES WHEN HEIGHT OF STRUCTURE EXCEEDS 10 FEET FROM TOP OF FRAME TO BOTTOM OF BASE. THICKER WALLS APPLY ONLY TO PORTION OF STRUCTURE BELOW 10' DEEP.
- PRECAST RISER SECTIONS SHALL NEVER HAVE CORNER PIPE ENTRIES. WHEN PIPE ALIGNMENT CANNOT BE CHANGED, A ROUND STRUCTURE SHALL BE USED PER CONDOT DETAIL HW-507.04.
- CATCH BASINS LEFT ABOVE THE FINISHED GUTTER GRADE FOR THE WINTER MUST BE PROPERLY SHIMMED FOR FLOWING AS SHOWN IN PLATE 4.
- MORTAR MIX SHALL NOT CONTAIN LIME.
- ENDS OF PIPE SHALL BE SAW CUT FLUSH WITH INSIDE WALLS.
- IF CONCRETE MASONRY UNITS ARE USED THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL BE MET:
 - MAXIMUM CORBEL SHALL NOT EXCEED 2 INCHES;
 - WHERE NECESSARY, BLOCKS MAY BE CUT OR CONCRETE BRICK USED (NO RED BRICK PERMITTED);
 - CORNERS SHALL BE SQUARE, COURSES LEVEL, AND JOINTS PROPERLY STAGGERED;
 - VOIDS IN EXTERIOR WALLS SHALL BE GROUTED, AND CORBELS SHALL BE WEDGED.

