476 NAUBUC PROFESSIONAL CENTER

MAP C4 BLOCK 4700 LOT N0039 476 NAUBUC AVENUE GLASTONBURY, CONNECTICUT

PREPARED FOR

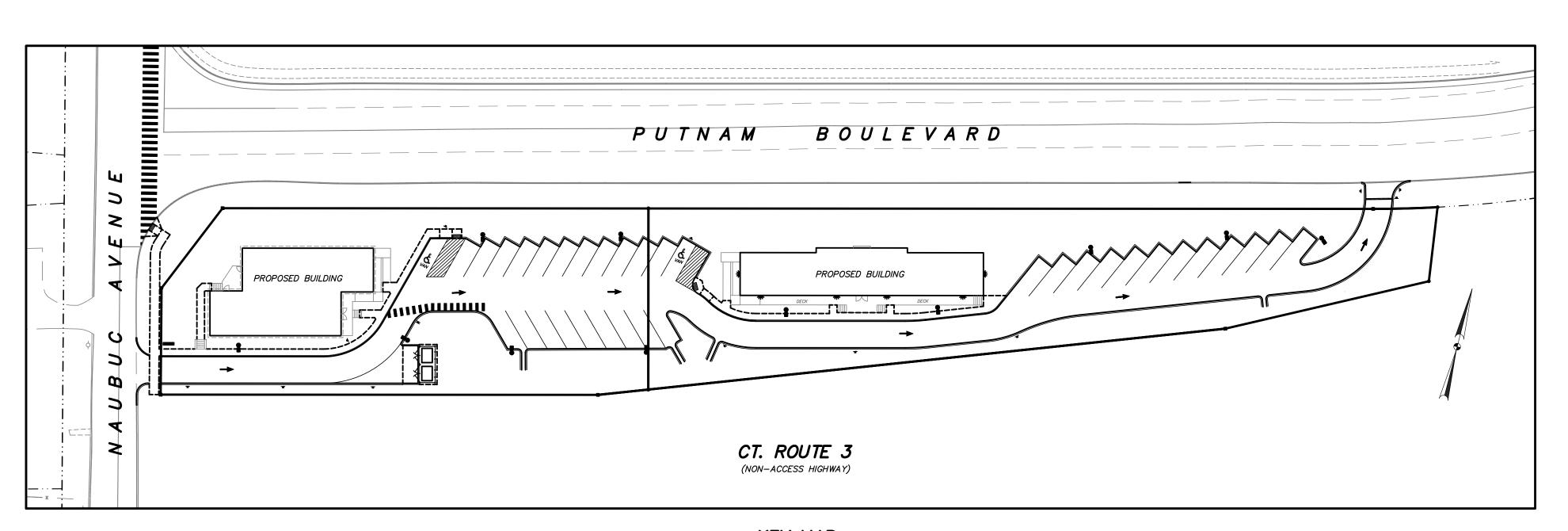
LOVLEY DEVELOPMENT, INC.

710 MAIN STREET, SUITE 11 PLAINVILLE, CT 06749

PREPARED BY

DUTTON ASSOCIATES, LLC

LAND SURVEYORS & CIVIL ENGINEERS 67 EASTERN BOULEVARD GLASTONBURY, CT 06033



KEY MAP SCALE: 1"=40'

ZONING T	ABLE -	TCMU	ZONE
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ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED PARCEL A	PROPOSED PARCEL B
LOT AREA	10,000 S.F.	53,919 S.F.	24,405 S.F.	29,514 S.F.
LOT FRONTAGE	75 FT.	748.12 FT.	332.91 FT.	415.21 FT.
FRONT YARD	20 FT.	69.54 FT.	21.00 FT.	20.68 FT.
SIDE YARD	20 FT.	38.67 FT./598.24 FT.	25.49 FT./144.66 FT.	48.27 FT./234.48 FT.
REAR YARD	30 FT.	N/A CORNER LOT	N/A CORNER LOT	30.65 FT.
BLDG. COVERAGE	20%	890.5 S.F. (1.66%)	3,183 S.F. (13.0%)	3,000 S.F. (10.2%)
BLDG. HEIGHT	2-1/2 STORIES (35 FT.)	1 STRY. <35'	1 STRY. <35'	1 STRY. <35'
IMPERVIOUS AREA	N/A	3,189 S.F.	13,349 S.F.	13,591 S.F.
OPEN SPACE	2V PLDC COVERAGE	1,781 S.F. REQUIRED	6,366 S.F. REQUIRED.	6,000 SF REQUIRED
OI LIV SI ACL	2X BLDG. COVERAGE	50,330 S.F. PROVIDED	11,056 S.F PROVIDED	15,929 S.F. PROVIDED

DADVINIC	DECLUDENENTS
PARNING	REQUIREMENTS

LOT #	FLOOR AREA	USE	STANDARDS	REQUIRED	PROPOSED
1	2,847 S.F.	MEDICAL OFFICE	1 SP./150S.F.	17	19
2	1,871 S.F.	MEDICAL OFFICE	1 SP./150S.F.	13	15
			TOTAL SPACES	30	34

TOWN OF GLASTONBURY STAFF OF AGENT REPRESENTATIVE HAS RIGHTS TO ENTER ONTO THE PROPERTY WITH PROPER NOTICE TO PERFORM SEWER SAMPLING AT EACH BUILDINGS WET WELL LOCATION IF REQUIRED

UNDERGROUND UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

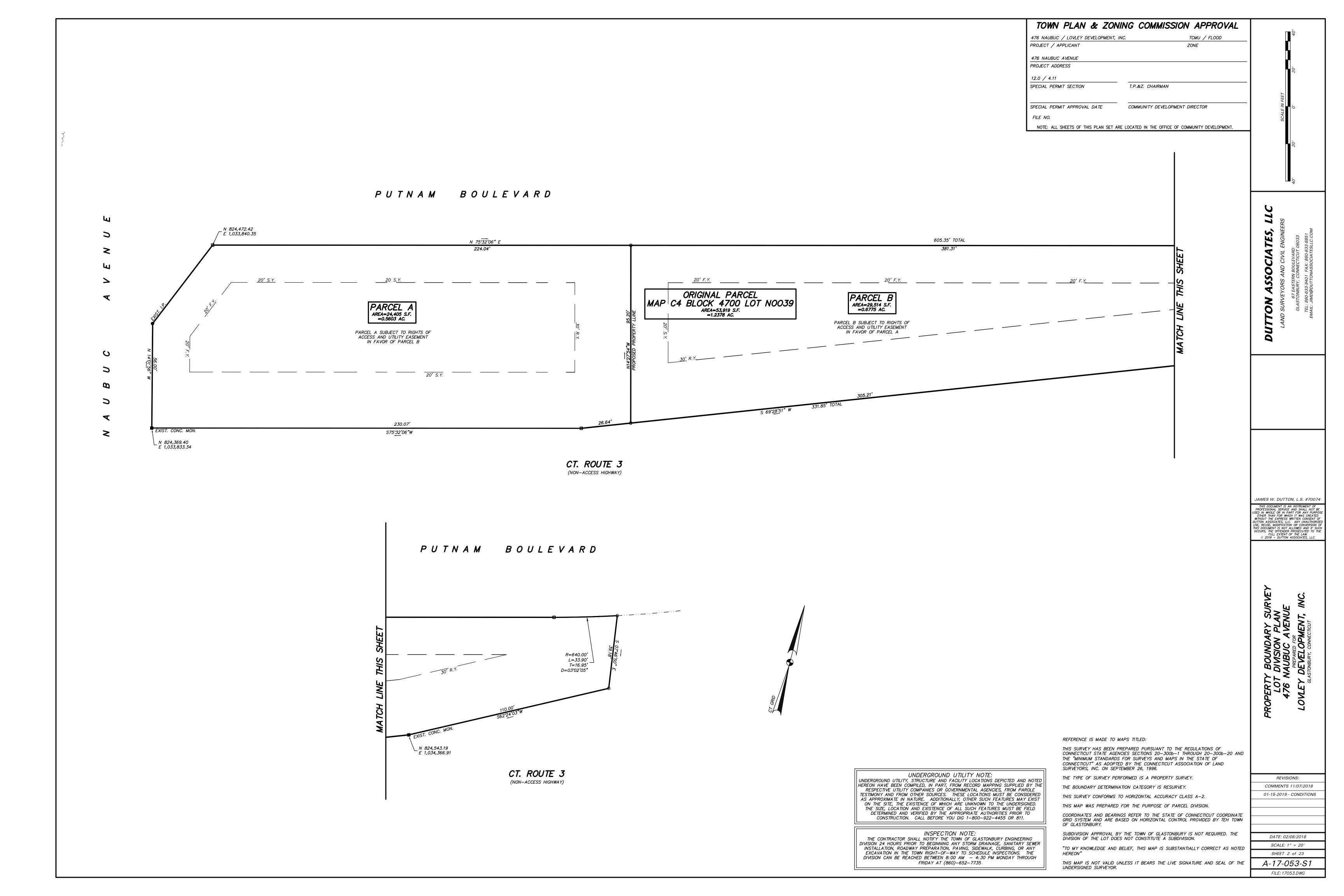
INSPECTION NOTE:
THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION. ROADWAY PREPARATION. PAVING. SIDEWALK. CURBING. OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM — 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

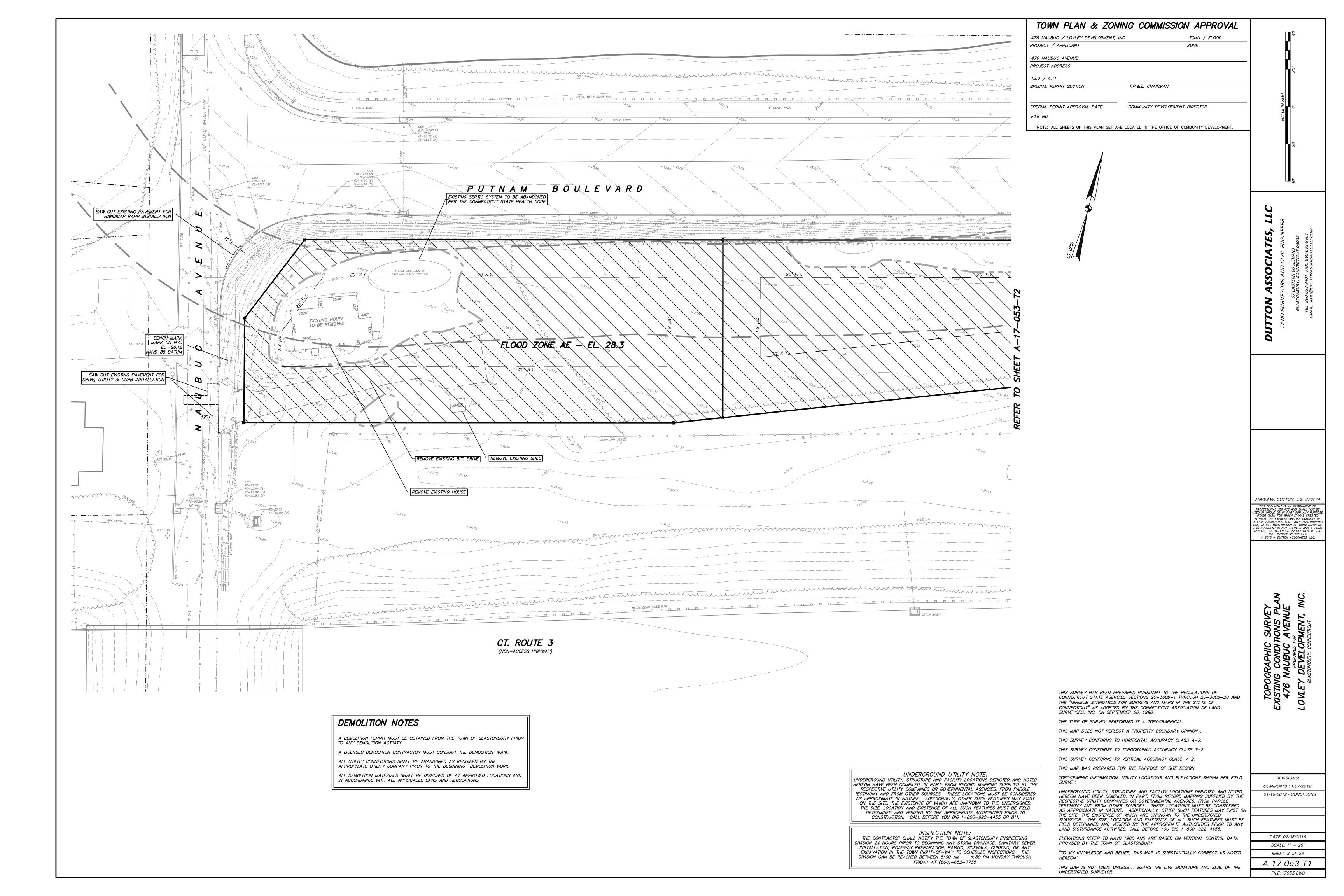
S)	PUTNAM POINT GLASTONBURY POINT ROAD PRATTI	BOULEVARD NIWW STREET
	LOCATION MAP	
	SCALE: 1"=1,000'	
476 NAUBUC / LOVLEY DEVELO PROJECT / APPLICANT 476 NAUBUC AVENUE PROJECT ADDRESS		ZONE
12.0 / 4.11 SPECIAL PERMIT SECTION	T.P.&Z. CHAIRMAN	
SPECIAL PERMIT APPROVAL DA FILE NO. NOTE: ALL SHEETS OF THIS PL	TE COMMUNITY DEVELOP	
	LEGEND	
EXISTING		PROPOSED
•	IRON PIN	0
•	CONCRETE MONUMENT	۵
	PROPERTY BOUNDARY LINE	
	- ABUTTING PROPERTY LINE	
	- BUILDING LINE	

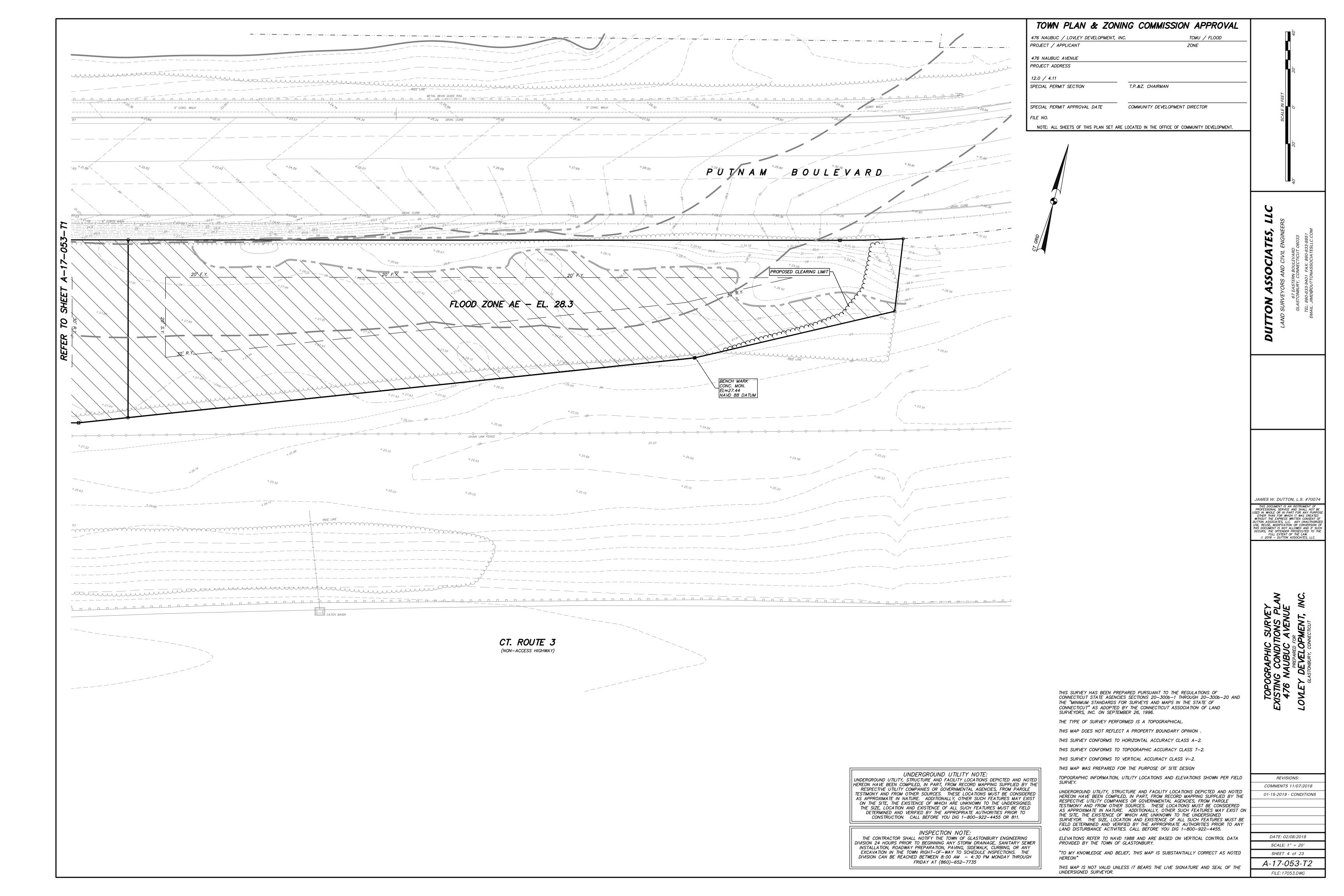
EXISTING		PROPOSED	20 AC7 VR3 3-9 DU7.
•	IRON PIN	0	N AS RVEYOR 67 EAST 4STONBUR) 860-633-9 JIMD@DU:
	CONCRETE MONUMENT		TTON AS LAND SURVEYOR GLASTONBUR) TEL: 860-633-9 EMAIL: JIMD@DU'
	PROPERTY BOUNDARY LINE -		D SUJ GLA TEL: FMAIL:
<u> </u>	ABUTTING PROPERTY LINE		AW
	BUILDING LINE —		
	EASEMENT LINE -		0
	FLOOD ZONE DELINEATION		
	FLOOD ZONE AREA		
60	GROUND CONTOUR LINES —	27 28 26.5	
+66.57	SPOT ELEVATION	26.25	
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	TREE LINE	, ,	
	TREE / SHRUB		
	SIGNS	<del>-</del> ■	JOHN R. MARTUCCI, P.E. #19494
*	LIGHT	*	
	BUILDING		
	BUILDING WITH OVERHANG		
	STEPS/HATCHWAY		
	CURBING =	6" BCLC	
	= - EDGE OF BITUMINOUS PAVEMENT	INTERGRAL CONC. CURB	
	EDGE OF CONCRETE PAVEMENT		
CONC. WALK	CONCRETE SIDEWALK	CONC. WALK	JAMES W. DUTTON, L.S. #70074
U.P.	UTILITY POLE	U.P.	THIS DOCUMENT IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL NOT BE
,	SANITARY SEWER SERVICE —	ss ss	PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESS WRITTEN CONSENT OF
s s s s	SANITARY SEWER LINE -	— s —— s —	DUTTON ASSOCIATES, LLC. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR CONVERSION OF THIS DOCUMENT IS NOT ALLOWED AND IF SUCH
$\bigcirc$	SANITARY MANHOLE		OCCURS, THE OFFENDER PROSECUTED TO THE FULL EXTENT OF THE LAW.  © 2018 — DUTTON ASSOCIATES, LLC.
ws ws ws	WATER SERVICE LINE -	— ws—— ws—	
w w w	WATER MAIN —	w	
$\circ_{_{\it WG}}$	WATER GATE	$ullet_{\scriptscriptstyle WG}$	
V _{HYD}	HYDRANT	$\checkmark_{HYD}$	
GS GS GS	GAS SERVICE LINE —	— GS—— GS——	
c c	GAS GATE —	lacksquare	
	FOUNDATION DRAIN —	— D —— D ——	≥. ≥
D D D	STORM DRAIN LINE DRAINAGE MANHOLE		MSIO INUE
	HEADWALL		<b>≥</b>   <b>≥</b>   <b>≥</b>   <b>≥</b>   <b>≥</b>   <b>≥</b>   <b>≥</b>   <b>≥</b>
· C	CULVERT END		TOR A LACE OF THE CONTRACT OF
TO 4	CONSTRUCTION ENTRANCE		
TP-1	TEST PIT LOCATION		

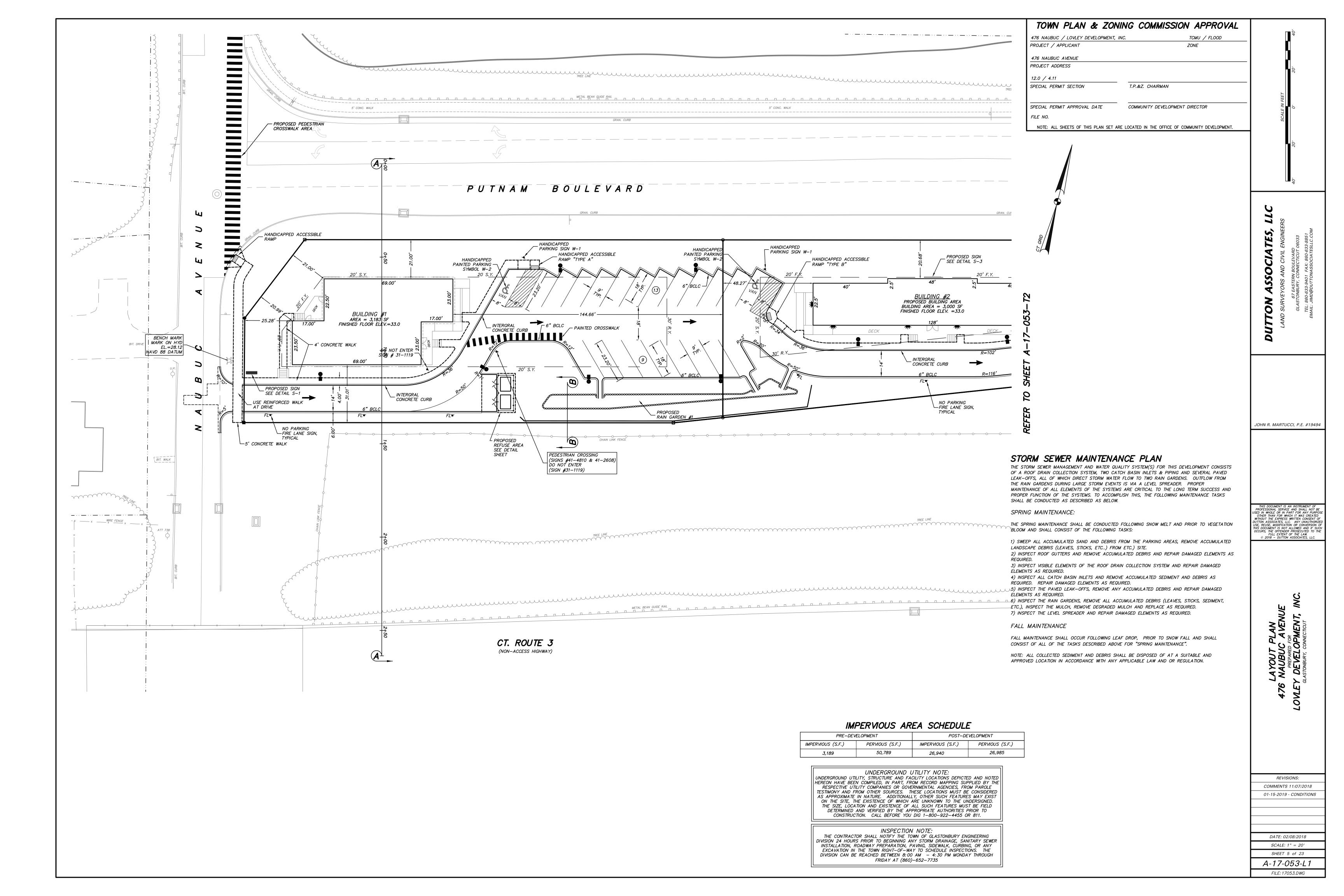
	PLAN INDEX		
PLAN	DESCRIPTION	SHEET	
A-17-053-I	INDEX PLAN	1 OF 23	
A-17-053-S1	PROPERTY BOUNDARY SURVEY AND LOT DIVISION PLAN	2 OF 23	REVISIONS:
A-17-053-T1 & T2	TOPOGRAPHIC SURVEY EXISTING CONDITIONS PLAN	3 & 4 OF 23	COMMENTS 11/07/2018
A-17-053-L1 & L2	LAYOUT PLAN	5 & 6 OF 23	01-15-2019 - CONDITIONS
A-17-053-G1 & G2	GRADING PLAN	7 & 8 OF 23	
A-17-053-E1	EROSION AND SEDIMENT CONTROL PLAN	9 OF 23	
A-17-053-U1 & U2	UTILITY PLAN	10 & 11 OF 23	
A-17-053-LTG1 & LTG2	LIGHTING PLANS	12 & 13 OF 23	
A-17-053-LD1 & LD2	LIGHTING DETAILS	14 & 15 OF 23	DATE: 02/08/2018
A-17-053-LS1	LANDSCAPE PLAN & DETAILS	16 OF 23	SCALE: AS SHOWN
A-17-053-D1 THRU D4	GENERAL NOTES AND DETAILS	17–21 OF 23	SHEET 1 of 23
A-17-053-A1 & A2	APPROVALS	22 & 23 OF 23	A-17-053-I

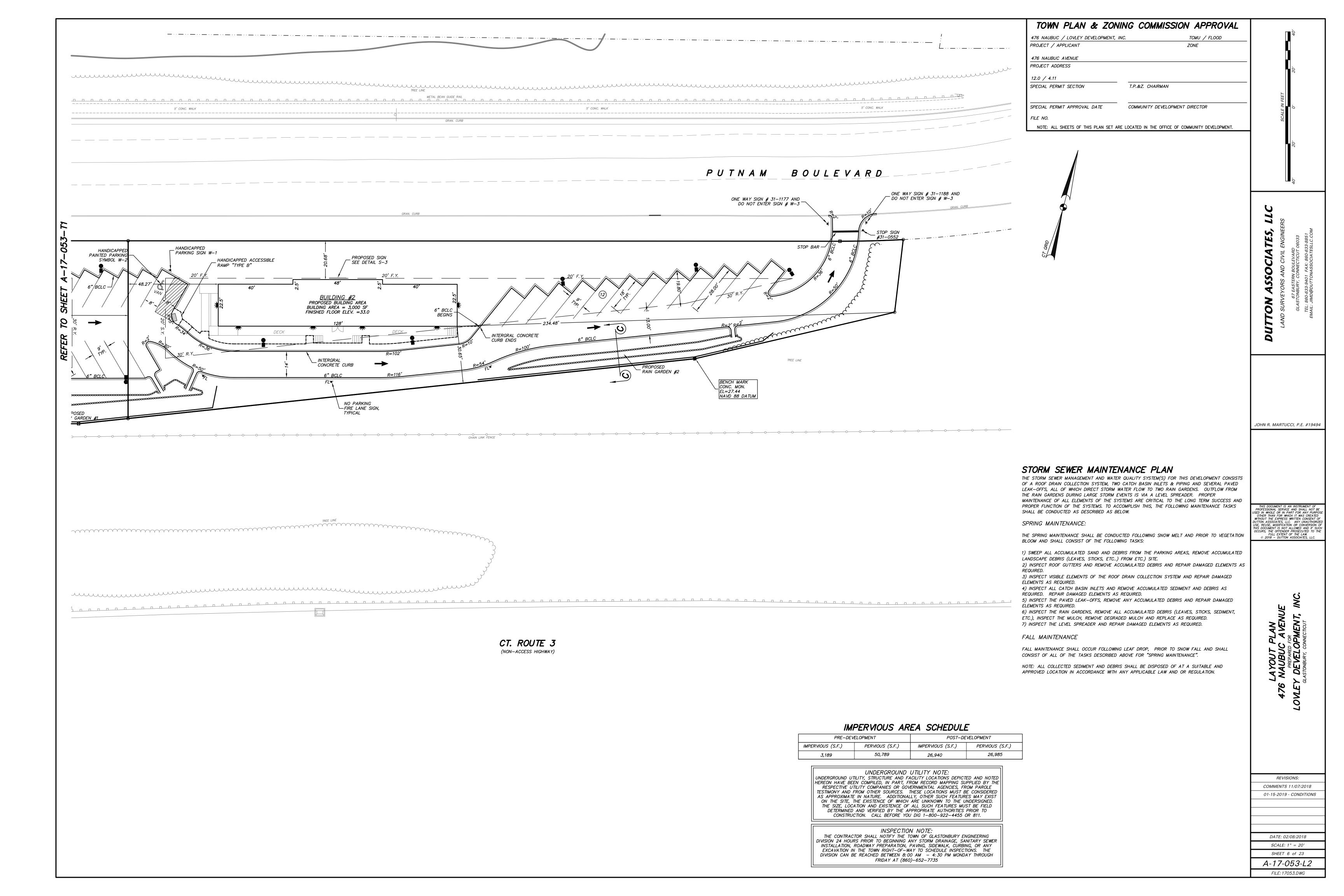
PRE-DEV	ELOPMENT	POST-DEVELOPMENT				
IMPERVIOUS (S.F.)	PERVIOUS (S.F.)	IMPERVIOUS (S.F.)	PERVIOUS (S.F.)			
3,189	50,789	26,940	26,985			