SCALE: NONE
 DRAWN BY: SR
 CHECKED BY: SMB
 APPROVED BY: DAP
 LAST REVISED: 9/1/2016



MANHOLE FRAME AND COVER
 PLATE NO. 33

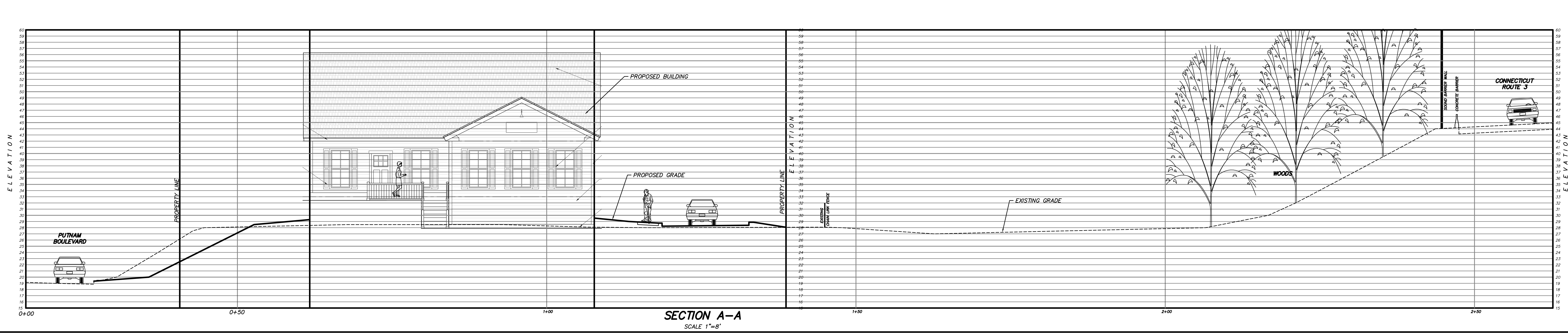
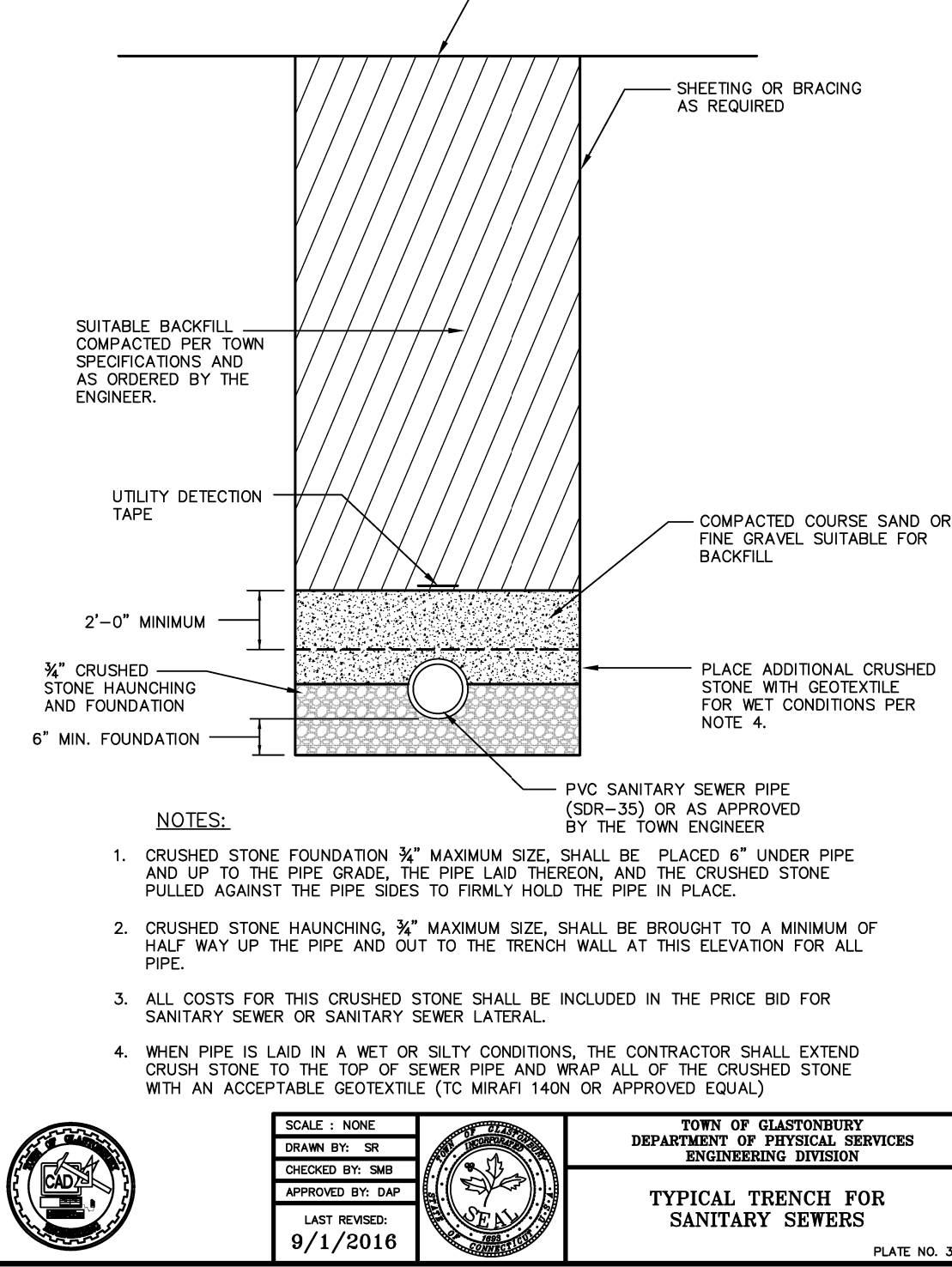
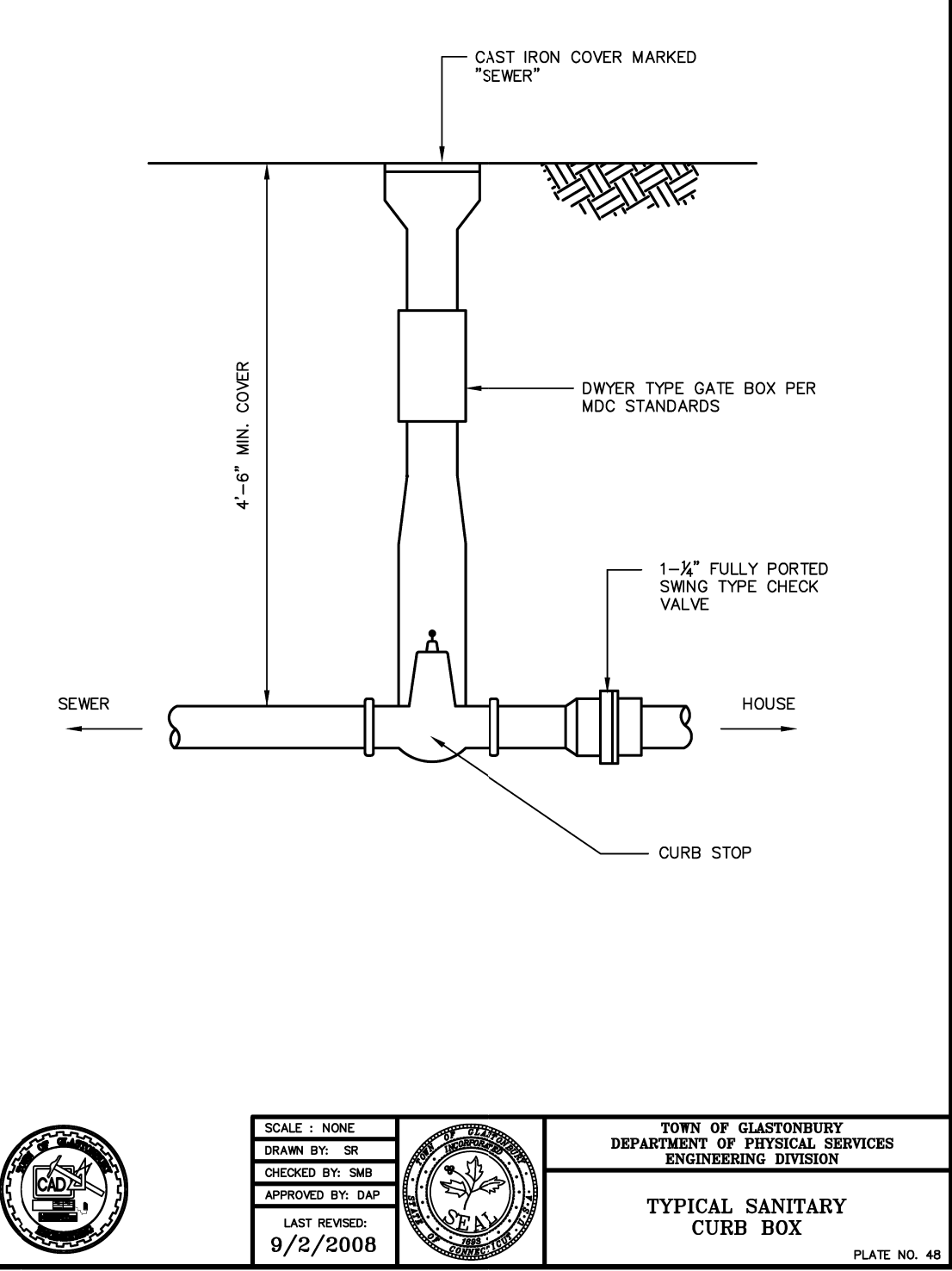
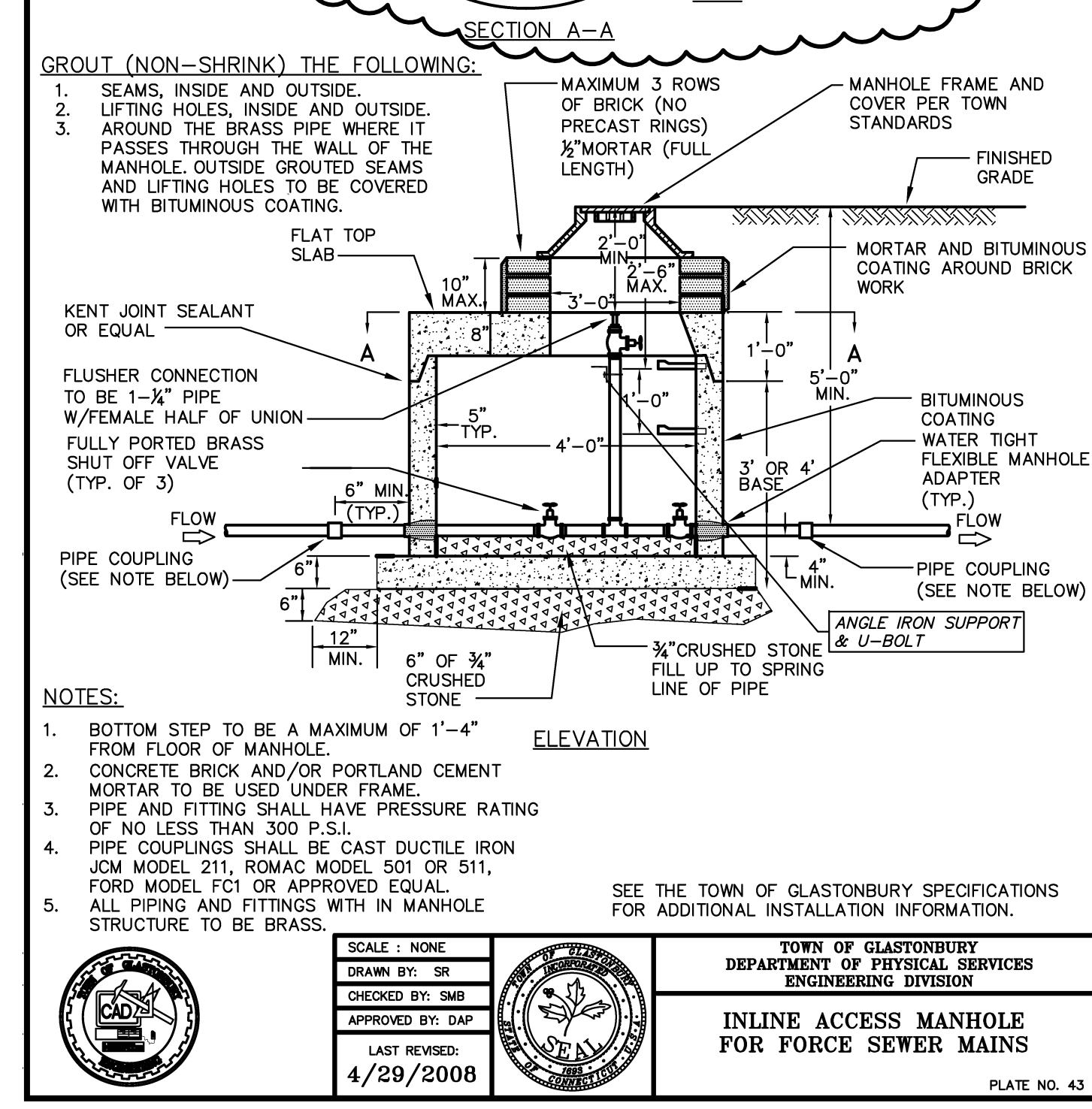
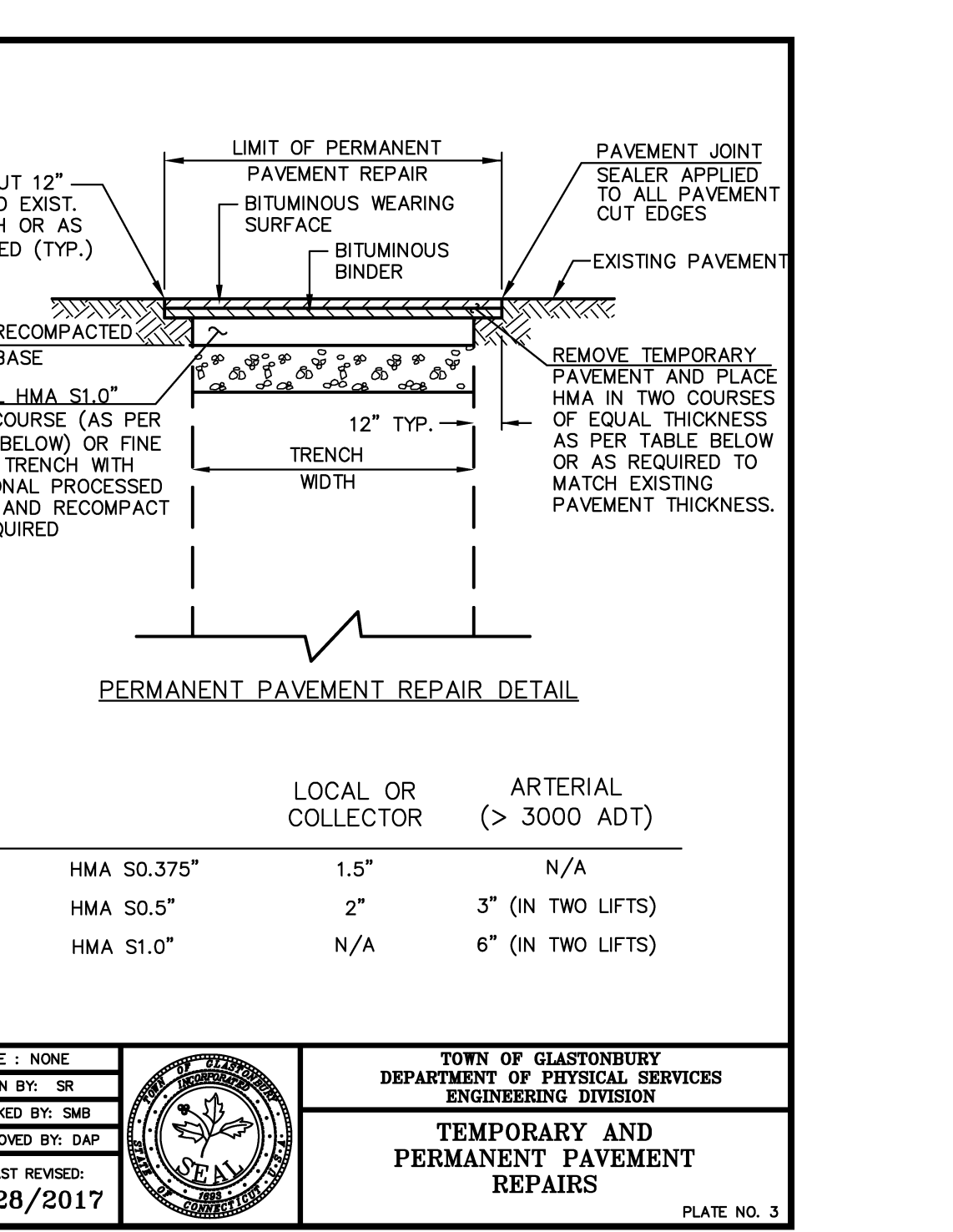
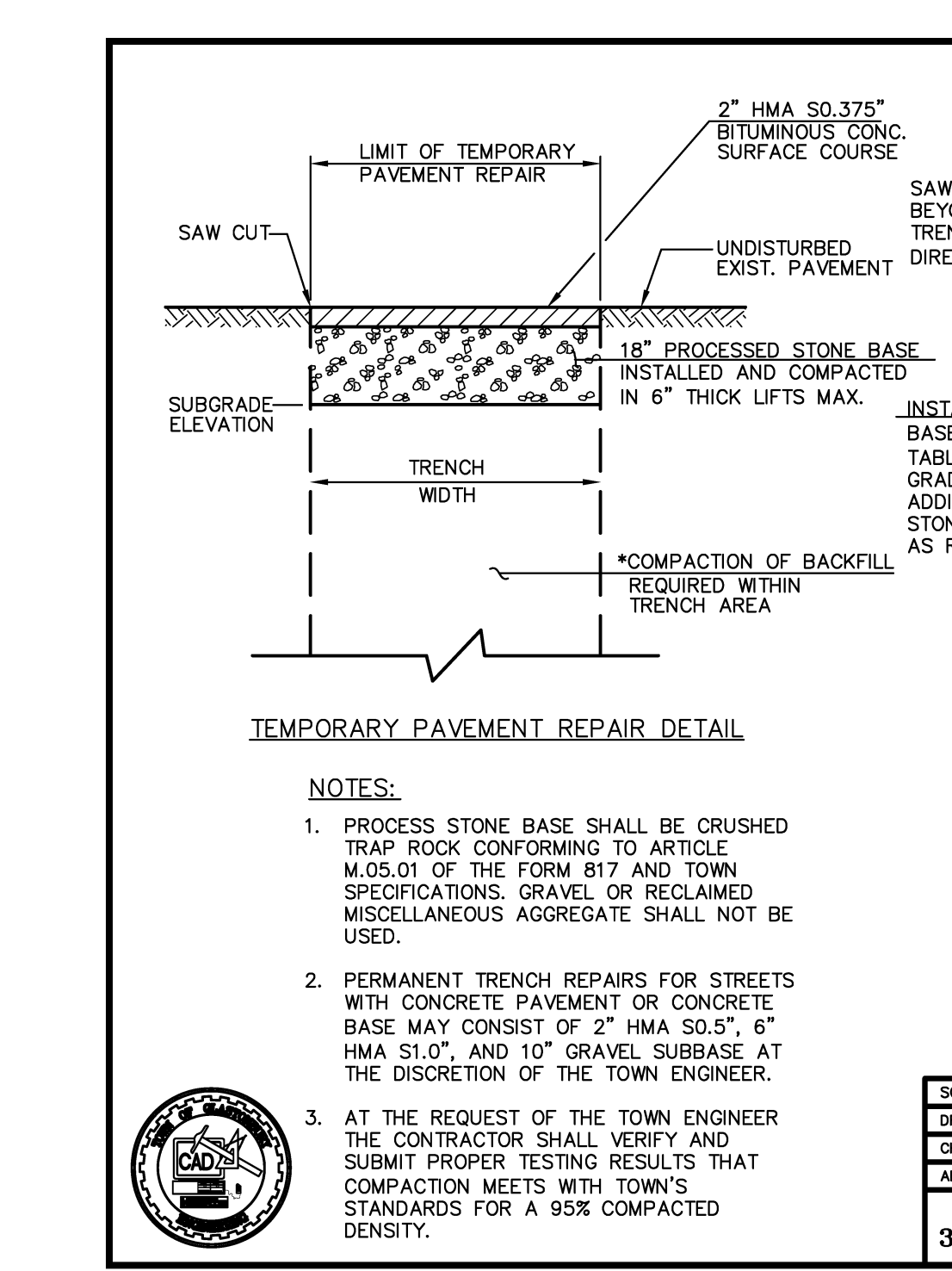
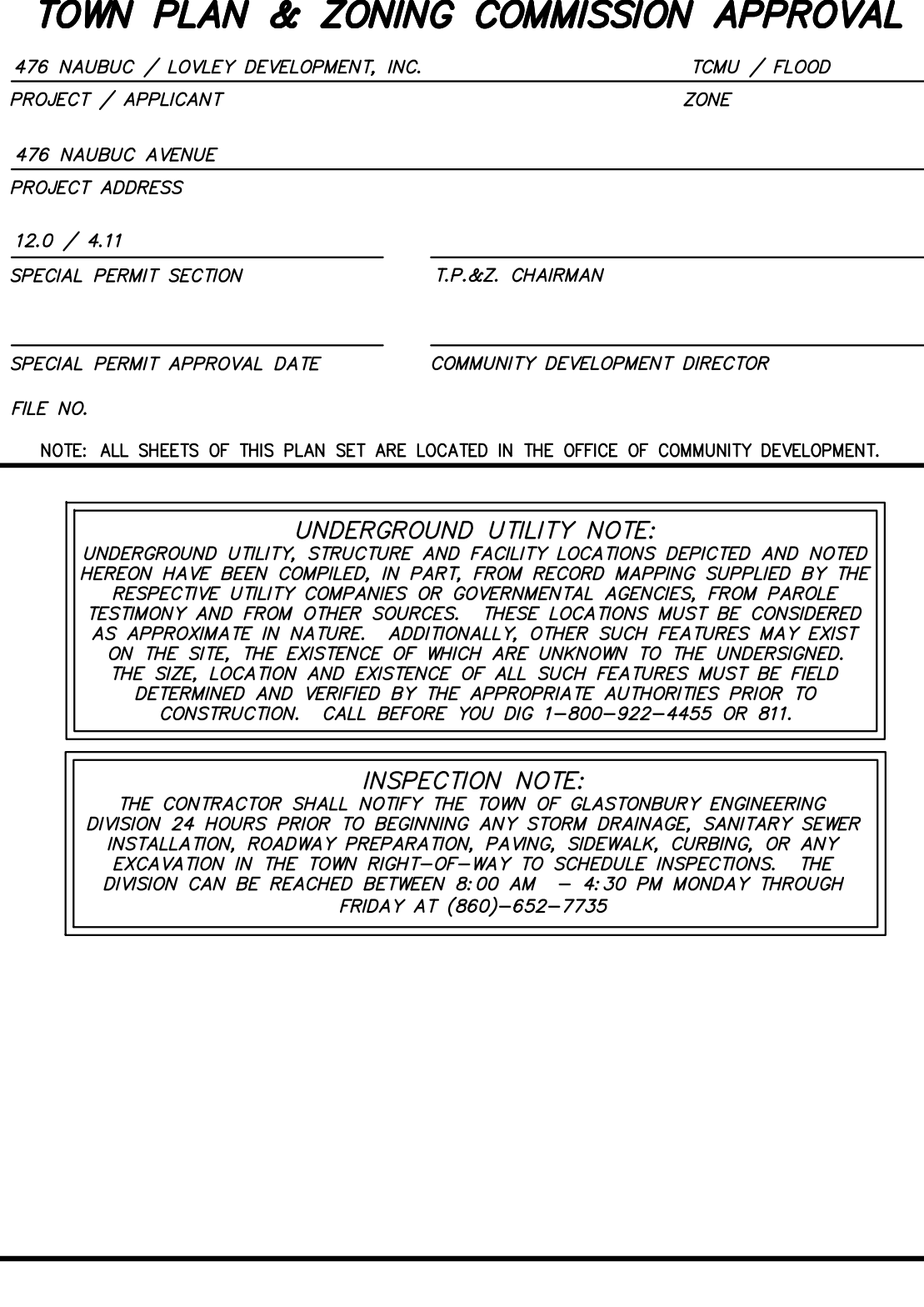
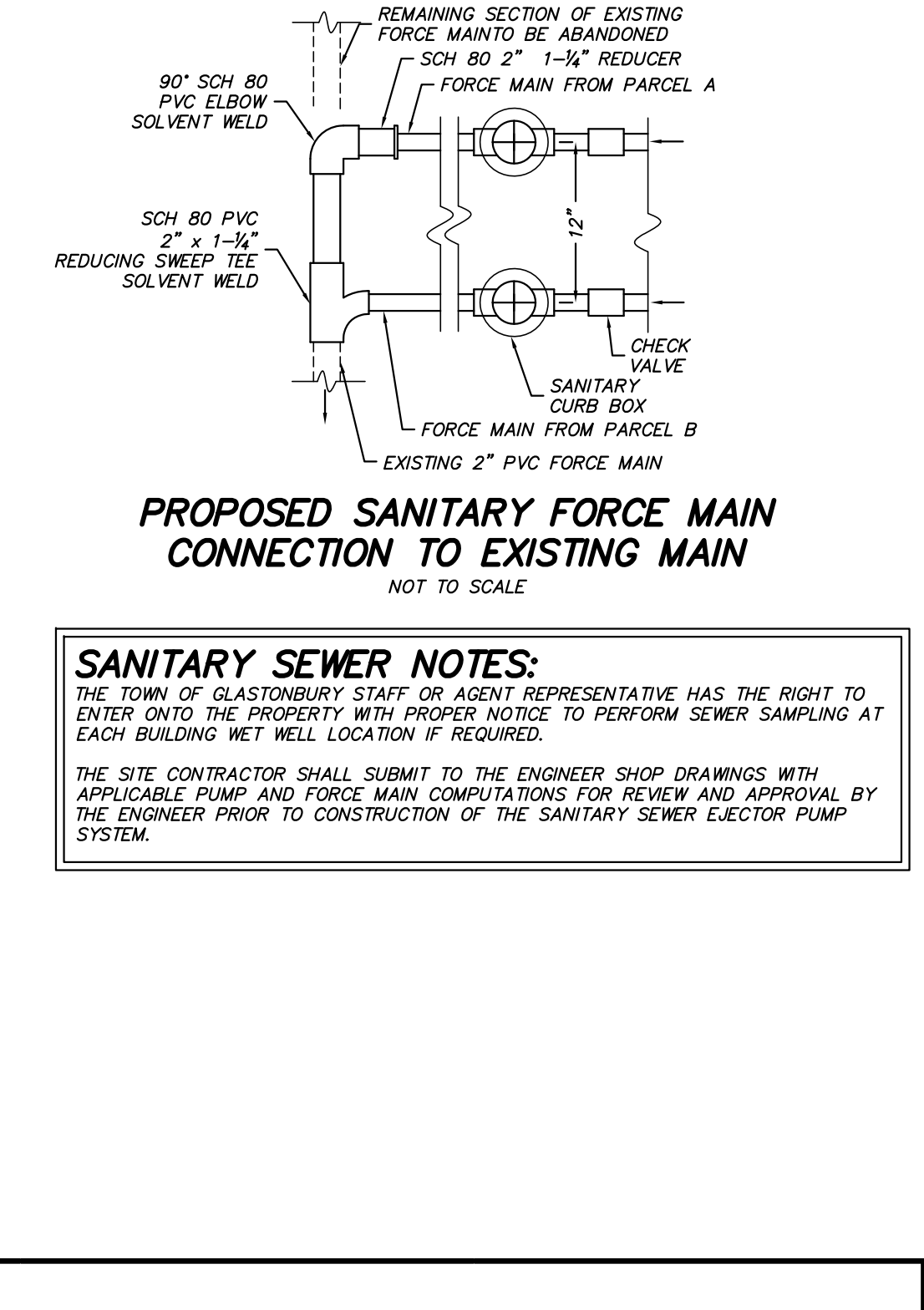
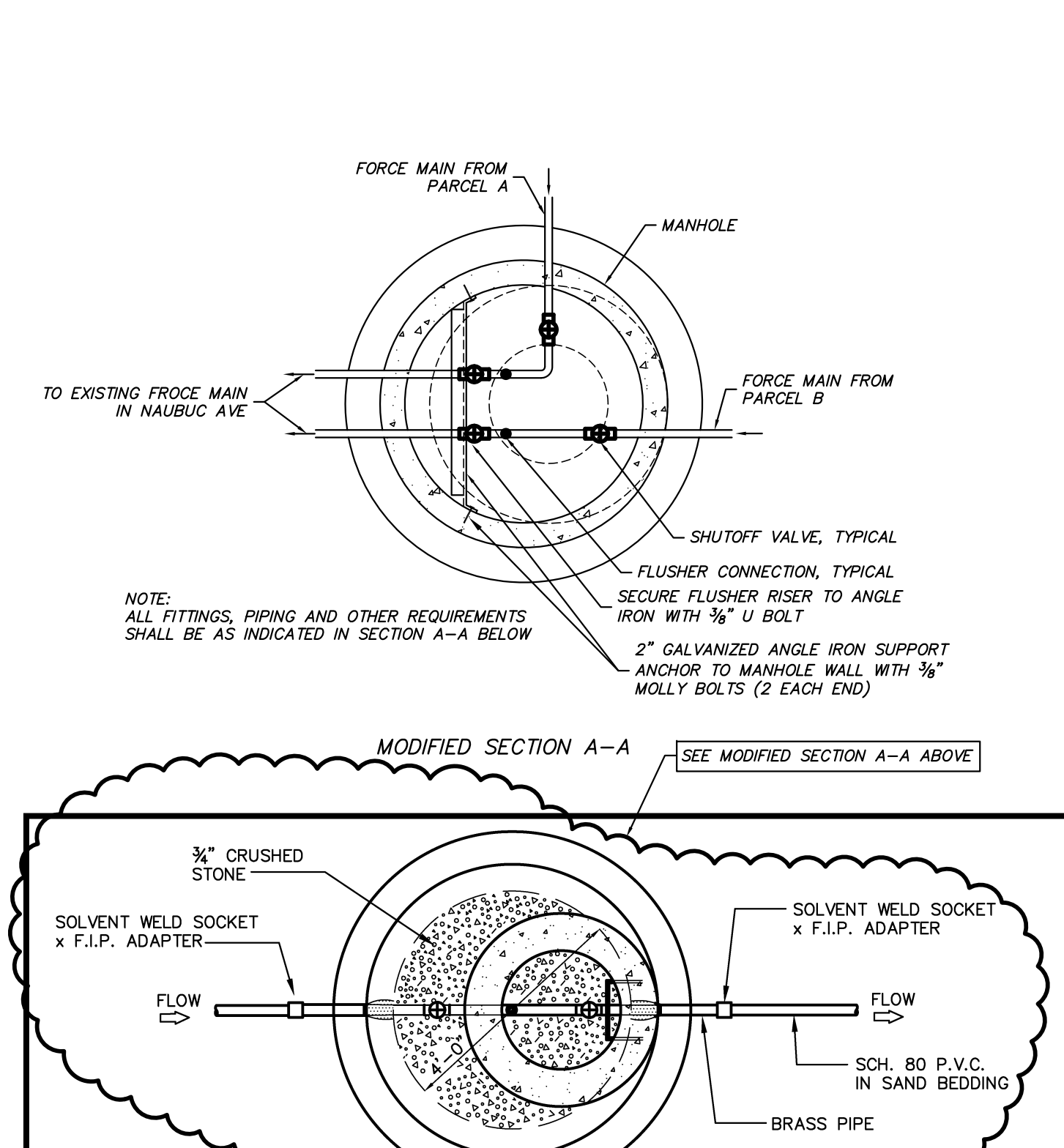
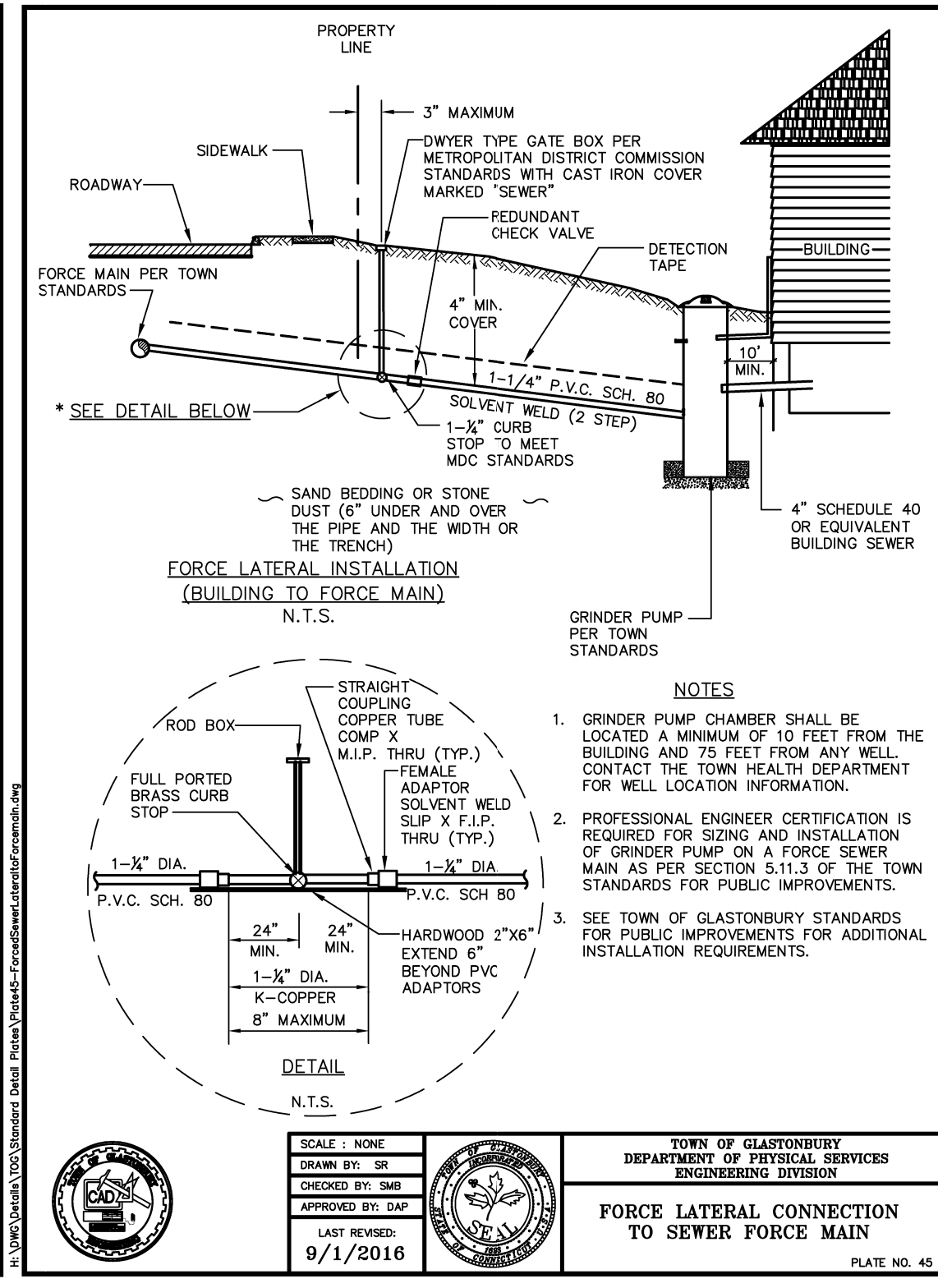
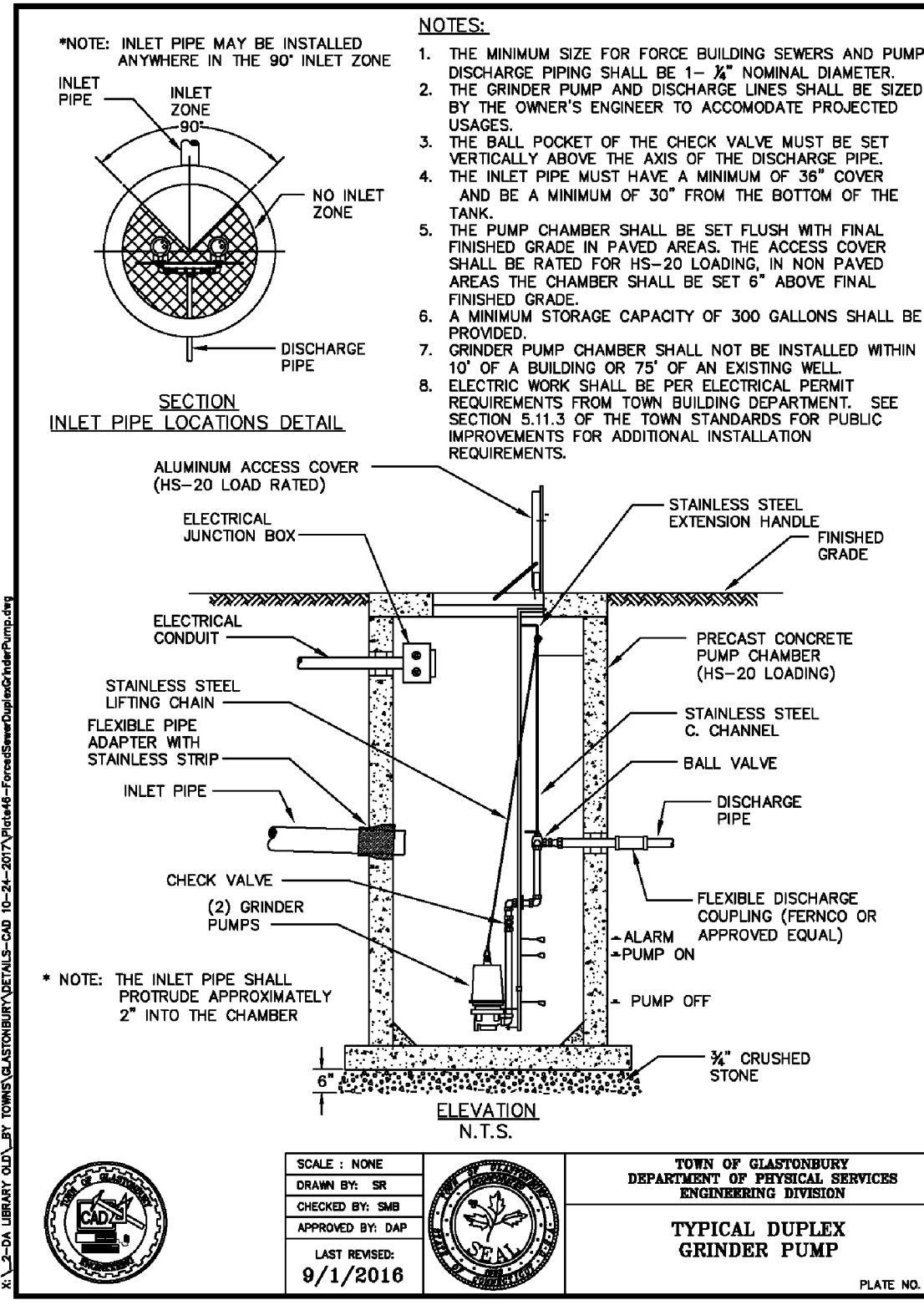