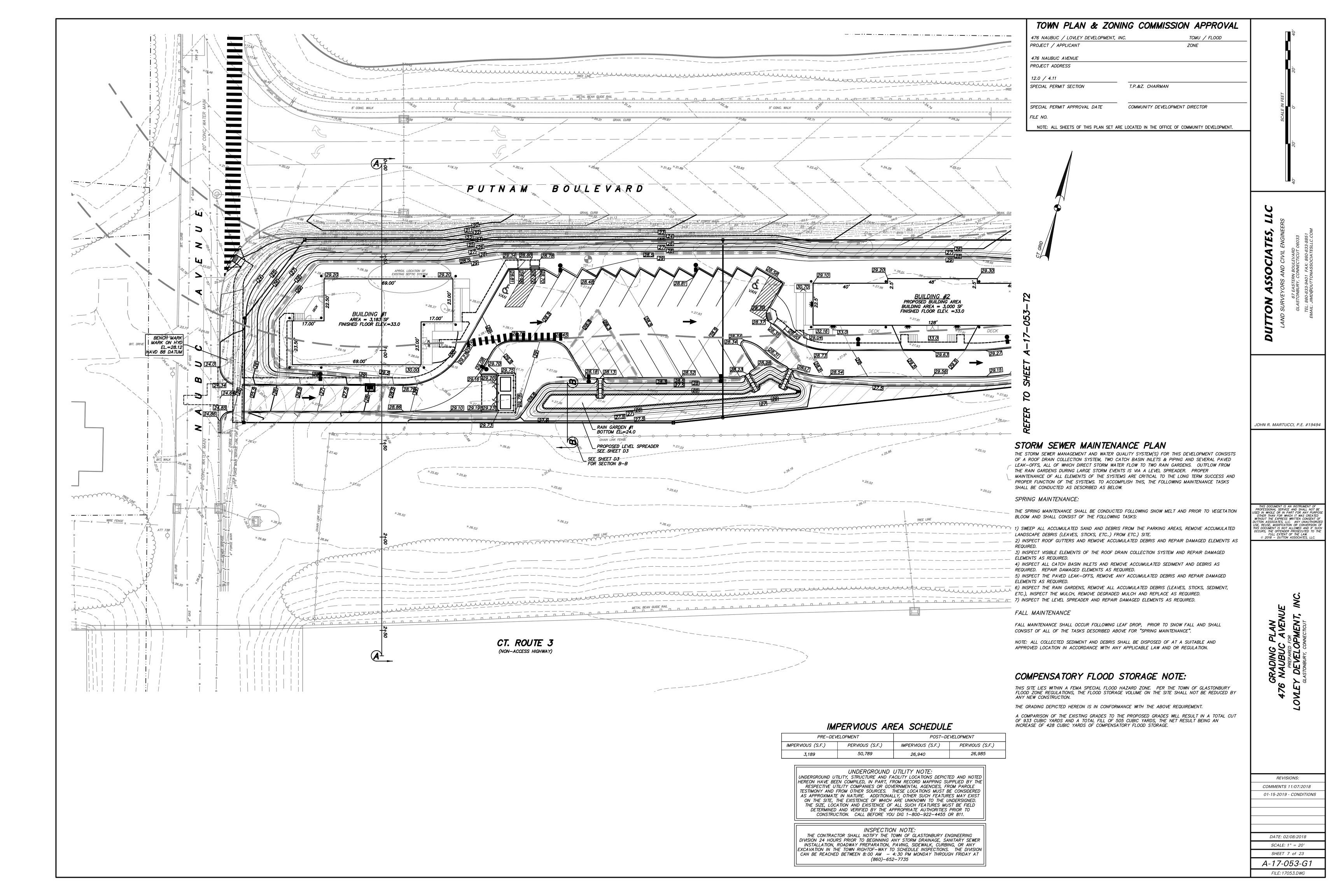


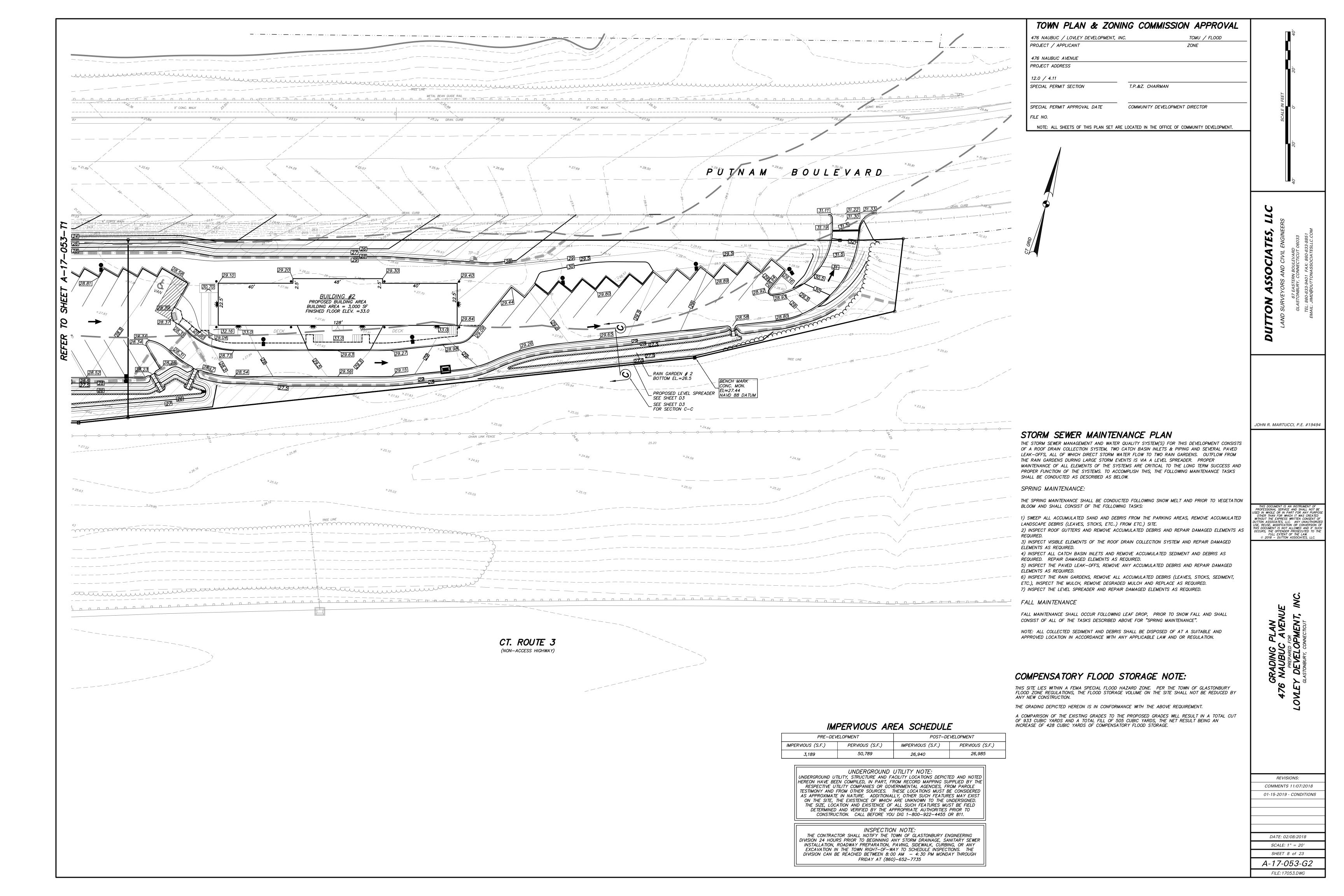


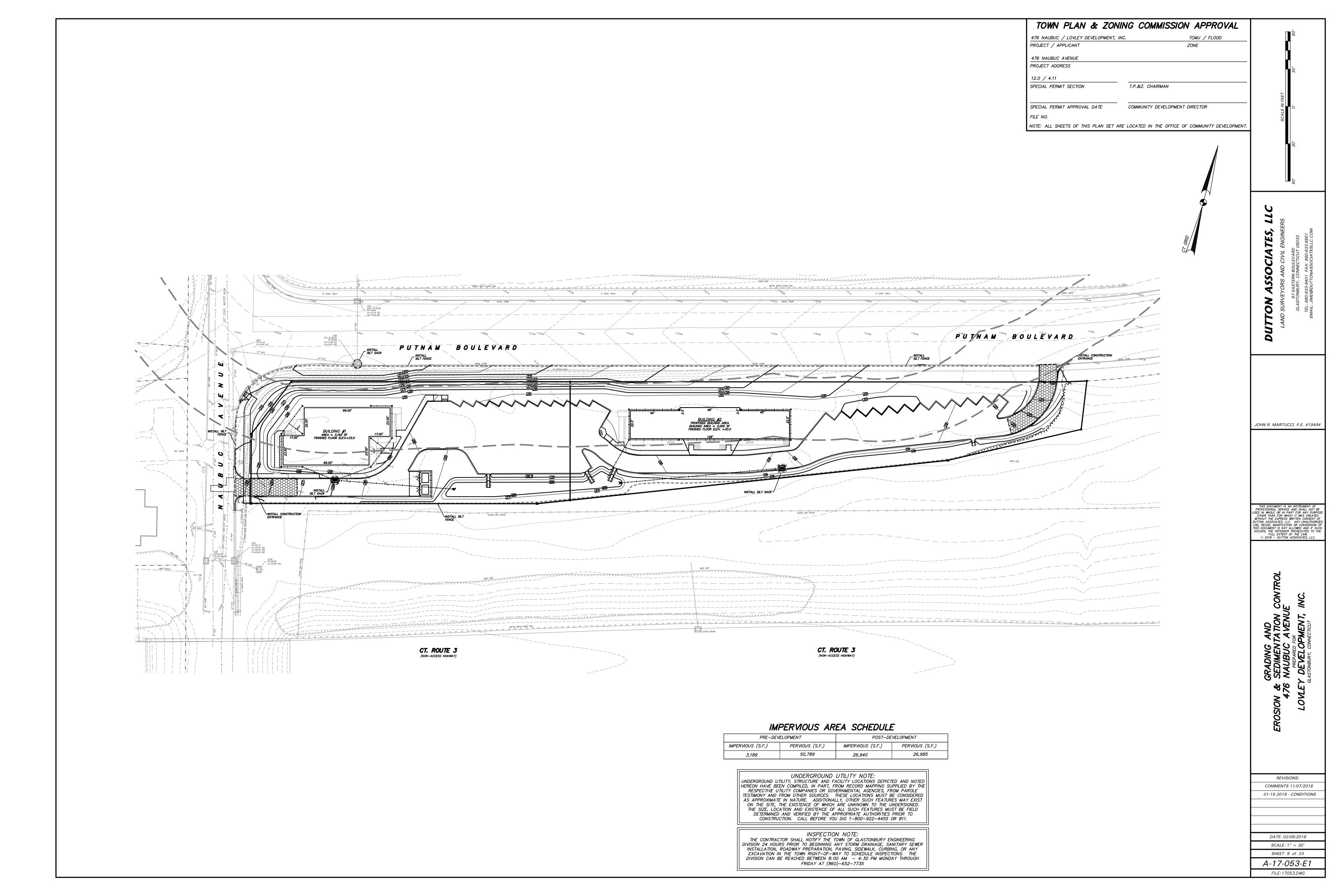


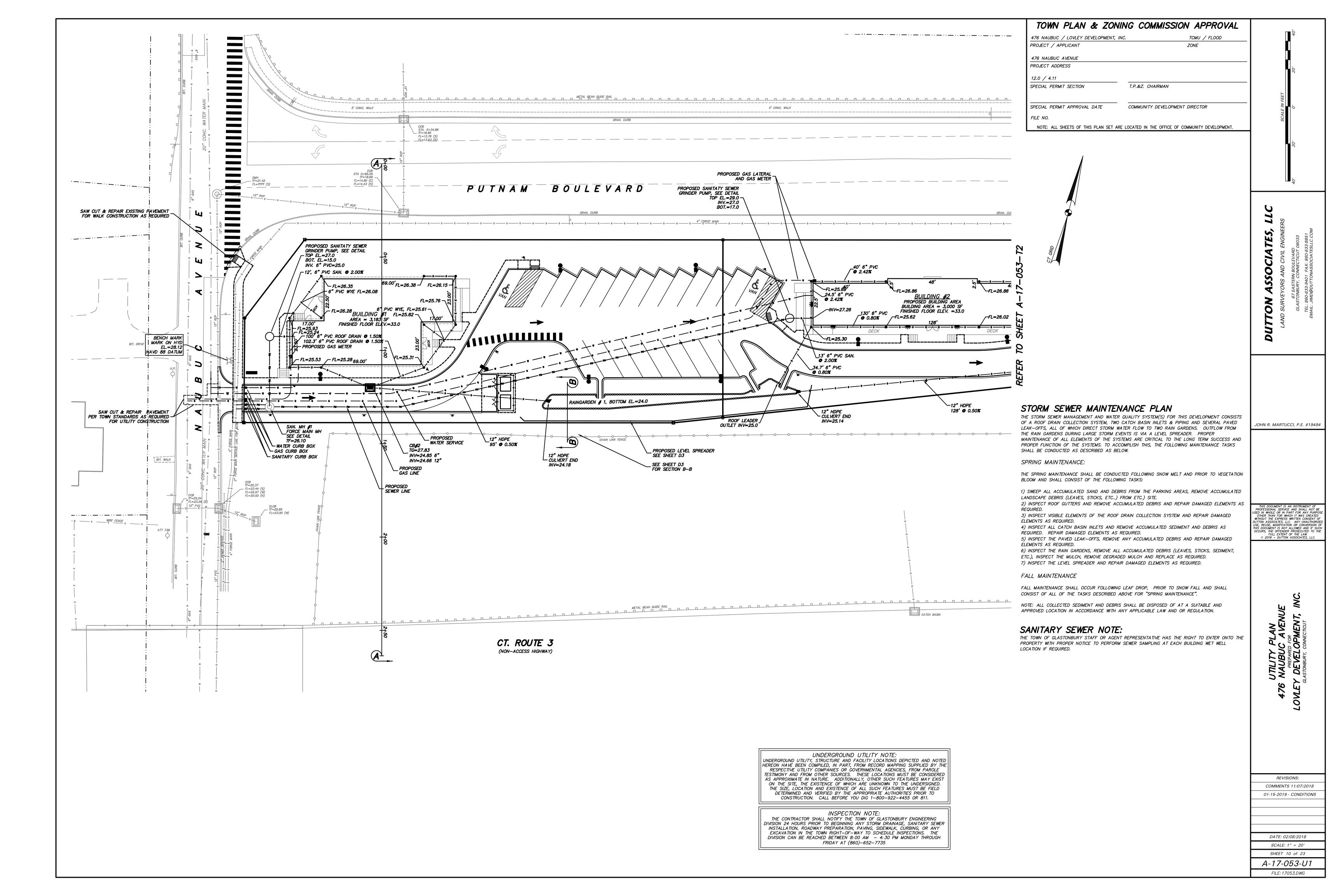


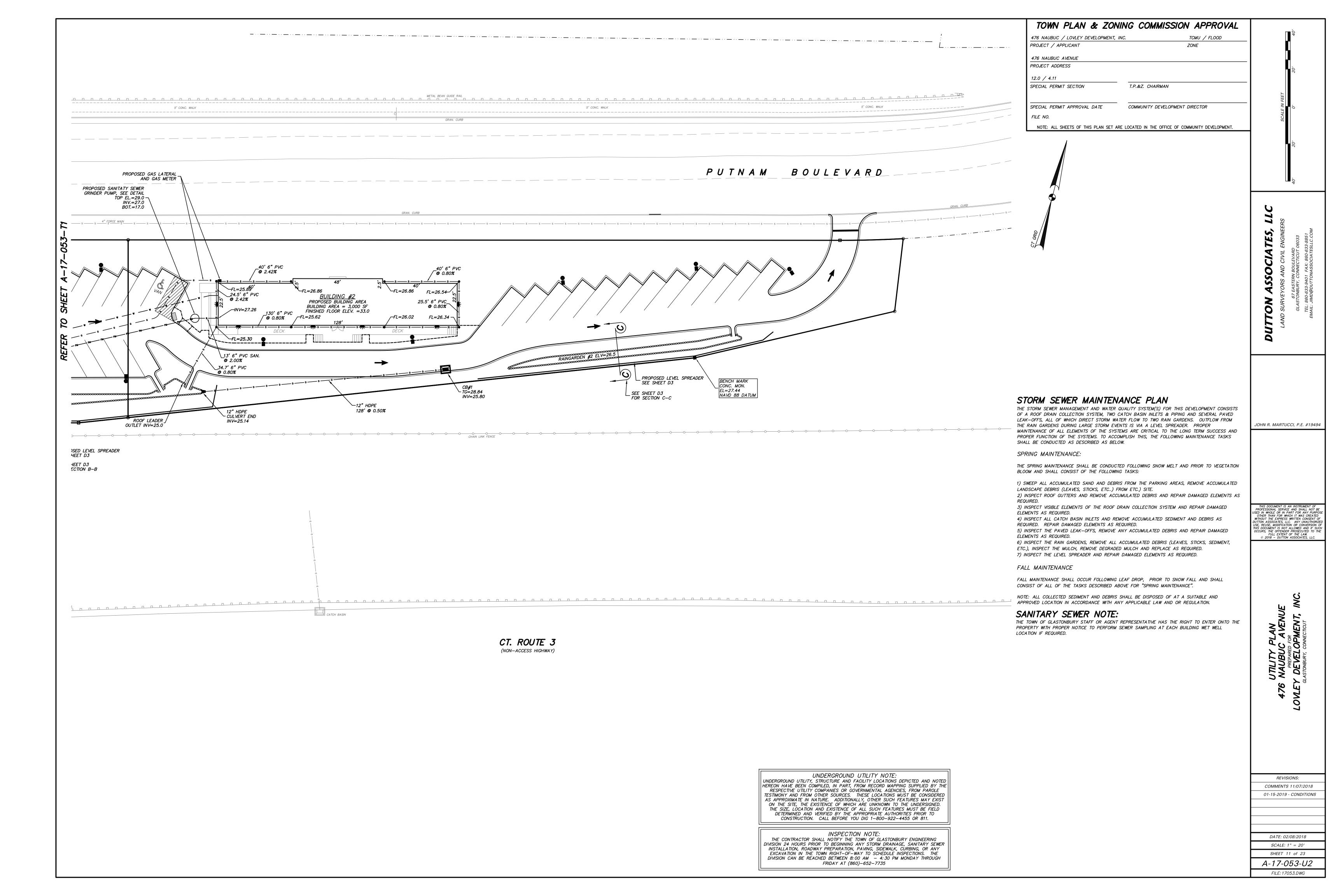


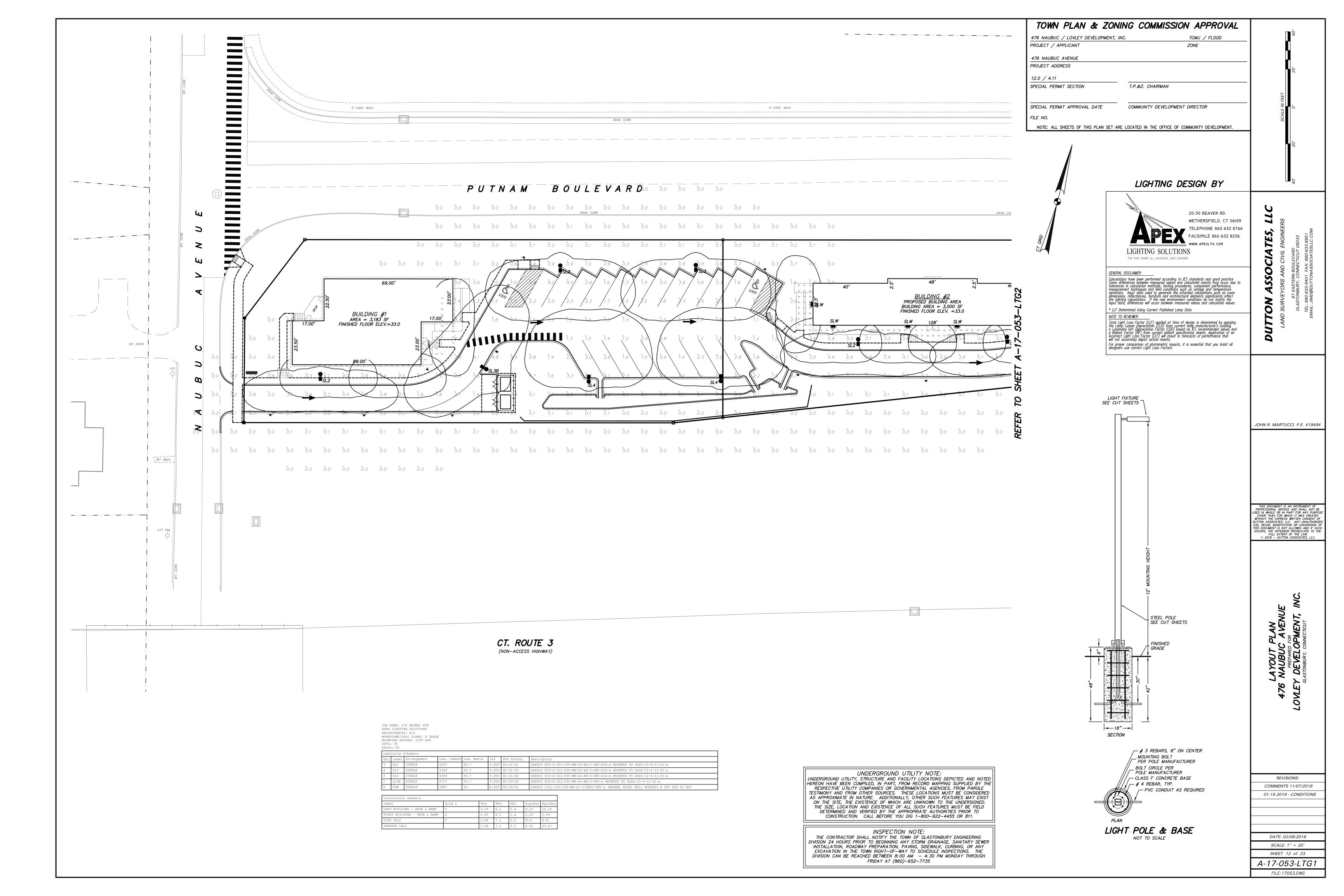












12.0 / 4.11 5' CONC. WALK 5' CONC. WALK 5' CONC. WALK NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT. PUTNAM BOULEVARD ) †o.o †o.o †o.o ) †o.o †o.o †o.o †o.o  $\overset{\dagger}{0.0}$   $\overset{\dagger}{0.1}$   $\overset{\dagger}{0.0}$   $\overset{\dagger}{0.0}$   $\overset{\dagger}{0.0}$   $\overset{\dagger}{0.0}$   $\overset{\dagger}{0.0}$   $\overset{\dagger}{0.0}$ <u>BUILDING #2</u>
PROPOSED BUILDING AREA
BUILDING AREA = 3,000 SF
FINISHED FLOOR ELEV. =33.0 CT. ROUTE 3 (NON-ACCESS HIGHWAY)

REFER TO SHEET A-17-053-LTG1
FOR LIGHTING SCHEDULE

UNDERGROUND UTILITY NOTE:

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476 NAUBUC / LOVLEY DEVELOPMENT, INC. PROJECT / APPLICANT ZONE 476 NAUBUC AVENUE PROJECT ADDRESS T.P.&Z. CHAIRMAN SPECIAL PERMIT SECTION SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR

TOWN PLAN & ZONING COMMISSION APPROVAL

LIGHTING DESIGN BY



GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values. * LLF Determined Using Current Published Lamp Data NOTE TO REVIEWER:

For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

JOHN R. MARTUCCI, P.E. #19494

TON

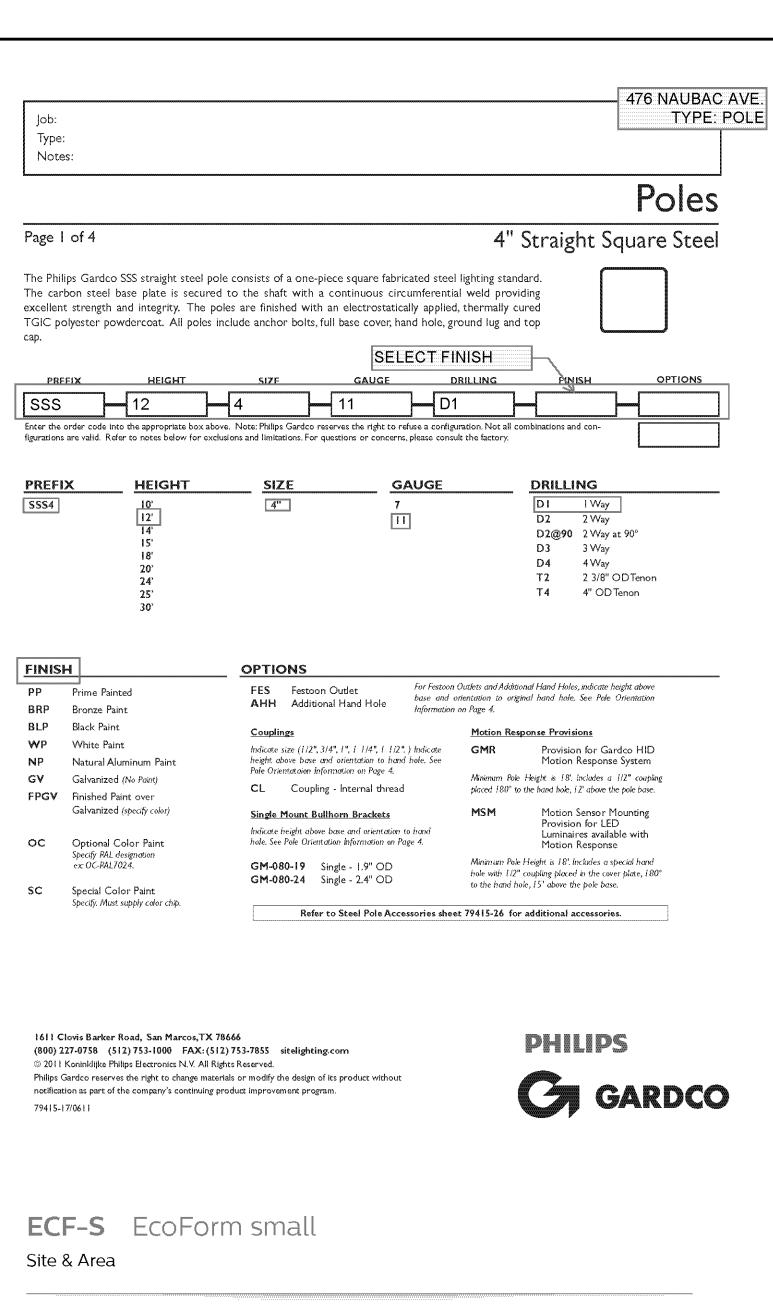
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REVISIONS: COMMENTS 11/07/2018 01-15-2019 - CONDITIONS

DATE: 02/08/2018 SCALE: 1" = 20' SHEET 13 of 23

A-17-053-LTG2 FILE: 17053.DWG



Luminaire Accessories

(F) = Specify finish

ECF-BD-G2 Bird deterrent

# Site & Area **PTF2-(F)** Pole top fitter fits 2 3/8-21/2" OD x 4" depth tenon with 1, 2, 3 or 4 luminaires at 90° **PTF3-(F)** Pole top fitter fits 3-3 1/2" OD x 6" depth tenon with 1, 2, 3 or 4 luminaires at 90° **PTF4-(F)** Pole top fitter fits 3 1/2-4" OD x 6" depth tenon with 1, 2, 3 or 4 luminaires at 90° ECF-SF-G2-(F) Slip Fitter Mount (fits to 2 3/8" O.D. tenon) ECF-RAM-G2-(F) Retrofit Arm mount kit ECF-WS-G2-(F) Wall mount with surface conduit rear Retrofit Arm (RAM) Weight: 24 Lbs (10.9 Kg) EPA: 0.24ft² (.022m²) Total Current Color System Lumen BUG Efficacy Lumen BUG Efficacy Lumen BUG Efficacy

ECF-S-32L-1A-NW-G2-x	32	1050	400.0	106	12,464	B3-U0-G2	118	12,194	B2-U0-G2	115	12,757	B2-UO-G3	121
CF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	13,826	B3-U0-G3	114	13,526	B2-U0-G3	111	14,151	B2-U0-G3	116
ECF-S-48L-900-NW-G2-x	48	900	4000	135	16.409	83-UQ-G3	121	16,053	B2-U0-G3	119	16,795	B2-U0-G3	124
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	18,581	B3-U0-G3	117	18,178	B3-U0-G3	115	19,018	B2-U0-G4	120
CF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	20,627	B3-U0-G3	113	20,180	B3-U0-G4	110	21,112	B3-U0-G4	116
CF-S-64L-900-NW-G2-x	64	900	4000	178	21,717	B3-U0-G3	122	21,246	B3-U0-G4	119	22,228	B3-U0-G4	125
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	24,467	B3-U0-G3	119	23,936	B3+U0+G4	116	25,043	B3-U0-G4	122
				Y									
		LED		Average		Type 5			Type 5W			TypeAFR	
ordering Code	Total LEDs	Current (mA)	Color Temp. ³	System Watts ¹	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)
	32	530	4000	56	7,414	B3-U0-G2	133	7,175	B3-U0-G2	129	7,111	B2-UO-GI	128
CF-5-32L-530-NW-62-X	4										<b>#</b>	<b>(</b> 0.00000000000000000000000000000000000	
***************************************	32	700	4000	73	9,563	B3-U0-G2	131	9,255	B4-U0-G2	127	9,172	B2-U0-G1	126
CF-S-32L-700-NW-G2-x	deren er		4000 <b>4</b> 000	73 10:6	9,563 13,462	B3-U0-G2 B4-U0-G2	131 127	9,255 13,030	B4-U0-G2 B4-U0-G2	127 123		B2-U0-G1 B3-U0-G2	126 122
ECF-S-321-530-NW-G2-x ECF-S-321-700-NW-G2-x ECF-S-321-1A-NW-G2-x ECF-S-321-1.2A-NW-G2-x	32	700									9,172		***************************************
:CF-S-32L-700-NW-G2-x :CF-S-32L-1A-NW-G2-x :CF-S-32L-1.2A-NW-G2-x	32 32	700 1050	4000	10.6	13,462	B4-U0-G2	127	13,030	84-U0-G2	123	9,172 12,912	B3-U0-G2	122
ECF-S-32L-700-NW-G2-x ECF-S-32L-1A-NW-G2-x	32 32 32	700 1050 1200	<b>4</b> 000 4000	106 122	13, <b>4</b> 62 14,933	84-U0-G2 B4-U0-G2	127 123	13,030 14,453	84-U0-G2 B4-U0-G2	123 119	9,172 12,912 14,322	<b>83-U0-G2</b> B3-U0-G2	122 118
:CF-S-32L-700-NW-G2-x :CF-S-32L-1A-NW-G2-x :CF-S-32L-1.2A-NW-G2-x :CF-S-48L-900-NW-G2-x :CF-S-48L-1A-NW-G2-x	32 32 32 32 48	700 1050 1200 300	4000 4000 4000	10:6 12:2 135	13,462 14,933 17,723	84-U0-G2 84-U0-G2 84-U0-G2	127 123 131	13,030 14,453 17,154	84-00-62 B4-00-62 B5-00-63	123 119 127	9,172 12,912 14,322 16,999	83-00-G2 83-00-G2 83-00-G2	122 118 126
ECF-S-32L-700-NW-G2-x ECF-S-32L-1A-NW-G2-x ECF-S-32L-1.2A-NW-G2-x ECF-S-48L-300-NW-G2-x	32 32 32 32 48 48	700 1050 1200 900 1050	4000 4000 4000 4000	106 122 135 159	13,462 14,933 17,723 20,069	B4-U0-G2 B4-U0-G2 B4-U0-G2 B5-U0-G3	127 123 131 126	13,030 14,453 17,154 19,424	B4-U0-G2 B4-U0-G2 B5-U0-G3 B5-U0-G3	123 119 127 122	9,172 12,912 14,322 16,999 19,248	B3-U0-G2 B3-U0-G2 B3-U0-G2 B3-U0-G2	122 118 126 121

ECF-S-32L-530-NW-G2-x 32 530 4000 56 6.864 B2-U0-G2 123 6.715 BI-U0-G2 121 7.025 BI-U0-G2 126

EcoForm Accessories (ordered separately, field installed)

House Side shield

Standard orientation:

At 90 or 270 orientation:

HIS-32-H 12 Internal House Side Shield for 32 LEDs (2 modules)

HIS-64-H¹² Internal House Side Shield for 64 LEDs (4 modules)

HIS-32-V[®] Internal House Side Shield for 32 LEDs (2 modules)

HIS-48-V¹² Internal House Side Shield for 48 LEDs (3 modules)

HIS-64-V¹² Internal House Side Shield for 64 LEDs (4 modules)

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodolog

Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of

initial lumen output. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours

up to 1200 mA >100,000 hours

HI\$-48-H¹² Internal House Side Shield for 48 LEDs (3 modules)

Pole Mount Motion Sensor

MS-A-120V 1 120V Input

MS-A-277V¹¹ 277V Input

Remote mount module

LLCR2-(F) #2 lens

LLCR3-(F)1 #3lens

LLCR4-(F) #4 lens

Central Remote Motion Response

12. Not available with Type 5 or 5W optics

Predicted Lumen Depreciation Data

LED Wattage and Lumen Values

Wireless systems

MS2-A-FVR-3

MS2-A-FVR-7

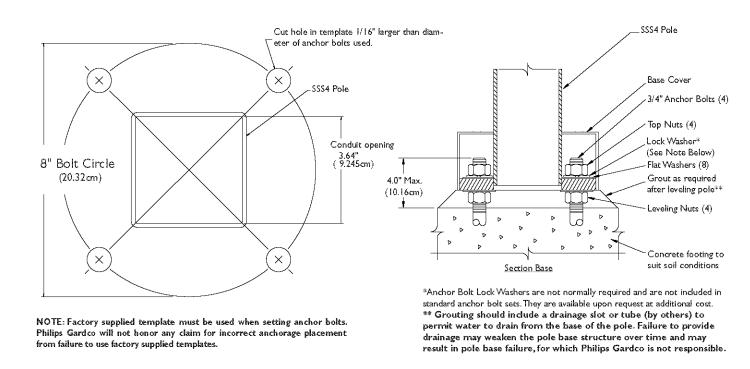
11. DD option required

Contact outdoorlighting.applications@philips.com for details or additional information. to variation in input voltage. ECF-S_Gen2 09/17 page 2 of 9

age 2 o	f 4			••••••	••••••	•••••••					L	l" St	raight	Square	Stee			
OLE D	ATA			***************************************	***************************************	***************************************			***************************************	***************************************	***************************************		***************************************		***************************************			
***************************************	***************************************		***************************************	MAXIMUM LUMINAIRE LOADING														
	ALOG 4BER	POLE	SIZE		HIGH	IWIND	CONDIT	IONS			RMAL W ONDITIO		ANC	ANCHOR BOLT DATA ²				
NOF	1DEK				130 MPH	8	120 MPH	}	110 4PH	100 MPH	90 MPH	80 МРН						
PREFIX	HEIGHT (FT.)	POLE SIZE (inches)	GAUGE	EPA FT	Max Weight (lbs)	EPA FT ²	Max Weight (lbs)	EPA FT'	Max Weight (lbs)	EPA FT'	EPA FT	EPA FT'	BOLT CIRCLE (inches)	BOLT SIZE	MAX PROJ. (inches)			
SSS	10	4		9.9	248	12.0	300	14.5	363	18.9	23.9	30.6	8.0"	3/4 x 17 x 3	4.0"			
SSS	12	4	11	7.4	185	9.2	230	11.3	283	14.8	18.8	24.4	8.0"	3/4 x 17 x 3	4.0"			
SSS	14	4	H	5.5	138	7.0	175	8.8	220	11.7	15.1	19.9	8.0"	$3/4 \times 17 \times 3$	4.0"			
SSS	15	4	- 11	3.0	95	5.0	125	6.7	168	8.9	11.8	15.9	8.0"	$3/4 \times 17 \times 3$	4.0"			
SSS	18	4		2.3	58	3.5	88	4.8	120	6.7	9.2	12.6	8.0"	$3/4 \times 17 \times 3$	4.0"			
SSS	20	4	11	· · · · ·	i i	1.9	48	3.3	83	4.5	6.7	9.6	8.0"	$3/4 \times 17 \times 3$	4.0"			
SSS	20	4	7	4.3	108	5.6	140	7.4	185	8.8	11.8	16.0	8.0"	$3/4 \times 17 \times 3$	4.0"			
SSS	25	4	11	-					¥	1.0	2.6	4.8	8.0"	3/4 x 17 x 3	4.0"			
SSS	25	4	7	1.6	40	2.6	65	3.8	95	5.4	7.7	10.8	8.0"	$3/4 \times 17 \times 3$	4.0"			
SSS	30	4	7					1.2	50	2.6	4,4	6.7	8.0"	3/4 x 17 x 3	4.0"			

1. Warning: Additional wind loading in terms of EPA, from banners, cameras, floodlights and other accessories attached to the pole, must be added to the luminaire(s) EPA before selecting the pole with 2. Factory supplied template must be used when setting anchor bolts. Philips Gardoo will not honor any claim for incorrect anchorage placement resulting from failure to use factory supplied templates.

#### **DIMENSIONS**



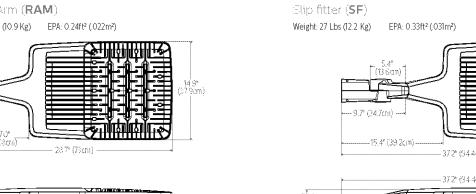
1611 Clovis Barker Road, San Marcos, TX 78666 (800) 227-0758 (512) 753-1000 FAX: (512) 753-7855 sitelighting.com © 2011 Koninklijke Philips Electronics N.V. All Rights Reserved. Philips Gardco reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program.

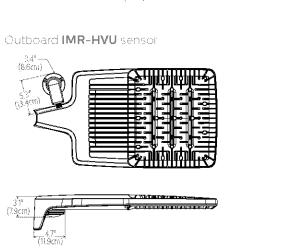
# PHILIPS



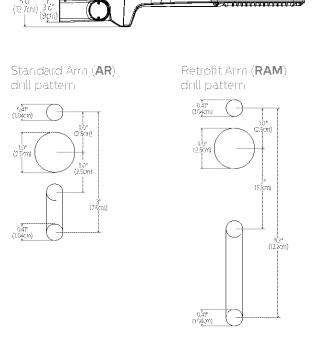
# **ECF-S** EcoForm small

Dimensions	
Standard Arm ( <b>AR</b> ) Veight: 22 Lbs (9.9 Kg)           EPA: 0.21ft² (.019m²)	Wall ( <b>WS</b> ) Weight: 27 Lbs. (12. 2Kg)
2 4° (60m) (27.9cm) (27.9cm) (27.9cm) (27.9cm) (27.9cm) (27.9cm)	(3.79cm) (5.1cm) -76° (19.4cm) -29.3° (74.5cm)
5 (*) 12 7cm) 27.5* (69 7cm)	(16.5cm) 29.9" (74.5cm)
	The second secon

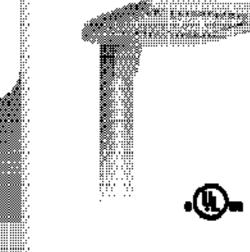




ECF-S_Gen2 09/17 page 3 of 9



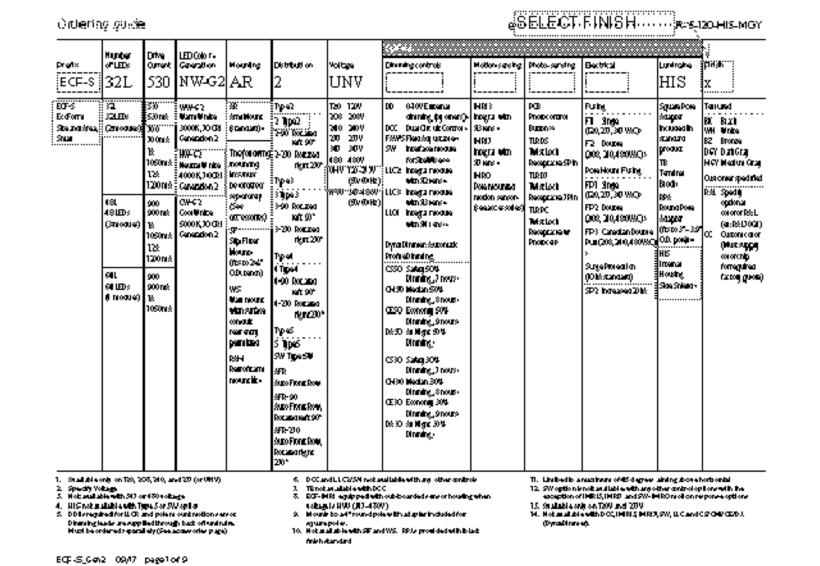








The Philips Sandro Eto Francisars-Zoombines economy with performance or an LEC area turanneire. Ce peble of deitre ringrup to 26,400 funners or more in accompact, i i law profile 1.60 kiminære, Ecoflorm olhernia rew tevatoficustomer vatae. Ecoflorm restures en inno vativo retroficarri, kir, simplifying site conversions to LED by : religion apply the need to diplicated inocal boles or post easing poles, integral control. systems as ellable for further energy savings.



#### :476:NAUBAC:AVE PROJECT / APPLICANT :TYPE::SL2 476 NAUBUC AVENUE PROJECT ADDRESS 12.0 / 4.11

176 NAUBUC / LOVLEY DEVELOPMENT, INC.

T.P.&Z. CHAIRMAN SPECIAL PERMIT SECTION SPECIAL PERMIT APPROVAL DATE COMMUNITY DEVELOPMENT DIRECTOR

NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

TOWN PLAN & ZONING COMMISSION APPROVAL

#### LIGHTING DESIGN BY

ZONE



#### GENERAL DISCLAIMER:

Calculations have been performed according to IES standards and good practice Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached culations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values. * LLF Determined Using Current Published Lamp Data NOTE TO REVIEWER: Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.

For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

TES,

SSOCIA

NO

JOHN R. MARTUCCI, P.E. #19494

PROFESSIONAL SERVICE AND SHALL NOT BE ED IN WHOLE OR IN PART FOR ANY PURPO OTHER THAN FOR WHICH IT WAS CREATED ITHOUT THE EXPRESS WRITTEN CONSENT OF IS DOCUMENT IS NOT ALLOWED AND IF SI CCURS, THE OFFENDER PROSECUTED TO FULL EXTENT OF THE LAW. © 2018 — DUTTON ASSOCIATES, LLC.

REVISIONS: COMMENTS 11/07/2018 01-15-2019 - CONDITIONS

> DATE: 02/08/2017 SCALE: AS SHOWN SHEET 14 of 23 A-17-053-LD-1

> > FILE: 17053.DWG

# **ECF-S** EcoForm small

## Site & Area

PHILIPS

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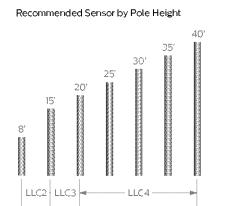
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ic Form

9*8****

**Wireless system** — luminaire configuration information

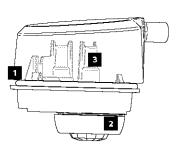
LLC2/LLC3/LLC4 Luminaire Mounted Controller LLCR2/LLCR3/LLCR4 Pole Mounted Controller Remote Mount Wireless Controller Controller pod attached to luminaire and Includes In this configuration, radio, photocell and motion sensor with #2, #3 or the wireless controller #4 lens for 8-40' mounting heights.



will be mounted to the pole at a fifteen foot mounting height. The number of luminaires or each pole, as well as the specific wattage chosen, will determine how many controllers will be required.

When using the wireless remote accessory option (LLCR-F) in a pole mount application, specify pole option (CL=Coupling Internal Thread, 3/4" size). Confirm required orientation of luminaire and wireless controller. Indicate height above pole base and orientation to hand hole. Recommended min pole height is 18ft, with option (CL) 15ft above pole base. Other heights are possible when choosing the appropriate sensor lens type. See pole specification sheets for more information.

Wireless system sensor



# 1. Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity. - Reports ambient light readings to 1500 Fc.

#### 2. Motion Response

- Detects motion through passive infrared sensing technology with three different lens configurations. - Motion sensor coverage can be adjusted from a narrow to a wide detection range,

which helps reduce false triggers to further increase energy savings. - Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height

#### 3. Wireless Radio

- RoHS Compliant

- 1.8 Watts max (no load draw)

- Operating voltage 120-277 VAC RMS Communicates using the ZigBee protocol - Carries out dimming commands from Gateway - Reports ambient light readings to 1500 Ft-Cd - Transmission Systems Operating within the band 2400-2483.5Mhz

Used to extend the communication on

Consult factory for more information.

site, to extend motion response and add

other luminaires that are not pole mounted.

ECF-S_Gen2 09/17 page 5 of 9

28,944.*

SELECT FINISH...... #25,120-HIS-MGY

PUB (208, 200, 480/80) (O.D. porés -

Limited to an activities of 45 degree whiting shore short ontal
 SW option is not as allable with any other control op if one with the exception of MRIS, IMRO, and SW-MRIO is of corresponse options.

Smallette only on ToO and 2009
 Moderate to with DOC, IMBIS, MRR, SW, LL Cand CS ON CEALS.

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SP2 Indexed3086

The Philips Gardon Bro Form General combines economy with performance or an LEC.

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tow profile 1.60 kiminase, Expliormoltem a new terstoficustome: value, Ecoficien-

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CS90 Saker 30% Dinning , ) nous CH90 Median 30% Dinning , Snous CE90 Economy 30%

Olumba, 9 nours 40 to Migra 30 %

DOC and LLCO/SN not available with any other controls
 Tenot available with DCC
 ECT-MIX eguipped with out-boarded are or housing when

solvage (v (NO -430V) 9. Microsite bound* round pole with adupter included for

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religion apply the need to diplicated inocal boles or post easing poles, integral control.

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systems evielleblis for funher energy seeings.

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# NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

PROJECT ADDRESS 12.0 / 4.11 SPECIAL PERMIT SECTION SPECIAL PERMIT APPROVAL DATE

> 20-30 BEAVER RD. LIGHTING SOLUTIONS THE POINT WHERE ALL ASCENDING LINES CONVERGE

Calculations have been performed according to IES standards and good practice Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such a comparing dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

SSOCIATES, ON

DATE: 02/08/2018 SCALE: AS SHOWN SHEET 15 of 23 A-17-053-LD-2

FILE: 17053.DWG

LIGHTING DESIGN BY WETHERSFIELD, CT 06109

* LLF Determined Using Current Published Lamp Data NOTE TO REVIEWER:

JOHN R. MARTUCCI, P.E. #19494

REVISIONS: COMMENTS 11/07/2018

GENERAL DISCLAIMER:

Total Light Loss Factor (LLF) applied at time of design is determined by applying the Lamp Lumen Depreciation (LLD) from current lamp manufacturer's catalog, a Luminaire Dirt Depreciation Factor (LDD) based on IES recommended values and a Ballast Factor (BF) from current ballast specification sheets. Application of an incorrect Light Loss Factor (LLF) will result in forecasts of performance that will not accurately depict actual results.

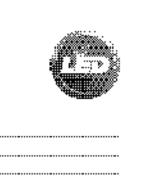
For proper comparison of photometric layouts, it is essential that you insist all designers use correct Light Loss Factors.

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ECF-8 32L



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The Philips Sank of Expform San-2 combines accomplishing performance or an LEC area turninaire. Capable of define ingrup to 26,400 iumers or more in accompact, low profile 1.60 kiminase, Ecoliorin oltest a new lavatoficustome: value, Ecoliorin reatures en inno vative retrofit arm kir, simplifying site conversions to LED by . aliennanny the reed to delli addinonal boles in rotat econy poles. Integral control systems existiable for further energy cavings.

refix	Humber of LEDs	Drive Current	LED Colo r « Generativo»	Mounting	Distribution	Voltage	Phone and the	I.u.u	Photo-sanding	Bechtol	Lundraine	61 10 10 10 10 10 10 10 10 10 10 10 10 10
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BOT-S Ediforma Steamatistea, Steam	(2 (2000) (2000)	300m/s 18 1050m/s 128	WW-C2 Warni Winite 3000K, 2003 Generation 2 WW-C2 Neutra Winite 4000K, 20031 Generation 2	mouning lossner	Type2 2 Type2 2-90 Rocases set 90* 2-200 Rocases right 200* Type3	(SV 60 Hz)	DD 040VE mena dhinning, by omas)- DOC Duardin din Control- FSWS Fleedog dezision SW Interfacemental for Statilis and UC2 Integral mental with 32 sensi-	MRRS Integra with Sisters - MRRS Integra with Sisters - MRRS MRRS INTEGRA WITH MRRS	PCB Productoria Button: TURES TMIXILORI BROGGERIASPIN TURES TMIXILORI TURES	Pushe, F1 31g0 (20,27),30 W/C) F2 Double (003,210,480/WC)> PoseNoun Fushe, FD1 31g0	Square Pore Scappor Incressed In Scandard product TB Terminal Broth	Tanusd BK Bizk WH White BZ Brones DGY DathGr. HGY Meature Outsomerspe
	68( 48ED): (आodus)	900 900m8 18 1050m8 128 1200m8	CW-672 CoorMinitos S000 K, 30 CR I Generation 2	experioraly (See attressames)	390 Notices	(3/10 m/k) (4/30 - 70/4/30)	LLC> Integra module  with 33 kms =  LLOI Integra module  with 34 i sts =  Dyna Dinmen: Sutonizik Profi sübhning	notion sensor- (recent esselles)	Receptatio JPIn	(20,20) 30 W.C) FP2 Double (008, 20,480W.C) FP3 Canadian Double Pur(208, 24,480W.C)  Surya Provention	ROS Rouma Pose Saupear (fasto 3*=30*	RSL Spediji optional cororori (ar:RSL) OC Outcome (jihux:su cororori forragui
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10. Hot mail able with SF and WS. RPJs provided with blad.

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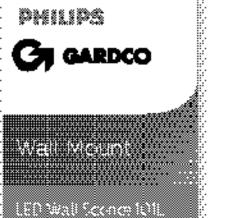
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Outromer specified

R.S. Special optional optional



Straight control (or T20, 205, 210, and 20 (or UNV)

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Distribute are supplied through bact of surfacilies Hurst be ordered a sparallely (See access other place)

2. Specify Voltage 5. Not and able with 547 or 480 voltage

ECF-S_G@n2 09/17 page1of9

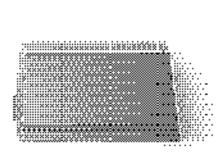
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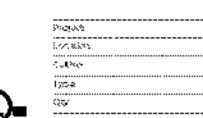
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ECF-S 32L









Proposition (2) LED was soorced feature a low-profile design that povular vida feataility in legit performance. exterior well file minerion. Full cultoff ceriormance, us able filermination patrems, and powerful warrages combine into a compact and architecturally pleasing design. Krill scorces are available in Type 2, 3, and 4 distributions, and provide output of up to 9500 lumiers. Energy salving conflicts ptions inclease energy salvings and other California -Title 24 compliance. Emergency Blattery Backup o after available for path of egress

ртол: 101L	Pres 16L	Orthodorent 530	uedicolor- Generation NW-G1	l _	enwawn EBPC	UNV UNV	Controls	Bethal 	Finish X
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- 2 32Lraxed (br/30°C ac10000m/c k, évallablegroru-sewith 16IL and 32L in 53-0mé or 690mé on lv. — 10. Not available with LLC TUR and DCC Rased for -20°C to 35°C
- 4 /kvallablelin (20 or 2007 only

7 Not available with Dimnring Driver (DD) roption.

101L 06/17 page1 of 7

- 5. Not available with Dual Circuit Control (DCC) option. 10. not available with DI mining Driver (DDI) in this wing configurations (SQ, 700) and 1200 ms in 347 and 480 V.
- 8. Available in 324, with 550ms. Consult technical support content of the LLC2/3 Not available with TLR, PCR, MNR, CSKCM/CE/Ds.
  for use with ghoto call and CSKCM/CE/Ds.
  Ships with WS accessory attached in wireless module. Notifor use with LLCR accessory. . walabiain12 0-207V(UNV) only.
- T2. Must specify imput voltage. B. TLRDS/Topdo-nnot available with LLC, PCB, DCC. Wolfer with 3 or 5 pin NEWsphotocall dimming. Dimming will not be connected to TLR if ordering with DD, CSX MVEX.Db; and IMRI. 14. Not available with ED, DCC on LLC.
- (T. SW option is not available with any other control options with the exception of IMBI2, IMBI3 modion response options TL Not available with 480V.

16. Not available with PCB, TLRES/T, DCC,LLC.

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Types CESO Economy SV4 Dinning Snours DASO de Miga 50% Directory. CS30 Saturj30% Dinming_) nous CH30 Median 30% Dinning, Shous-OE3O Economy 30% Dinning, Shours D63O Sa Mgr. 30% Dinning, SFR-90 Supp Front Row, Rocass chart 90* SFR-1270 Sudo Fiond Rose, DOC and LLCO/SN not available with any other control
 Tenot as allable with DCC
 DOF-IMR egapped with out-to and or environment or housing when Limited to an acting the office of the state of the . Stratistic only on T20, 205, 200, and 20 (or UHV) 2. Specify Voltage
5. Not available with SID or 450 rotage
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10. Hot mail able with SF and WS. 19th provided with black ECF-S_G@n2 09/17 page1of9

(See 3-30 Borzea (See 3-30 Borzea (See 3-30 Borzea

01-15-2019 - CONDITIONS

#### PERMANENT VEGETATIVE COVER:

WHERE CONSTRUCTION HAS BEEN COMPLETED.

THE PURPOSE OF PERMANENT VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL, REDUCE DAMAGE FROM WIND & WATER EROSION AND ENHANCE THE ENVIRONMENT.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE ON AREAS

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES OF APRIL 15 THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 15. IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING

DATES, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH UNTIL THE NEXT PRIME SEEDING DATE.

REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL INFORMATION.

BE INSTALLED PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

3. UNLESS HYDROSEEDED, APPLY LIME PER SOIL TEST OR AT THE RATE OF 135 LB PER

2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER

4. UNLESS HYDROSEEDED, APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7.5 LB PER 1000 S.F. OF 10-10-10 FERTILIZER AND 7 LB PER 1000 S.F. OF 38-0-0 OF SLOW RELEASE NITROGEN FOR TOPDRESSING.

5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A

WHEN HYDROSEEDING, THE SOIL SHALL BE TILLED AS DESCRIBED BELOW. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED.

6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER

1. SELECT AN APPROPRIATE SEED MIXTURE FROM THE LIST BELOW. ALTERNATE SEED MIXES SHALL BE APPROVED BY THE ENVIRONMENTAL PLANNER. APPLY PROPER INOCULANT WHEN USING LEGUME SEED.

2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC

3. UNLESS HYDROSEEDED OR "CULTIPACKER" TYPE SEEDER IS USED, COVER THE SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL. THE SEEDBED SHALL BE FIRMED FOLLOWING

4. UNLESS HYDROSEEDED, APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING. 5. SEEDING SHALL OCCUR BETWEEN APRIL 15 TO JUNE 15 AND / OR AUGUST 15 TO

6. WHEN HYDROSEEDING, SEEDING RATES SHALL BE INCREASED BY 10 % (400% FOR

FIBER MULCH SHALL BE USED WHEN HYDROSEEDING EXCEPT FOR CRITICAL AREAS WHICH SHALL BE MULCHED WITH STRAW MULCH

SHADY SITE:

CREEPING RED FESCUE - 1.10 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

RECOMMENDED SEED MIXES:

SEEDING WITH A ROLLER OR LIGHT DRAG.

SUNNY / PARTIALLY SUNNY SITE: KENTUCKY BLUEGRASS - 0.50 LB/1000 S.F CREEPING RED FESCUE - 0.50 LB/1000 S.F. PERENNIAL RYEGRASS - 0.10 LB/1000 S.F.

CREEPING RED FESCUE - 1.00 LB/1000 S.F. TALL FESCUE - 0.50 LB/1000 S.F.

#### MULCHING:

THE PURPOSE OF MULCHING IS TO PROTECT THE SOIL, CONTROL RUNOFF AND PROMOTE

ALL AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHALL BE

MULCH SHALL BE USED ON ALL DISTURBED AREAS FOR PROTECTION FROM EROSION WHICH WILL BE EXPOSED FOR MORE THAN 21 DAYS AND CANNOT BE SEEDED WITHIN THE

THE MATERIALS USED FOR MULCHING SHALL BE STRAW OR HAY FREE FROM COARSE MATTER AND WEEDS.

WHEN HYDROSEEDING, MULCH SHALL BE APPLIED SIMULTANEOUSLY WITH THE SEED. MULCH MATERIAL AND APPLICATION RATE SHALL BE AS RECOMMENDED BY THE

MULCH SHALL BE APPLIED UNIFORMLY BY HAND OR BLOWER AT A RATE OF 90 LB/1000

CRITICAL AREAS (SLOPES OVER 3 HORIZ. TO 1 VERT.) AND/OR AREAS IDENTIFIED ON THE PLAN SHALL BE MULCHED WITH HAY OR STRAW MULCH.

1. IF REQUIRED, MULCH SHALL BE ANCHORED IMMEDIATELY FOLLOWING APPLICATION.

2. STRAW AND HAY MULCH ON SLOPES IN EXCESS OF 5% SLOPE AND/OR AREAS AS DIRECTED BY THE ENVIRONMENTAL PLANNER SLOPE BE ANCHORED IN ACCORDANCE WITH CHAPTER 7 OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL,

#### TOPSOILING:

TOPSOIL SHALL BE FRIABLE AND LOAMY (LOAM, SANDY LOAM OR SILT LOAM) AND SHALL BE FREE OF DEBRIS, TRASH, STUMPS, ROCKS, ROOTS AND NOXIOUS WEEDS. IT SHALL GIVE EVIDENCE OF BEING ABLE TO SUPPORT HEALTHY VEGETATION AND CONTAIN NO SUBSTANCE THAT IS POTENTIALLY TOXIC TO PLANT GROWTH.

ALL TOPSOIL SHALL BE TESTED BY A RECOGNIZED LABORATORY AND SHALL MEET THE FOLLOWING REQUIREMENTS: ORGANIC MATTER: NOT LESS THAN 1.5% BY WEIGHT. Ph RANGE: 6.0-7.5 (IF LESS THAN 6.0, LIME SHALL BE APPLIED AS REQUIRED). SOLUBLE SALTS: SHALL NOT EXCEED 500 ppm.

APPLICATION:

APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE IN PLACE AND IN GOOD CONDITION PRIOR TO PLACING TOPSOIL.

TOPSOIL SHALL NOT BE APPLIED WHILE IN A FROZEN OR MUDDY CONDITION.

TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 4". SURFACE IRREGULARITIES SHALL BE CORRECTED AT TIME OF PLACEMENT TO AVOID DEPRESSIONS AND WATER POCKETS.

TOPSOIL SHALL BE COMPACTED ONLY ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A UNIFORM SEEDBED. OVER COMPACTING SHALL BE

#### TRENCH DE-WATERING:

**GENERAL:** THE PURPOSE OF TRENCH DE-WATERING IS TO PERMIT THE INSTALLATION OF UNDERGROUND UTILITY STRUCTURES AND SERVICES IN A STABLE ENVIRONMENT. THE EROSION & SEDIMENTATION CONCERN IS THE OUTFLOW FROM THE DE-WATERING OPERATION.

CONTROL METHOD:

IF A SMALL AMOUNT OF WATER IS ENCOUNTERED. THE OUTFLOW SHALL BE PLACED SUCH THAT THE WATER IS ENCOURAGED TO DISPERSE OVER UNDISTURBED EXISTING VEGETATION, UPSTREAM OF A SEDIMENT BARRIER

IF LARGE AMOUNTS OF DE-WATERING IS REQUIRED, THE PUMP OUTLET SHALL BE DIRECTED INTO A 6" DIAMETER PERFORATED PIPE 50 FEET LONG (MIN.), LAID LEVEL ON EXISTING GRADE, WHERE THE WATER WILL FLOW ONTO UNDISTURBED EXISTING VEGETATION UPSTREAM OF A SEDIMENT BARRIER.

#### TEMPORARY VEGETATIVE COVER:

THE PURPOSE OF TEMPORARY VEGETATIVE COVER IS TO STABILIZE EXPOSED SOIL AND REDUCE WIND AND

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL SOIL STOCKPILE AREAS WHICH WILL BE IN PLACE FOR MORE THAN 21 DAYS BETWEEN AUGUST 1 AND JUNE 15.

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON AREAS WHERE CONSTRUCTION HAS BEEN COMPLETED AND PERMANENT STABILIZATION WILL NOT TAKE PLACE WITHIN 21 DAYS BETWEEN AUGUST 1 AND

IN ALL CASES, PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 12 MONTHS.

IF TEMPORARY VEGETATIVE COVER CANNOT BE ESTABLISHED BETWEEN THE PRIME SEEDING DATES INDICATED BELOW, THE AREA SHALL BE STABILIZED TO THE EXTENT POSSIBLE WITH TEMPORARY MULCH. REFER TO THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST ADDITION, FOR ADDITIONAL INFORMATION

1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL 1. APPLICABLE EROSION AND SEDIMENTATION CONTROLS (SEDIMENT BARRIERS, ETC.) SHALL BE INSTALLED PRIOR TO ESTABLISHMENT OF TEMPORARY VEGETATIVE COVER.

2. REMOVE LOOSE ROCK AND LARGE STONES, DEBRIS, TRASH, STUMPS AND OTHER NOXIOUS MATERIALS.

3. APPLY LIME PER SOIL TEST OR AT THE RATE OF 50 LB PER 1000 S.F. 4. APPLY FERTILIZER PER SOIL TEST OR AT THE RATE OF 7 LB PER 1000 S.F. OF 10-10-10 FERTILIZER.

5. UNLESS HYDROSEEDED, LIME AND FERTILIZER SHALL BE WORKED INTO SOIL TO A DEPTH OF 4". 6. TILLAGE SHALL RESULT IN A UNIFORM CONTOUR, FREE FROM DEPRESSIONS AND WATER POCKETS.

1. APPLY ANNUAL RYEGRASS (OR APPROVED EQUAL) AT A RATE OF 1 LB PER 1000 S.F.

2. SEED SHALL BE APPLIED UNIFORMLY BY BROADCASTING, DRILLING OR HYDRAULIC APPLICATION.

3. UNLESS HYDROSEEDED, SEEDS SHALL BE COVERED WITH NOT MORE THAN 1/4 INCH OF SOIL. 4. APPLY MULCH AS REQUIRED IMMEDIATELY AFTER SEEDING.

5. SEEDING SHALL OCCUR BETWEEN APRIL 1 TO JUNE 15 AND / OR AUGUST 1 TO OCTOBER 1.

#### GENERAL E & S NOTES:

ALL EROSION AND SEDIMENTATION CONTROL METHODS SHALL BE IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE PROPER SEQUENCE DURING CONSTRUCTION (I.E. SEDIMENT BARRIERS INSTALLED DOWNSLOPE OF AREAS TO BE DISTURBED PRIOR

ALL DISTURBED AREAS SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF TOPSOIL, SEEDED AND MULCHED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.