REVISIONS:
 COMMENTS 11/07/2018
 01-16-2019 - CONDITIONS

DATE: 02/08/2018
 SCALE: AS SHOWN
 SHEET 18 OF 23
 A-17-053-D2
 FILE: 17053.DWG

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8961
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

GENERAL NOTES AND DETAILS
PROPOSED SUBDIVISION
476 NAUBUC AVENUE
 PREPARED FOR
LOVELY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT



DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
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GENERAL NOTES AND DETAILS
PROPOSED SUBDIVISION
476 NAUBUC AVENUE
LOVLEY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:
 COMMENTS 11/07/2018
 01-15-2019 - CONDITIONS

DATE: 02/08/2018
 SCALE: AS SHOWN
 SHEET 19 OF 23
 A-17-053-D3
 FILE: 17053.DWG

EMBLEM

Aluminum Shade w/ Glass and Guard Options
 1/2" IP and 3/4" IP Arm Options
 UL Wet Location Listed

Fixture

- Aluminum Shade
- Incandescent and Fluorescent Lamp Options
- Glass and Guard Options

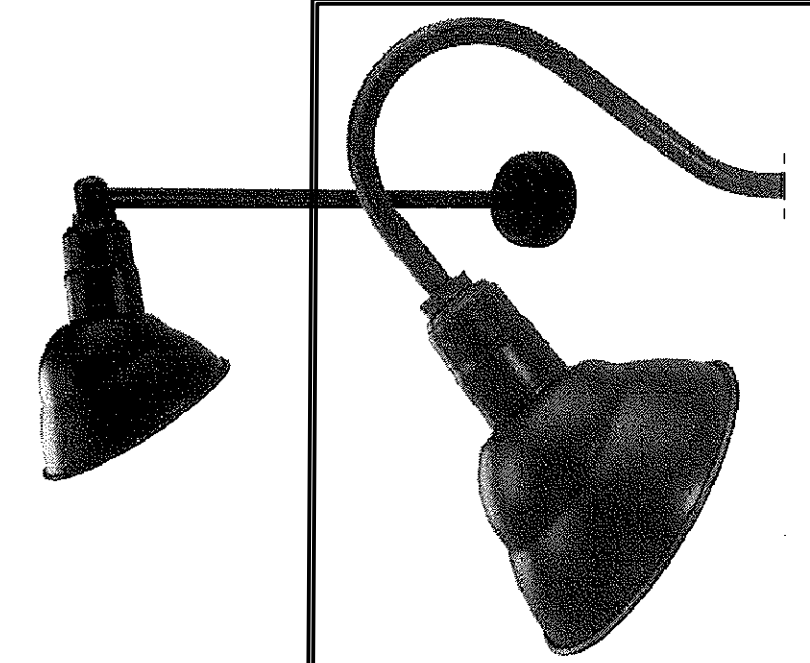
Finishes

- Shade, Arm and Stem Finish Options
- See Reverse Side of Sheet for Finish Options

Mounting

- 1/2" IP and 3/4" IP Arms Available
- Stem Options

RE8, RE10, RE12



ORDERING EXAMPLE

Fixture and mounting shown, right hand

PIPE	CAT NO.	LAMP	FINISH	PIPE	MOUNTING	FINISH
2	RE10	GU2426	TBZ	2	SL23	TBZ

1/2" IP, Emblem 10", 26W GU24, Textured Bronze Shade, 1/2" IP, Small Loop 23", Textured Bronze

PIPE	CAT NO.	LAMP/BALLAST	SHADE/ARM FINISH	ACCESSORIES	
2	1/2" IP	RE8	M	Incandescent Med Base 100W max	All Standard and Specialty Finishes
3	3/4" IP	RE10	GU2413	12W GU24 Base, 2700K, 120V	Coastal Finish Option - Add "C" to end of order number
		RE12	GU2418	18W GU24 Base, 2700K, 120V	Coastal Finish Option - Add "C" to end of order number
			GU2426	24W GU24 Base, 2700K, 120V	Coastal Finish Option - Add "C" to end of order number
			GU2432	32W GU24 Base, 2700K, 120V	Coastal Finish Option - Add "C" to end of order number
			GU2442	42W GU24 Base, 2700K, 120V	Coastal Finish Option - Add "C" to end of order number
			LED12	12W COB LED, 2700K/90 CRI, 120V, 840 Lumens	Specialty Finish for Shade and Arm separately as in the example above. Cage or Guard finish will match Shade finish.
			LED18	18W COB LED, 2700K/90 CRI, 120V, 1260 Lumens	Specialty Finish for Shade and Arm separately as in the example above. Cage or Guard finish will match Shade finish.