ALL SOIL STOCKPILE AREAS SHALL BE ENCIRCLED WITH SEDIMENT BARRIERS. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ANY STOCKPILE AREA WHICH IS TO REMAIN MORE THAN 21 DAYS. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION AND SEDIMENTATION CONTROL TOOLS AND SUPPLIES ON SITE (SEDIMENT BARRIER, STONE, SHOVELS, ETC.).

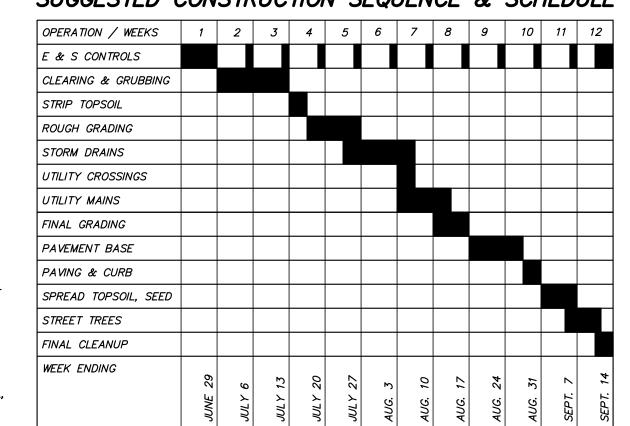
THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENTATION CONTROLS WEEKLY AND PRIOR TO A PREDICTED RAIN EVENT. THE EROSION AND SEDIMENTATION CONTROLS SHALL BE REPAIRED OR MAINTAINED

THE CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED TO PREVENT WIND EROSION. THE METHOD USED SHALL BE APPROVED BU THE ENVIRONMENTAL PLANNER.

EROSION AND SEDIMENTATION CONTROL MEASURES ARE SUBJECT TO REVIEW AND APPROVAL BY THE TOWNS ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE

TOWNS ENVIRONMENTAL PLANNER TO ADDRESS FIELD CONDITIONS. SEE THE ATTACHED EROSION CONTROL NARRATIVE, CONSTRUCTION SEQUENCE, CONSTRUCTION SCHEDULE FOR ADDITIONAL INFORMATION.

# SUGGESTED CONSTRUCTION SEQUENCE & SCHEDULE



#### STORM SEWER MAINTENANCE PLAN

THE STORM SEWER MANAGEMENT AND WATER QUALITY SYSTEM(S) FOR THIS DEVELOPMENT CONSISTS OF A ROOF DRAIN COLLECTION SYSTEM, TWO CATCH BASIN INLETS & PIPING AND SEVERAL PAVED LEAK-OFFS, ALL OF WHICH DIRECT STORM WATER FLOW TO TWO RAIN GARDENS. OUTFLOW FROM THE RAIN GARDENS DURING LARGE STORM EVENTS IS VIA A LEVEL SPREADER. PROPER MAINTENANCE OF ALL ELEMENTS OF THE SYSTEMS ARE CRITICAL TO THE LONG TERM SUCCESS AND PROPER FUNCTION OF THE SYSTEMS. TO ACCOMPLISH THIS, THE FOLLOWING MAINTENANCE TASKS SHALL BE CONDUCTED AS DESCRIBED AS BELOW.

#### SPRING MAINTENANCE:

THE SPRING MAINTENANCE SHALL BE CONDUCTED FOLLOWING SNOW MELT AND PRIOR TO VEGETATION BLOOM AND SHALL CONSIST OF THE FOLLOWING TASKS:

1) SWEEP ALL ACCUMULATED SAND AND DEBRIS FROM THE PARKING AREAS, REMOVE ACCUMULATED LANDSCAPE DEBRIS (LEAVES, STICKS, ETC..) FROM ETC.) SITE. 2) INSPECT ROOF GUTTERS AND REMOVE ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED

3) INSPECT VISIBLE ELEMENTS OF THE ROOF DRAIN COLLECTION SYSTEM AND REPAIR DAMAGED ELEMENTS AS REQUIRED. 4) INSPECT ALL CATCH BASIN INLETS AND REMOVE ACCUMULATED SEDIMENT AND DEBRIS AS

REQUIRED. REPAIR DAMAGED ELEMENTS AS REQUIRED. 5) INSPECT THE PAVED LEAK-OFFS, REMOVE ANY ACCUMULATED DEBRIS AND REPAIR DAMAGED ELEMENTS AS REQUIRED.

6) INSPECT THE RAIN GARDENS, REMOVE ALL ACCUMULATED DEBRIS (LEAVES, STICKS, SEDIMENT, ETC.), INSPECT THE MULCH, REMOVE DEGRADED MULCH AND REPLACE AS REQUIRED. 7) INSPECT THE LEVEL SPREADER AND REPAIR DAMAGED ELEMENTS AS REQUIRED.

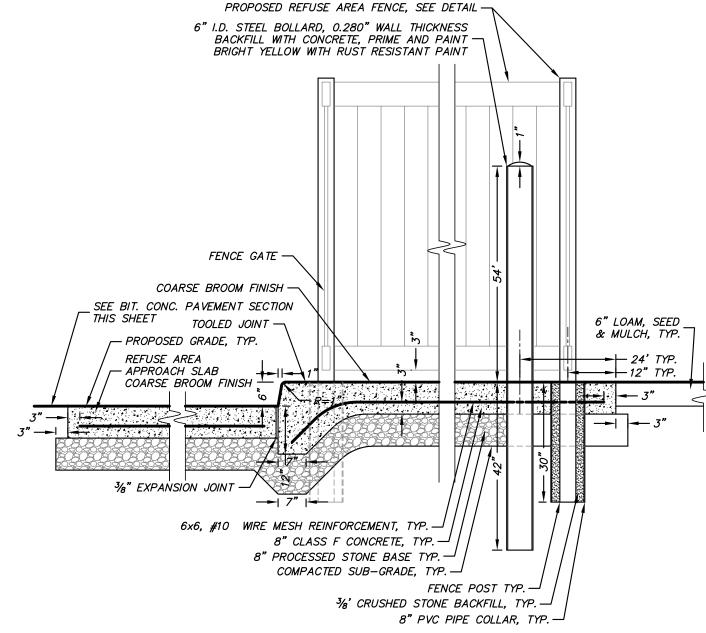
#### FALL MAINTENANCE

FALL MAINTENANCE SHALL OCCUR FOLLOWING LEAF DROP, PRIOR TO SNOW FALL AND SHALL CONSIST OF ALL OF THE TASKS DESCRIBED ABOVE FOR "SPRING MAINTENANCE".

NOTE: ALL COLLECTED SEDIMENT AND DEBRIS SHALL BE DISPOSED OF AT A SUITABLE AND APPROVED LOCATION IN ACCORDANCE WITH ANY APPLICABLE LAW AND OR REGULATION.

NUMBER: 1 D.	ATE: 04-05-18	NUMBER: 2 D.	ATE: 11-17-17	NUMBER: 1 D	ATE: 11-17-17	NUMBER: 2	DATE: 11-17-17	
WITNESS: TM/SD	WITNESS: TM/SD LEDGE:		LEDGE:	WITNESS: TM/SD	LEDGE:	WITNESS: TM/SD	LEDGE:	
DEPTH: 5' WATER: NONE		DEPTH: 5' WATER: NO		DEPTH: 5'	WATER: NONE	DEPTH: 5'	WATER: NONE	
SOIL PROFILE: MOTTLING: NONE		SOIL PROFILE: MOTTLING: NONE		SOIL PROFILE: MOTTLING: NONE		SOIL PROFILE:	MOTTLING: NONE	
0-12" TOPSOIL  12-22" RED/BR.  26-34" MED. BR.  34-40" DARK BR.  40-42" MEDIUM S  42-60" FINE SAN	SAND COURSE SAND SAND	0–12" FINE SAND TOPSOIL 12–36" LT. BR. FI 36–60" FINE SANI	INE SILT	0-7" TOPSOIL 7-26" LT. BR. VE 26-34" MED. BR. 34-40" DARK BR. 40-42" MEDIUM S 42-60" FINE SAN	SAND COURSE SAND SAND	0-12" FINE SAND LOAM GROUND TOPSOIL 12-36" LT. BR. FINE SILT 36-60" FINE SAND, BROWN		
NOTE: 38"—REDDIS (HIGH SEASO		NOTE: 36"—REDDIS (HIGH SEASO		NOTE: 38"—REDDIS (HIGH SEASO		NOTE: 36"—REDDISH LAYER (HIGH SEASONAL WATER)		

#### TEST PIT DATA



SEE "CONCRETE WALK NOTES" ON THIS SHEET FOR ADDITIONAL INFORMATION

# SECTION A-A REFUSE AREA & APPROACH SLAB

#### **EROSION CONTROL NARRATIVE:**

SITE / PROJECT DESCRIPTION: LOCATION: 476 NAUBUC AVENUE GLASTONBURY, CT SITE AREA: 53,919 S.F. = 1.2378 AC. TOTAL AREA OF DISTURBANCE: 58,000 S.F. = 1.33 AC. (INCLUDES WORK WITHIN NAUBUC AVE. & PUTNAM BOULEVARD ROW'S) DIRECT WETLAND IMPACT: NONE 150' UPLAND REVIEW IMPACT: 31,373 S.F. = 0.72 AC. CURRENT DEVELOPMENT STATUS: SITE CONTAINS ONE SINGLE FAMILY HOME TOPOGRAPHY: FLAT WITH STEEP SLOPES ALONG PUTNAM BOULEVARD DUE TO ROADWAY EXCAVATION VEGETATION COVER: SCATTERED TREES ,BRUSH & POORLY MAINTAINED LAWN. UTILITIES: PUBLIC WATER, SEWER, GAS, CATV & ELECTRIC AVAILABLE IN NAUBUC AVE. SOILS: HAVEN & ENFIELD SERIES ON WEST END, UDORTHENTS ON EASTERLY END.

STORM DRAINAGE: A SMALL PORTION OF THE SITE (MAINLY ALONG THE ROADWAY CUTS ON THE WEST AND NORTH SIDES OF THE SITE) DRAIN TO AN EXISTING CATCH BASIN INLET LOCATED NEAR THE INTERSECTION OF PUTNAM BOULEVARD AND NAUBUC AVE.. THE CATCH BASIN OUTLET IS LOCATED ON THE NORTHERLY SIDE OF PUTNAM BOULEVARD AT THE TOE OF THE EMBANKMENT AND DRAINS ULTIMATELY TO PORTER BROOK. THE REMAINING AREA OF THE SITE FLOWS SOUTHERLY AND EASTERLY A LONG DISTANCE ON CT DOT PROPERTY PARALLEL TO CT RTE 3 TO A CT DOT STORM WATER FACILITY LOCATED JUST WESTERLY OF THE ON RAMPS TO RTE 3 FROM PUTNAM BOULEVARD. WATER THEN FLOWS THROUGH A 42" PIPE NORTHERLY UNDER PUTNAM BOULEVARD AND ULTIMATELY TO PORTER BROOK. PROPOSAL: THE PROPOSAL CONSISTS OF DEMOLITION OF THE EXISTING HOME AND CONSTRUCTION OF 2 NEW

MEDICAL OFFICE BUILDINGS, 3,000 & 3,183 S.F. WITH ASSOCIATED PARKING, UTILITIES AND STORM WATER MANAGEMENT SYSTEMS THE PROPOSAL CONTAINS 2 RAIN GARDENS DESIGNED TO HOLD THE ENTIRE WATER QUALITY VOLUME WITHOUT CONSIDERATION OF INFILTRATION. STORM WATER DISCHARGE FOR HIGHER FREQUENCY STORMS IS VIA A "LEVEL SPREADER" LOCATED ALONG THE SOUTHERLY EDGE OF THE PROPERTY TO REPLICATE THE NATURAL FLOW FROM THE SITE. A DETENTION SYSTEM IS NOT PROPOSED. FLOOD ZONE: MOST OF THE SITE IS LOCATED WITHIN A FEMA SPECIAL FLOOD HAZARD AND TOWN OF GLASTONBURY FLOOD ZONE ASSOCIATED WITH THE CONNECTICUT RIVER. THE PROPOSED STRUCTURES WILL HAVE THE FINISHED FLOOR ABOVE THE 500 YEAR FLOOD EVENT. ADDITIONALLY, THE SITE GRADING HAS BEEN DESIGNED TO NOT IMPACT THE FLOOD STORAGE.

## POTENTIAL E. & S. PROBLEMS / MITIGATION

THE FOLLOWING IS A DISCUSSION OF EROSION AND SEDIMENTATION CONCERNS AND THE SUGGESTED METHODS OF MITIGATION AND CONTROL. ALL EROSION AND SEDIMENTATION CONTROL METHODS AND MATERIALS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWN OF GLASTONBURY. ADDITIONAL EROSION AND SEDIMENTATION CONTROLS MAY BE REQUIRED TO ADDRESS FIELD CONDITIONS.

#### 1) SEDIMENT ENTERING THE EXISTING STORM SEWERS.

THE PLAN CALLS FOR ALL STORM SEWER INLET SUBJECT TO RUNOFF FROM THE DISTURBED AREA HAVE ITS INLET PROTECTED WITH FILTER FABRIC AND / OR "SILT SACKS". THE CATCH BASIN INLET PROTECTION SHOULD BE CHECKED AT REGULAR INTERVALS AND THE ACCUMULATED SEDIMENT REMOVED AND THE FILTER FABRIC REPLACED TO AVOID EXCESSIVE PONDING AT THE INLETS.

#### 2) WIND EROSION.

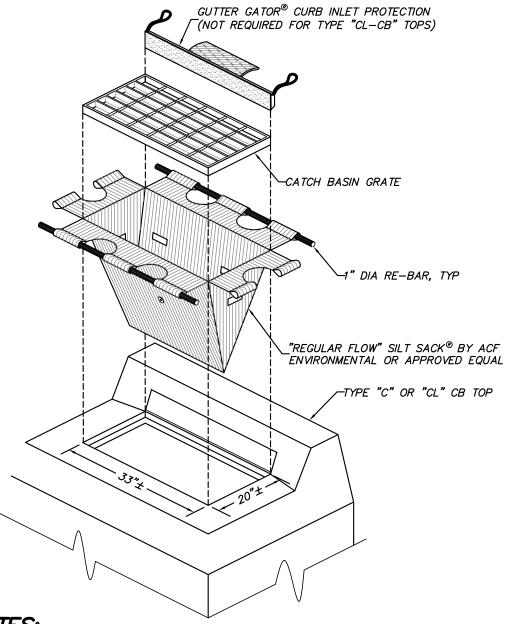
BECAUSE THE SITE IS SMALL AND SOMEWHAT PROTECTED BY TREES, WIND EROSION SHOULD NOT BE A MAJOR PROBLEM. IF WIND EROSION DOES OCCUR, THE SITE SHOULD BE WATERED OR STABILIZED BY OTHER MEANS TO REDUCE THE POTENTIAL FOR WIND EROSION.

#### 3) INSPECTION AND MAINTENANCE OF E. & S. CONTROLS.

INSPECTION AND PROPER MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IS CRITICAL TO THE ULTIMATE SUCCESS OF THE PROJECT. THE PLAN REQUIRES THE SITE CONTRACTOR TO INSPECT AND MAINTAIN THE EROSION AND SEDIMENTATION CONTROL SYSTEMS ON AT LEAST A WEEKLY BASIS AND PRIOR TO A PREDICTED RAIN EVENT.

#### 4) EFFICIENT CONSTRUCTION AND TIMING.

TO MINIMIZE THE EROSION AND SEDIMENTATION CONTROL PROBLEMS, THE SITE CONTRACTOR SHOULD CAREFULLY PLAN THEIR CONSTRUCTION ACTIVITIES TO MINIMIZE THE PERIOD OF TIME THE SITE IS EXPOSED TO EROSIVE FORCES AND TIME THE STABILIZATION WITH PRIME SEEDING DATES.

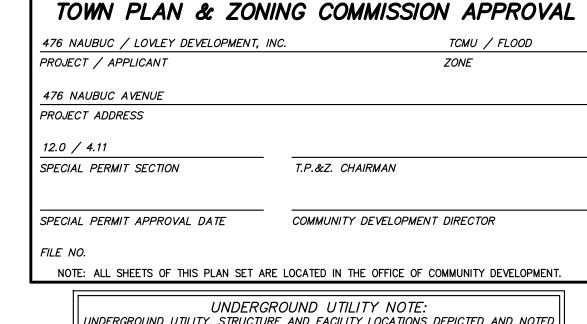


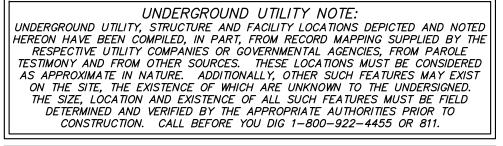
ALL SILT SACKS ON SITE SHALL BE CHECKED WEEKLY AT A MINIMUM. ADDITIONALLY, THEY SHALL BE CHECKED (AND CLEANED AS REQUIRED) PRIOR TO AND FOLLOWING A RAIN EVENT. SEDIMENT REMOVED FROM THE SACKS SHALL BE DISPOSED OF AT A SUITABLE LOCATION AS TO NOT POSE A DANGER TO WETLAND SYSTEMS.

THE SILT SACKS® SHALL REMAIN IN PLACE UNTIL ALL UPSTREAM AREAS HAVE STABILIZED TO THE SATISFACTION OF THE TOWN ENVIRONMENTAL PLANNER. AT WHICH TIME THE SACKS SHALL BE REMOVE. ANY ACCUMULATED SEDIMENT PROPERLY DISPOSED OF. ADDITIONALLY, WHEN THE SACK IS REMOVED, THE STORM STRUCTURE (& PIPE SYSTEM) SHALL BE INSPECTED AND ANY ACCUMULATED SEDIMENT REMOVED, AND PROPERLY DISPOSED OF.

> ADDITIONAL INFORMATION CAN BE OBTAINED FROM: ACF ENVIRONMENTAL 2831 CARDWELL ROAL RICHMOND, VA 23234 1-800-448-3636 WWW.ACFENVIRONMENTAL.COM

STORM INLET SEDIMENT CONTROL



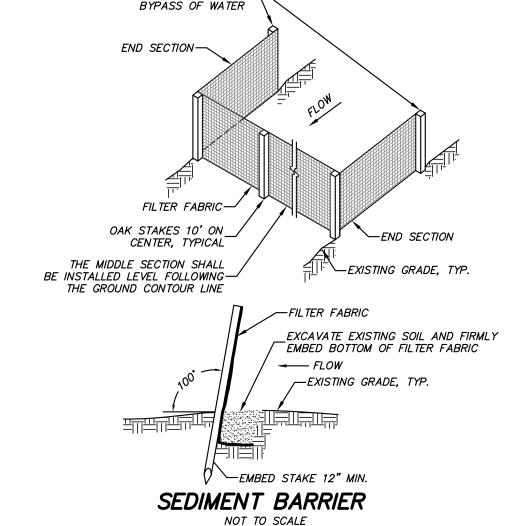


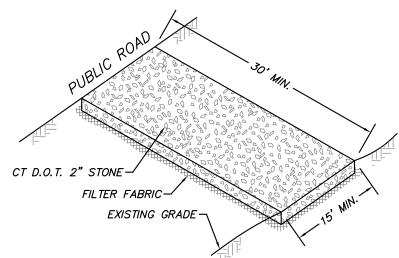
INSPECTION NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM — 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

TURN END SECTIONS

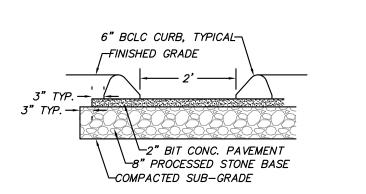
OF SEDIMENT BARRIER

UP SLOPE TO PREVENT

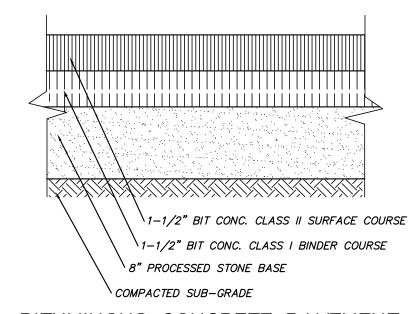




#### CONSTRUCTION ENTRANCE NOT TO SCALE



#### TYPICAL SECTION PAVED LEAK-OFF NOT TO SCALE



#### BITUMINOUS CONCRETE PAVEMENT NOT TO SCALE

550 0

JOHN R. MARTUCCI, P.E. #19494

POFESSIONAL SERVICE AND SHALL NOT B O IN WHOLE OR IN PART FOR ANY PURPO IER THAN FOR WHICH IT WAS CREATED OUT THE EXPRESS WRITTEN CONSENT IS DOCUMENT IS NOT ALLOWED AND IF SUCCURS, THE OFFENDER PROSECUTED TO THE LAW.