*LAMP/SHADE INCLUDED *NOT FOR USE IN GLASS/CLEAR/SHADE WIRE CAGE ENCLOSURES **FINISHED GLASS/PIPE INCLUDED

PIPE	CAT NO.	LAMP/BALLAST	SHADE FINISH	ACCESSORY	MOUNT PIPE	MOUNT	MOUNT FINISH
2	RE10	FC32	TBZ		2	SL23	TBZ

Project _____
 Fixture Type _____
 Location _____
 Contact _____
 Phone _____



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EMBLEM

Aluminum Shade w/ Glass and Guard Options
 1/2" IP and 3/4" IP Arm Options
 UL Wet Location Listed

LAMPS/BALLASTS

WATTS	LUMENS	VOLTS	APPLICATION	BASE
100W max	1400	120V	w/o Glass	Med (E26)
100W max	1400	120V	w/ Glass	Med (E26)
100W max	1400	120V	Pendant	Med (E26)

LEDS (Included)

CAT. NO.	WATTS	LUMENS	VOLTS	COLOR TEMP	CRI	DIMMING
LED12	12W	840	120V	2700°K	90	Incandescent
LED18	18W	1260	120V	2700°K	90	Incandescent

COMPACT FLUORESCENT LAMPS (GU24 CFL)

WATTS	LUMENS	120V	COLOR TEMP	BASE	LAMP TYPE
13	900	GU2413	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
18	1200	GU2418	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
26	1450	GU2426	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
32	2200	GU2432	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
42	2800	GU2442	2700°K	GU24	bi-pin twist & lock spiral lamp (included)

FINISHES

COASTAL FINISH OPTION
 • The Coastal Finish is a coating available to protect finishes on fixtures installed in coastal environments.
 • To specify, add "C" to end of order number

FIXTURES/SHADES

• Specialty Finishes can be specified for all Fixtures/Shades, unless otherwise noted.
 • The insides of all Shades are painted Glass White (WT) unless otherwise specified.
 • Fixtures/Shades in Galvanized (GA) finish are not painted white inside. Shades will be Galvanized (GA) finish inside.
 • Mounting Canopy finish to match Shade finish

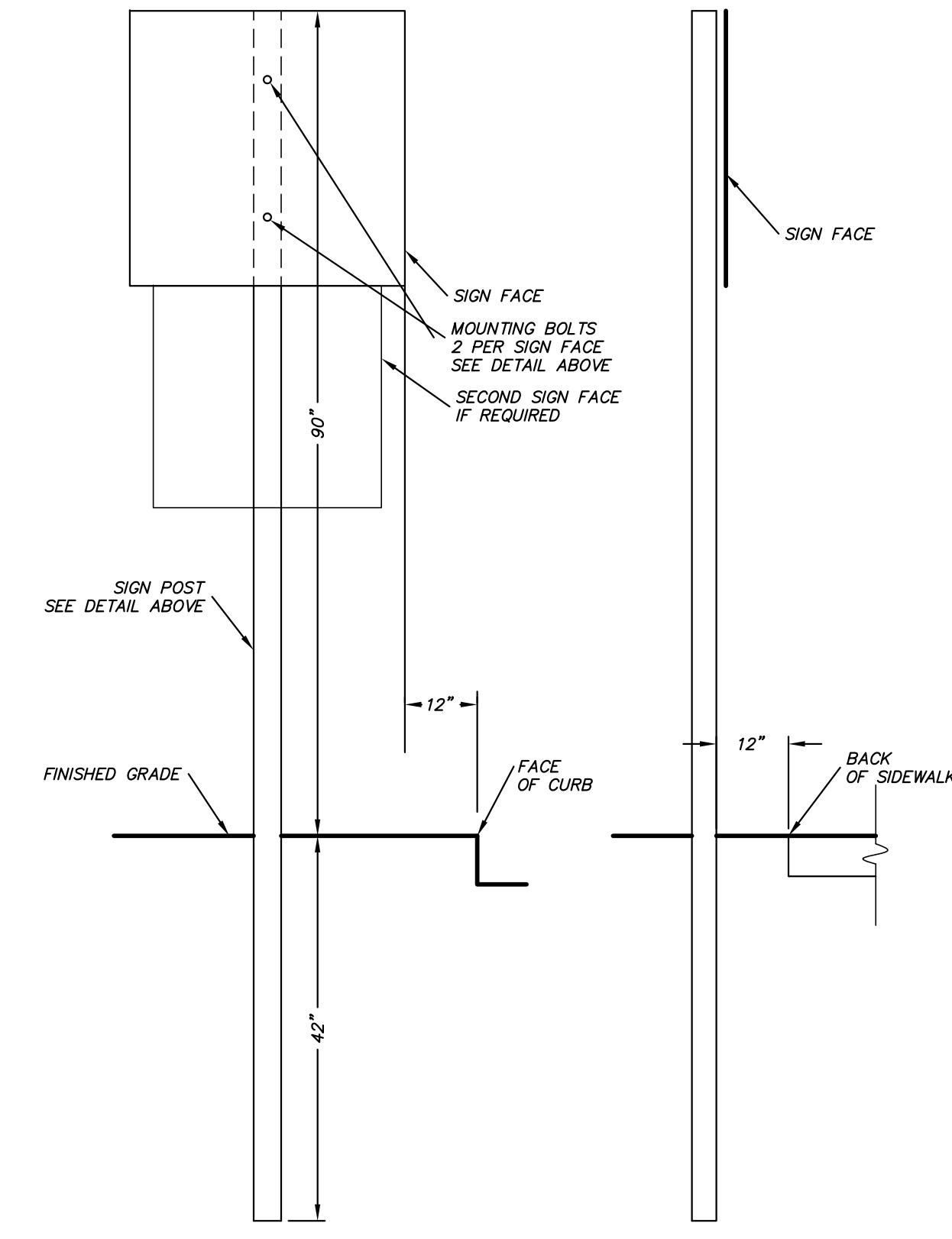
MOUNTS

• Arms, Stems and Wall Mounts can be specified in all Standard and Specialty Finishes.
 • Post Mounts can be specified only in Standard Finishes.



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RE8, RE10, RE12



SIGN INSTALLATION
 NOT TO SCALE

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVELY DEVELOPMENT, INC. TCMU / FLOOD ZONE
 PROJECT / APPLICANT
 476 NAUBUC AVENUE
 PROJECT ADDRESS
 12.0 / 4.11
 SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
 SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
 FILE NO.
 NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

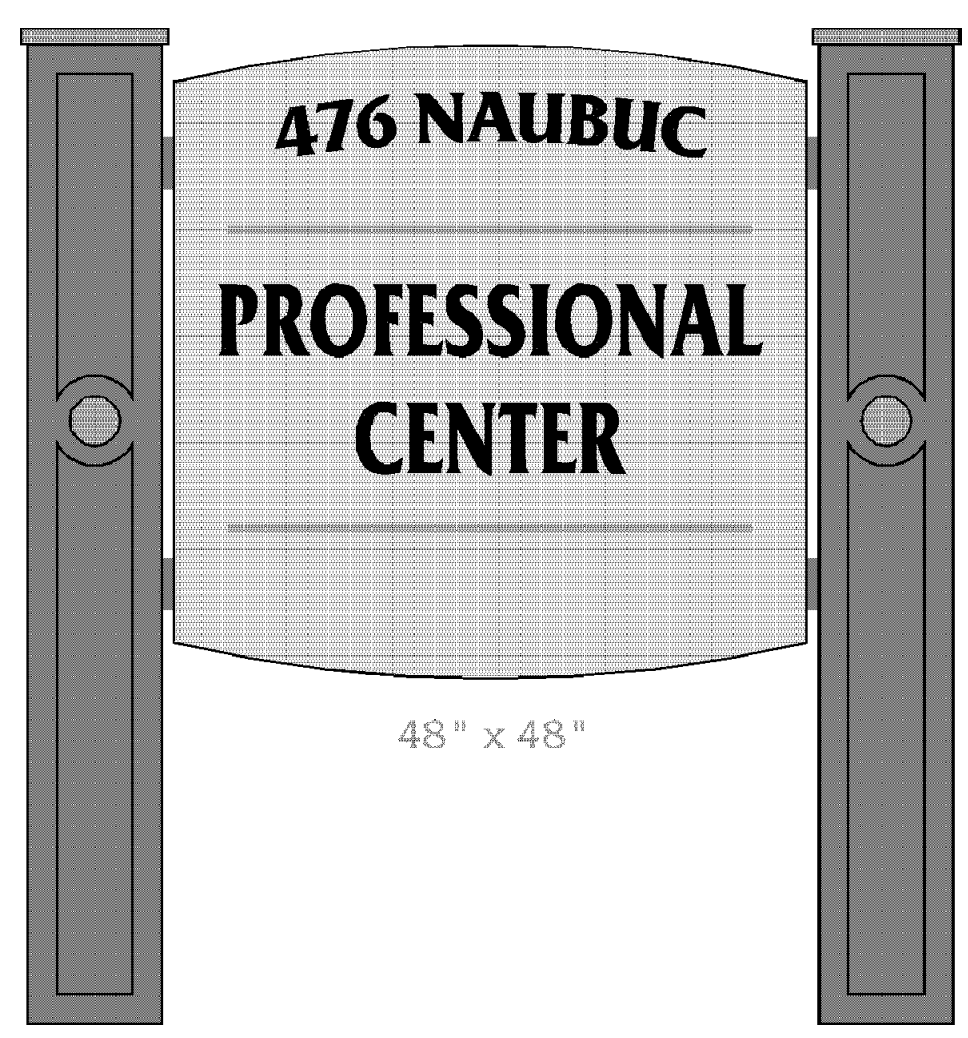
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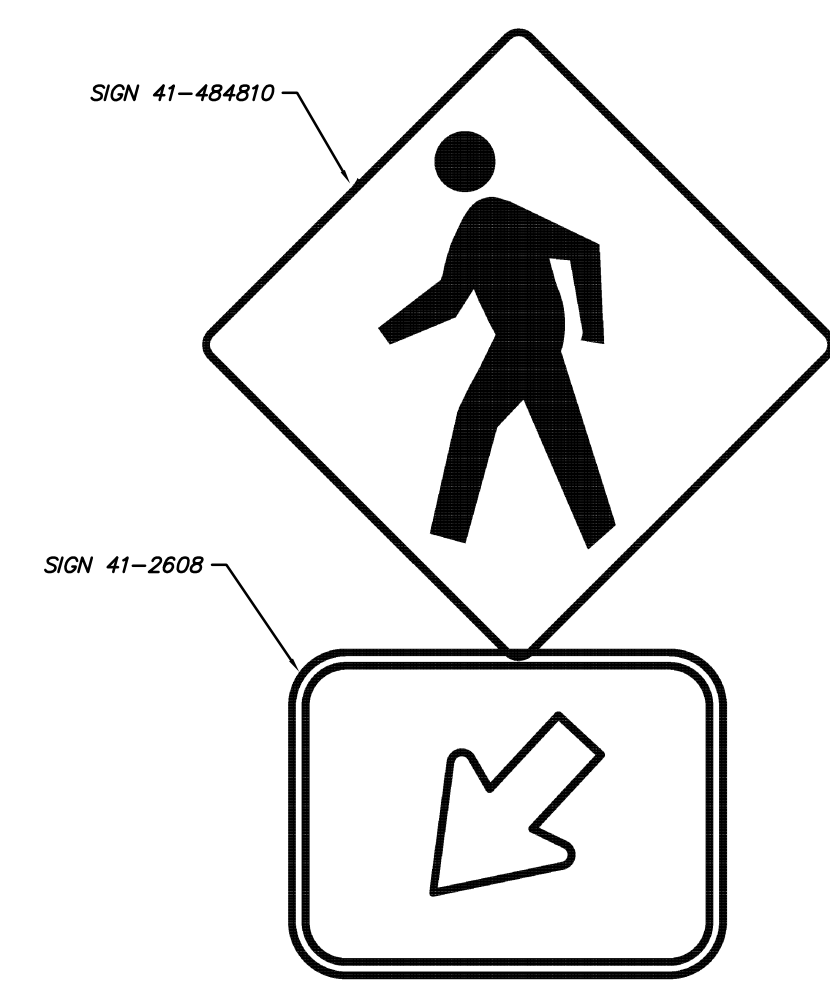


3' x 9' aluminum metal framed sign. Sign is constructed with 1" x 1" aluminum tube frame with .063" aluminum sign face with 1" x 1" trim molding. Graphics are 3M adhesive vinyl.

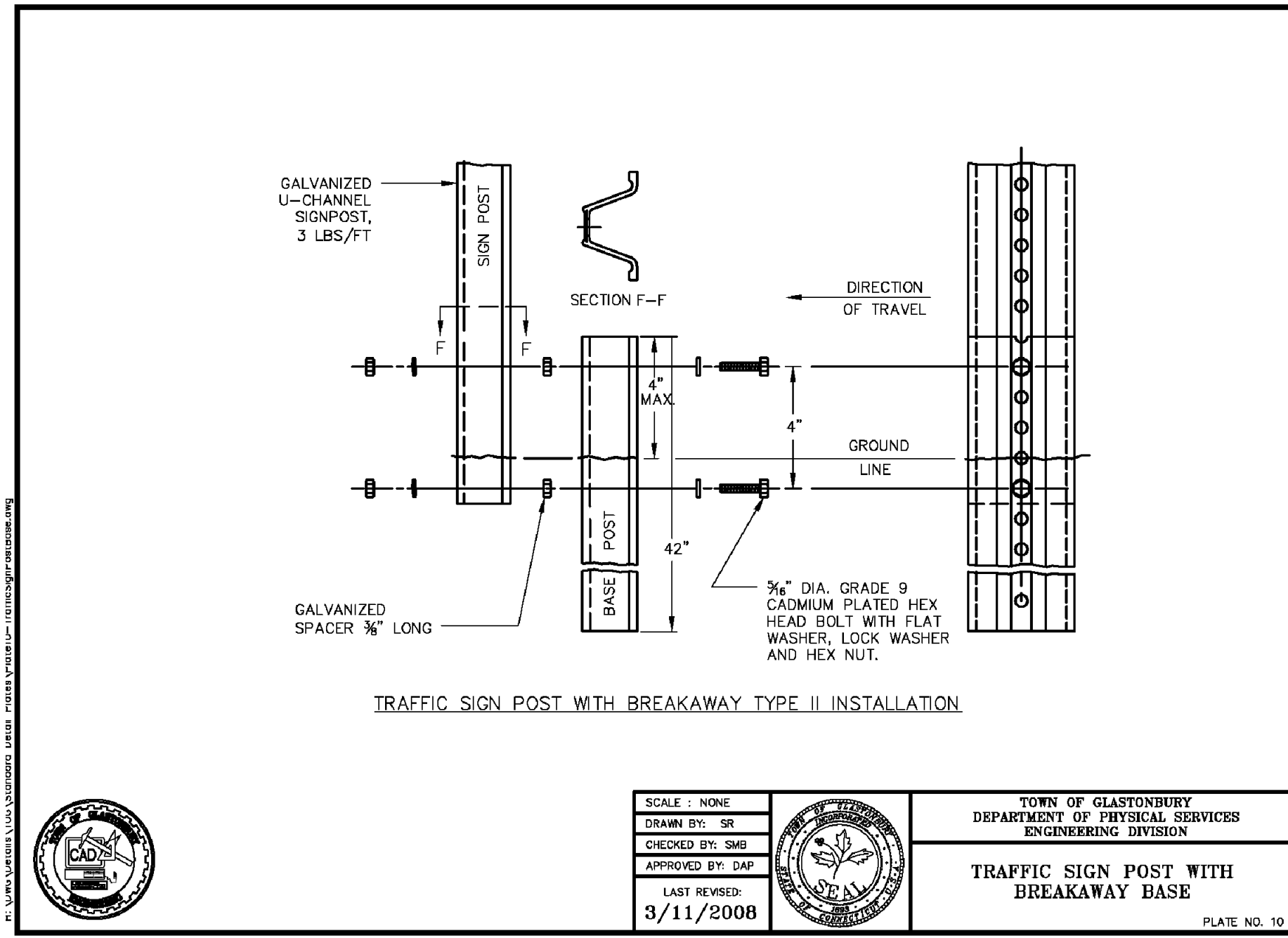
BUILDING MOUNTED SIGN DETAIL S-3
 NOT TO SCALE



ROADSIDE SIGN DETAIL S-1
 NOT TO SCALE



PEDESTRIAN CROSSING SIGN
 NOT TO SCALE



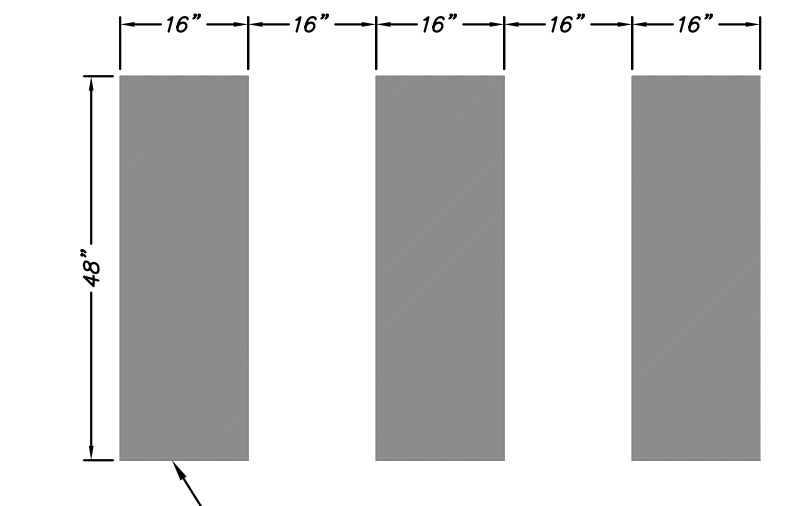
TRAFFIC SIGN POST WITH BREAKAWAY TYPE II INSTALLATION

SCALE: NONE
 DRAWN BY: SR
 CHECKED BY: SMB
 APPROVED BY: DAF
 LAST REVISED: 3/11/2008

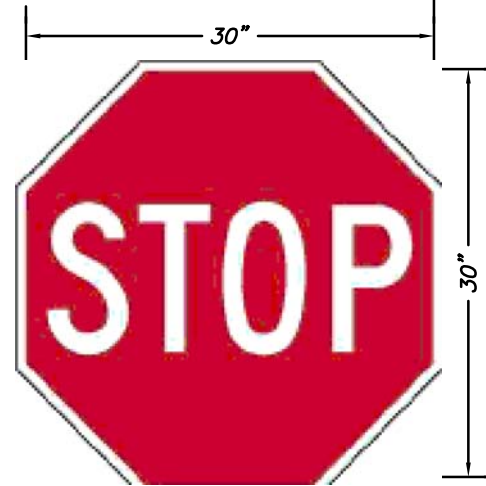
TOWN OF GLASTONBURY
 DEPARTMENT OF PHYSICAL SERVICES
 ENGINEERING DIVISION

TRAFFIC SIGN POST WITH BREAKAWAY BASE

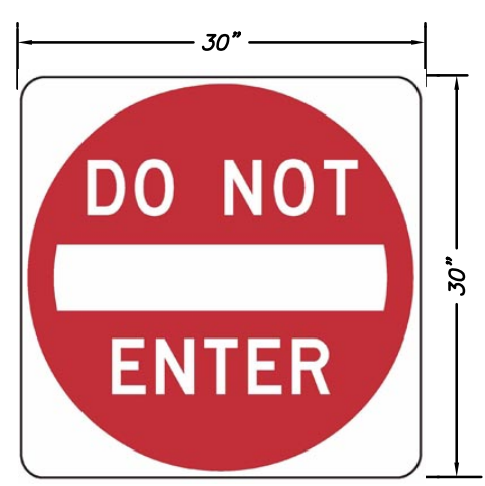
PLATE NO. 10



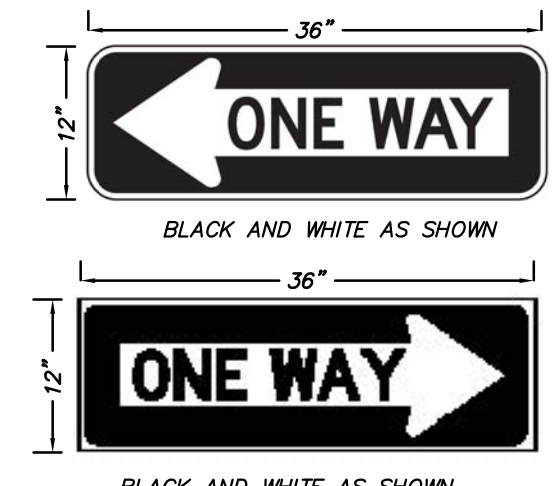
PAINTED CROSSWALK
 NOT TO SCALE



SIGN 31-0552
 NOT TO SCALE



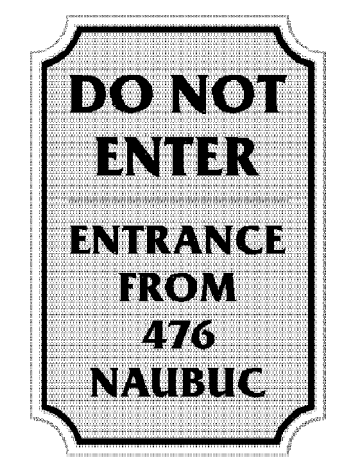
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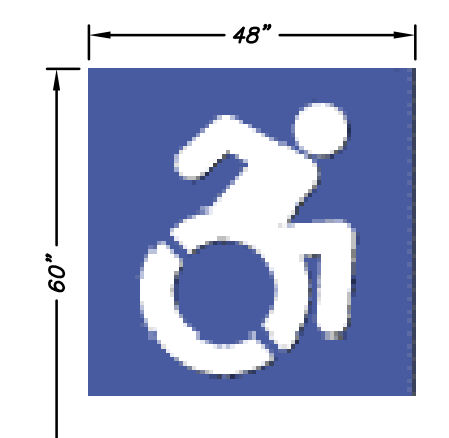
SIGN 31-1177
 NOT TO SCALE



SIGN W-3
 NOT TO SCALE



SIGN W-3
 NOT TO SCALE



SIGN W-2
 NOT TO SCALE



SIGN W-1

DUTTON ASSOCIATES, LLC
 LAND SURVEYORS AND CIVIL ENGINEERS
 67 EASTERN BOULEVARD
 GLASTONBURY, CONNECTICUT 06033
 TEL: 860-633-9401 FAX: 860-633-8951
 EMAIL: JMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

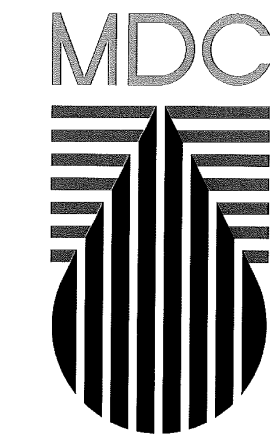
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GENERAL NOTES AND DETAILS
 PROPOSED SUBDIVISION
 476 NAUBUC AVENUE
 PREPARED FOR
 LOVELY DEVELOPMENT, INC.
 GLASTONBURY, CONNECTICUT

REVISIONS:

COMMENTS	11/07/2018
01-16-2019 - CONDITIONS	
DATE:	02/08/2018
SCALE:	AS SHOWN
SHEET	20 of 23
A-17-053-D4	
FILE:	17053.DWG

STANDARD DETAILS
MANUAL

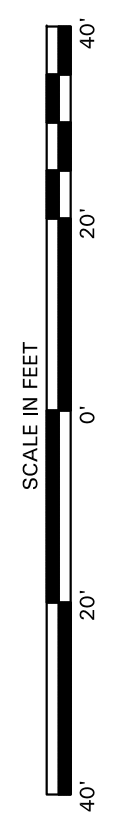


THE METROPOLITAN DISTRICT

555 MAIN STREET
P.O. BOX 800
HARTFORD, CONNECTICUT

JANUARY 2015

NOTE:
ALL DETAILS TAKEN DIRECTLY FROM THE MDC STANDARD DETAILS MANUAL. FOR CLARIFICATION OF DETAILS OR ADDITIONAL DETAILS SEE THE COMPLETE MANUAL (LATEST REVISION), WHICH IS HEREBY INCORPORATED INTO THESE PLANS BY REFERENCE IN ITS ENTIRETY.



DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8851
EMAIL: JIM@DUTTONASSOCIATESLLC.COM