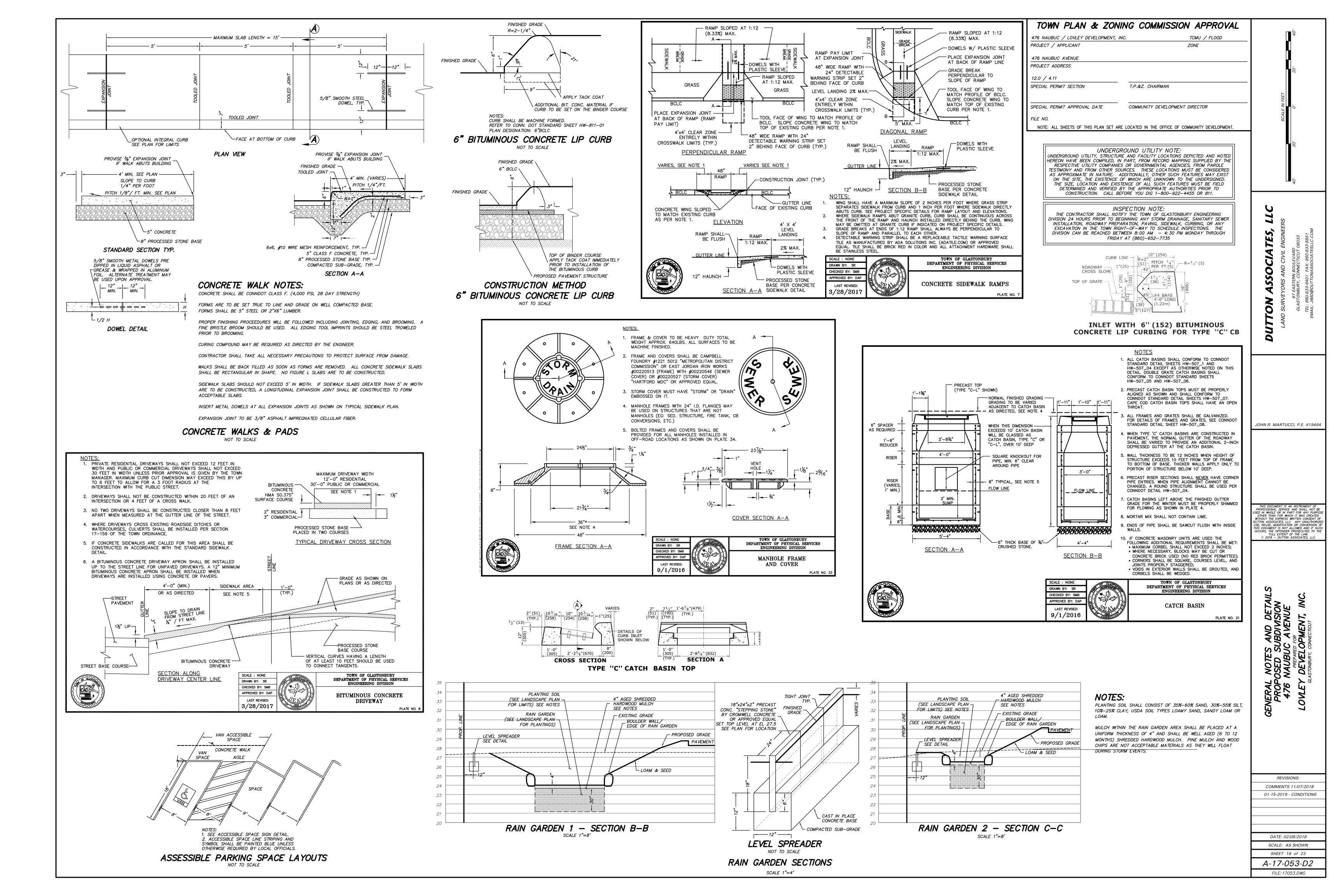
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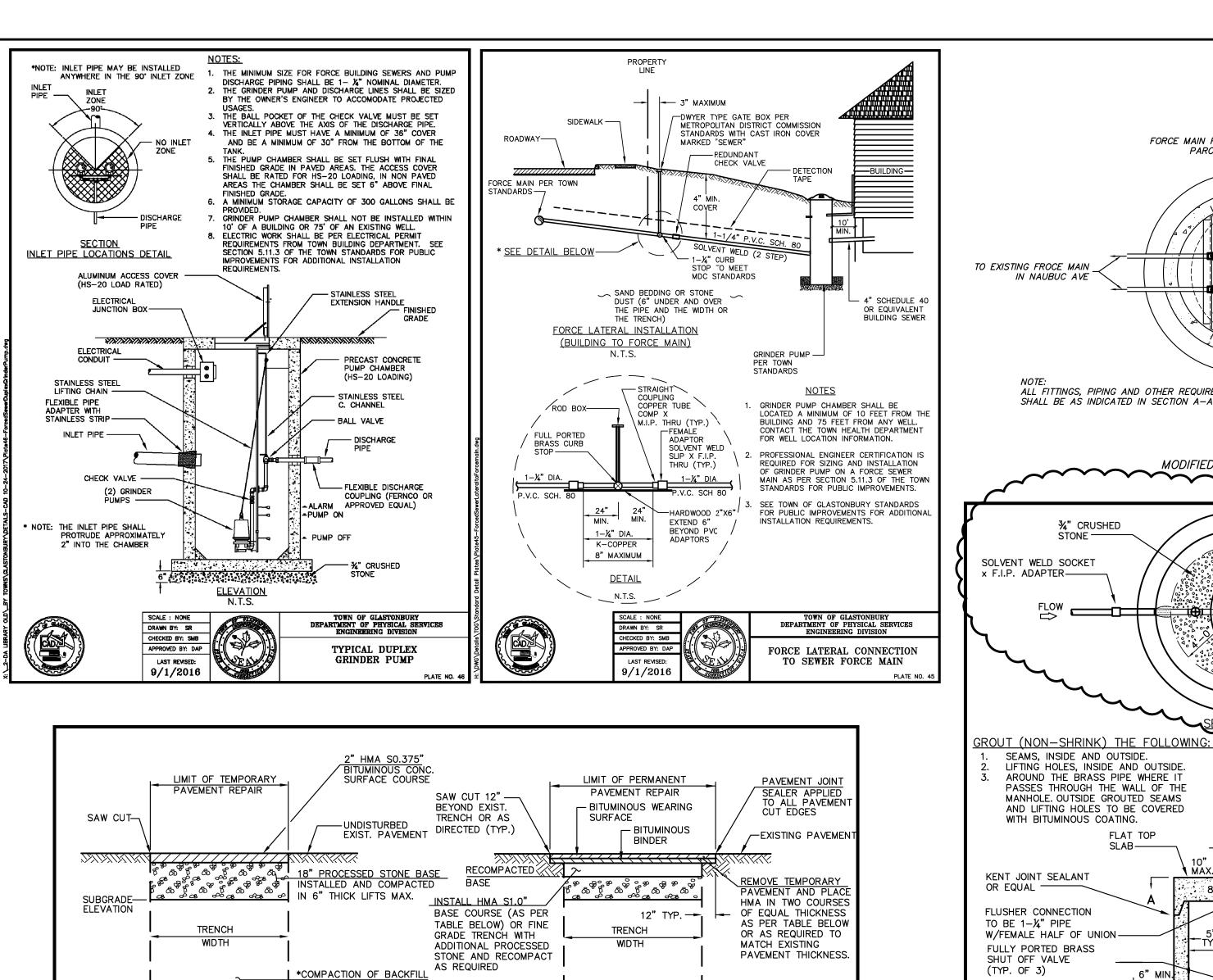
REVISIONS: COMMENTS 11/07/2018 01-15-2019 - CONDITIONS

DATE: 02/08/2017 SCALE: AS SHOWN

FILE: 17053.DWG

SHEET 17 of 23 A-17-053-D1





PERMANENT PAVEMENT REPAIR DETAIL

LOCAL OR

COLLECTOR

N/A

HMA S0.375"

HMA S0.5"

HMA S1.0"

SCALE : NONE

DRAWN BY: SR

CHECKED BY: SMB

APPROVED BY: DAP

LAST REVISED:

3/28/201

ARTERIAL

(> 3000 ADT)

N/A

3" (IN TWO LIFTS)

6" (IN TWO LIFTS)

TOWN OF GLASTONBURY

TEMPORARY AND

PERMANENT PAVEMENT

REPAIRS

PLATE NO.

DEPARTMENT OF PHYSICAL SERVICES

REQUIRED WITHIN TRENCH AREA

TEMPORARY PAVEMENT REPAIR DETAIL

1. PROCESS STONE BASE SHALL BE CRUSHED

TRAP ROCK CONFORMING TO ARTICLE

M.05.01 OF THE FORM 817 AND TOWN

SPECIFICATIONS. GRAVEL OR RECLAIMED

2. PERMANENT TRENCH REPAIRS FOR STREETS

WITH CONCRETE PAVEMENT OR CONCRETE

BASE MAY CONSIST OF 2" HMA SO.5", 6"

THE DISCRETION OF THE TOWN ENGINEER.

THE CONTRACTOR SHALL VERIFY AND

STANDARDS FOR A 95% COMPACTED

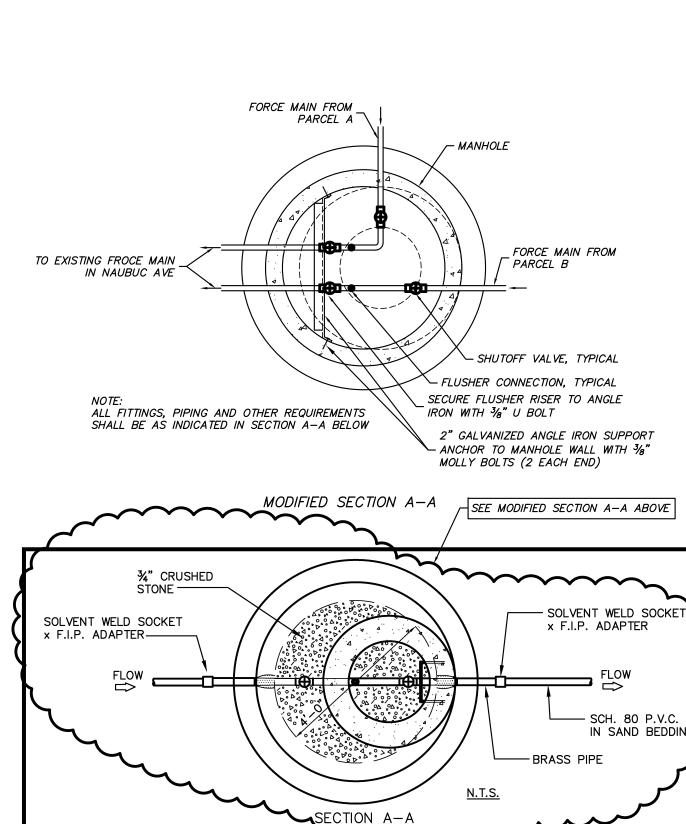
COMPACTION MEETS WITH TOWN'S

SUBMIT PROPER TESTING RESULTS THAT

HMA S1.0", AND 10" GRAVEL SUBBASE AT

THE REQUEST OF THE TOWN ENGINEER

MISCELLANEOUS AGGREGATE SHALL NOT BE



OF BRICK (NO

LENGTH)

6" OF ¾"

CRUSHED

STONE

SCALE : NONE

DRAWN BY: SR

CHECKED BY: SMB

APPROVED BY: DAP

LAST REVISED:

4/29/2008

PRECAST RINGS)

½"MORTAR (FULL

SEAMS, INSIDE AND OUTSIDE.

WITH BITUMINOUS COATING.

PIPE COUPLING

(SEE NOTE BELOW) -

LIFTING HOLES, INSIDE AND OUTSIDE

AROUND THE BRASS PIPE WHERE IT

MANHOLE. OUTSIDE GROUTED SEAMS

PASSES THROUGH THE WALL OF THE

AND LIFTING HOLES TO BE COVERED

BOTTOM STEP TO BE A MAXIMUM OF 1'-4"

MORTAR TO BE USED UNDER FRAME.

CONCRETE BRICK AND/OR PORTLAND CEMENT

PIPE AND FITTING SHALL HAVE PRESSURE RATING

PIPE COUPLINGS SHALL BE CAST DUCTILE IRON

JCM MODEL 211, ROMAC MODEL 501 OR 511,

ALL PIPING AND FITTINGS WITH IN MANHOLE

FORD MODEL FC1 OR APPROVED EQUAL.

FROM FLOOR OF MANHOLE.

OF NO LESS THAN 300 P.S.I.

STRUCTURE TO BE BRASS.

MANHOLE FRAME AND

MORTAR AND BITUMINOUS COATING AROUND BRICK

**BITUMINOUS** 

- WATER TIGHT

-PIPE COUPLING

(SEE NOTE BELOW)

FLEXIBLE MANHOLE

COATING

ADAPTER

(TYP.)

ANGLE IRON SUPPORT

- 34"CRUSHED STONE & U-BOLT

SEE THE TOWN OF GLASTONBURY SPECIFICATIONS

DEPARTMENT OF PHYSICAL SERVICES

ENGINEERING DIVISION

INLINE ACCESS MANHOLE

FOR FORCE SEWER MAINS

FOR ADDITIONAL INSTALLATION INFORMATION.

FILL UP TO SPRING

LINE OF PIPE

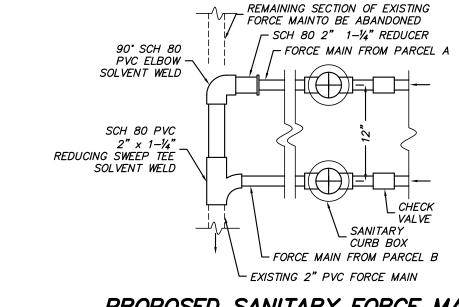
- FINISHED

GRADE

COVER PER TOWN

STANDARDS

WORK

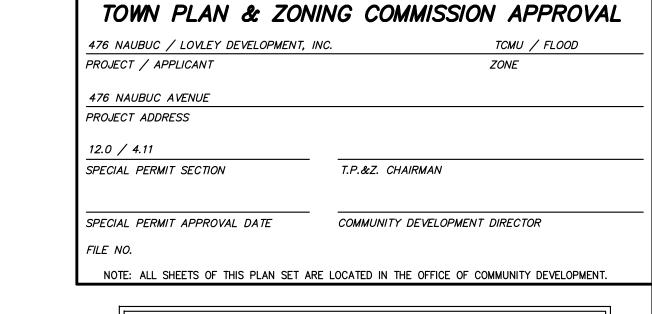


### PROPOSED SANITARY FORCE MAIN CONNECTION TO EXISTING MAIN

## SANITARY SEWER NOTES:

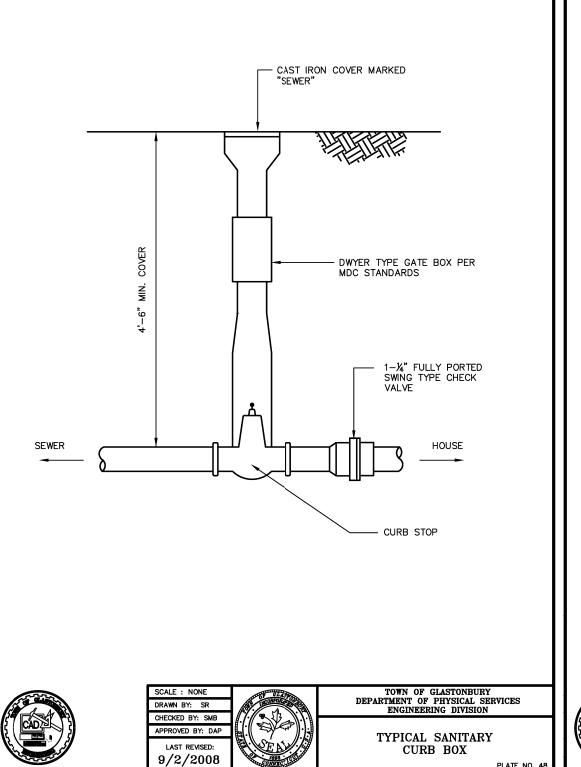
THE TOWN OF GLASTONBURY STAFF OR AGENT REPRESENTATIVE HAS THE RIGHT TO ENTER ONTO THE PROPERTY WITH PROPER NOTICE TO PERFORM SEWER SAMPLING AT EACH BUILDING WET WELL LOCATION IF REQUIRED. THE SITE CONTRACTOR SHALL SUBMIT TO THE ENGINEER SHOP DRAWINGS WITH APPLICABLE PUMP AND FORCE MAIN COMPUTATIONS FOR REVIEW AND APPROVAL BY

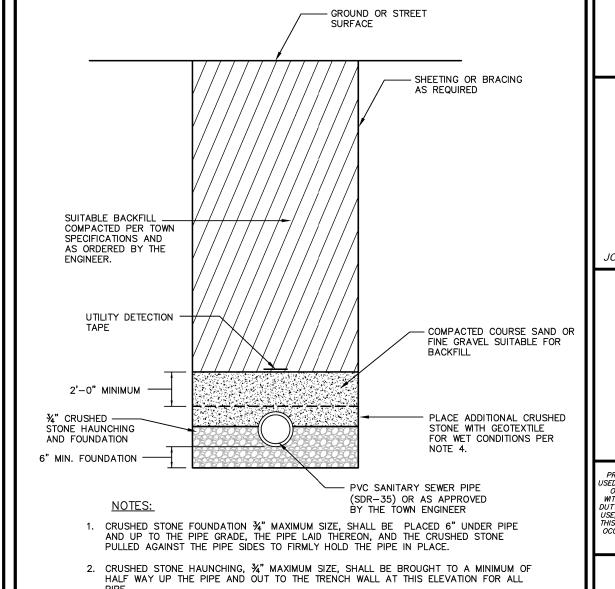
THE ENGINEER PRIOR TO CONSTRUCTION OF THE SANITARY SEWER EJECTOR PUMP



UNDERGROUND UTILITY NOTE UNDERGROUND UTILITY. STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

**INSPECTION NOTE:** THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION. ROADWAY PREPARATION. PAVING. SIDEWALK. CURBING. OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

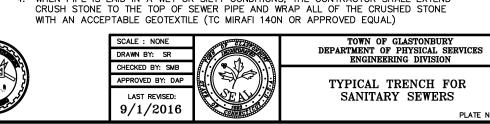


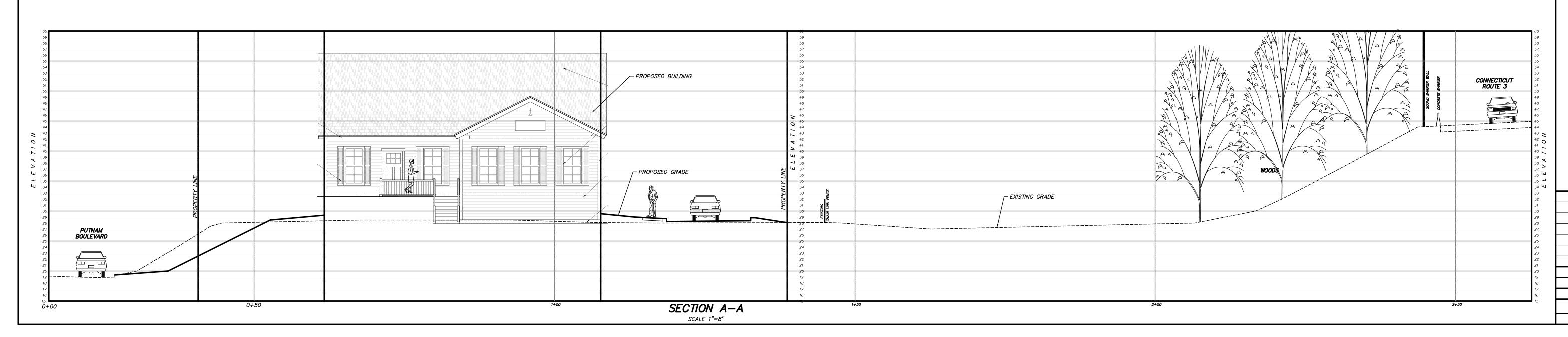


3. ALL COSTS FOR THIS CRUSHED STONE SHALL BE INCLUDED IN THE PRICE BID FOR SANITARY SEWER OR SANITARY SEWER LATERAL.

4. WHEN PIPE IS LAID IN A WET OR SILTY CONDITIONS, THE CONTRACTOR SHALL EXTEND CRUSH STONE TO THE TOP OF SEWER PIPE AND WRAP ALL OF THE CRUSHED STONE

WITH AN ACCEPTABLE GEOTEXTILE (TC MIRAFI 140N OR APPROVED EQUAL)





550

NO

JOHN R. MARTUCCI, P.E. #19494

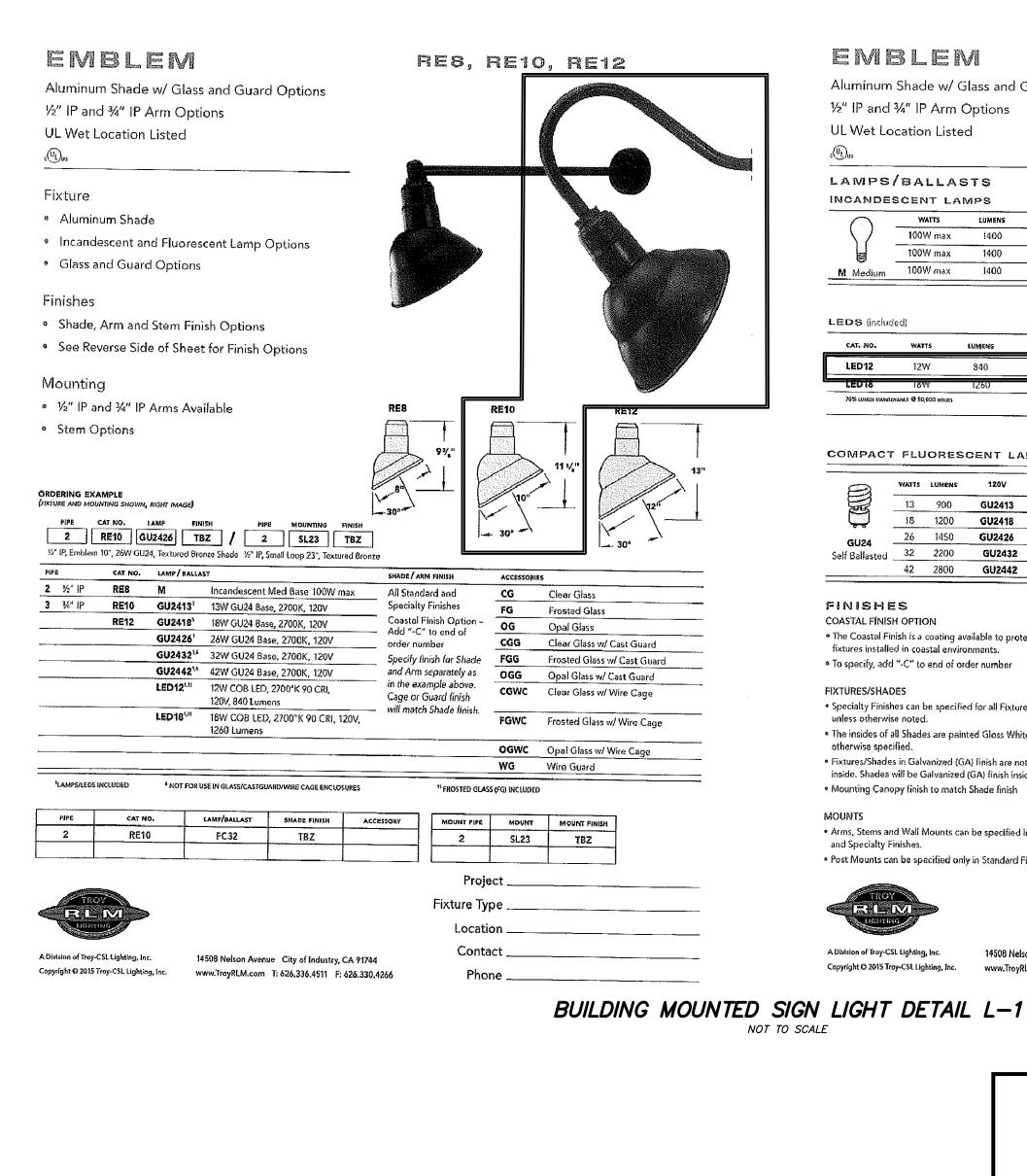
SE, NEOSE, MODIFICATION OF CONVENSION OF COLUMENT IS NOT ALLOWED AND IF SUCCCURS, THE OFFENDER PROSECUTED TO THE FULL EXTENT OF THE LAW.