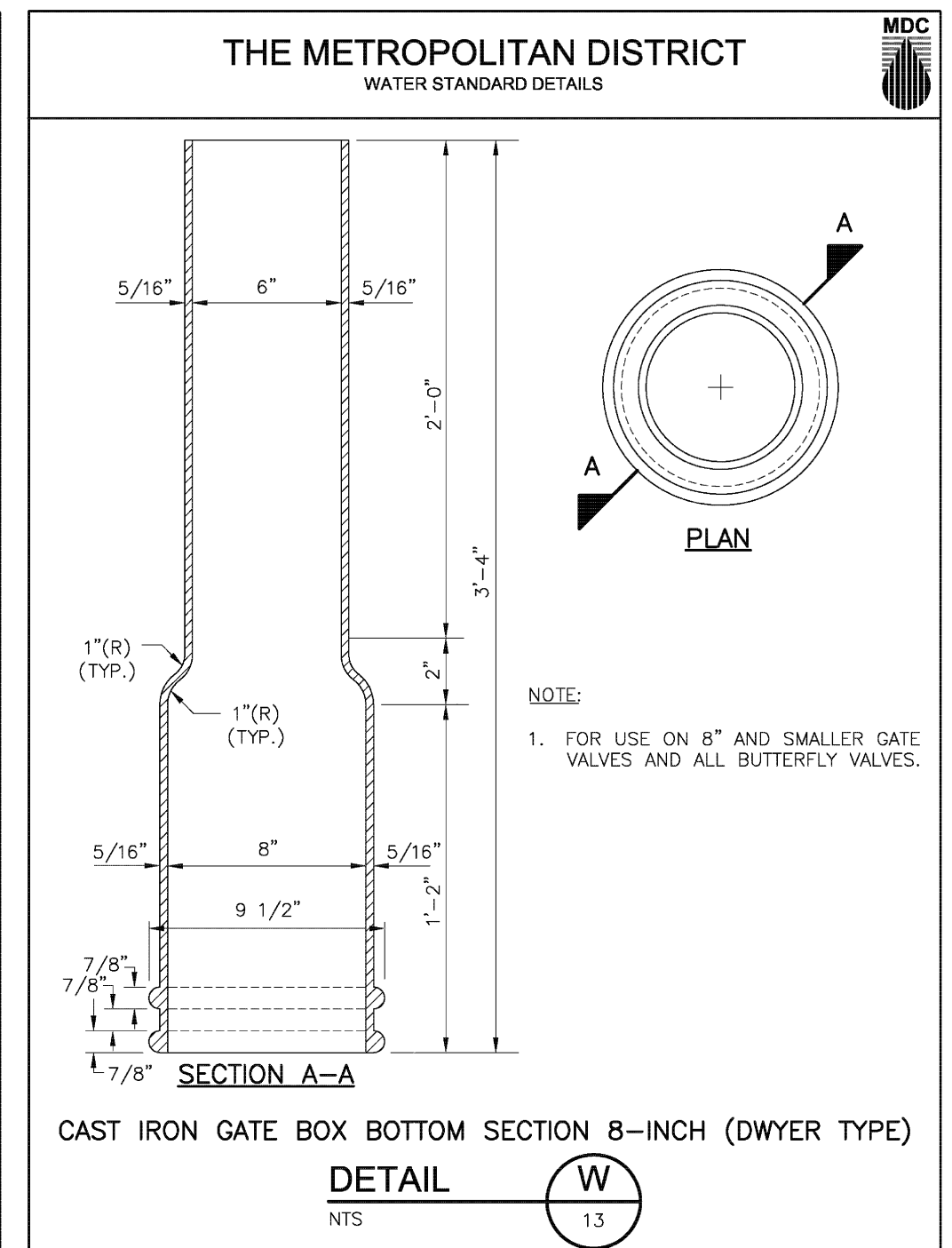
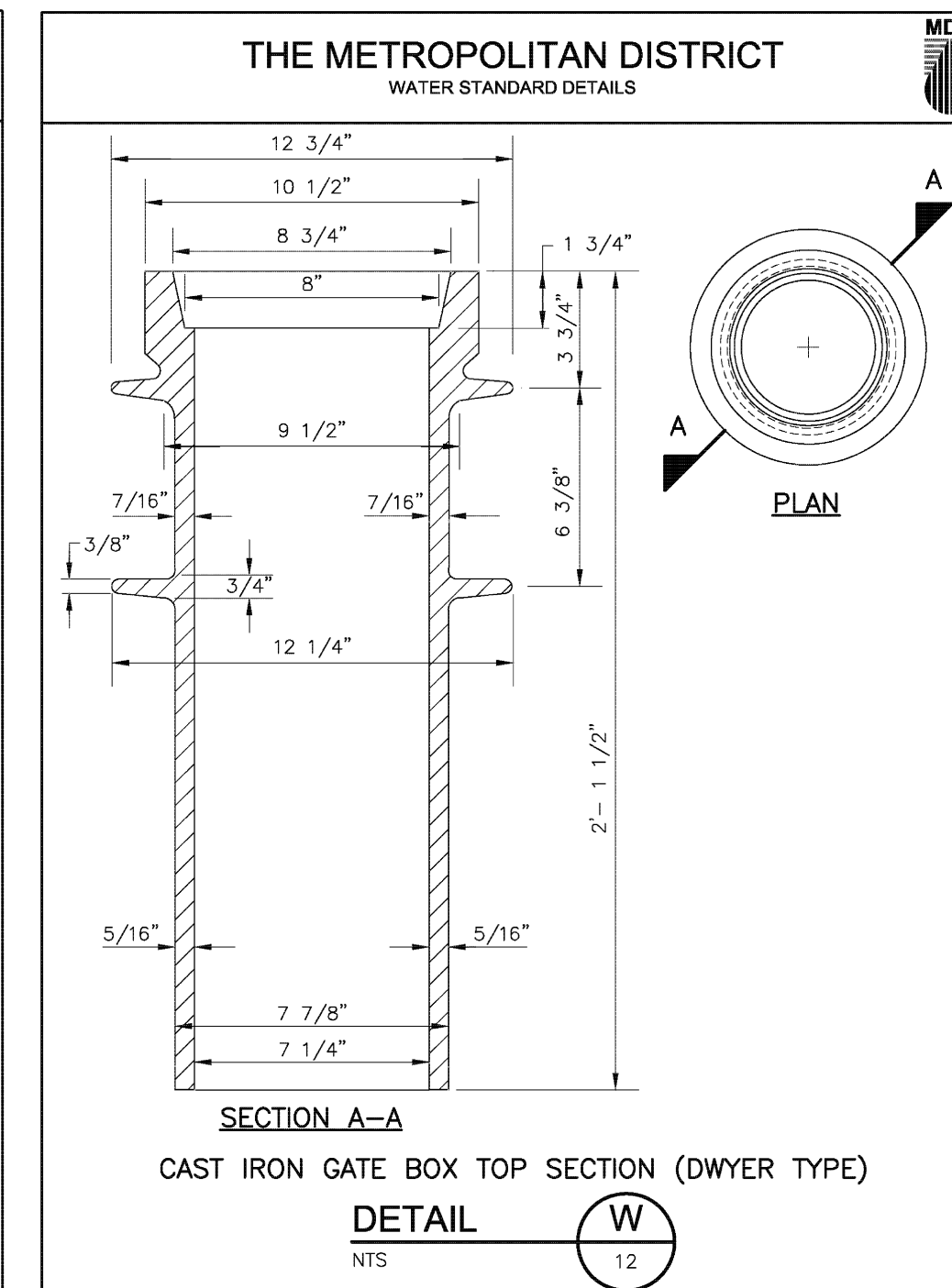
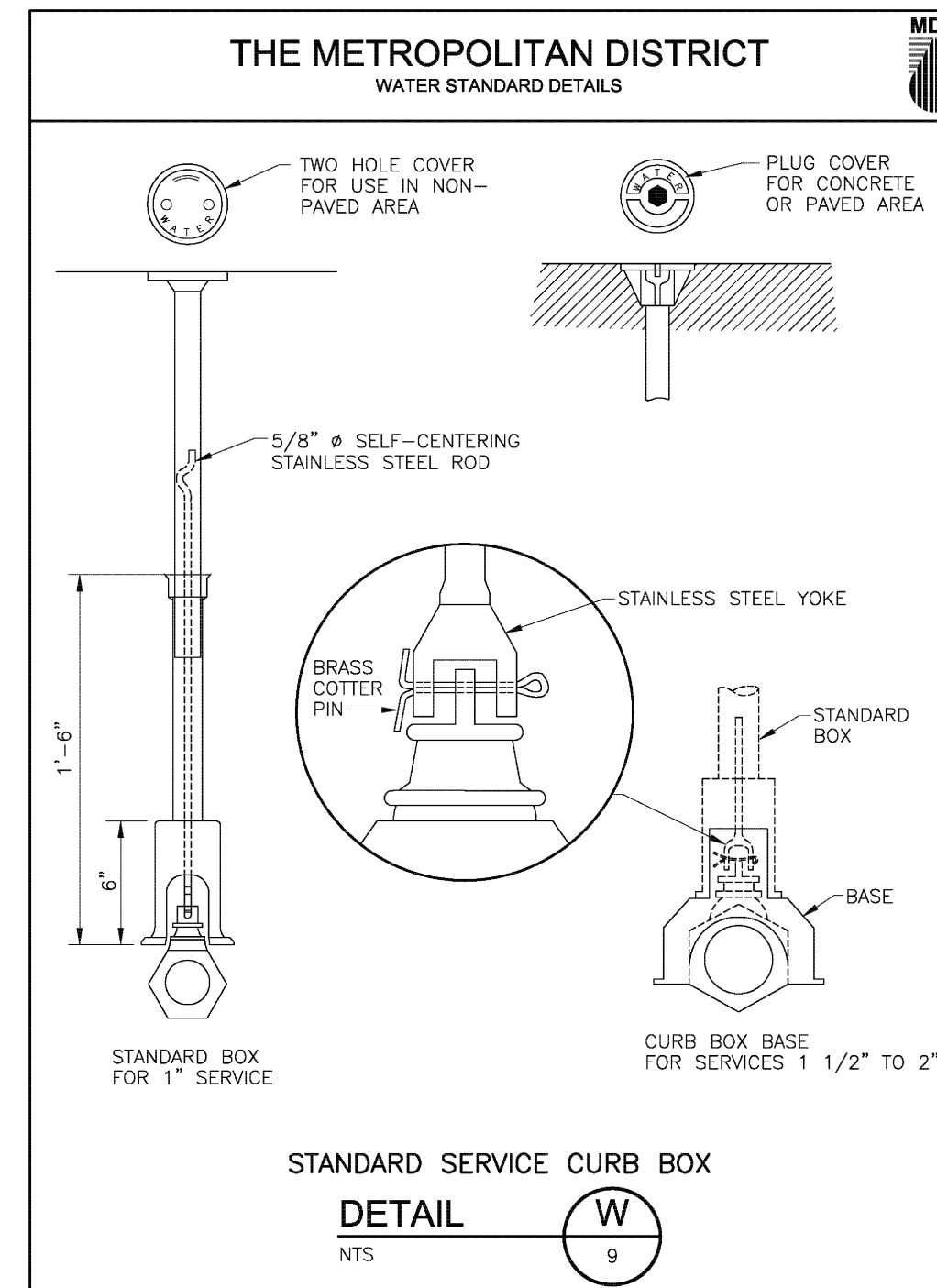
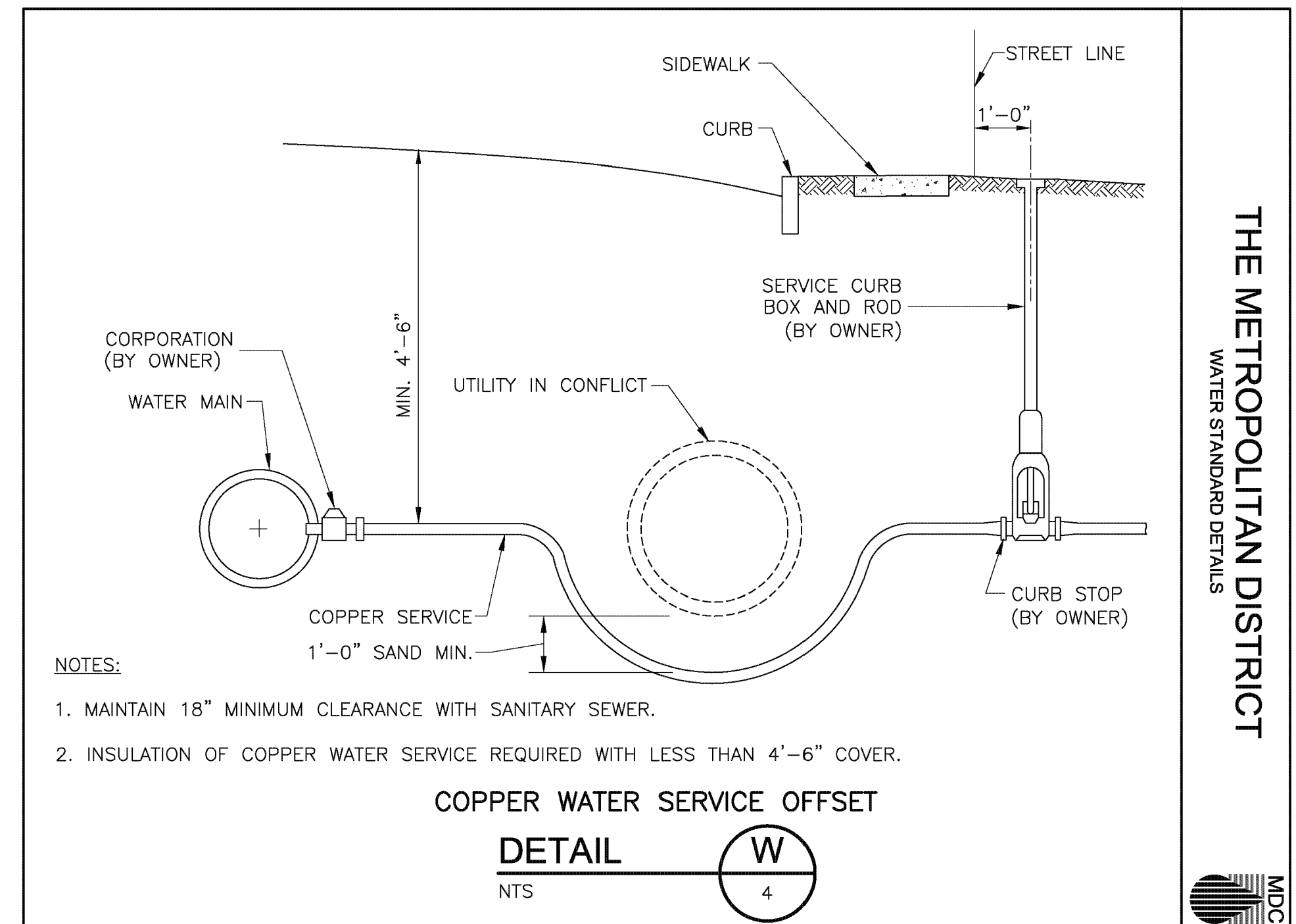
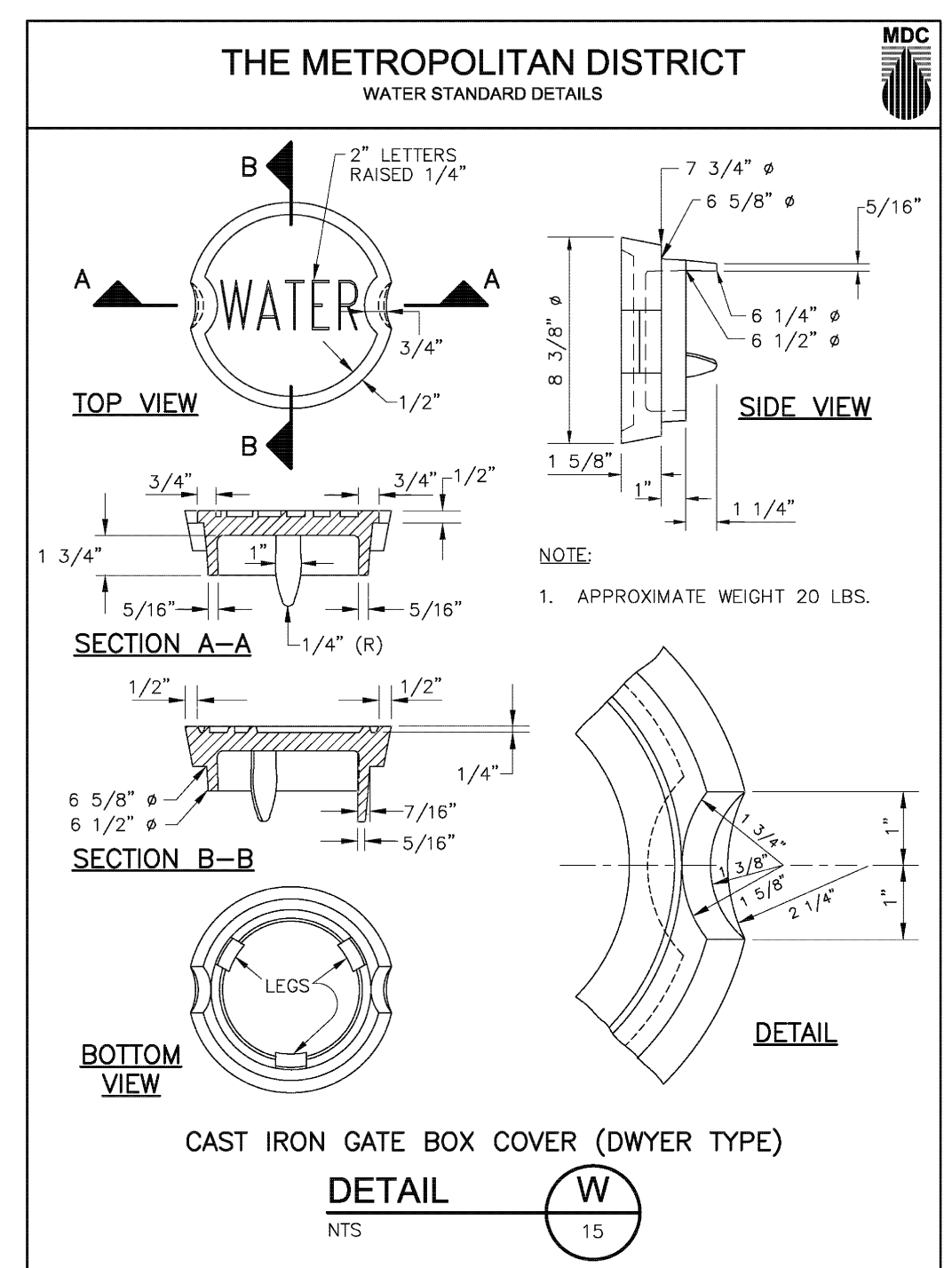
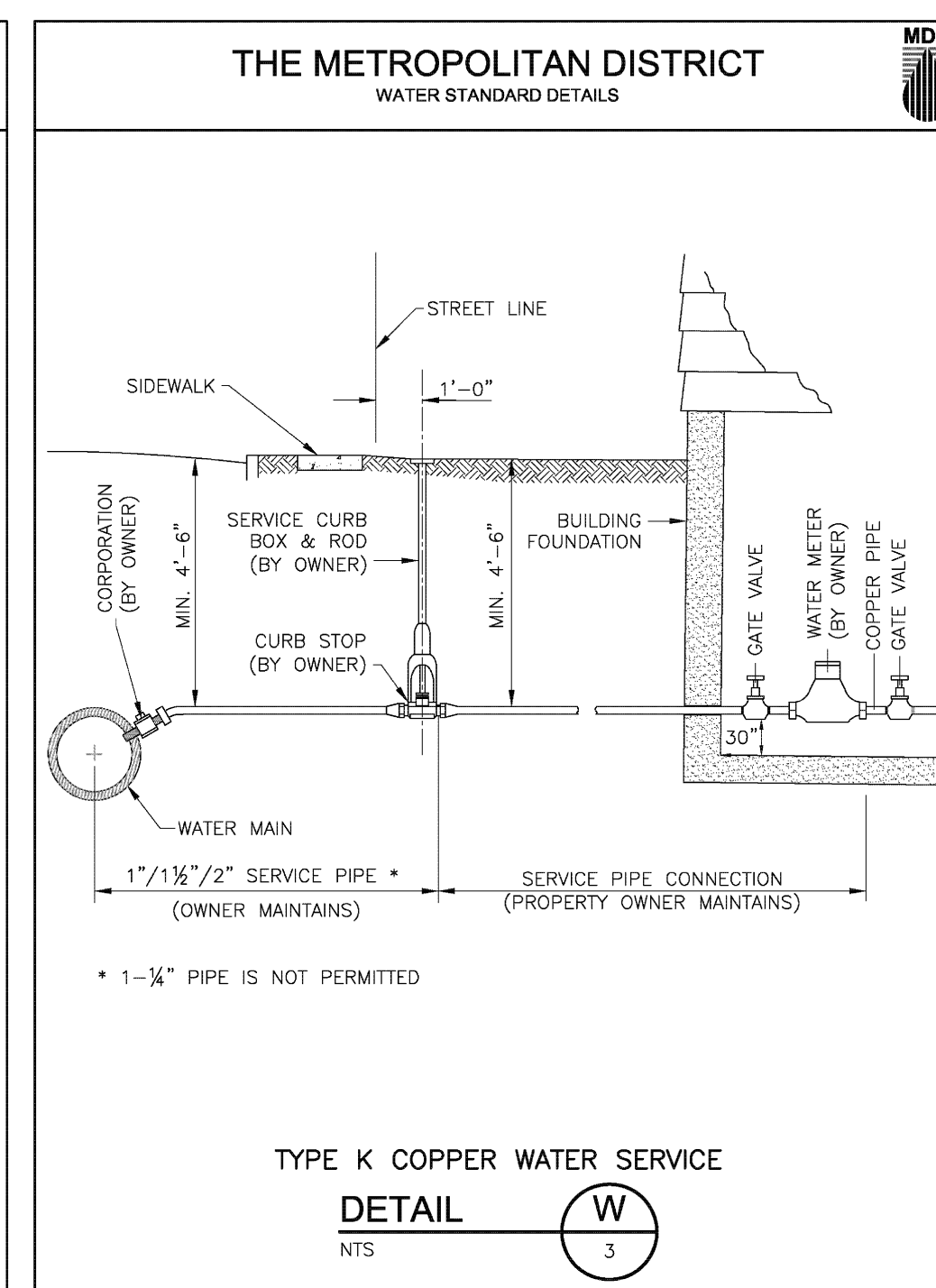
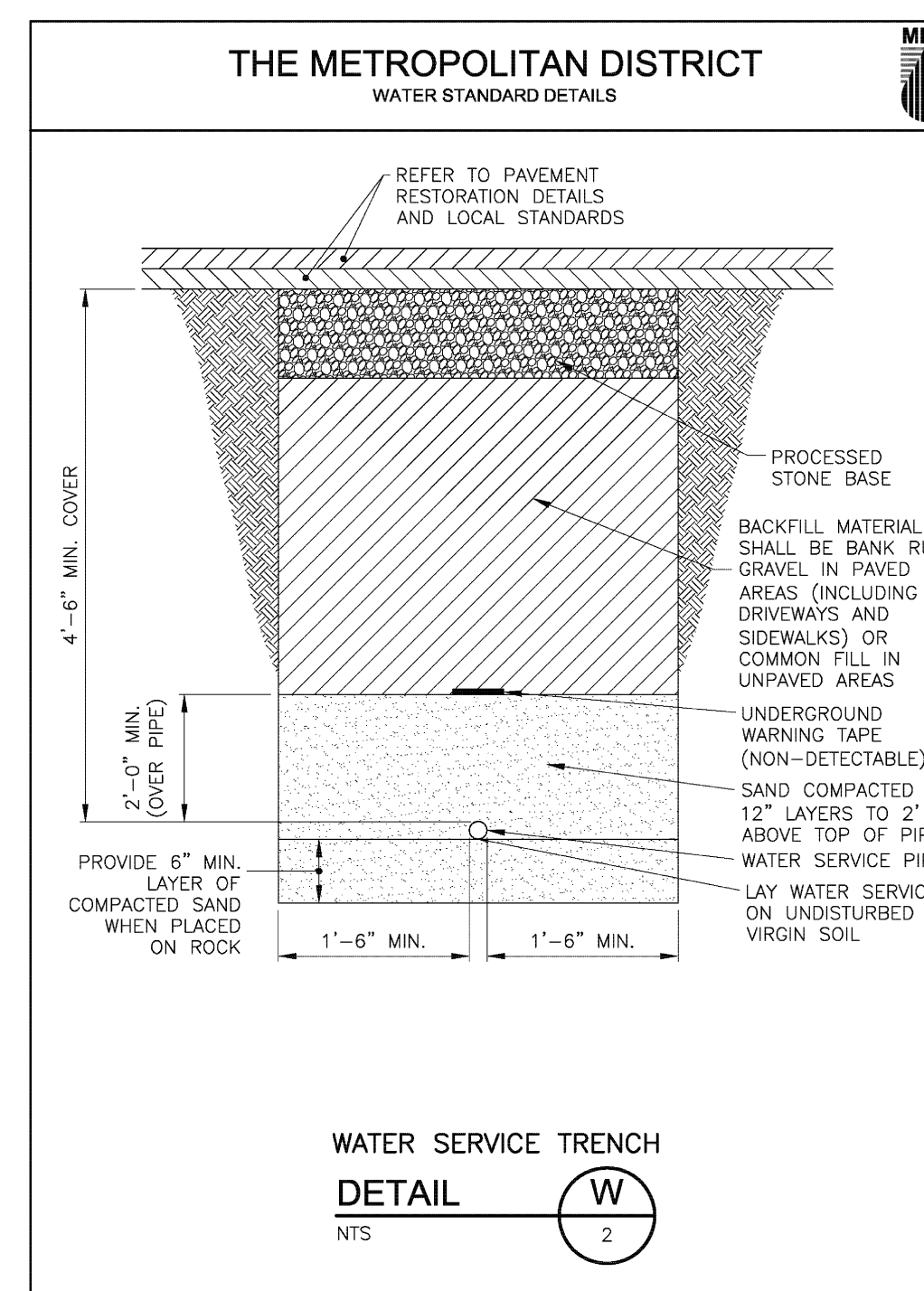
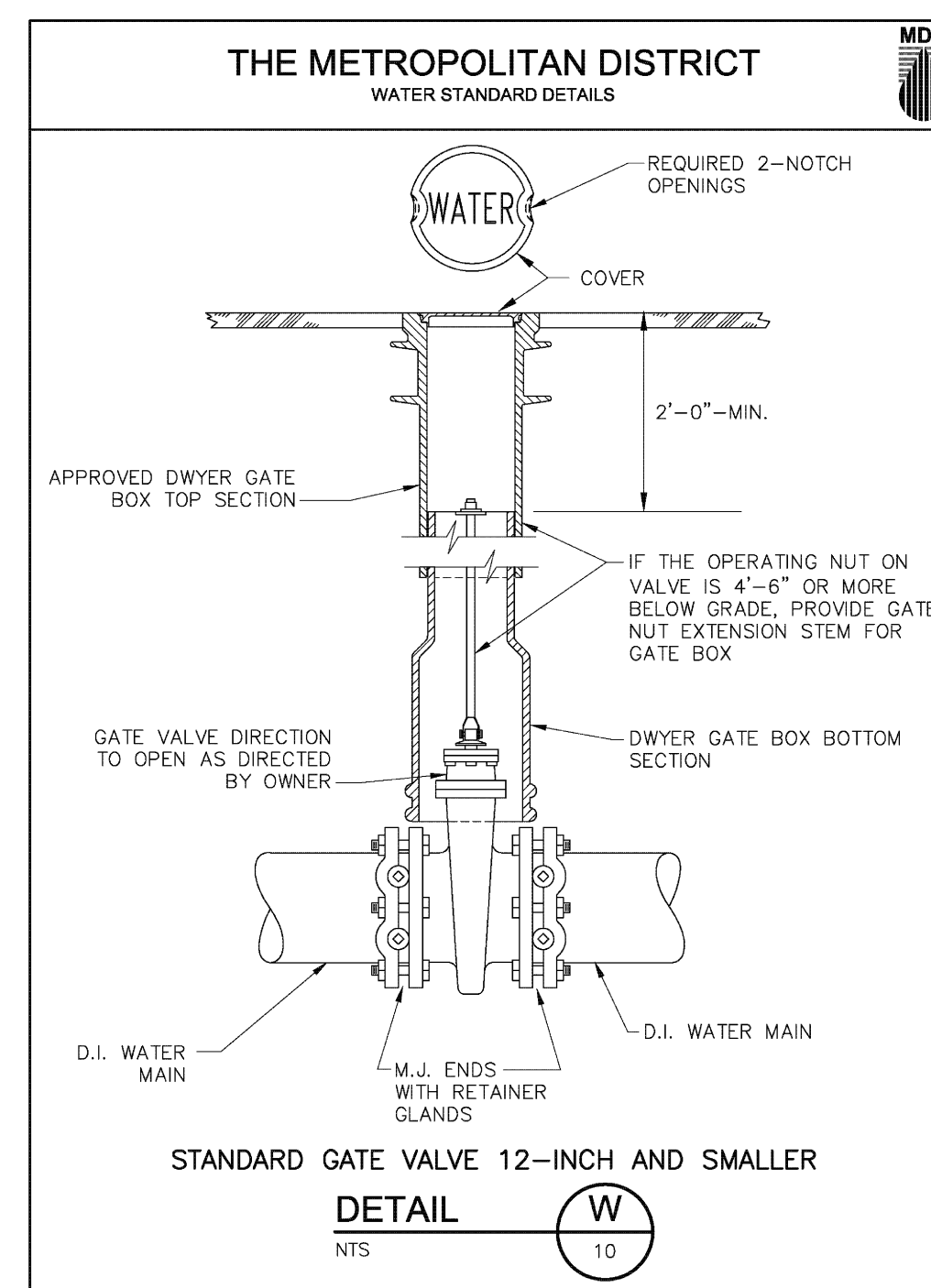
JOHN R. MARTUCCI, P.E. #19494

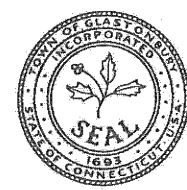
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APPENDIX 1
MDC WATER SERVICE DETAILS
476 NAUBUC AVENUE
PREPARED FOR
LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT

REVISIONS:
01-15-2019 - CONDITIONS

DATE: 01/15/2019
SCALE: AS SHOWN
SHEET 21 of 23
A-17-053-D4
FILE: 17053.DWG





Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

September 13, 2018

Mr. James W. Dutton, L.S.
Dutton Associates, LLC
67 Eastern Boulevard
Glastonbury, CT. 06033

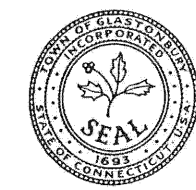
Re: 476 Naubuc Avenue - Two Proposed Medical Office Buildings
Lovely Development, Inc.

Dear Mr. Dutton:

This is to advise you that at its meeting on September 12, 2018, the Water Pollution Control Authority unanimously approved the sanitary sewer impact report for the above-referenced project.

If you have any questions, please call me at (860) 652-7742

Sincerely,
Gregory J. Mahoney
Senior Engineering Technician



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

October 24, 2018

CONSERVATION COMMISSION AND INLAND WETLANDS & WATERCOURSES AGENCY

Mark Lovley
Lovley Development, Inc.
710 Main Street, Suite 11
Plantsville, Connecticut 06479

Re: Application of Mark Lovley (Lovley Development, Inc.) for an inland wetlands and watercourses permit concerning a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit - two, one-story medical office buildings (3,000 square feet and 3,183 square feet), a parking lot for each building (34 spaces total), and their related infrastructure - 476 Naubuc Professional Center (southeast corner of Naubuc Avenue & Putnam Boulevard) - Town Center Mixed Use Zone and Flood Zone - Dutton Associates, LLC

Dear Mr. Lovley:

At its Regular Meeting of October 11, 2018, the Conservation Commission/Inland Wetlands & Watercourses Agency approved an Inland Wetlands and Watercourses Permit, in accordance with the plans and conditions cited in the attached motion.

Please read the conditions of approval carefully and comply with them. Some of the conditions may require interacting with the Environmental Planner (e.g. inspection of soil erosion and sediment control); it will be your responsibility to schedule such interactions. Any questions you may have about the stated conditions can be directed to the Office of Community Development at (860) 652-7511.

This Permit:

- requires that the approved regulated activities be completed within one (1) year from commencement of said activities;
- is valid for five (5) years and thus expires on October 11, 2023; and
- may not be transferred unless authorized by the Inland Wetlands & Watercourses Agency

Once again should you have any questions, please do not hesitate to contact this office.

Sincerely,

Thomas Mocko
Environmental Planner

APPROVED WETLANDS PERMIT MOTION

MOVED, that the Inland Wetlands and Watercourses Agency issues an inland wetlands and watercourses permit to Mark Lovley/Lovley Development, Inc. for the proposed land development activities (regrading, portions of buildings and pavement) within the 150-foot wetlands' upland review area concerning the two proposed medical office buildings at 476 Naubuc Avenue, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. Adherence to comments 2 through 11 within the Town Engineer's memorandum dated October 5, 2018.
2. Plot plans developed for building permits shall not exceed encroachment into the regulated areas beyond that indicated on the previously cited plans.
3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
4. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.