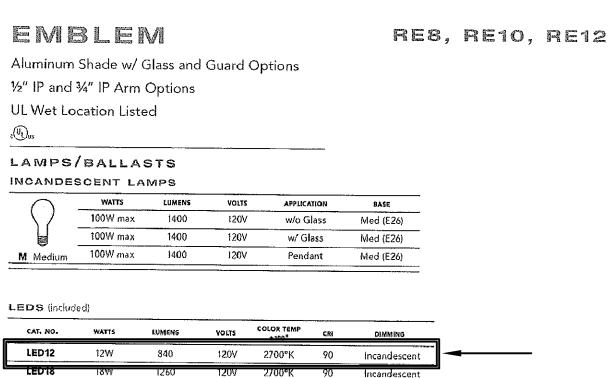
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PLATE NO. 3

REVISIONS: COMMENTS 11/07/2018 01-15-2019 - CONDITIONS

DATE: 02/08/2018 SCALE: AS SHOWN SHEET 19 of 23 A-17-053-D3





70% LUMEN MAINT	CHINES OF EGGNO	URNAC				<del></del>	
70 % LUMEN NOON!	ENANCE & SO, OUG.	HOURS					
				***************************************			
COMPACT	r FLUO	RESCENT	LAMPS	(GU24 0	:=: )		
COMPACT	r FLUO	RESCENT	LAMPS	(GU24 C	FL)		
COMPACT	r FLUO	RESCENT	LAMPS	(GU24 (	FL)		 ······

$\rightleftharpoons$	WATTS	LUMENS	120V	COLOR TEMP	BASE	LAMP TYPE
	13	900	GU2413	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
	18	1200	GU2418	2700°K	GU24 GU24	bi-pin twist & lock spiral lamp (included)
GU24	26	1450	GU2426	2700°K		bi-pin twist & lock spiral lamp (included)
Self Ballasted	32	2200	GU2432	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
	42 2800		GU2442	2700°K	GU24	bi-pin twist & lock spiral lamp (included)
FINISHE	S		<u>u </u>			STANDARD FINISHES
COASTAL FINIS	н орти	NC				
- TL - C 1 F1	1.1 -		2.44			ABL Aegean Blue PNC Painted Natural Copp

* To consider add * C* to and of order words	<b>BK</b> Gloss Black
• To specify, add "-C" to end of order number	BLU Blue
FIXTURES/SHADES	<b>BZP</b> Bronze Patina
Specialty Finishes can be specified for all Fixtures/Shades,	DVG Dove Gray
unless otherwise noted.	FLG Flannel Gray
<ul> <li>The insides of all Shades are painted Gloss White (WT) unless</li> </ul>	HG Hunter Green
otherwise specified.	LG Lime Green
<ul> <li>Fixtures/Shades in Galvanized (GA) finish are not painted white</li> </ul>	MB Matte Black

 Mounting Canopy finish to match Shade finish • Arms, Stems and Wall Mounts can be specified in all Standard and Specialty Finishes.

inside. Shades will be Galvanized (GA) finish inside.

· Post Mounts can be specified only in Standard Finishes.

• The Coastal Finish is a coating available to protect finishes on

fixtures installed in coastal environments.

SPECIALITY FINISHES **GA** Galvanized SA Satin Aluminum

RD Red

SS Satin Silver

TNG Tangerine

WT Gloss White

TTL Tabitian Teal

SGW Semi Gloss White

TBZ Textured Bronze

TGP Textured Graphite

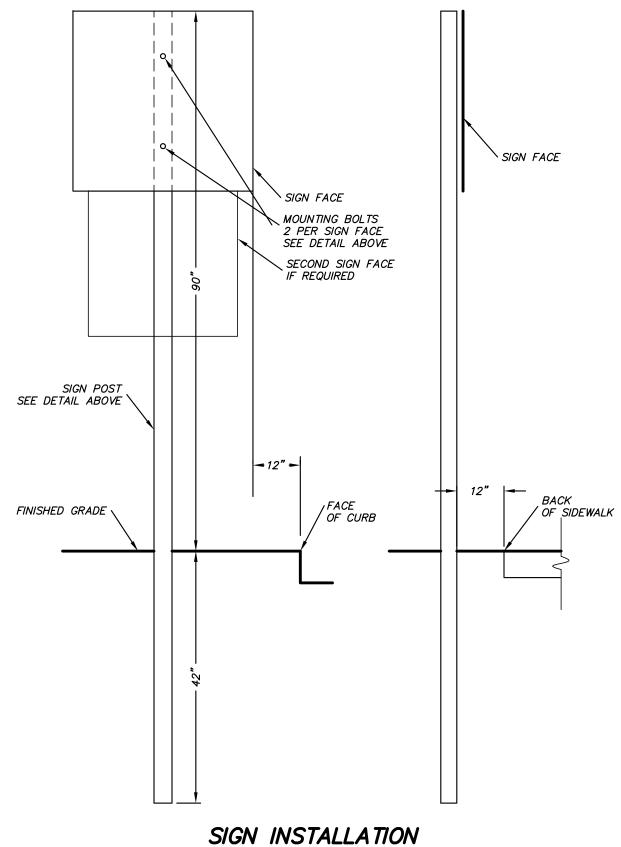
**BB** Burnished Bronze

PNA Painted Natural Aluminum

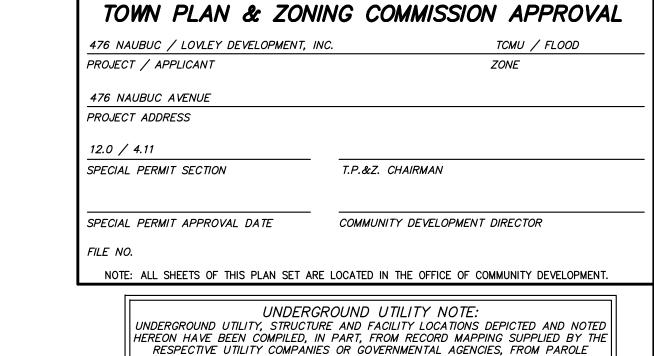


A Division of Troy-CSL Lighting, Inc. 14508 Nelson Avenue City of Industry, CA 91744 Copyright © 2015 Troy-CSE Lighting, Inc. www.TroyRLM.com T: 626,336,4511 F: 626.330,4266

Rev 042016



NOT TO SCALE



TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE UNDERSIGNED. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455 OR 811.

INSPECTION NOTE: THE CONTRACTOR SHALL NOTIFY THE TOWN OF GLASTONBURY ENGINEERING DIVISION 24 HOURS PRIOR TO BEGINNING ANY STORM DRAINAGE, SANITARY SEWER INSTALLATION, ROADWAY PREPARATION, PAVING, SIDEWALK, CURBING, OR ANY EXCAVATION IN THE TOWN RIGHT-OF-WAY TO SCHEDULE INSPECTIONS. THE DIVISION CAN BE REACHED BETWEEN 8:00 AM - 4:30 PM MONDAY THROUGH FRIDAY AT (860)-652-7735

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JOHN R. MARTUCCI, P.E. #19494

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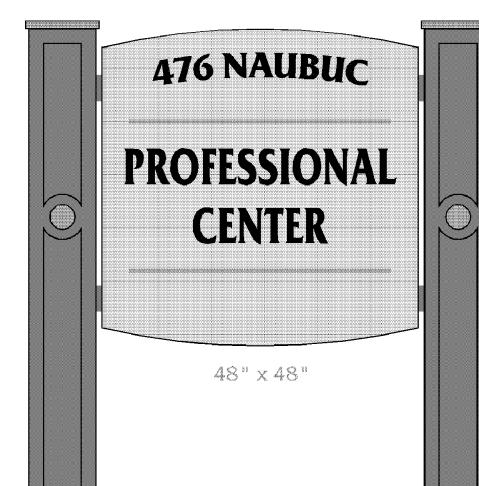
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3' x 9' aluminum metal framed sign. Sign is constructed with 1" x 1" aluminum tube frame with .063" aluminum sign face with 1" x 1" trim molding. Graphics are 3M adhesive vinyl.

> BUILDING MOUNTED SIGN DETAIL S-3

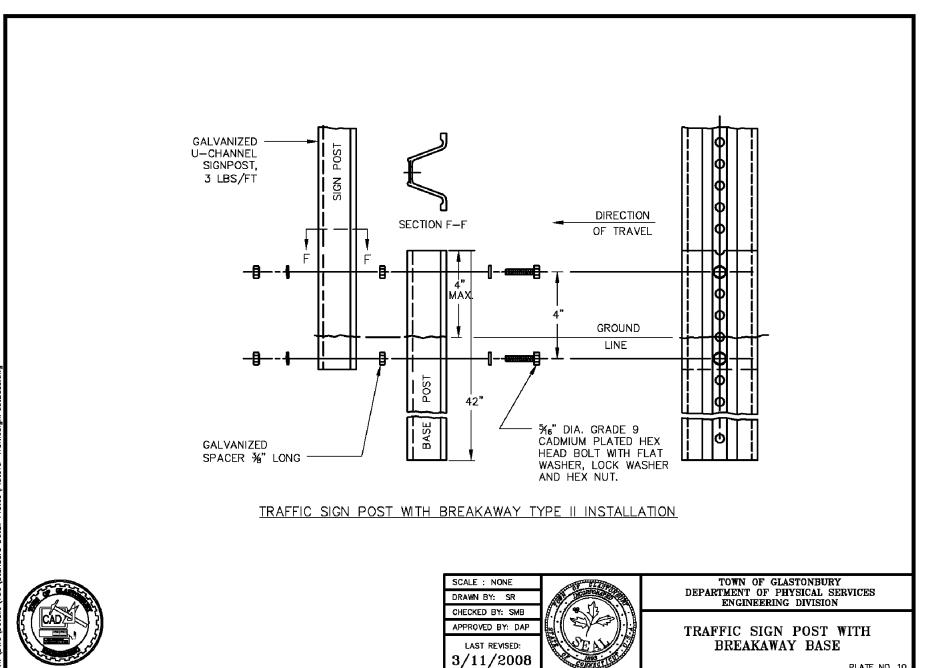
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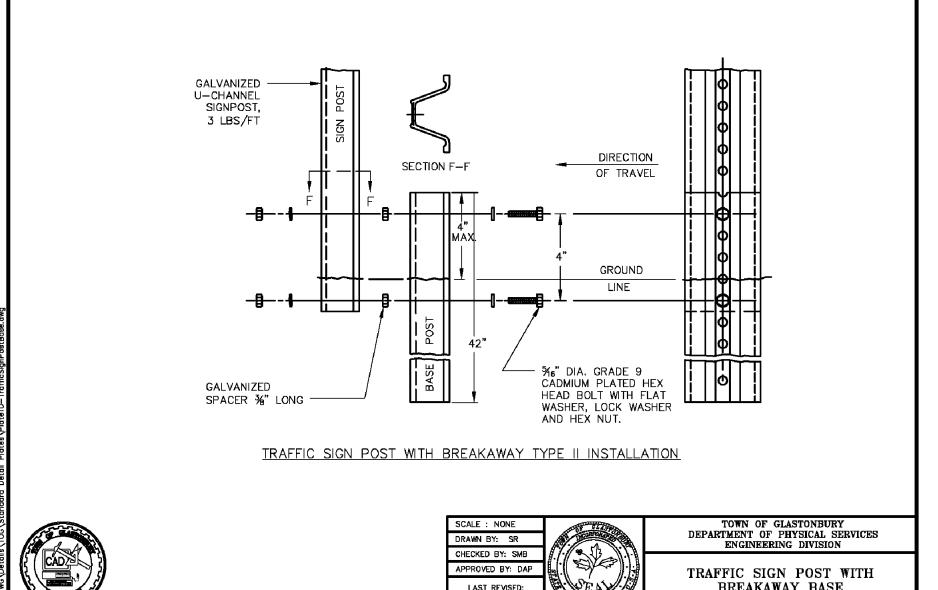


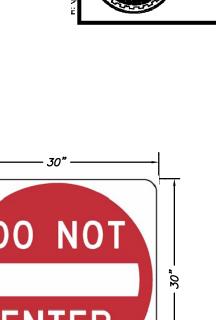


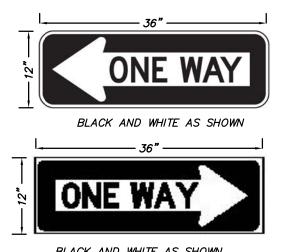




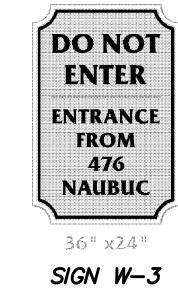










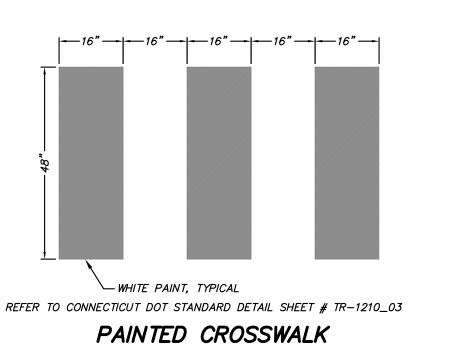


SIGN 41-2608 -





WHITE LETTERS, BLUE BACKGROUND SIGN W-I







BLACK AND WHITE AS SHOWN SIGN 31-1177

RED TEXT ON WHITE BACKGROUND, 18" x 24" FIRE LANE SIGN NOT TO SCALE

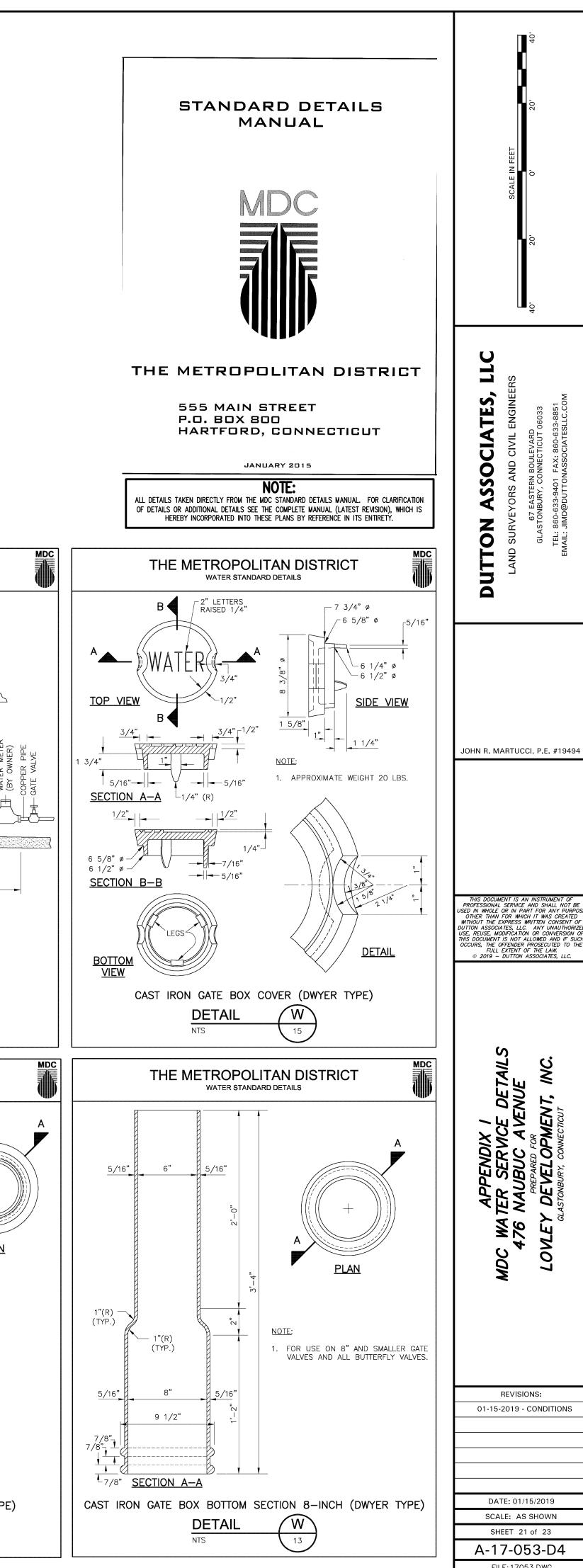
PAINTED HANDICAP NOT TO SCALE PARKING SYMBOL W-2

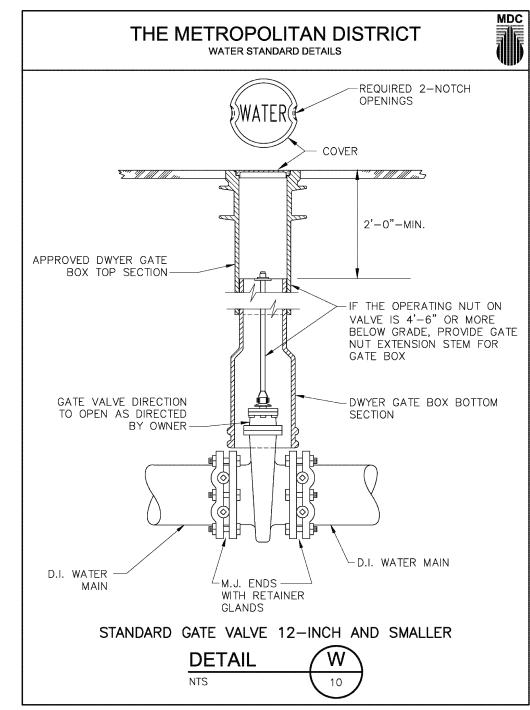
YELLOW BACKGROUND, BLACT SYMBOLS

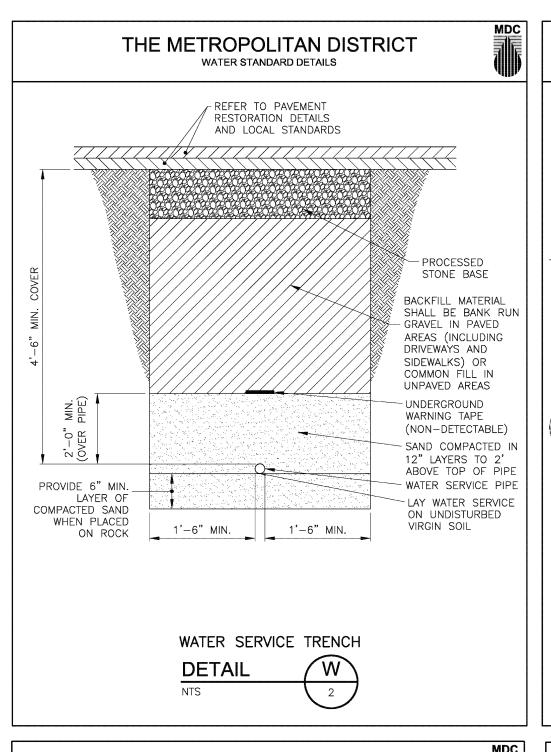
PEDESTRIAN CROSSING SIGN NOT TO SCALE

> REVISIONS: COMMENTS 11/07/2018 01-15-2019 - CONDITIONS

DATE: 02/08/2018 SCALE: AS SHOWN SHEET 20 of 23 A-17-053-D4







THE METROPOLITAN DISTRICT

WATER STANDARD DETAILS

— TWO HOLE COVER FOR USE IN NON— PAVED AREA

5/8" Ø SELF-CENTERING STAINLESS STEEL ROD

COTTER Y

STANDARD SERVICE CURB BOX

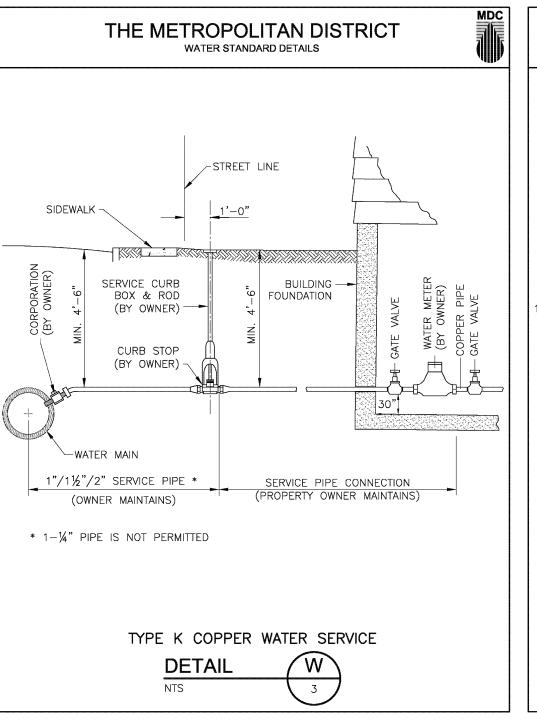
STANDARD BOX

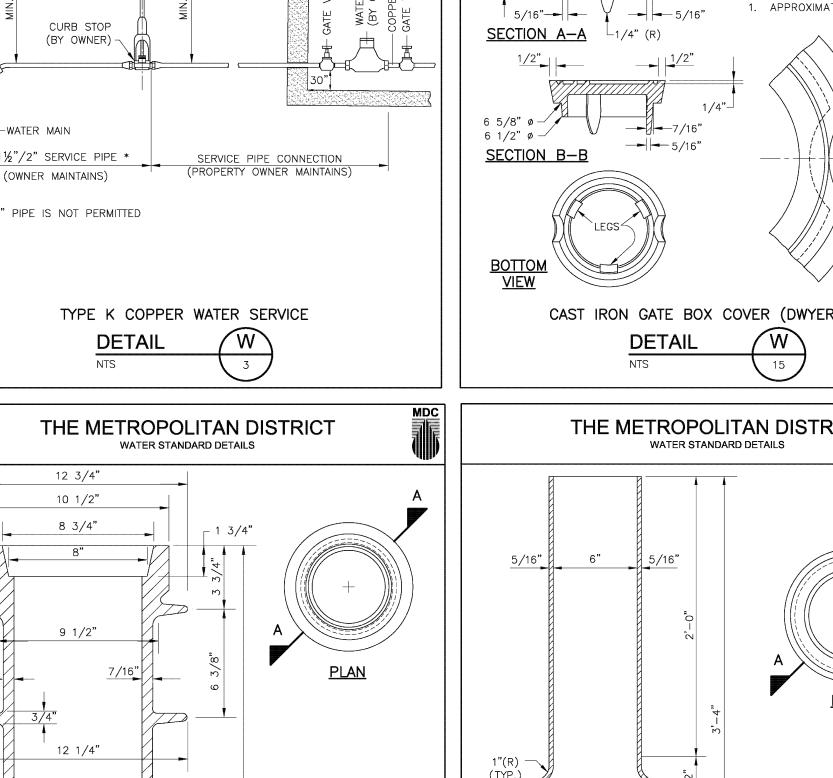
PLUG COVER FOR CONCRETE OR PAVED AREA

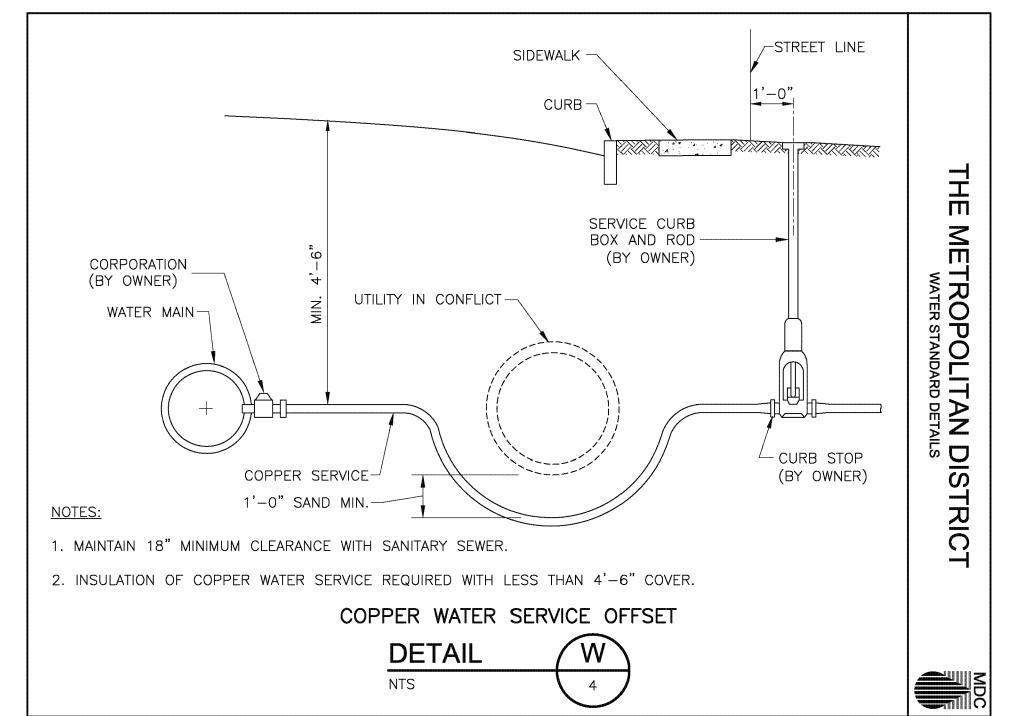
STANDARD

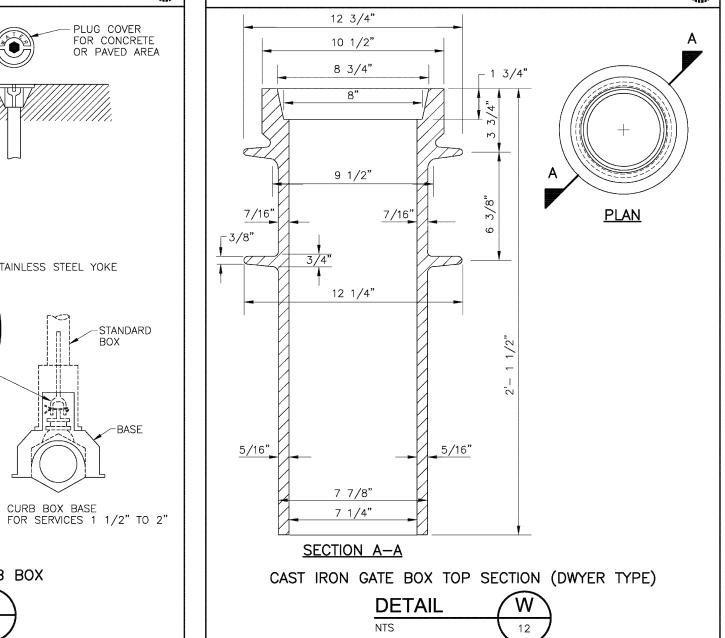
∕-BASE

-STAINLESS STEEL YOKE









**REVISIONS:** 01-15-2019 - CONDITIONS

ASSOCIATES,

DUTTON

DATE: 01/15/2019 SCALE: AS SHOWN SHEET 21 of 23 A-17-053-D4



# Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

September 13, 2018

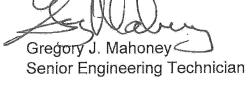
Mr. James W. Dutton, L.S. Dutton Associates, LLC 67 Eastern Boulevard Glastonbury, CT. 06033

Re: 476 Naubuc Avenue – Two Proposed Medical Office Buildings Lovely Development, Inc.