MEMORANDUM

To: Town Plan & Zoning Commission

From: Thomas Mocko, Environmental Planner

Date: October 24, 2018

Re: Recommendations to the Town Plan & Zoning Commission concerning a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit - two, one-story medical office buildings (3,000 square feet and 3,183 square feet), a parking lot for each building (34 spaces total), and their related infrastructure - 476 Naubuc Professional Center (southeast corner of Naubuc Avenue & Putnam Boulevard) - Town Center Mixed Use Zone and Flood Zone - Dutton Associates, LLC

During its Regular Meeting of October 11, 2018, the Conservation Commission recommended to the Town Plan and Zoning Commission approval of a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit concerning Mark Lovley's two, one-story medical office buildings (3,000 square feet and 3,183 square feet), a parking lot for each building (34 spaces total), and their related infrastructure at 476 Naubuc Avenue. The attached motion was approved by the Commission.

cc: Daniel A. Pennington, Town Engineer/Manager of Physical Services
Peter R. Carey, Building Official
Dutton Associates, LLC
Mark Lovley

APPROVED MOTION FOR RECOMMENDATION TO THE TOWN PLAN & ZONING COMMISSION

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a Section 4.11 Flood Zone Special Permit and a Section 12 Special Permit with Design Review concerning Mark Lovley/Lovley Development, Inc.'s proposed two medical office buildings located at 476 Naubuc Avenue, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. Adherence to comments 2 through 11 within the Town Engineer's memorandum dated October 5, 2018.
2. Plot plans developed for building permits shall not exceed encroachment into the regulated areas beyond that indicated on the previously cited plans.
3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
4. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
6. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
7. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required confirming that landscape plants were installed in accordance with the approved landscape plan.
8. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer or a licensed land surveyor shall be required confirming that the project's proposed cuts, fills and compensatory flood storage relative to the Flood Zone were performed in conformance with the approved design.



Town of Glastonbury Health Department

Memo

November 8, 2018

To: Jonathan Mullen, AICP, Planner

Fr: Wendy S. Mis, MPH, RS, Director of Health

Re: 476 Naubuc Avenue, proposed lot division

This office has received and reviewed a site plan by Dutton Associates LLC dated 12/8/18, last revised 11/7/18 for splitting a lot into two parcels with construction of two approximately 3,000 square feet medical office buildings with associated infrastructure at the above-referenced location.

Glastonbury GIS indicates the house located on proposed Parcel A was constructed in 1800, so pre-demolition testing for lead and asbestos is required, with the findings report submitted to the Building Official for consideration of the demolition permit. The existing septic tank and drywells associated with this house are to be properly abandoned, as per the note on the plan.

One dumpster area is proposed to serve both buildings; this area is to be maintained and monitored to prevent the escape of loose trash.

Approval with respect to CT Public Health Code is forwarded for Commission consideration.

October 5, 2018

MEMORANDUM

To: Thomas Mocko, Environmental Planner
Conservation Commission

From: Daniel A. Pennington, Town Engineer / Director of Physical Services

Re: Proposed Lot Division for Medical Offices
Lovely Development - 476 Naubuc Avenue

The Engineering Division has reviewed the plans of the proposed lot division for two medical office buildings to be constructed at 476 Naubuc Avenue prepared by Dutton Associates dated February 8, 2018, and the related drainage report with dated October 2013 and offers the following comments:

- 1. The drainage computations provided by the applicant indicate that the proposed storm water quality features were appropriately sized to support the development and are consistent with Town standards for stormwater management.
2. Revised drainage computations are required to demonstrate that the proposed development will not have a negative effect on the existing Town drainage system in Putnam Boulevard. Revisions to the drainage maps included in the report are required to clearly depict supporting data for drainage areas, Time of Concentration computations, and Water Quality Volume computations associated with the project. It is recommended that any Commission approval be conditioned to require submittal of such and that the Town Engineer approve said revisions.
3. Additional computations are required to demonstrate that no net fill in the flood zone will result from the proposed development. Computations should provide appropriate documentation such that Town staff can review and verify analysis.
4. A copy of the final drainage report signed and sealed by a CT Licensed Professional Engineer shall be submitted.
5. A project specific erosion and sediment control narrative that quantifies areas of disturbance and describes project specific construction activities of concern for soil erosion and sediment control should be included on Sheet 17 of the plans.
6. The storm sewer maintenance program described on Sheet 17 does not reflect the proposed project storm drainage features. This narrative should be revised to include a maintenance program for all components of the proposed storm drainage system and shall be included on Sheets 10 and 11 of the plans.
7. The proposed rain gardens should be labeled on Sheets 10 and 11 of the plans with references to appropriate details and cross sections. The bottom elevation of the rain gardens should also be labeled on Sheets 7 and 8 of the grading plans.
8. A detail should be provided for the proposed leak-offs.
9. Additional labels are needed on the plans to clarify pipe type, slope, and size for proposed roof drains and sanitary sewers.
10. A Waiver of Claim for a new connection to the Town storm drainage system must be filed by the owner with the Engineering Division at the time of connection to the Town drainage system.
11. A table depicting pre and post-construction impervious area of the subject property should be added to the plans for MS4 permit tracking.



TOWN OF GLASTONBURY FIRE MARSHAL'S OFFICE SITE PLAN/SUBDIVISION REVIEW

PROJECT: Lovely Development LOCATION: 476 Naubuc Ave

NEW CONSTRUCTION CHANGE OF USE SUBDIVISION COMMERCIAL

OCCUPANCY CLASSIFICATION: Group B FILE # 18-029

PROPOSED FIRE PROTECTION: via MDC water main & GFD

ENGINEER'S PLAN: A-17-053-1 INITIAL PLAN REVISED PLAN 2-28-18

ENGINEER: Dutton Associates

ADDRESS 67 Eastern Blvd Glastonbury PHONE: 860-633-9401

DATE PLANS RECEIVED: 11-9-18 DATE PLANS REVIEWED: 11-9-18

COMMENTS: Provide address numerals visible from Naubuc Avenue and the entrance to Putnam Blvd.

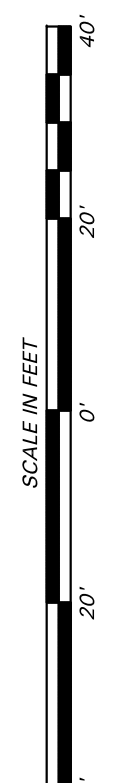
Fire Lanes will be needed at the south curb line of the common driveway, immediately adjacent to the buildings and only for the length of buildings not the entire south curb line.

The buildings will need to be provided with rapid entry vaults.

REVIEWED BY: Deputy Chief Chris Siwy - Fire Marshal

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC. TOMU / FLOOD
PROJECT / APPLICANT ZONE
476 NAUBUC AVENUE
PROJECT ADDRESS
12.0 / 4.11
SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN
SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.
NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.



APPROVED MOTION FOR RECOMMENDATION TO THE TOWN PLAN & ZONING COMMISSION

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a Section 4.11 Flood Zone Special Permit and a Section 12 Special Permit with Design Review concerning Mark Lovley/Lovley Development, Inc.'s proposed two medical office buildings located at 476 Naubuc Avenue, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. Adherence to comments 2 through 11 within the Town Engineer's memorandum dated October 5, 2018.
2. Plot plans developed for building permits shall not exceed encroachment into the regulated areas beyond that indicated on the previously cited plans.
3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
4. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
6. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
7. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required confirming that landscape plants were installed in accordance with the approved landscape plan.
8. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer or a licensed land surveyor shall be required confirming that the project's proposed cuts, fills and compensatory flood storage relative to the Flood Zone were performed in conformance with the approved design.



GLASTONBURY POLICE DEPARTMENT

2108 MAIN ST., P.O. BOX 535/GLASTONBURY, CT 06033-0535/(860)633-8381/FAK (860)652-4290

MEMORANDUM

To: Town Plan and Zoning Commission

From: Marshall S. Porter, Chief of Police

Date: November 5, 2018

Subject: 476 Naubuc Ave- Sec 12 w/Design Review- Medical Office Building

Members of the Police Department have reviewed the application of Mark Lovley, Lovley Development, Inc. for a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit for the construction of two 3,000+/- square foot buildings with associated infrastructure, splitting the lot into 2- 476 Naubuc Ave- Town Center Mixed Use Zone and Flood Zone- Dutton and Associates, LLC.

The police department has no objection to this proposal provided that:

- 1. Proper sign with street numbering at the driveway entrance.
2. Contact name and phone number for issues that arise onsite during construction (24/7)

Marshall S. Porter
Chief of Police

JPH:jph

DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS

JOHN R. MARTUCCI, P.E. #19494

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APPROVALS PROPOSED SUBDIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT

REVISIONS:
COMMENTS 11/07/2018
CONDITIONS 01/15/2019

DATE: 02/08/2018

SCALE: N/A

SHEET 22 of 23


A-17-053-A1

FILE: 17053.DWG

Please contact the Office of Community Development if you have any questions.

Sincerely,

TOWN PLAN AND ZONING COMMISSION
For the Secretary


Khara C. Dodds, AICP
Director of Planning & Land Use Services

KD:gfm


Attachment

cc: Peter R. Carey, Building Official
Nicole Lintereur, Assessor
Jim Dutton, Dutton Associates

Please contact the Office of Community Development if you have any questions.

Sincerely,

TOWN PLAN AND ZONING COMMISSION
For the Secretary


Khara C. Dodds, AICP
Director of Planning & Land Use Services

KD:gfm

Attachment

cc: Peter R. Carey, Building Official
Nicole Lintereur, Assessor
Jim Dutton, Dutton Associates

7. A detail depicting the connection to the force main at Sanitary Manhole #1 and the existing force main tie in point should be included on the plans.
8. The limits of all proposed pavement cuts for new utility connections in Naubuc Avenue should be depicted and labeled on the plans with a note stating that all pavement repairs shall be completed per town standards.
9. A detail for the proposed leak-offs should be included on the plans including surface treatment and type of curbing.
10. A benchmark should be depicted and labeled on the plans.
11. The lot areas shown within the Zoning Table do not match lot areas labeled on the plans. These should be verified and corrected as required.
12. Applicant shall submit PDF copies of final approved plans and drainage computations to the Engineering Division for our records.

7. A detail depicting the connection to the force main at Sanitary Manhole #1 and the existing force main tie in point should be included on the plans.
8. The limits of all proposed pavement cuts for new utility connections in Naubuc Avenue should be depicted and labeled on the plans with a note stating that all pavement repairs shall be completed per town standards.
9. A detail for the proposed leak-offs should be included on the plans including surface treatment and type of curbing.
10. A benchmark should be depicted and labeled on the plans.
11. The lot areas shown within the Zoning Table do not match lot areas labeled on the plans. These should be verified and corrected as required.
12. Applicant shall submit PDF copies of final approved plans and drainage computations to the Engineering Division for our records.



Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

TOWN PLAN AND ZONING COMMISSION SECTION 4.11 FLOOD ZONE SPECIAL PERMIT & SECTION 12 SPECIAL PERMIT WITH DESIGN REVIEW

APPLICANT: MARK LOVLEY
LOVLEY DEVELOPMENT, INC.
710 MAIN STREET, SUITE 11
PLAINVILLE, CT 06479

OWNER: JOSEPH FACITTI
PRA NAUBUC, LLC
C/O PRA DEVELOPMENT & MANAGEMENT
1150 HADDON AVENUE, SUITE 100
COLLINGSWOOD, NJ 08108

FOR: 476 NAUBUC AVENUE

MOVED, that the Town Plan & Zoning Commission approve the application of Mark Lovley, Lovley Development, Inc. for a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit for the construction of two 3,000 square foot medical office buildings with associated infrastructure, splitting the lot into 2 – 476 Naubuc Avenue – Town Center Mixed Use Zone and Flood Zone, in accordance with the following plans:

"INDEX PLAN PROPOSED LOT DIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: AS SHOWN SHEET 1 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"PROPERTY BOUNDARY SURVEY LOT DIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 2 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"TOPOGRAPHIC SURVEY EXISTING CONDITIONS PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 3 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"TOPOGRAPHIC SURVEY EXISTING CONDITIONS PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 4 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"LAYOUT PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 5 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"LAYOUT PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 6 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"GRADING PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 7 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"GRADING PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 8 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"UTILITY PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 10 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"UTILITY PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 11 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

"LANDSCAPE PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT STEPHANIE FUSS ASSOCIATES LLC 67 EASTERN BOULEVARD


GLASTONBURY, CT 06033 PHONE 860-659-3715 WWW.STEFUSS.COM DATE: 02/08/2018
SCALE: 1" = 20' SHEET 16 OF 21 A-17-053-1 REVISIONS: 03-23-2015 UPDATE 08-02-2018
UPDATE 08-27-2018 UPDATE 11-07-2018 COMMENTS"

"GENERAL NOTES AND DETAILS PROPOSED SUBDIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: AS SHOWN SHEET 19 OF 21 A-17-053-1 REVISIONS: COMMENTS 11/07/2018"

And

1. In compliance with:
 - a. The conditions set forth by the Conservation Commission/Inland Wetlands and Watercourses Agency, in their recommendation for approval to the Town Plan and Zoning Commission and the Wetlands Permit issued at their Regular Meeting of October 11, 2018.
 - b. The standards contained in a report from the Fire Marshal, File 18-029, plans reviewed 11-09-18.
2. In adherence to:
 - a. The Town Engineer's memorandum dated November 8, 2018.
 - b. The Health Director's memorandum dated November 7, 2018.
 - c. The Police Chief's memorandum dated November 5, 2018.
3. A sign package shall be submitted by the applicant, and all signage will be subject to review and approval by the Town Plan and Zoning Commission's Plans Review Subcommittee.
4. A crosswalk shall be added to the parking area; its location will be subject to review and approval by the Town Plan and Zoning Commission's Plans Review Subcommittee.

APPROVED: TOWN PLAN & ZONING COMMISSION
NOVEMBER 13, 2018


SHARON H. PURTILL, CHAIRMAN

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC.	TOMU / FLOOD
PROJECT / APPLICANT	ZONE
476 NAUBUC AVENUE	
PROJECT ADDRESS	
12.0 / 4.11	
SPECIAL PERMIT SECTION	T.P.&Z. CHAIRMAN
SPECIAL PERMIT APPROVAL DATE	COMMUNITY DEVELOPMENT DIRECTOR
FILE NO.	
NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.	



DUTTON ASSOCIATES, LLC
LAND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033
TEL: 860-633-9401 FAX: 860-633-8851
EMAIL: JIMD@DUTTONASSOCIATESLLC.COM

JOHN R. MARTUCCI, P.E. #19494

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APPROVALS
PROPOSED SUBDIVISION
476 NAUBUC AVENUE
PREPARED FOR
LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT

REVISIONS:
COMMENTS 11/07/2018
CONDITIONS 01/15/2019

DATE: 02/08/2018
SCALE: N/A
SHEET 23 of 23
A-17-053-A2
FILE: 17053.DWG