Dear Mr. Dutton:

This is to advise you that at its meeting on September 12, 2018, the Water Pollution Control Authority unanimously approved the sanitary sewer impact report for the abovereferenced project.

If you have any questions, please call me at (860) 652-7742





2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

October 24, 2018

CONSERVATION COMMISSION AND INLAND WETLANDS & WATERCOURSES AGENCY

Mark Lovley Lovley Development, Inc. 710 Main Street, Suite 11 Plantsville, Connecticut 06479

Re: Application of Mark Lovley (Lovley Development, Inc.) for an inland wetlands and watercourses permit concerning a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit – two, one-story medical office buildings (3,000 square feet and 3,183 square feet), a parking lot for each building (34 spaces total), and their related infrastructure - 476 Naubuc Professional Center (southeast corner of Naubuc Avenue & Putnam Boulevard) – Town Center Mixed Use Zone and Flood Zone – Dutton Associates, LLC

Dear Mr. Lovley:

At its Regular Meeting of October 11, 2018, the Conservation Commission/Inland Wetlands & Watercourses cited in the attached motion.

Please read the conditions of approval carefully and comply with them. Some of the conditions may require interacting with the Environmental Planner (e.g. inspection of soil erosion and sediment control); it will be your responsibility to schedule such interactions. Any questions you may have about the stated conditions can be directed to the Office of Community Development at (860) 652-7511.

#### This Permit:

- requires that the approved regulated activities be completed within one (1) year from commencement of
- is valid for five (5) years and thus expires on October 11, 2023; and - may not be transferred unless authorized by the Inland Wetlands & Watercourses Agency

Once again should you have any questions, please do not hesitate to contact this office.

Thomas Mocko **Environmental Planner** 

# APPROVED WETLANDS PERMIT MOTION

MOVED, that the Inland Wetlands and Watercourses Agency issues an inland wetlands and watercourses permit to Mark Lovley/Lovley Development, Inc. for the proposed land development activities (regrading, portions of buildings and pavement) within the 150-foot wetlands' upland review area concerning the two proposed medical office buildings at 476 Naubuc Avenue, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. Adherence to comments 2 through 11 within the Town Engineer's memorandum dated October 5, 2018.
- 2. Plot plans developed for building permits shall not exceed encroachment into the regulated areas beyond that indicated on the previously cited plans.
- 3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
- 4. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
- 5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.

MEMORANDUM

To: Town Plan & Zoning Commission

From: Thomas Mocko, Environmental Planner

Date: October 24, 2018

Re: Recommendations to the Town Plan & Zoning Commission concerning a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit – two, one-story medical office buildings (3,000 square feet and 3,183 square feet), a parking lot for each building (34 spaces total), and their related infrastructure - 476 Naubuc Professional Center (southeast corner of Naubuc Avenue & Putnam Boulevard) - Town Center Mixed Use Zone and Flood Zone – Dutton Associates, LLC

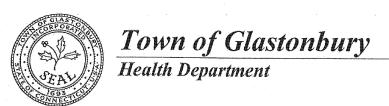
During its Regular Meeting of October 11, 2018, the Conservation Commission recommended to the Town Plan and Zoning Commission approval of a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit concerning Mark Lovley's two, one-story medical office buildings (3,000 square feet and 3,183 square feet), a parking lot for each building (34 spaces total), and their related infrastructure at 476 Naubuc Avenue. The attached motion was approved by the Commission.

Daniel A. Pennington, Town Engineer/Manager of Physical Services Peter R. Carey, Building Official Dutton Associates, LLC Mark Lovley

#### APPROVED MOTION FOR RECOMMENDATION TO THE TOWN PLAN & ZONING COMMISSION

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a Section 4.11 Flood Zone Special Permit and a Section 12 Special Permit with Design Review concerning Mark Lovley/Lovley Development, Inc.'s proposed two medical office buildings located at 476 Naubuc Avenue, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

- 1. Adherence to comments 2 through 11 within the Town Engineer's memorandum dated October 5, 2018.
- 2. Plot plans developed for building permits shall not exceed encroachment into the regulated areas beyond that indicated on the previously cited plans.
- 3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
- 4. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
- 5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
- 6. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
- 7. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required confirming that landscape plants were installed in accordance with the approved landscape plan.
- 8. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer or a licensed land surveyor shall be required confirming that the project's proposed cuts, fills and compensatory flood storage relative to the Flood Zone were performed in conformance with the approved design.



# Memo

November 8, 2018

To: Jonathan Mullen, AICP, Planner

Fr: Wendy S. Mis, MPH, RS, Director of Health

Re: 476 Naubuc Avenue; proposed lot division

This office has received and reviewed a site plan by Dutton Associates LLC dated 12/8/18, last revised 11/7/18 for splitting a lot into two parcels with construction of two approximately 3,000 square feet medical office buildings with associated infrastructure at the above-referenced location.

Glastonbury GIS indicates the house located on proposed Parcel A was constructed in 1800, so pre-demolition testing for lead and asbestos is required, with the findings report submitted to the Building Official for consideration of the demolition permit. The existing septic tank and drywells associated with this house are to be properly abandoned, as per the note on the plan.

One dumpster area is proposed to serve both buildings; this area is to be maintained and monitored to prevent the escape of loose trash.

Approval with respect to CT Public Health Code is forwarded for Commission consideration.

October 5, 2018

#### **MEMORANDUM**

Thomas Mocko, Environmental Planner Conservation Commission

From: Daniel A. Pennington, Town Engineer / Director of Physical Services

Re: Proposed Lot Division for Medical Offices Lovely Development - 476 Naubuc Avenue

The Engineering Division has reviewed the plans of the proposed lot division for two medical office buildings to be constructed at 476 Naubuc Avenue prepared by Dutton Associates dated February 8, 2018, and the related drainage report with dated October 2013 and offers the following comments:

- 1. The drainage computations provided by the applicant indicate that the proposed storm water quality features were appropriately sized to support the development and are consistent with Town standards for stormwater management.
- 2. Revised drainage computations are required to demonstrate that the proposed development will not have a negative effect on the existing Town drainage system in Putnam Boulevard. Revisions to the drainage maps included in the report are required to clearly depict supporting data for drainage areas. Time of Concentration computations, and Water Quality Volume computations associated with the project. It is recommended that any Commission approval be conditioned to require submittal of such and that the Town Engineer approve said
- 3. Additional computations are required to demonstrate that no net fill in the flood zone will result from the proposed development. Computations should provide appropriate documentation such that Town staff can review and verify analysis.
- 4. A copy of the final drainage report signed and sealed by a CT Licensed Professional Engineer shall be submitted.
- 5. A project specific erosion and sediment control narrative that quantifies areas of disturbance and describes project specific construction activities of concern for soil erosion and sediment control should be included on Sheet 17 of the plans.
- 6. The storm sewer maintenance program described on Sheet 17 does not reflect the proposed project storm drainage features. This narrative should be revised to include a maintenance program for all components of the proposed storm drainage system and shall be included on Sheets 10 and 11 of the plans.
- 7. The proposed rain gardens should be labeled on Sheets 10 and 11 of the plans with references to appropriate details and cross sections. The bottom elevation of the rain gardens should also be labeled on Sheets 7 and 8 of the grading
- 8. A detail should be provided for the proposed leak-offs.
- 9. Additional labels are needed on the plans to clarify pipe type, slope, and size for proposed roof drains and sanitary sewers.
- 10. A Waiver of Claim for a new connection to the Town storm drainage system must be filed by the owner with the Engineering Division at the time of connection to the Town drainage system.
- 11. A table depicting pre and post-construction impervious area of the subject property should be added to the plans for MS4 permit tracking.



TOWN OF GLASTONBURY FIRE MARSHAL'S OFFICE SITE PLAN/SUBDIVISION REVIEW

PROJECT: Lovely Development LOCATION: 476 Naubuc Ave

xx NEW CONSTRUCTION CHANGE OF USE _SUBDIVISION xx COMMERCIAL

OCCUPANCY CLASSIFICATION: Group B FILE # 18-029

PROPOSED FIRE PROTECTION: via MDC water main & GFD

ENGINEER'S PLAN:A-17-053-1 INITIAL PLAN___ REVISED PLAN 2-28-18

**ENGINEER: Dutton Associates** 

ADDRESS 67 Eastern Blvd Glastonbury PHONE: 860-633-9401

DATE PLANS RECEIVED: 11-9-18 DATE PLANS REVIEWED: 11-9-18

COMMENTS: Provide address numerals visible from Naubuc Avenue and the entrance to Putnam Blvd.

Fire Lanes will be needed at the south curb line of the common driveway, immediately adjacent to the buildings and only for the length of buildings not the entire south curb line.

The buildings will need to be provided with rapid entry vaults.

TOWN PLAN & ZONING COMMISSION APPROVAL 476 NAUBUC / LOVLEY DEVELOPMENT. INC. TCMU / FLOOD PROJECT / APPLICANT ZONE 476 NAUBUC AVENUE PROJECT ADDRESS

> SPECIAL PERMIT SECTION T.P.&Z. CHAIRMAN COMMUNITY DEVELOPMENT DIRECTOR SPECIAL PERMIT APPROVAL DATE

NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

#### APPROVED MOTION FOR RECOMMENDATION TO THE TOWN PLAN & ZONING COMMISSION

MOVED, that the Conservation Commission recommends to the Town Plan & Zoning Commission approval of a Section 4.11 Flood Zone Special Permit and a Section 12 Special Permit with Design Review concerning Mark Lovley/Lovley Development, Inc.'s proposed two medical office buildings located at 476 Naubuc Avenue, in accordance with plans on file in the Office of Community Development, and in compliance with the following conditions:

12.0 / 4.11

- 1. Adherence to comments 2 through 11 within the Town Engineer's memorandum dated October
- 2. Plot plans developed for building permits shall not exceed encroachment into the regulated areas beyond that indicated on the previously cited plans.
- 3. Installation of soil erosion and sedimentation control and stabilization measures shall be the Permittee's responsibility. Once installed these measures shall then be inspected by the Environmental Planner prior to land disturbance activities. Afterwards it then shall be the Permittee's responsibility to inspect these control measures during, and immediately following, substantial storm events and maintain and/or replace the control measures, when needed, on a regular basis until the site is vegetatively stabilized. Hay bales shall be replaced every 60 days. The Environmental Planner is hereby authorized to require additional soil erosion and sediment controls and stabilization measures to address situations that arise on the site.
- 4. Metal waste containers shall be provided at the site to facilitate the collection of refuse material generated from construction activities. Such material shall not be buried or burned at the site.
- 5. Underground fuel storage tanks shall be prohibited to reduce the potential of contamination to wetlands, watercourses, and groundwater resources.
- 6. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer shall be required confirming that the stormwater management system was constructed in conformance with the approved design.
- 7. Prior to the issuance of a Certificate of Occupancy, certification from a landscape architect shall be required confirming that landscape plants were installed in accordance with the approved landscape plan.
- 8. Prior to the issuance of a Certificate of Occupancy, certification from a professional engineer or a licensed land surveyor shall be required confirming that the project's proposed cuts, fills and compensatory flood storage relative to the Flood Zone were performed in conformance with the approved design.



GLASTONBURY POLICE DEPARTMENT 2108 MAIN ST./P.O. BOX 535/GLASTONBURY, CT 06033-0535/(860)633-8301/FAX (860)652-4290

MEMORANDUM

Town Plan and Zoning Commission

From: Marshall S. Porter; Chief of Police

November 5, 2018

Subject: 476 Naubuc Ave- Sec 12 w/Design Review- Medical Office Building

Members of the Police Department have reviewed the application of Mark Lovley, Lovley Development, Inc. for a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit for the construction of two 3,000+/- square foot buildings with associated infrastructure, splitting the lot into 2-476 Naubuc Ave-Town Center Mixed Use Zone and Flood Zone- Dutton and Associates, LLC.

The police department has no objection to this proposal provided that:

- 1. Proper sign with street numbering at the driveway entrance.
- 2. Contact name and phone number for issues that arise onsite during construction (24/7)

REVISIONS: COMMENTS 11/07/2018

DATE: 02/08/2018 SCALE: N/A SHEET 22 of 23

FILE: 17053.DWG

S DOCUMENT IS NOT ALLOWED AND IF SI CURS, THE OFFENDER PROSECUTED TO I FULL EXTENT OF THE LAW. © 2018 — DUTTON ASSOCIATES, LLC.

JOHN R. MARTUCCI, P.E. #19494

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ASSOCIA

UTTON

CONDITIONS 01/15/2019

A-17-053-A1

476 Naubuc Avenue December 5, 2018 Page 2

Please contact the Office of Community Development if you have any questions.

Sincerely,

TOWN PLAN AND ZONING COMMISSION

For the Secretary

Khara C. Dodds, AICP Director of Planning & Land Use Services

Attachment

cc: Peter R. Carey, Building Official Nicole Lintereur, Assessor Jim Dutton, Dutton Associates

476 Naubuc Avenue December 5, 2018 Page 2

Please contact the Office of Community Development if you have any questions.

Sincerely,

TOWN PLAN AND ZONING COMMISSION

For the Secretary

Khara C. Dodds, AICP
Director of Planning & Land Use Services

Attachment

cc: Peter R. Carey, Building Official Nicole Lintereur, Assessor Jim Dutton, Dutton Associates

- 7. A detail depicting the connection to the force main at Sanitary Manhole #1 and the existing force main tie in point should be included on the plans.
- 8. The limits of all proposed pavement cuts for new utility connections in Naubuc Avenue should be depicted and labeled on the plans with a note stating that all pavement repairs shall be completed per town standards.
- 9. A detail for the proposed leak-offs should be included on the plans including surface treatment and type of curbing.
- 10. A benchmark should be depicted and labeled on the plans.
- 11. The lot areas shown within the Zoning Table do not match lot areas labeled on the plans. These should be verified and corrected as required.
- 12. Applicant shall submit PDF copies of final approved plans and drainage computations to the Engineering Division for our records.

- 7. A detail depicting the connection to the force main at Sanitary Manhole #1 and the existing force main tie in point should be included on the plans.
- 8. The limits of all proposed pavement cuts for new utility connections in Naubuc Avenue should be depicted and labeled on the plans with a note stating that all pavement repairs shall be completed per town standards.
- A detail for the proposed leak-offs should be included on the plans including surface treatment and type of curbing.
- 10. A benchmark should be depicted and labeled on the plans.
- 11. The lot areas shown within the Zoning Table do not match lot areas labeled on the plans. These should be verified and corrected as required.
- 12. Applicant shall submit PDF copies of final approved plans and drainage computations to the Engineering Division for our records.



KD:gfm

Town of Glastonbury

2155 MAIN STREET • P.O. BOX 6523 • GLASTONBURY, CONNECTICUT 06033-6523

TOWN PLAN AND ZONING COMMISSION

SECTION 4.11 FLOOD ZONE SPECIAL PERMIT &
SECTION 12 SPECIAL PERMIT WITH DESIGN REVIEW

APPLICANT: MARK LOVLEY
LOVLEY DEVELOPMENT, INC.
710 MAIN STREET, SUITE 11
PLAINVILLE, CT 06479

DWNER: JOSEPH PACITTI
PRA NAUBUC, LLC
C/O PRA DEVELOPMENT &
MANAGEMENT
1150 HADDON AVENUE, SUITE 100
COLLINGSWOOD, NJ 08108

OR: 476 NAUBUC AVENUE

MOVED, that the Town Plan & Zoning Commission approve the application of Mark Lovley, Lovley Development, Inc. for a Section 12 Special Permit with Design Review and a Section 4.11 Flood Zone Special Permit for the construction of two 3,000 square foot± medical office buildings with associated infrastructure, splitting the lot into 2 – 476 Naubuc Avenue – Town Center Mixed Use Zone and Flood Zone, in accordance with the following plans:

"INDEX PLAN PROPOSED LOT DIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 Tel: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: AS SHOWN SHEET 1 OF 21 A-17-053-I REVISIONS: COMMENTS 11/07/2018"

"PROPERTY BOUNDARY SURVEY LOT DIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 2 OF 21 A-17-053-S1 REVISIONS: COMMENTS 11/07/2018"

"TOPOGRAPHIC SURVEY EXISTING CONDITIONS PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 3 OF 21 A-17-053-T1 REVISIONS: COMMENTS 11/07/2018"

"TOPOGRAPHIC SURVEY EXISTING CONDITIONS PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 4 OF 21 A-17-053-T2 REVISIONS: COMMENTS 11/07/2018"

"LAYOUT PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL:

JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 5 OF 21 A-17-053-L1 REVISIONS: COMMENTS 11/07/2018"

"LAYOUT PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 6 OF 21 A-17-053-L2 REVISIONS: COMMENTS 11/07/2018"

"GRADING PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL:

JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 7 OF 21 A-17053-G1 REVISIONS: COMMENTS 11/07/2018"

"GRADING PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL:

JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 8 OF 21 A-17-053-G2 REVISIONS: COMMENTS 11/07/2018"

"UTILITY PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD
GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL:

JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 10 OF 21 A-17053-U1 REVISIONS: COMMENTS 11/07/2018"

"UTILITY PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 11 OF 21 A-17-053-U2 REVISIONS: COMMENTS 11/07/2018"

"LANDSCAPE PLAN 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC.
GLASTONBURY, CONNECTICUT STEPHANIE FUSS ASSOCIATES LLC 67 EASTERN BOULEVARD

GLASTONBURY, CT 06033 PHONE 860-659-3715 WWW.STEFUSS.COM DATE: 02/08/2018 SCALE: 1" = 20' SHEET 16 OF 21 A-17-053-LS1 REVISIONS: 03-23-2015 UPDATE 08-02-2018 UPDATE 08-27-2018 UPDATE 11-07-2018 COMMENTS"

"GENERAL NOTES AND DETAILS PROPOSED SUBDIVISION 476 NAUBUC AVENUE PREPARED FOR LOVLEY DEVELOPMENT, INC. GLASTONBURY, CONNECTICUT DUTTON ASSOCIATES, LLC 67 EASTERN BOULEVARD GLASTONBURY, CONNECTICUT 06033 TEL: 860-633-9101 FAX: 860-633-8851 EMAIL: JIMD@DUTTONASSOCIATESLLC.COM DATE: 02/08/2018 SCALE: AS SHOWN SHEET 19 OF 21 A-17-053-D3 REVISIONS: COMMENTS 11/07/2018"

And

1. In compliance with:

- The conditions set forth by the Conservation Commission/Inland Wetlands and Watercourses Agency, in their recommendation for approval to the Town Plan and Zoning Commission and the Wetlands Permit issued at their Regular Meeting of October
- b. The standards contained in a report from the Fire Marshal, File 18-029, plans reviewed 11-09-18.

2. In adherence to:

- a. The Town Engineer's memorandum dated November 8, 2018.
- b. The Health Director's memorandum dated November 7, 2018.c. The Police Chief's memorandum dated November 5, 2018.
- 3. A sign package shall be submitted by the applicant, and all signage will be subject to review and approval by the Town Plan and Zoning Commission's Plans Review Subcommittee.
- 4. A crosswalk shall be added to the parking area; its location will be subject to review and approval by the Town Plan and Zoning Commission's Plans Review Subcommittee.

APPROVED: TOWN PLAN & ZONING COMMISSION NOVEMBER 13, 2018

SHARON H. PURTILL, CHAIRMAN

TOWN PLAN & ZONING COMMISSION APPROVAL

476 NAUBUC / LOVLEY DEVELOPMENT, INC.

TCMU / FLOOD

PROJECT / APPLICANT

ZONE

476 NAUBUC AVENUE

PROJECT ADDRESS

12.0 / 4.11

SPECIAL PERMIT SECTION

T.P.&Z. CHAIRMAN

SPECIAL PERMIT APPROVAL DATE

COMMUNITY DEVELOPMENT DIRECTOR

FILE NO.

NOTE: ALL SHEETS OF THIS PLAN SET ARE LOCATED IN THE OFFICE OF COMMUNITY DEVELOPMENT.

TTON ASSOCIATES, LLC
AND SURVEYORS AND CIVIL ENGINEERS
67 EASTERN BOULEVARD

JOHN R. MARTUCCI, P.E. #19494

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APPROVALS
PROPOSED SUBDIVISION
476 NAUBUC AVENUE
PREPARED FOR
LOVLEY DEVELOPMENT, INC

REVISIONS:

COMMENTS 11/07/2018

CONDITIONS 01/15/2019

DATE: 02/08/2018

SCALE: N/A

SHEET 23 of 23

A-17-053-A2